

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

## BUILDING DEPARTMENT PERMIT

Permit Number: 051121

This is to certify that Howles Corporation/Maine Construction  
has permission to Move from 10 Mechanic Street to Single Family Home on Myrtle Street 17x 40x27  
AT 63 Myrtle St. 026 K001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work in permit in progress before this building or part thereof is occupied or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**PERMIT ISSUED**

OTHER REQUIRED APPROVALS

SEP 1 2005

CITY OF PORTLAND

Fire Dept.  
Health Dept.  
Appeal Board  
Other

*[Signature]* 9/1/05  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**PERMIT ISSUED**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1121	Issue Date: <b>SEP 1 2005</b>	CBL: 026 K001001
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Location of Construction: 6 Myrtle St	Owner Name: Howles Corporation	Owner Address: Po Box 938	Phone:
Business Name:	Contractor Name: Maine Construction Consultants	Contractor Address: 14 Hanover St Portland	Phone: 2072328134
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-6

Past Use: Vacant Lot	Proposed Use: Move from 10Mechanic Street to Single Family Home on Myrtle Street 17x 40x27	Permit Fee: \$1,896.00	Cost of Work: \$200,000.00	CEO District: 1	INT-1
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Proposed Project Description: Move from 10Mechanic Street to Single Family Home on Myrtle Street 17x 40x27	<p><b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied</p> <p><i>N/A</i></p> <p>Signature: _____</p>	<p><b>INSPECTION:</b></p> <p>Use Group: R-3 Type: SB</p> <p><i>IRC 2003</i></p> <p>Signature: _____</p>
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Permit Taken By: Idobson	Date Applied For: 08/10/2005	<b>Zoning Approval</b>	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland <i>N/A</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone <i>Daniel 13-17</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan <i># 2005-0180</i></p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MMT <input type="checkbox"/></p> <p><i>OK with conditions</i></p> <p>Date: <i>8/17/05</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p>Denied</p> <p>Date: _____</p>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 05-1121	<b>Date Applied For:</b> 08/10/2005	<b>CBL:</b> 026 K001001
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<b>Location of Construction:</b> 63 Myrtle St	<b>Owner Name:</b> Howles Corporation	<b>Owner Address:</b> Po Box 938	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Maine Construction Consultants	<b>Contractor Address:</b> 14 Hanover St Portland	<b>Phone</b> (207) 232-8134
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

<b>Proposed Use:</b> Move from 10Mechanic Street to Single Family Home on Myrtle Street 17x 40x27	<b>Proposed Project Description:</b> Move from 10Mechanic Street to Single Family Home on Myrtle Street 17x 40x27
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Dept: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal Approval Date: 08/17/2005

Note: 8/17/05 received revised site plan

**Ok to Issue:** 

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. Please be reminded that the side setback on the Oxford Street side shall be no further than ten (10) feet from the side property line to any part of the structure.

Dept: Building Status: Approved with Conditions Reviewer: Tammy Munson Approval Date: 09/01/2005

Note:

**Ok to Issue:** 

- 1) As discussed, hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, on every level, and in a common area.
- 2) Separate permits are required for any electrical, plumbing, or heating.
- 3) The basement is NOT approved as habitable space.
- 4) Permit approved based on the plans submitted and reviewed wownerlcontractor, with additional information as agreed on and as noted on plans.
- 5) There must be a 2" clearance maintained between the chimney and any combustible material, and fire blocking per code at each level
- 6) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 7) Separate permits shall be applied for any interior renovations.

Dept: DRC Status: Approved with Conditions Reviewer: Jay Reynolds Approval Date: 08/16/2005

Note:

**Ok to Issue:** 

- 1) A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 2) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext .8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 3) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 4) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

<b>Location of Construction:</b> 63 Myrtle St	<b>Owner Name:</b> Howles Corporation	<b>Owner Address:</b> Po <b>Box</b> 938	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Maine Construction Consultants	<b>Contractor Address:</b> 14 Hanover St Portland	<b>Phone</b> (207) 232-8134
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

**Dept:** Planning

**Status:** Not Applicable

**Reviewer:** Jay Reynolds

**Approval Date:** 08/16/2005

**Note:**

**Ok to Issue:**

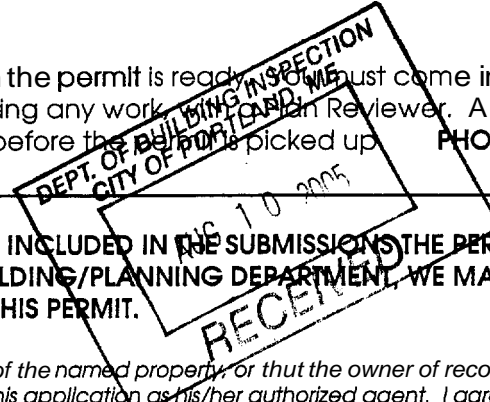
**Comments:**

8/19/05-tmm: spoke w/Tom Blackburn - need better foundation plan and details.

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>MYRTLE STREET</u>		
-Total Square Footage of Proposed Structure <u>1788</u>	Square Footage of Lot <u>2458 SF.</u>	
Lot# <u>K 1</u>	Owner: <u>BAYSIDE NEIGHBORHOOD ASSOC. (P+S)</u>	Telephone: <u>415-0769</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>BAYSIDE NEIGHBORHOOD ASSOC. 24 STONE ST PTD, ME 415-0769</u>	cost Of Work: \$ <u>200,000</u> Fee: \$
Current use: <u>VACA LOT</u>		
If the location is currently vacant, what was prior use: <u>FO BY A HOUSE, NOW PARKING LOT</u>		
Approximately how long has it been vacant: <u>UNKNOWN</u>		
Proposed use: <u>SINGLE FAMILY HOUSE</u> 2 stories		
Project description: <u>10 Mechanic -&gt; Myrtle St. 17x40x27</u>		
Contractor's name, address & telephone: <u>MAINE CONSTRUCTION CONSULTANTS LLC. MT. HANOVER ST PTD. 04101 232-8134</u>		
Who should we contact when the permit is ready: <u>TOM BLACKBURN</u>		
Mailing address: <u>SAME</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work and in Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>232-8134</u>		



IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT. WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>TOM</u>	Date: <u>8/10/15</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

**Zoning Copy**

**2005-0180**

Application I. D. Number

**8/10/2005**

Application Date

**Single Family Home Placed on Lot**

Project Name/Description

**Howles Corporation**

Applicant

**Po Box 938, Portland, ME 04104**

Applicant's Mailing Address

**Tom Blackburn**

Consultant/Agent

**Agent Ph:**

**Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**Myrtle St, Portland, Maine**

Address of Proposed Site

**026 K001001**

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

**1788**

Proposed Building square Feet or # of Units

**2458 sf**

Acreage of Site

Zoning

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Pla \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 8/12/2005

**Zoning Approval Status:**

Reviewer \_\_\_\_\_

- Approved**  **Approved w/Conditions**  **Denied**  
 See Attached

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance \_\_\_\_\_  
 signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**  **Required\***  **Not Required**

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                |  |                 |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____  | _____           |
|   | date           | amount   | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____  |                 |
|   | date           | amount   |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____  | _____           |
|   | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|   | date           |  | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____  | _____           |
|   | submitted date | amount   | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____  |                 |
|   | date           | signature  |                 |

