

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 051333

Please Read Application And Notes, If Any, Attached

This is to certify that Howles Corporation/Maine Construction Consultants
has permission to ammmend permit #05-1121 - change foundation des.
AT 0 Myrtle St 026 K001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit must be completed before this building or part thereof is occupied or closed-in. HEAR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

PERMIT ISSUED

OTHER REQUIRED APPROVALS
SEP 14 2005

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
CITY OF PORTLAND

Department Name

[Signature]
9/14/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 0 Myrtle St

CBL 026 K001001

Issued to Howles Corporation/Maine Construction Consultants

Date of Issue 06/21/2006

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 05-1333 , has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

entire

APPROVED OCCUPANCY

single family residence
use group: R3
type: 5B
IRC 2003

Limiting Conditions:

temporary until July 15, 2006 to complete landscaping

**This certificate supersedes
certificate issued**

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1333	Issue Date: SEP 14 2005	CB#: 026 KC01001
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Location of Construction: 0 Myrtle St	Owner Name: Howles Corporation	Owner Address: Po Box 938	Phone:
Business Name:	Contractor Name: Maine Construction Consultants	Contractor Address: 14 Hanover St Portland	Phone: 2072328134
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: R-6

CITY OF PORTLAND

Past Use: vacant	Proposed Use: single family - a m e n d permit #05-1121 - change foundation design	Permit Fee: \$30.00	Cost of Work: \$0.00	CEO District: Infill
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB Use Group: Type: S	

JRC 2003

Proposed Project Description: ammend permit #05-1121 - change foundation design	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied		
Signature	Date:	

Permit Taken By: tmm	Date Applied For: 09/14/2005	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 13 of 17</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2005-0180</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/14/05</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9/14/05</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1333	Date Applied For: 09/14/2005	CBL: 026 K001001
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Location of Construction: 0 Myrtle St	Owner Name: Howles Corporation	Owner Address: Po Box 938	Phone:
Business Name:	Contractor Name: Maine Construction Consultants	Contractor Address: 14 Hanover St Portland	Phone (207) 232-8134
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: single family - a m e n d permit #05-1121 - change foundation design	Proposed Project Description: a m e n d permit #05-1121 - change foundation design
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 09/14/2005

Note: **Ok to Issue:**

1) All conditions under permit #05-1121 apply to this permit as well.

Dept: Building **Status:** Approved with Conditions **Reviewer:** T a m y Munson **Approval Date:** 09/14/2005

Note: **Ok to Issue:**

1) All conditions under permit #05-1121 apply to this permit as well.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed **as** stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Same as permit #05-1121

- _____ Footing/Building Location Inspection: Prior to pouring concrete
- _____ Re-Bar Schedule Inspection: Prior to pouring concrete
- _____ Foundation Inspection: Prior to placing ANY backfill
- _____ Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- _____ **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. *Your* inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

_____ CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of Applicant/Designee

Date

9/14/05

Signature of Inspections Official

Date

CBL: _____

26-K-1

Building Permit #: _____

05-1333

O W N HASKELL, INC.

Professional Land Surveyors

16 Casco Street • Portland, Maine 04101-2979 • 207/774-0424 • FAX: 774-0511 • ohi@owenhaskell.com

MEMO TO: Tammy Munson
City inspectors Office – City of Portland
Tom Blackburn

FROM: Ellen Brewer
Owen Haskell, Inc.

DATE: September 14, 2005

RE: Myrtle Street, Portland, Maine
OHI Job #2005-168

On September 12, 2005, Owen Haskell, Inc. laid out on the ground *the* foundation at 63 Myrtle Street per the site plan provided by the owner.

The residence as laid out conforms to the current setbacks.

If you have any further questions or need any additional information please do not hesitate to call.

FAX TRANSMISSION

OWEN HASKELL, INC.
Professional Land Surveyors
16 Casco St., Portland, ME 04101

TEL. 207-774-0424

FAX 207-774-0511

Job #: 2005-168

Date/Time: 9/14/05 3:35

pages 2 (including cover sheet)

To: Tammy Munson

Co. City of Portland

Tel #: _____

Fax #: _____

Fax From: Ellie Brown

GENERAL NOTES:

- The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
- Structural drawings shall be used in conjunction with job drawings, elevations, sections, and details. Consult these drawings for locations and dimensions of openings, chases, inserts, relets, sleeves, depressions, and other details not shown on structural drawings. All dimensions and conditions must be verified in the field. Any discrepancies shall be reported to the engineer before proceeding with the affected part of the work.
- Do not scale plans.
- Sections and details shown on any structural drawings shall be considered typical for similar conditions.
- Manufacturers' instructions shall be installed in accordance with the manufacturer's instructions.
- The structure is designed to be self supporting and stable after the building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes, but is not limited to, bracing, shoring, and other temporary bracing, stays or tie downs. Such material shall remain the property of the contractor after completion of the project.
- All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

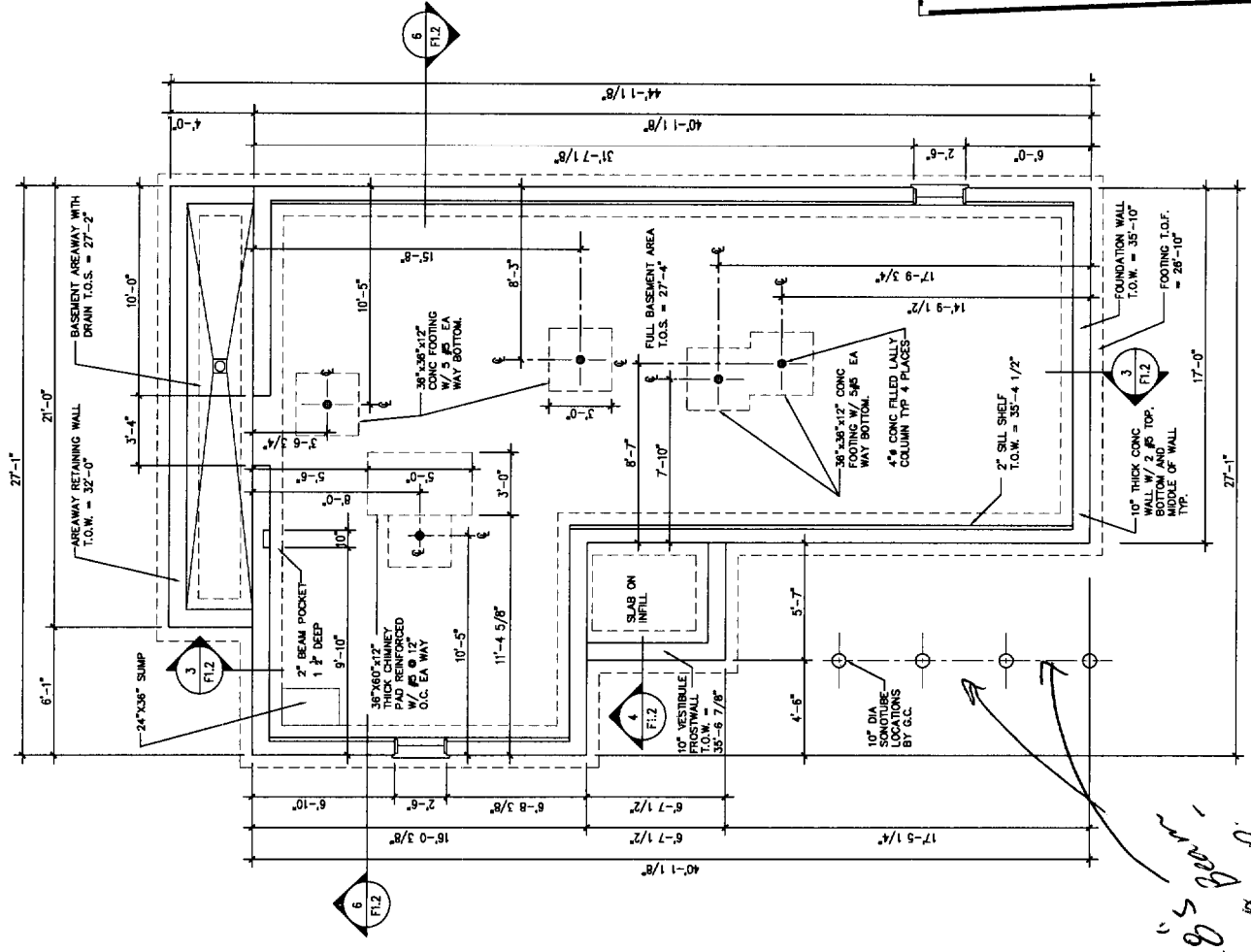
- Building code: INTERNATIONAL BUILDING CODE (IBC 2003)
- Design Live Loads: (Ground snow load = 60PSF)
Roof snow load = 42 PSF + Drift
Living areas: 40 PSF
- Design wind loads b d e w e g g 8 mph b wind speed.