Applicant: Tom Blackburn  
Address: 63 Myrtle St

Date: 8/16/05  
C-B-L: 026-K-001

CHECK-LIST AGAINST ZONING ORDINANCE

Date - vacant land  
Zone Location - <sup>used</sup> R-6 m fill

# 05-112  
Revised plans received  
8/17/05

Interior of corner lot -

Proposed Use/Work - to move a single family home from 10' mechanic St to this site

Sewage Disposal - City

Lot Street Frontage - None req -

Front Yard - <sup>of</sup> ~~None~~ more than 10' - 3' shown

Rear Yard - None (no structure in rear) <sup>however</sup> →

Applicant  
structure on  
corner lot  
will  
not be more  
than 10' from  
the street

Side Yard - 10' or sum of heights  $\div 5 = \frac{26}{25}$   
being shown on the revised plans  $\frac{51}{5} = 10.2'$

At least 15' - o/c  
- 12' scaled  
of the rear yard or one  
of the side yards shall be

Projections - rear 4' x 4' deck & stairs - side porch & stairs

Width of Lot - None

Height - 45' max - 26' given

Lot Area - No minimum under small res. lot dev. } 2700<sup>sq</sup> per  
max lot size = 10000<sup>sq</sup> } assessors

Lot Coverage/Impervious Surface - N/A

Area per Family - 725<sup>sq</sup> per D.U. - 2700<sup>sq</sup> shown

Off-street Parking - 1 req. per - 1 shown

Loading Bays - N/A

Site Plan -  
minor <sup>4</sup> minor 2005-0180  
Shoreland <sup>4</sup> wing/Stream Protection - N/A

Flood Plains - Panel 13 of 17

open space 10 x 15 - 17' x 29' shown on side

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- ✓ Footing/Building Location Inspection: Prior to pouring concrete \* Letter from surveyor.
- ✓ Re-Bar Schedule Inspection: Prior to pouring concrete
- ✓ Foundation Inspection: Prior to placing ANY backfill
- ✓ Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- ✓ Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

\_\_\_\_\_ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date

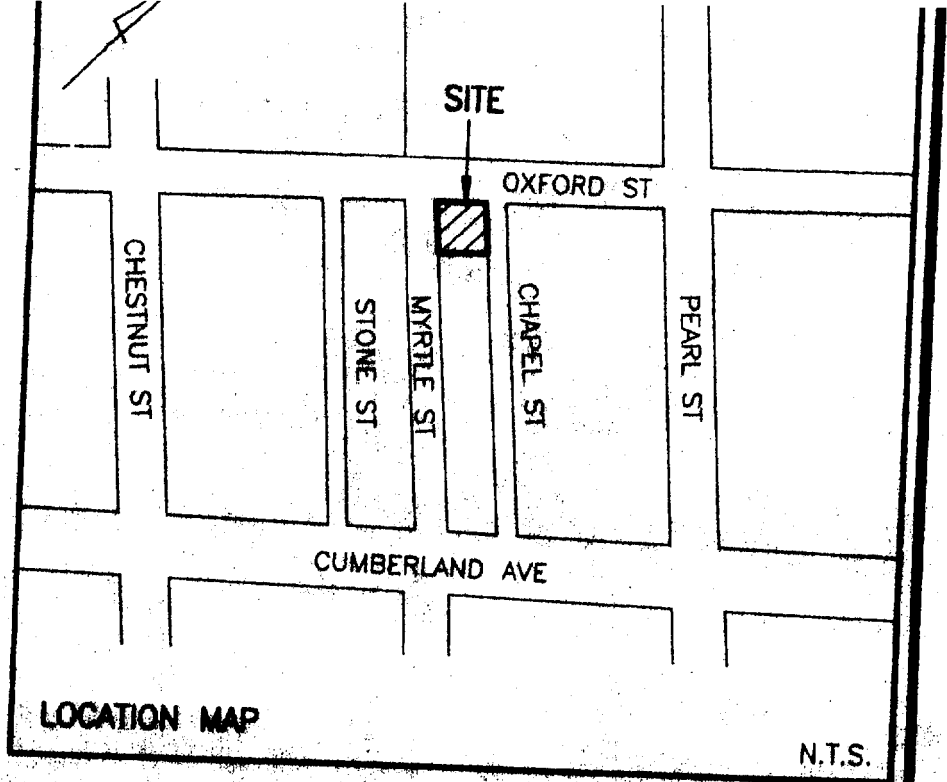
CBL:

26-K-1

Building Permit #:

05-1121





A. FFE = 37'0" (A)

ZONING R-6 INFILL

ALCULATION FOR SIDES setback.

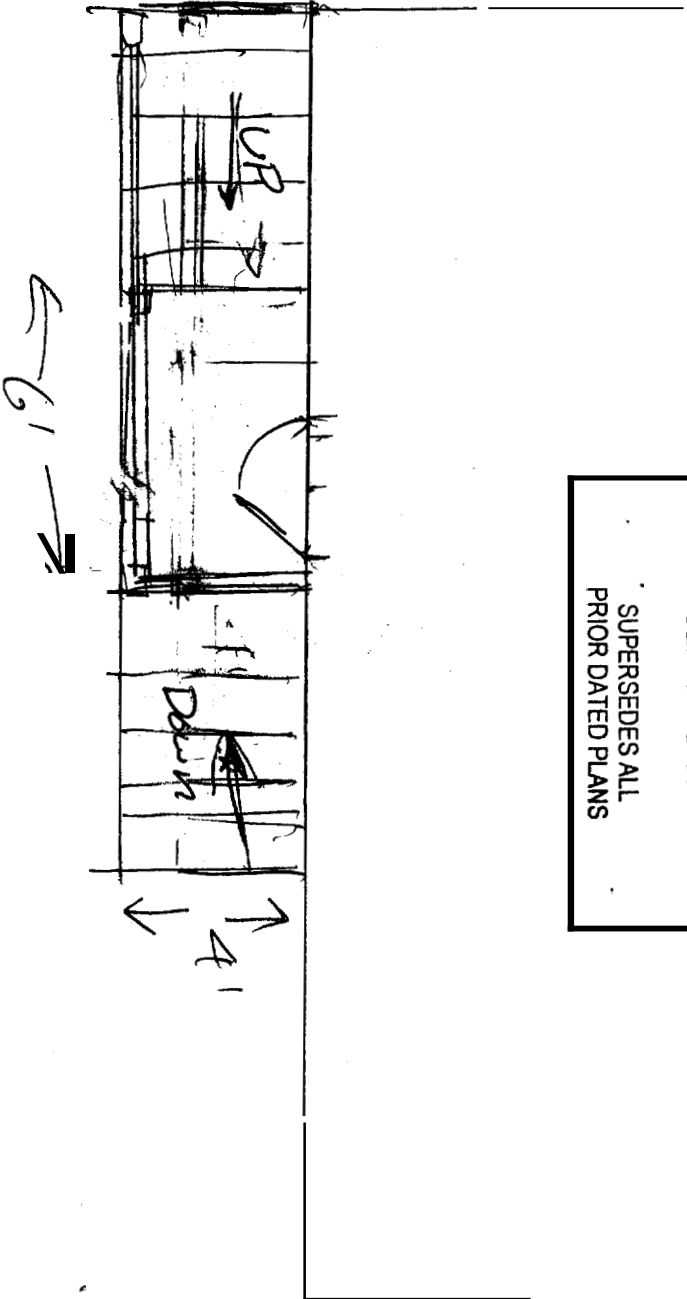
- ADAM HILL GROUND TO CTR OF TOP OF WALL + PEAK = 25'
- PROPOSED HOUSE GROUND TO CTR OF TOP OF WALL + PEAK = 26'