FOUNDATION NOTES:

- Foundations have been designed conform with the bearing capacity indicated in IBC 2003 prescriptive bearing capacity table.
 - Interior spread footings and exterior strip footings shall be founded on native soil or compacted structural fill.
 - Exterior strip and spread footings shall be founded on a minimum of 4'-0" below finished grade, bear on a minimum of 8" of 3/4" h d e structural fill. If compacted fill is used, it shall be over excavated to the surface of the natural soil and replaced with structural fill. Provide 6 mil poly vapor barrier above the crushed stone.
 - Basement slab on grade shall bear on a minimum of 8" of 3/4" h d e structural fill. If compacted fill is used, it shall be over excavated to the surface of the natural soil and replaced with structural fill. Provide 6 mil poly vapor barrier above the crushed stone.
 - Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following units.
- | SCREEN OR SIEVE SIZE | PERCENT FINER BY WEIGHT |
|----------------------|-------------------------|
| 5 INCH | 100 |
| 3 INCH | 100 |
| NO. 4 | 70-100 |
| NO. 10 | 35-70 |
| NO. 40 | 5-35 |
| NO. 200 | 0-5 |
- Structural fill beneath slabs shall be placed in layers not exceeding 6" in thickness. Each layer shall be compacted to a minimum dry density of at least 95% of the maximum optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ASTM D-1557).
 - Under drains shall be placed as required by the owner. Under drains shall be placed so as to positively drain to a suitable discharge point away from the structure.
 - Backfill both sides of foundation frost walls simultaneously where applicable.

INQUIRIES

THESE DRAWINGS ARE THE PROPERTY OF L & L STRUCTURAL ENGINEERING SERVICES, INC. AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF L & L STRUCTURAL ENGINEERING SERVICES, INC.



**CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS**

SEP 16 2005

**SUPERSEDES ALL
PRIOR DATED PLANS**

1 FOUNDATION PLAN
REFERENCED FROM:

SCALE: 1/4" = 1'-0"

**L & L STRUCTURAL
ENGINEERING SERVICES, INC.**
SIX O STREET
SOUTH PORTLAND, MAINE 04106
PHONE: (207) 767-4830
FAX: (207) 799-5432
EMAIL: mlesure@ll-eng.com



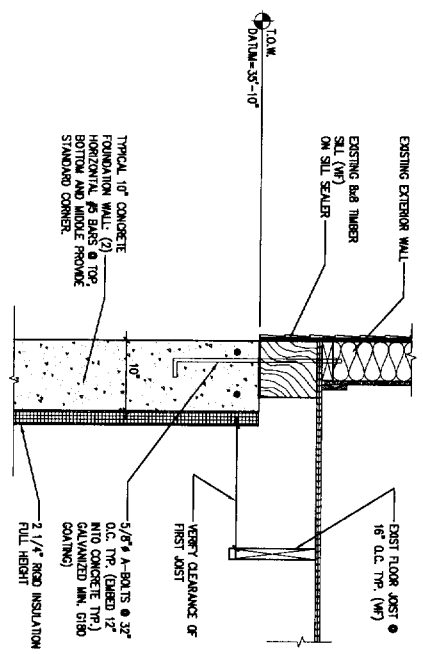
REV.	DATE	DESCRIPTION
A	8-31-05	RELEASED FOR PERMITTING
B	9-07-05	RELEASED FOR CONST.
C	9-14-05	REVISED FOR CONST.

designed by MFL
checked by MFL
scale: NOTED
date: AUGUST 31, 2005
plot date: AUGUST 31, 2005
project #: 20250