$$25 + 26 = 51 \div 5 = 10.2'$$

CITY OF PORTLAND, MAINE  
APPROVED CONSTRUCTION PLANS

SEP 01 2005

SUPERSEDES ALL  
PRIOR DATED PLANS

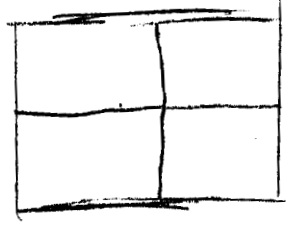
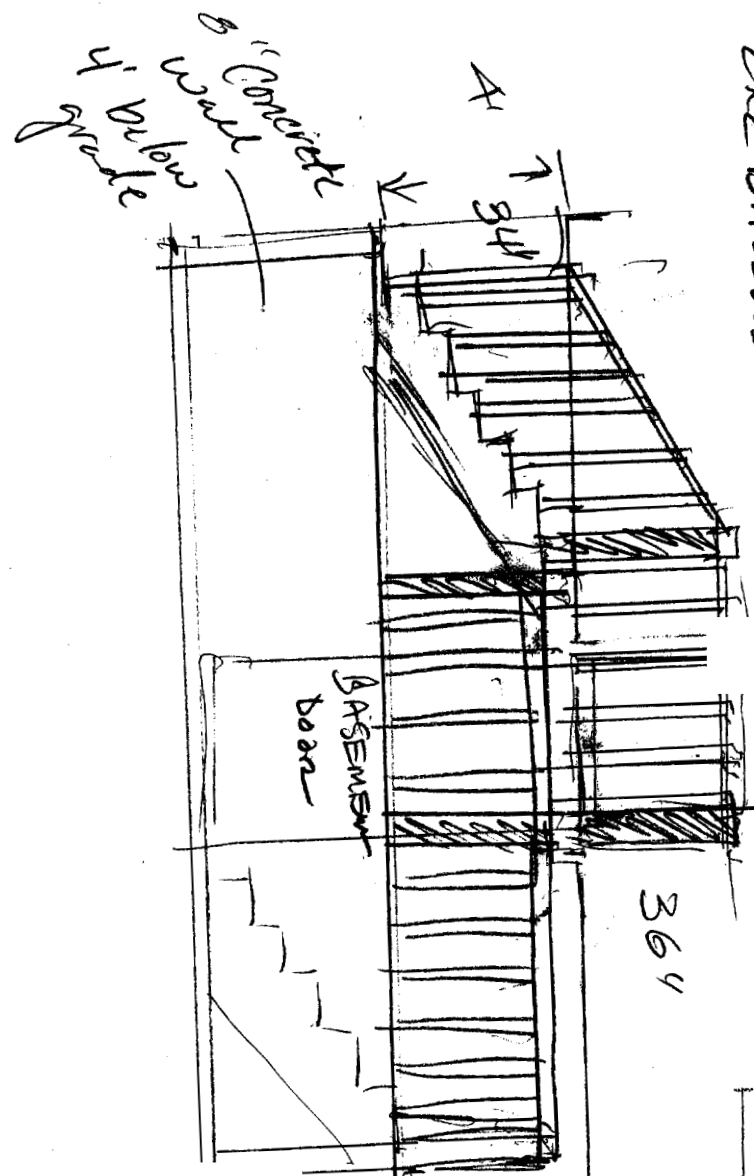


TOP VIEW

BACK REAR DETAIL  
MECHANICAL/MECHANICAL

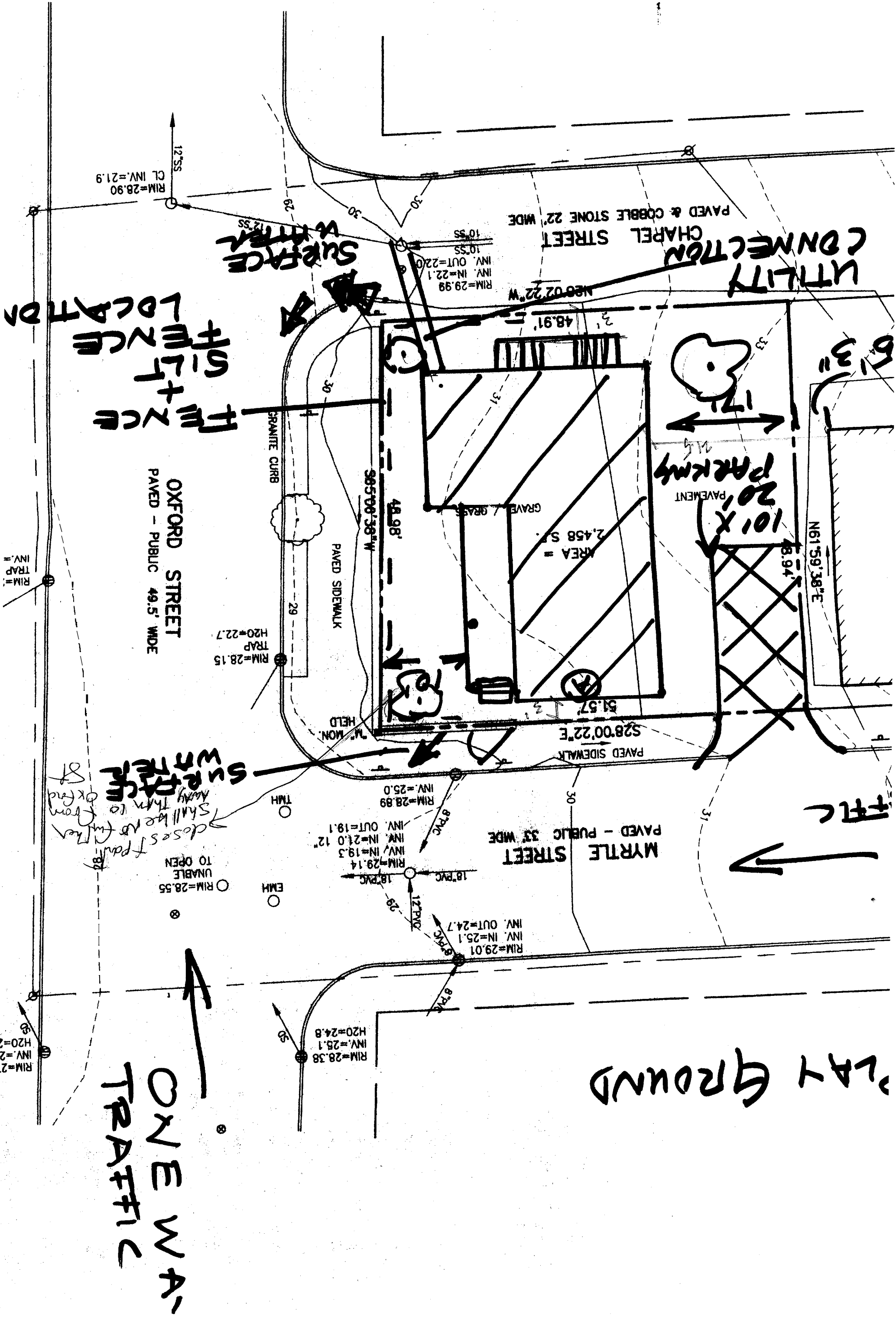
1/4" = 1 Foot

- ① 2x8 PT DECK - 16" OC JOISTS + FRAMING w/hangers
- ② 4x4 PT POSTS Doubled
- ③ 5/4 PT DECKING
- ④ STAIRS STRINGERS
- ⑤ RAIL SYSTEMS 2x6 RAIL w/ 2x2 BALUSTERS
- ⑥ 2x8's beam
- ⑦ BALUSTERS 4" SPACING



CITY OF PORTLAND, MAINE  
 APPROVED CONSTRUCTION PLANS  
 SEP 01 2005  
 SUPERSEDES ALL  
 PRIOR DATED PLANS

SIDE VIEW  
 BACK RAIL DETAIL  
 MECHANIC / MYRTLE STREET



**UTILITY CONNECTION**

**THIS IS THE LOCATION**

**OXFORD STREET**  
PAVED - PUBLIC 49.5' WIDE

**MYRTLE STREET**  
PAVED - PUBLIC 33' WIDE

**CHapel STREET**  
PAVED & COBBLE STONE 22' WIDE

**10' x 20' PARKING**  
PAVEMENT

**LAY GROUND**

**ONE WAY TRAFFIC**

**SURFACE**

**SURFACE**

RIM=21  
INV.=2  
H2O=2

RIM=28.90  
CL INV.=21.9

RIM=28.15  
TRAP  
H2O=22.7

RIM=28.55  
UNABLE TO OPEN

RIM=29.14  
INV. IN=19.3  
INV. OUT=19.1

RIM=28.89  
INV.=25.0

RIM=29.01  
INV. IN=25.1  
INV. OUT=24.7

RIM=28.38  
INV.=25.1  
H2O=24.8

RIM=29.99  
INV. IN=22.1  
INV. OUT=22.0

51.57  
S28°00'22"E

N61°59'38"E

48.98'

505°00'38"W

AREA = 2,458 S.F.

GRAVE / GRASS

GRANITE CURB

PAVED SIDEWALK

PAVED SIDEWALK

M. MON. HELD

TMH

EMH

18" PVC

12" PVC

8" PVC

8" PVC

8" PVC

8" PVC

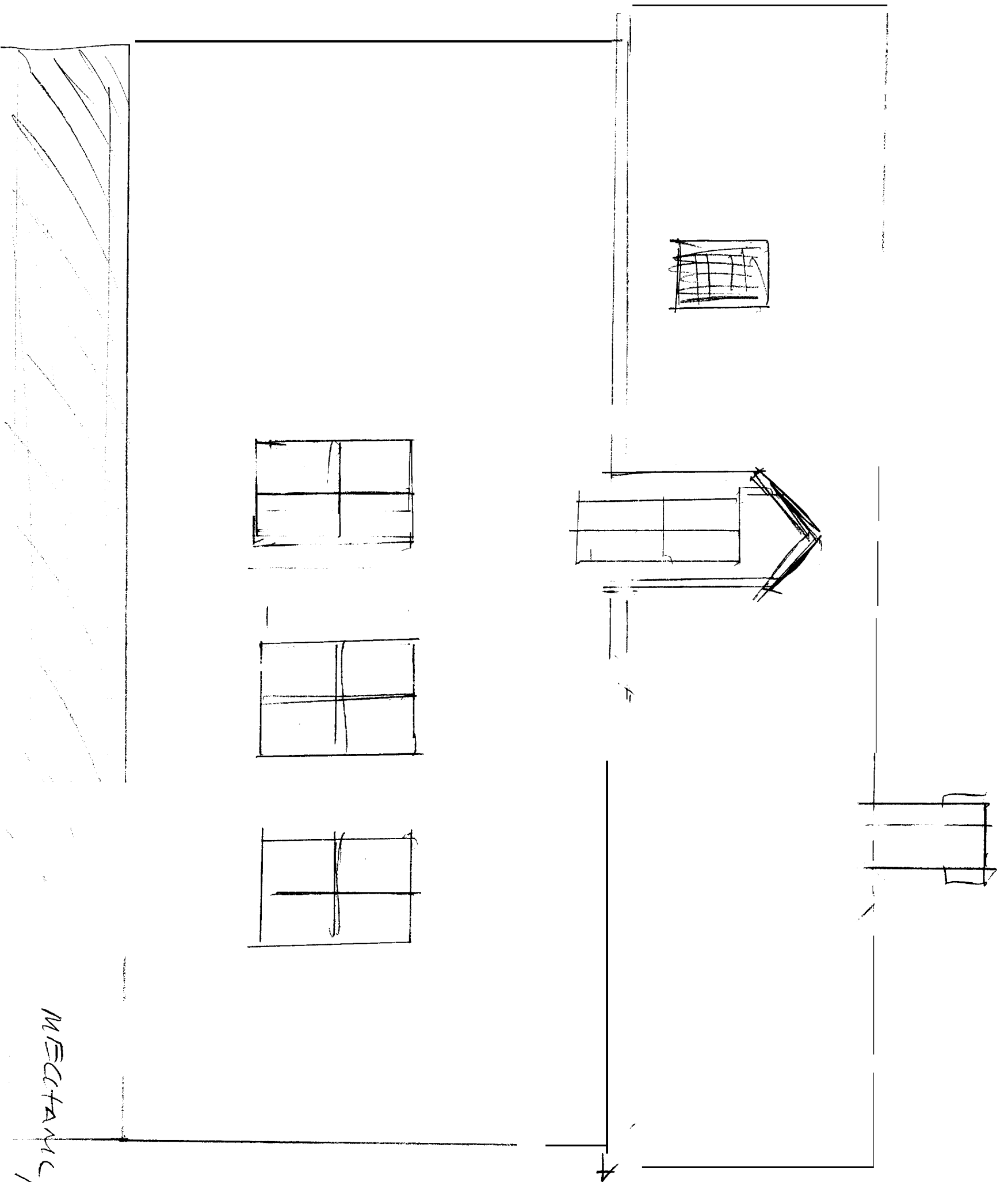
8" PVC

8" PVC

8" PVC

8" PVC

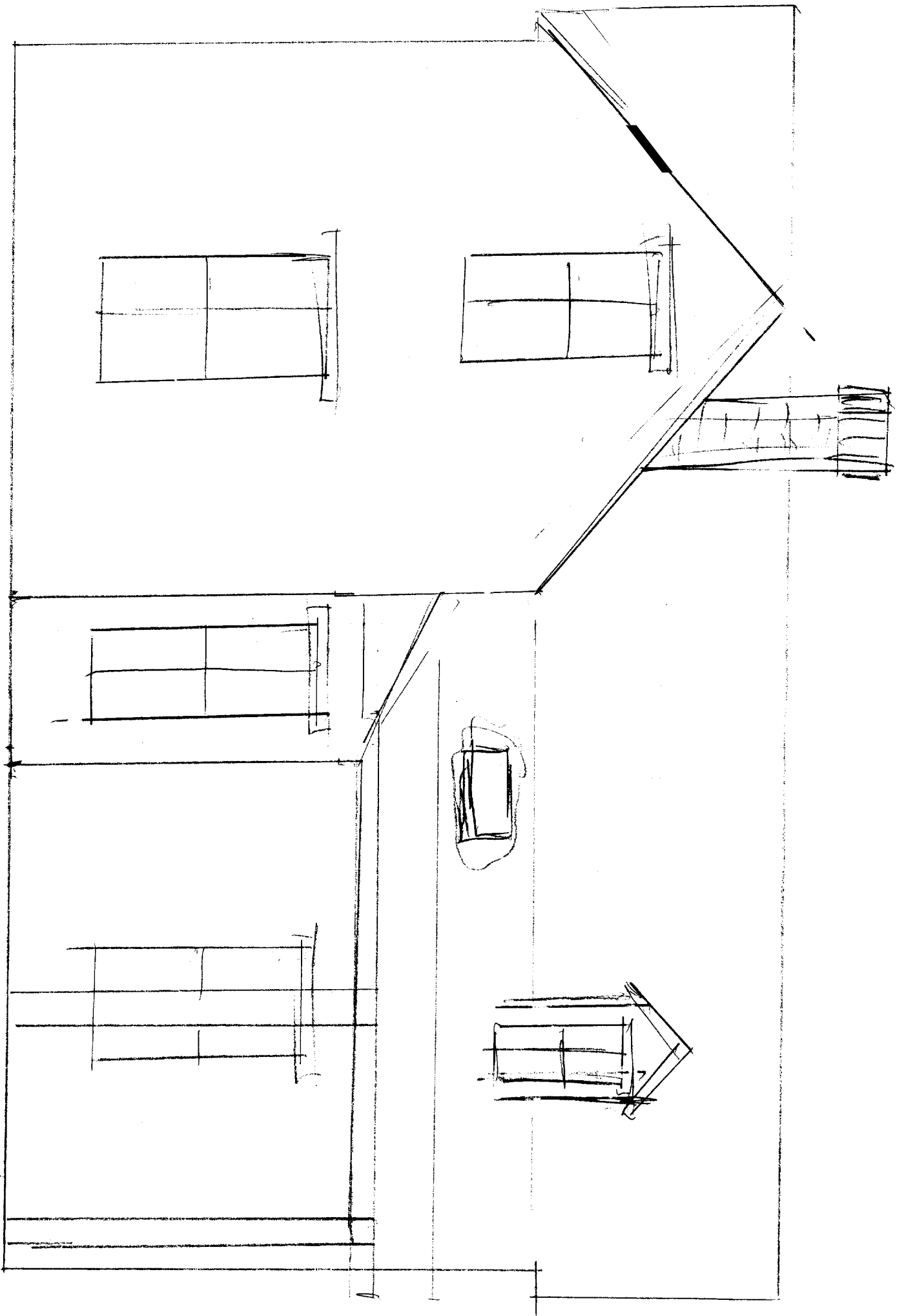
8" PVC



MECHANIC / AIRRUE STAIRS

WEST ELEVATION

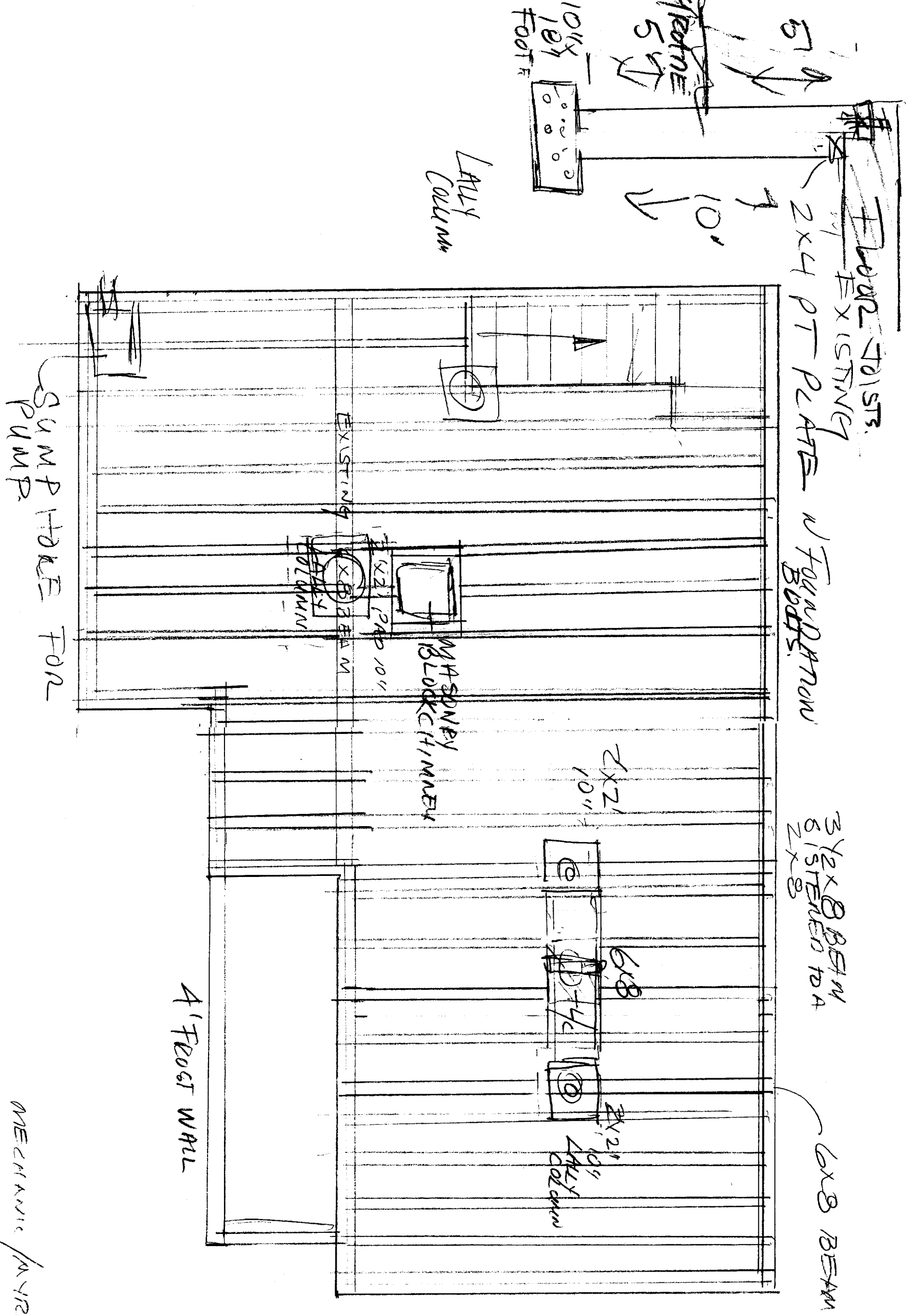
SPAIN Y2011



MECHANIC/MYRTLE

EAST ELEVATION

1/4" = 1'



MECHANICAL SERVICE STREET  
 FOUNDATION BEAM

1/4" = 1 FOOT

1. FLOOR JOISTS. 2X8 Bough, 18" OC.
2. 16" x 10" FOUNDER
3. SUMP HOLE
4. SHELF ON WALL
5. 2X4 PT PLATE DN TO 6" SHELF
6. LALLY COLUMN PAD 2' x 2' 10"
7. MASONRY BLOCK CHIMNEY WITH 3' x 3' 19"
8. 4' FIRST WALL FOR DECK
9. 8" FOUNDATION WALL.
10. DAMP RIGGING BELOW GRADE

RECONSTRUCTION.

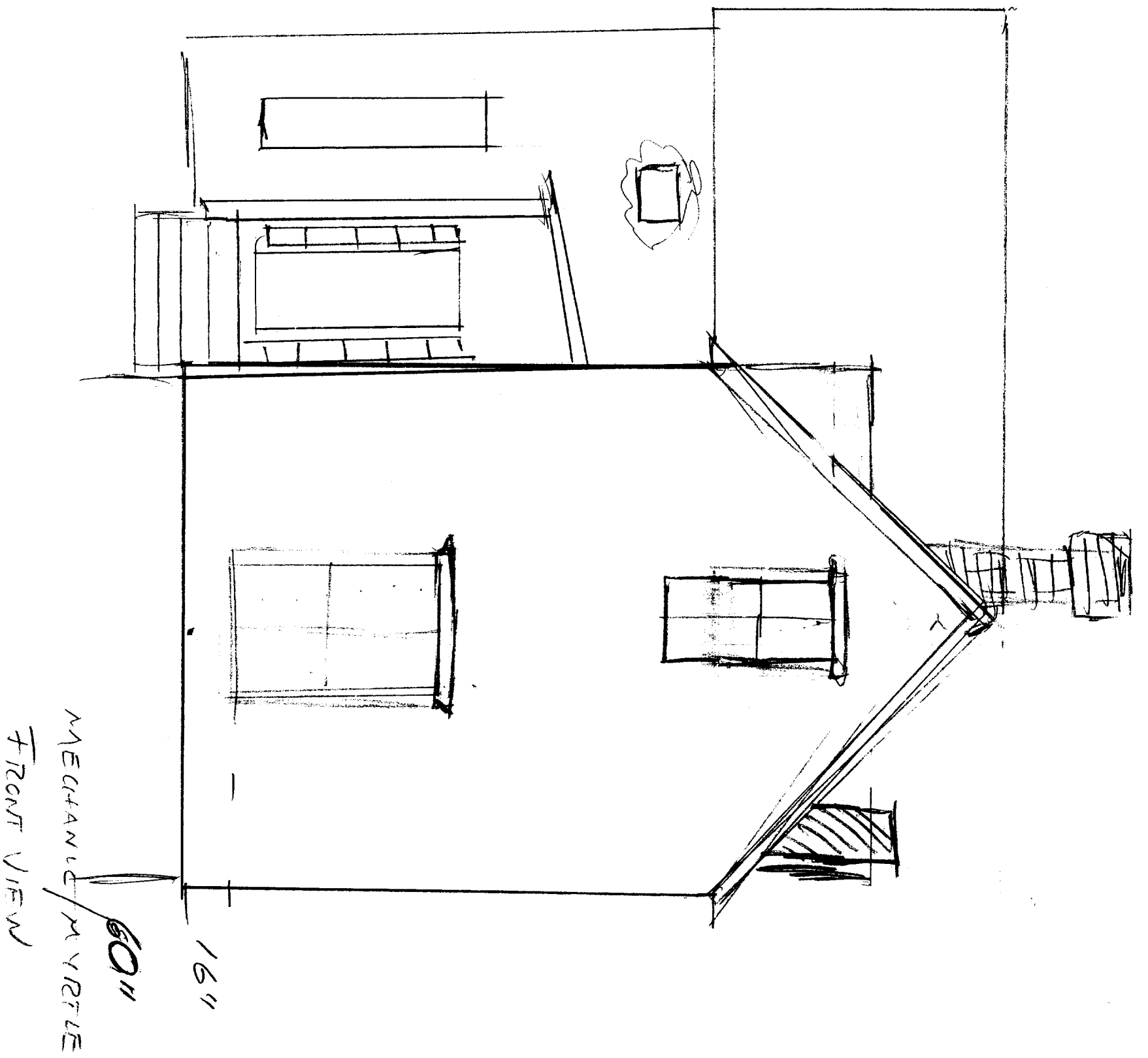
1. ON THE SECOND FLOOR —  
CUT, ALL EXTERIOR W  
STUDS WILL BE SISI  
PLATE TO PLATE

2. ANY WINDOW IN A  
BEDROOM THAT IS  
NOT 5.5 SF WILL

BE REPLACED WITH  
A CROWNED WINDOW  
MEETING EGRESS DIMENSIONS

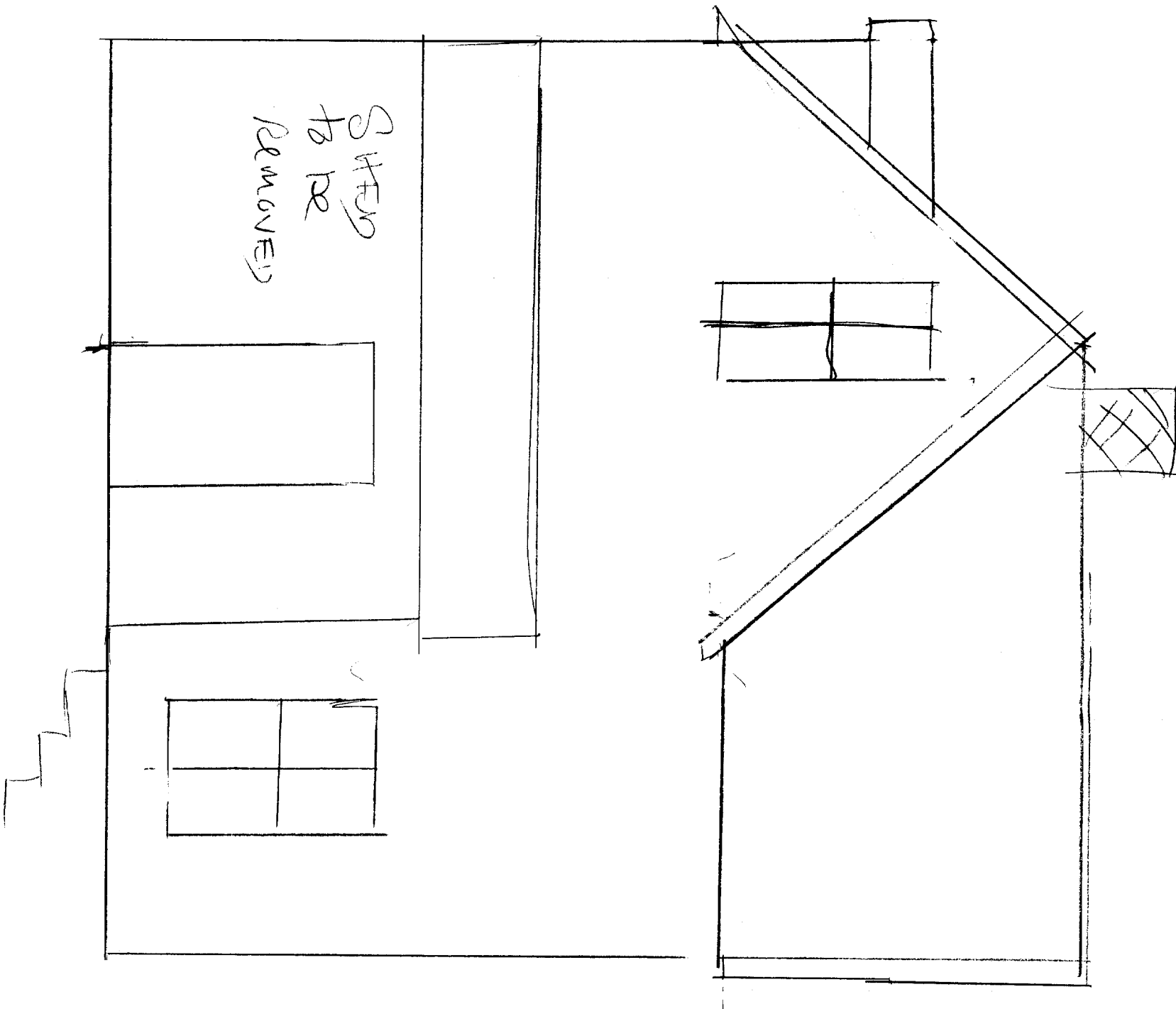
3. SEVERAL WINDOW ARE  
12" FROM THE FLOOR  
ON ANY OF THESE THE  
GLASS WILL BE  
REPLACED WITH SHINY  
GLASS

4.



1/4" = 1'

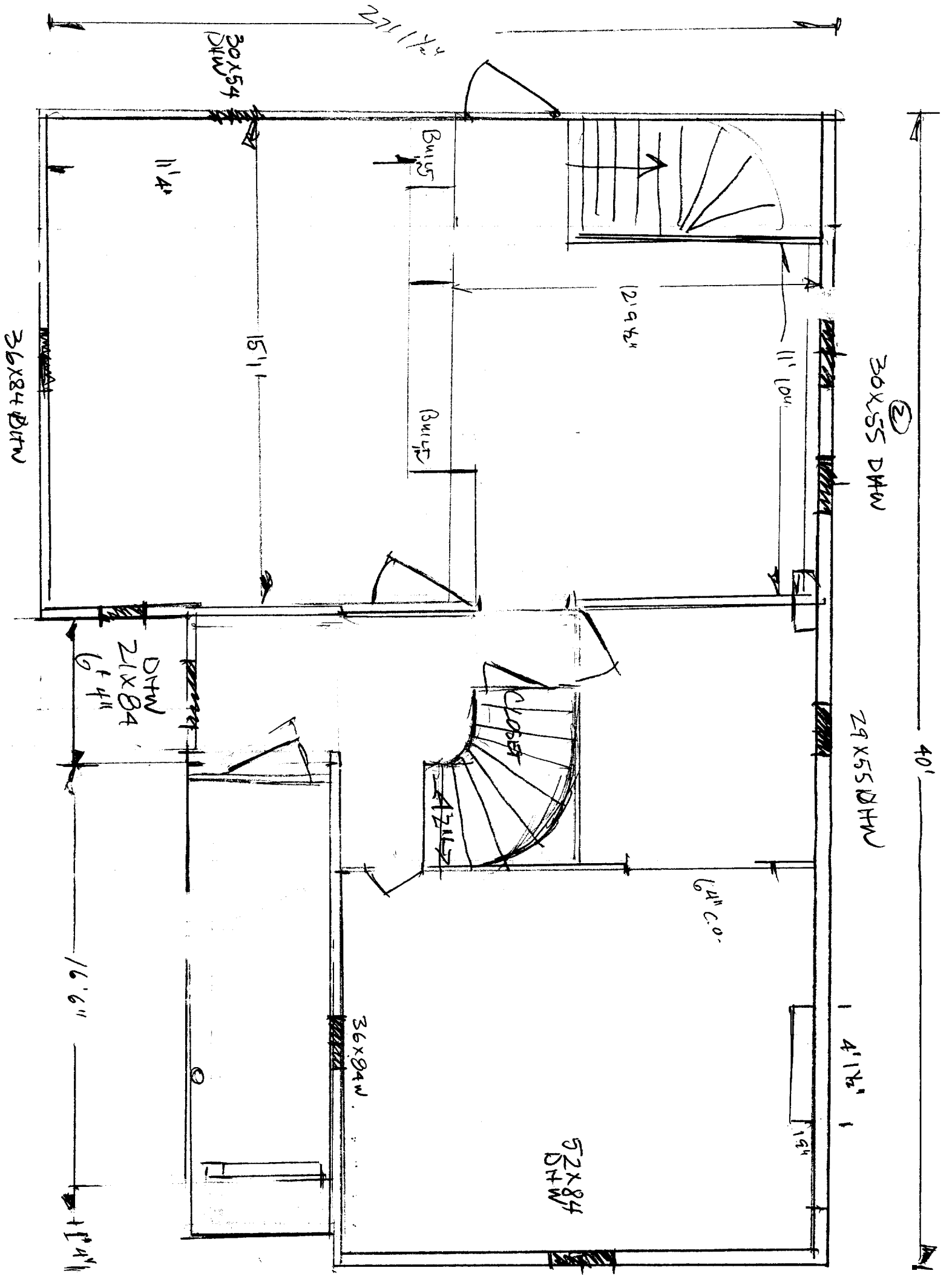




MECHANICAL/MECHANICAL

SOUTH ELEVATION

1/4" = 1'



16' 3"



MECHANICAL / MYRTLE STREET  
1ST FLOOR PLAN

1st Floor

17' 2 1/2"

8' 1 1/2"

1/4" = 1 Foot

**GENERAL NOTES:**

- The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
- Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
- Do not scale plans.
- Sections and details shown on any structural drawings shall be considered typical for similar conditions.
- All proprietary products shall be installed in accordance with the manufacturers written instructions.
- The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie downs. Such material shall remain the property of the contractor after completion of the project.
- All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

**DESIGN LOADS:**

- Building code: INTERNATIONAL BUILDING CODE (IBC 2003)
- Design Live Loads: (Ground snow load = 60PSF)  
Roof.....42 PSF + Drift  
Living areas.....40 PSF
- Design wind loads are based on exposure B using 85 mph basic wind speed.

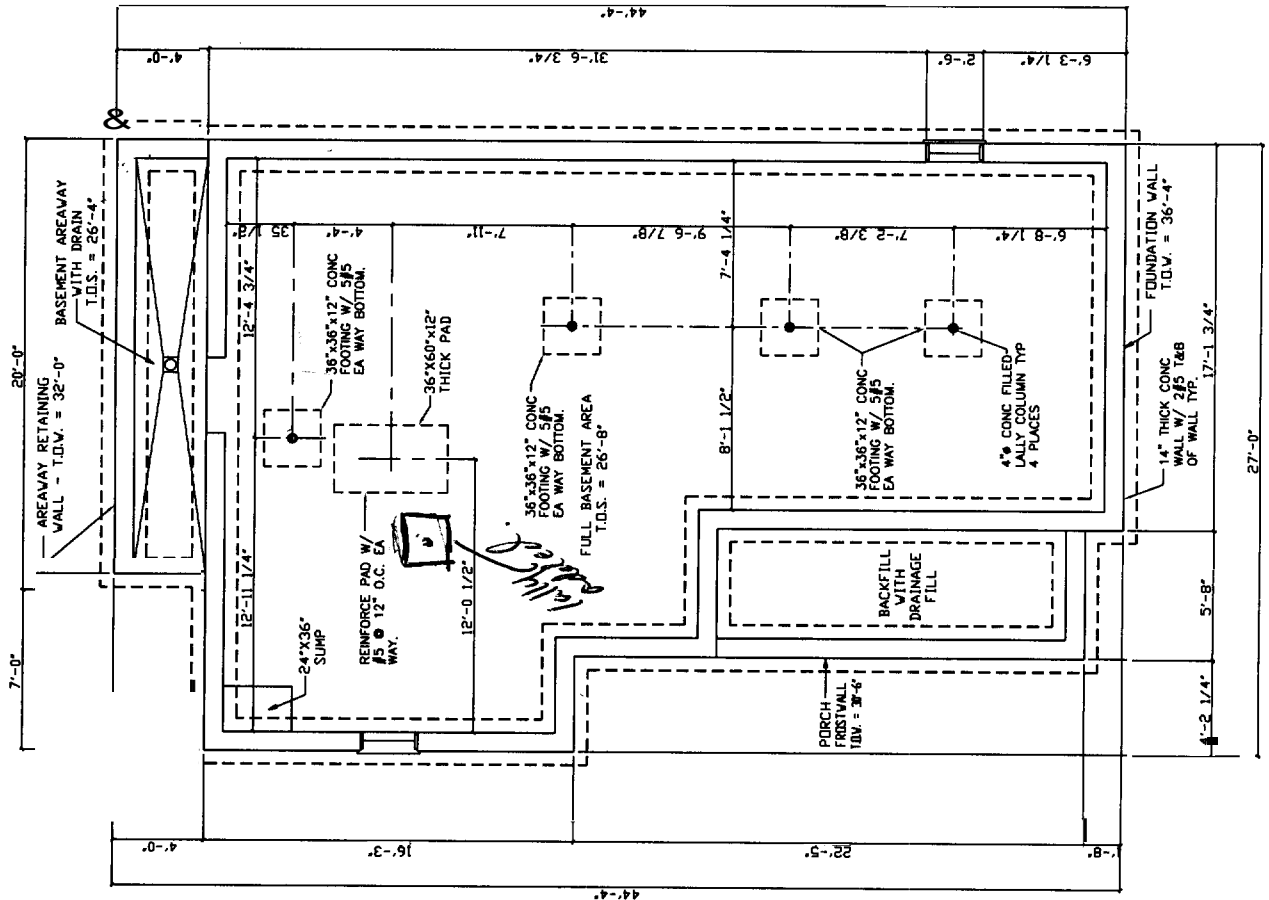
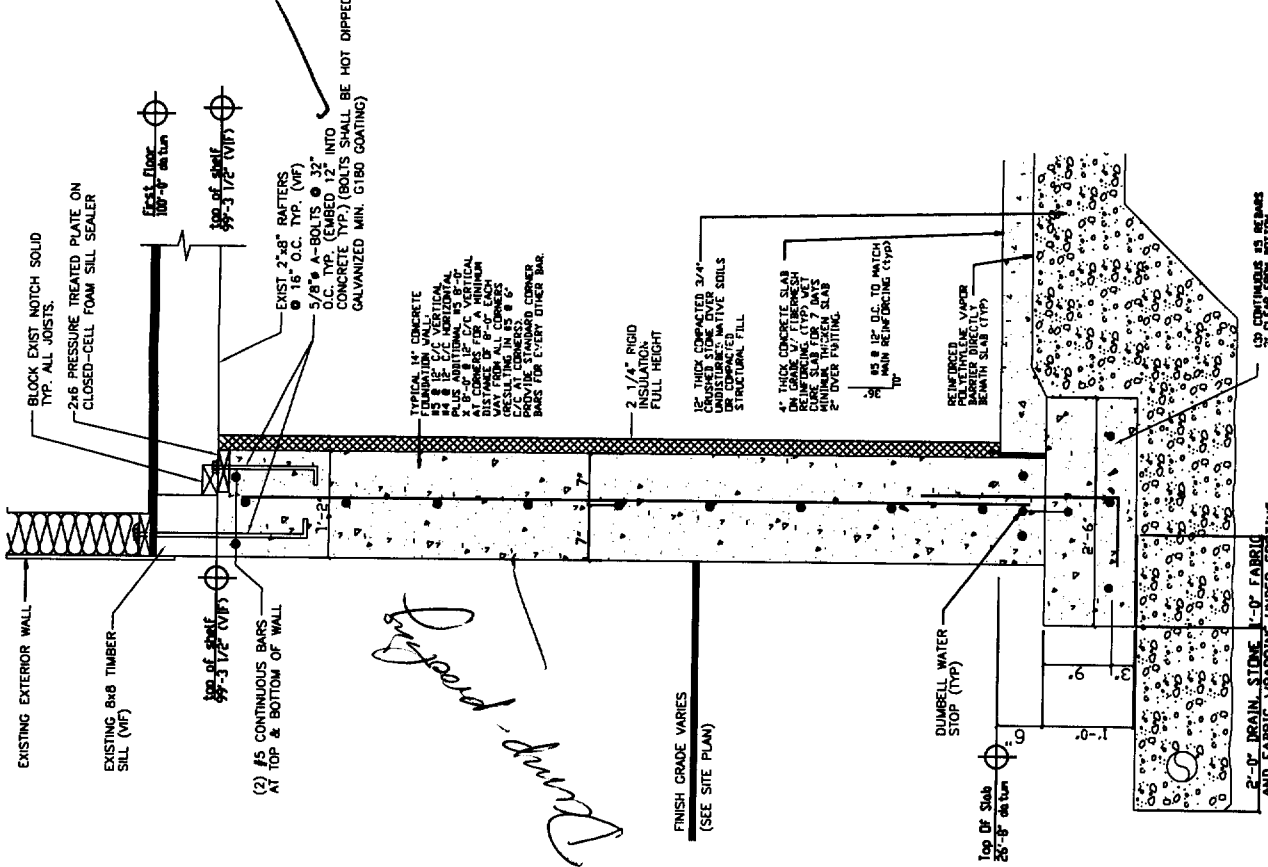
**FOUNDATION NOTES:**

- Foundations have been designed conform with the bearing capacity indicated in IBC 2003 presumptive bearing capacity table.
- Interior spread footings and exterior strip footings shall be founded on native soil or compacted structural fill.
- Exterior strip and spread footings shall be founded on a minimum of 4'-0" below finished grade.
- Basement slab-on-grade shall bear on a minimum of 8" of 3/4" crushed stone if loose or undesirable fills are encountered at the slab sub grade level, they shall be excavated to the surface of the natural soil and replaced with structural fill. Provide 6 mil poly vapor barrier above the crushed stone.
- Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following units:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
6 INCH	100
3 INCH	70-100
NO. 4	35-70
NO. 40	5-35
NO. 200	0-5

- Structural fill beneath slabs shall be placed in layers not exceeding 6" in loose measure and compacted by self propelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ASTM D-1557).
- Under drains shall be placed as required by the owner. Under drains shall be installed to positively drain to a suitable discharge point away from the structure.
- Backfill both sides of foundation frost walls simultaneously where applicable.

*Noted*



CITY OF PORTLAND, MAINE  
APPROVED CONSTRUCTION PLANS  
SEP 01 2005  
SUPERSEDES ALL PRIOR DATED PLANS

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REV.	DATE	DESCRIPTION
A	8-31-05	RELEASED FOR PERMITTING

designed by MFL  
checked by JHL  
date: AUGUST 31, 2005  
plot date: AUGUST 31, 2005  
Project # 25250

MYRTLE STREET HOUSE RELOCATION  
PORTLAND, MAINE  
FOUNDATION PLAN & DETAILS



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