**MYRTLE STREET HOUSE RELOCATION
PORTLAND, MAINE**
FOUNDATION PLAN & NOTES.

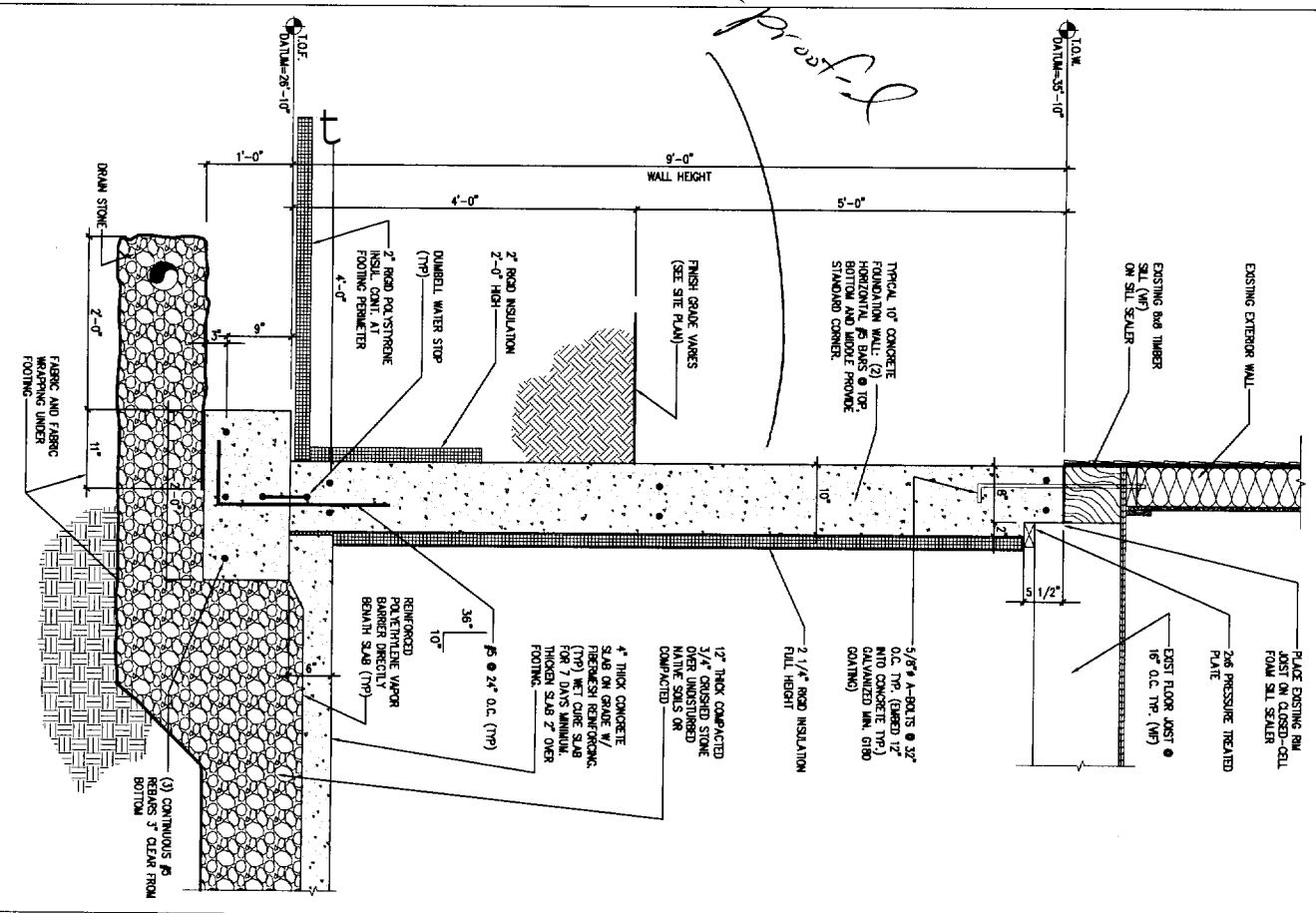
F1.1

THIS DRAWING HAS BEEN REVISED BY L & L STRUCTURAL ENGINEERING SERVICES, INC. ON 09-14-05 TO REFLECT THE REVISIONS TO THE PERMITS. THE ORIGINAL DRAWING IS BEING ARCHIVED FOR YOUR RECORDS. THE ORIGINAL DRAWING IS BEING ARCHIVED FOR YOUR RECORDS. THE ORIGINAL DRAWING IS BEING ARCHIVED FOR YOUR RECORDS.

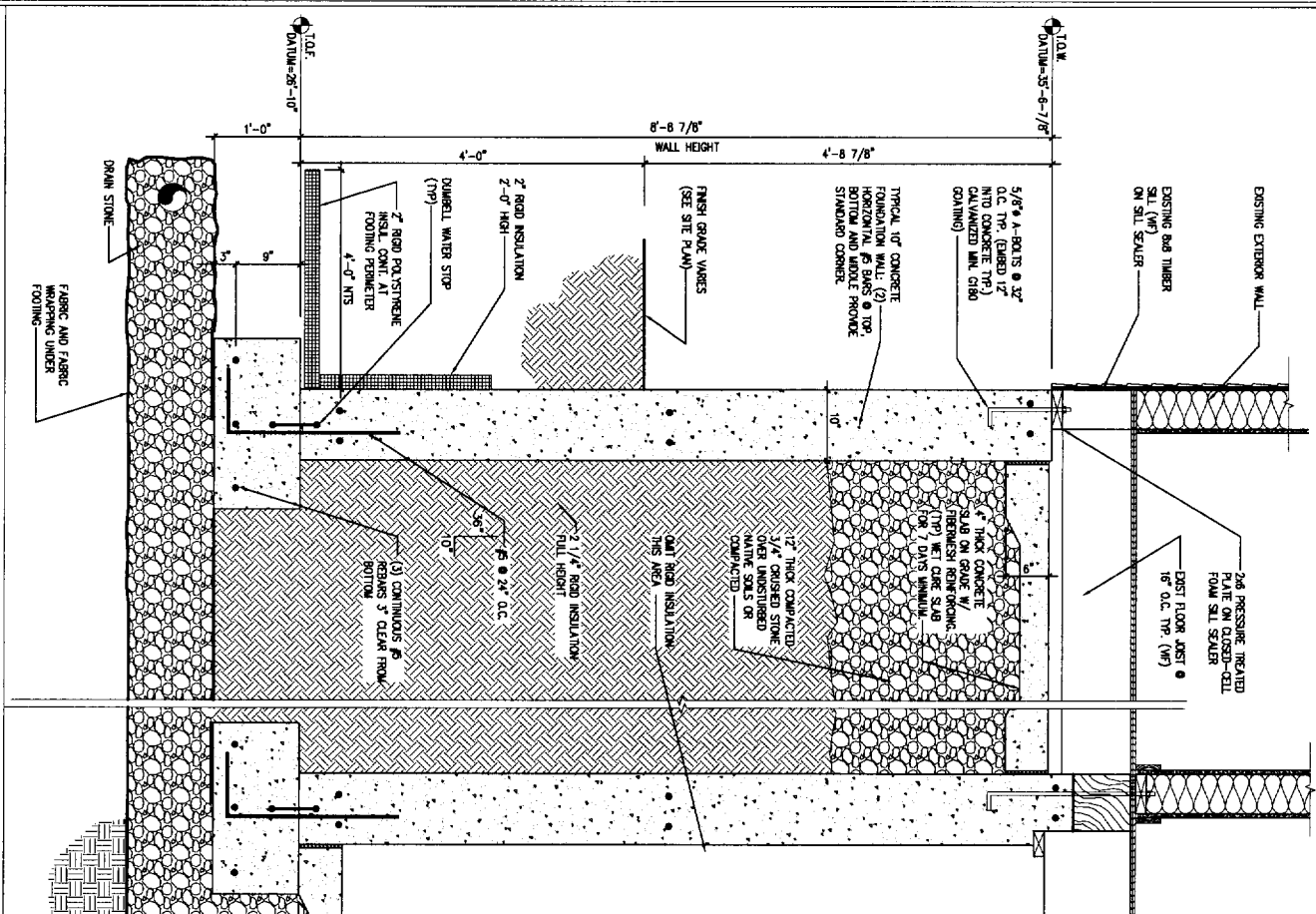


3 FOUNDATION SILL DETAIL
SCALE: 1" = 1'-0"

1 NOT USED
SCALE: 1" = 1'-0"



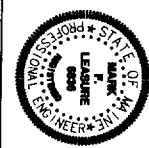
6 TYPICAL FOUNDATION WALL ASSEMBLY
SCALE: 1" = 1'-0"



4 WALL ASSEMBLY AT ENTRY
SCALE: 1" = 1'-0"

Damp-proof

L & L STRUCTURAL ENGINEERING SERVICES, INC.
SIX Q STREET
SOUTH PORTLAND, MAINE 04106
PHONE: (207) 767-4830
FAX: (207) 799-5432
EMAIL: mleasure@l-l-eng.com



APPROVED CONSTRUCTION PLANS
CITY OF PORTLAND, MAINE
DESIGNED BY: MFL
DRAWN BY: MFL
CHECKED BY: JHL
SCALE: NOTED
DATE: AUGUST 31, 2005
PLOT DATE: AUGUST 31, 2005
PROJECT # 25250

RELEASED FOR PERMITTING
RELEASED FOR CONSTRUCTION
REVISED FOR CONSTRUCTION

SEP 16 2005

MYRTLE STREET HOUSE RELOCATION
PORTLAND, MAINE
FOUNDATION DETAILS.

F1.2

9/14/05 - Rec'd surveyor letter -
Had to pump hole & reset rebar -
OK to pour footings - appears done per plan.

9/20/05 - Backfill - damp proofing, drain tile, fabric -

OK. L+L Structural
Per Mark Leisure - rigid insulation on
exterior wall can be omitted if below
4' - rear side OK to omit -
Rigid done per plan on the rest. yr.

01/27/06 Interior framing okay to close-in
" Plumbing " " "

02/13/06 - ① handrail needed back stairs, Front stairs.
② riser bds need bulkhead stairs
③ ~~Bottom~~ Bottom step will be less than others.
to be land scaped to grade. RR

06/20/06 OK for CFO. temp. til July 15, 2006.





CITY OF PORTLAND, MAINE
Department of Building Inspections

20

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (IL) Plumbing (IS) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: _____

Check #: _____

Total Collected \$ _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy