

268-274 CUMBERLAND AVENUE



Full cut # 920R - Half cut # 920R - 1/2 cut # 920R - Full cut # 920R



B2 BUSINESS ZONE



# APPLICATION FOR PERMIT

Class of Building or Type of Structure Detached Sign  
Portland, Maine, March 9, 1970

**PERMIT ISSUED**  
**223**

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 270 Cumberland Ave. near \_\_\_\_\_ Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
 Owner's name and address Getty Oil Co., 27 Fair St., So. Portland Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ So. Portland Telephone \_\_\_\_\_  
 Contractor's name and address Erskine Construction Co., 163A Broadway Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
 Standard Plan \_\_\_\_\_  
 Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_  
 Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_ Fee \$ 2.00  
 Estimated cost \$ \_\_\_\_\_

### General Description of New Work

To change existing "Flying A" sign <sup>30 square feet in</sup> ~~at~~ diameter to Getty 29 square feet as per standard plan filed today  
 Sign to be on existing foundation - steady lighting

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO OWNERS**

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
 Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing Lumber \_\_\_\_\_ and \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Joists \_\_\_\_\_ Sills \_\_\_\_\_  
 Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes Getty Oil Co.

APPROVED:

*Permit issued with*  
Eric [unclear]  
0101 12-12 3/11/70

CS 331

INSPECTION COPY

Signature of owner By:

*A. L. Crook*  
 Maintenance Supervisor *PH*

Permit No. 70/243

Location 270 Quakerball Rd.

Owner Westco Oil Company

Date of permit 3/11/20

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy Issued

Staking Out Notice

Form Check Notice

NOTES

4-24-20  
Installed  
[Signature]

[Large X mark across the notes section]



(D) LIMITED BUSINESS ZONE

# APPLICATION FOR PERMIT

Class of Building or Type of Structure Installation  
Portland, Maine, June 29, 1951

PERMIT ISSUED  
01199  
JUL 3 1951  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~construct~~ install the following building ~~and~~ ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 270 Cumberland Avenue Within Fire Limits? yes Dist. No. \_\_\_\_\_  
 Owner's name and address Tidewater Corp., 270 Cumberland Avenue Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address Ralph Romano, 322 Spring Street Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
 Proposed use of building Service Station No. families \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_  
 Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Estimated cost \$ \_\_\_\_\_ Fee \$ 1.00

### General Description of New Work

To install 1-2000 gallon storage tank for gasoline. Storage to be for public use. Tank will be 3' underground and painted with asphaltum. Tank bears Underwriters label. This tank is in addition to existing tanks. 10 pumps to be installed. 1 1/2" piping from tank to pump.

BEFORE Covering Tank and any Piping APPROVAL of FIRE DEPT. Required.

Heat to Fire Dept. 6/29/51  
Received from Fire Dept. 7/3/51  
CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Ralph Romano

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
 Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

*[Signature]*  
CITY OF PORTLAND

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes  
Tidewater Corp.

INSPECTION COPY

Signature of owner BY: Ralph Romano by Althomand



**Memorandum from Department of Building Inspection, Portland, Maine**

270 Cumberland Avenue--Installation of gasoline storage tank for Tidewater Corp.  
by Ralph Romano, installer--7/3/51

Before tank and piping is covered from view, installer is required to notify Fire Department headquarters of readiness for inspection and to refrain from covering up until approved by the Fire Department.

This tank of 2000 gallon capacity is required to be of steel or wrought iron no less than No. 7 gauge in thickness and before installation is required to be protected against corrosion, even though galvanized, by two preliminary coats of red lead and heavy coat of hot asphalt or equivalent.

Pipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double swing joints arranged to permit the tank to settle without impairing the efficiency of the pipe connections.

Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

If tank will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or weighing must be provided to prevent "floating" when tank is empty or nearly so.

S

CC: Tidewater Corp.  
270 Cumberland Avenue  
Oliver T. Sanborn, Chief  
of the Fire Department

(Signed) Warren McDonald ✓  
Inspector of Buildings



22

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

02487

CITY OF PORTLAND

Portland, Maine, Dec 5, 1950 Application completed 12/12/50

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

A-ESS

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 255 Chestnut St. Use of Building Filling Station. Stories 1. New Building Existing. Name and address of owner of appliance Tide Water Associated Co. Installer's name and address Eastern Oil & Equipment Co. Telephone 3-6495

General Description of Work

To install Shafernaire Overhead heater (oil unit)

IF HEATER, OR POWER BOILER

Location of appliance or source of heat Suspended unit. Type of floor beneath appliance Concrete. Kind of fuel oil. Minimum distance to wood or combustible material, from top of appliance or casing of furnace 1.8'. From top of smoke pipe 2'. From front of appliance 1.0'. From sides and back of appliance 5'. Size of chimney flue 10.2.14. Other connections to same flue None. If gas fired, how vented? Rated maximum demand per hour 1.6 P.H.

IF OIL BURNER

Name and type of burner Shafernaire. Labeled by underwriters' laboratories? Yes. Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? Top. Type of floor beneath burner Concrete (suspended). Location of oil storage outside, unenclosed. Number and capacity of tanks 1-50.0. If two 275-gallon tanks, will three-way valve be provided? Will all tanks be more than five feet from any flame? Yes. How many tanks fire proofed? Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance. Kind of fuel. Type of floor beneath appliance. If wood, how protected? Minimum distance to wood or combustible material from top of appliance. From front of appliance. From sides and back. From top of smokepipe. Size of chimney flue. Other connections to same flue. Is hood to be provided? If so, how vented? If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Remodeling Station. SAWYER HEATING Co. Mfr. of UNIT DETROIT, MICH. We did not install tank - Tank was already there. 8 feet above floor. To bottom of unit.

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

O.K. E.S. 8:12/13/50

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Eastern Oil & Equipment Co. J.C. Miller



TELEPHONE 3-5495

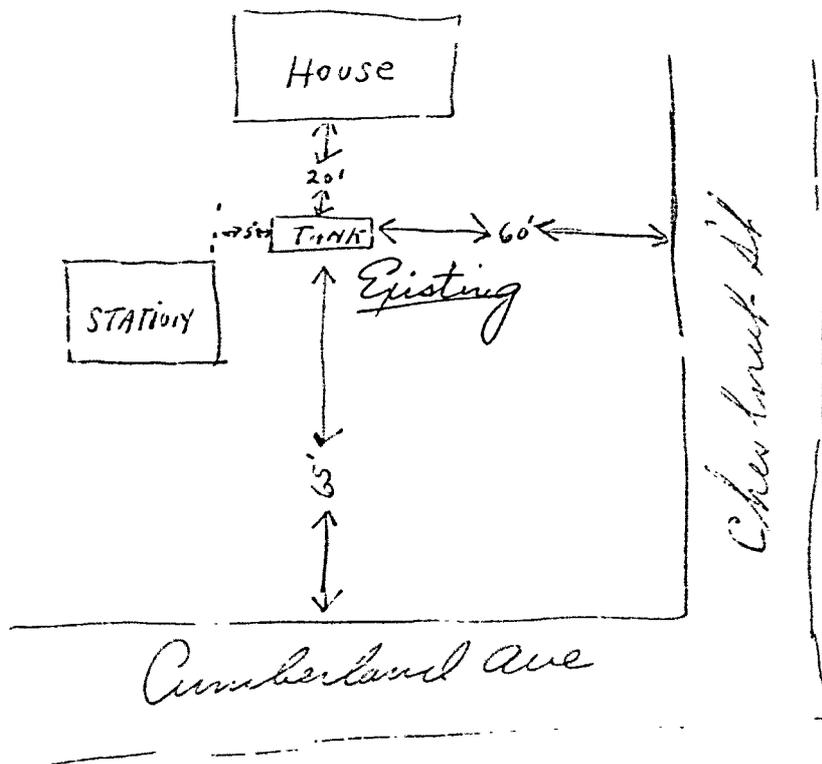
J. F. CIPRIANO, PRES.

# EASTERN OIL BURNER SERVICE COMPANY

MANUFACTURERS OF AUTOMATIC OIL BURNERS  
DISTRIBUTORS OF GASOLINE & OIL HANDLING EQUIPMENT  
HEATING ENGINEERS

27 PORTLAND STREET

PORTLAND 1, MAINE



Tydol Station.  
Corner Chestnut & Cumberland  
Ave.



25) LIMITED BUSINESS ZONE  
APPLICATION FOR PERMIT

Class of Building or Type of Structure Service Station  
Portland, Maine, August 17, 1950

PERMIT ISSUED  
01850  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

This undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 270 Cumberland Avenue Within Fire Limits? yes Dist. No. \_\_\_\_\_  
Owner's name and address Tide Water Associated Oil Co., 17 Lettery Place Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address Not let Ralph Roman, Jr. Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications yes Plans yes No. of sheets 4  
Proposed use of building Service Station No. families \_\_\_\_\_  
Last use \_\_\_\_\_ " " \_\_\_\_\_ No. families \_\_\_\_\_  
Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ 5,000. Fee \$ 5.00

General Description of New Work

To construct addition 11' x 14' on side and rear of service station and altering present building as per plans submitted.

Permit Issued with Letter \_\_\_\_\_

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO 1150 Park St. Building, Boston, Mass. Tide Water Assoc. Oil Co., H. T. McCarthy

Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Tide Water Associated Oil Company

APPROVED:

with letter by AJS

Signature of owner By: H. T. McCarthy

1150 PARK ST. BLDG.  
BOSTON, MASS.

INSPECTION COPY

NOTES

10/20/50 Work started  
 11/14/50 Confirmed installation  
 12/12/50 Let G.I. to close  
 in with work as shown on  
 plumbing to be covered until  
 inspected by [unclear]

Permit No. 59/1050  
 Location 270 Central Ave.  
 Owner Little Water Co. B.P.  
 Date of permit 10/21/50  
 Notif. closing-in 12/12/50  
 Inspn. closing-in 12/21/50  
 Final Notif.  
 Final Inspn.  
 Cert. of Emergency Board

12/13

[Large area of blank lined paper with a diagonal line drawn across it]

107

270 Cumberland Avenue-1

October 4, 1950

Tide Water Associated Oil Company  
Attn: Fr. H. T. McCarthy  
1150 Park Square Building  
Boston, Massachusetts

Copy to: Ralph Romano, Jr.  
324 Spring Street

Gentlemen:

The permit for alterations and additions to the existing service station building at 270 Cumberland Avenue, corner of Chestnut Street, this City is issued herewith. It is understood that the foundation walls of the addition are to be of poured concrete instead of concrete blocks and that they are to extend high enough above the finished grade of the ground outside them to keep the unsupported height of the 8" concrete block walls above them within the limit of twelve feet set by the Building Code. It is also understood that a reinforced concrete lintel similar to that indicated for L-8 on the plans is to be provided for the opening in the front wall of the office section.

Separate permits issuable only to the actual installers are required for the installation of the new heating system and the new tanks and pumps, if any.

Very truly yours,

Warren McDonald  
Inspector of Buildings

AJS/G

AP 270 Cumberland Avenue-  
corner of Chestnut Street-I

September 27, 1950

Tide Water Associated Oil Company  
Attn: Mr. H. T. McCarthy  
1150 Park Square Building  
Boston, Massachusetts

Gentlemen:

A check of the revisions and additions made to the plans for the alterations to the existing service station building at 270 Cumberland Avenue, corner of Chestnut Street, this City, in answer to our letter of August 28, 1950 still leaves in question construction to be provided in connection with two of the details covered in that letter. These are as follows:

1. It is not clear how you plan to overcome the excessive height of the 8" masonry walls of the lubricatorium section of the building. As noted in Paragraph #8 of our previous letter, this height is limited to 12' from the grade to the underside of the roof timbers where anchorage to the walls is to be provided. Indication has been made in crayon on the plans that the foundation for the rear wall of this section is to be made 12" thick instead of the 8" originally indicated, but there is no indication as to whether this thickness of wall is to be carried above the ground level. In any case if the walls are to be increased in thickness to provide compliance with Building Code requirements, the thickness of the front and end walls will also need to be increased. Just what is intended in this respect?

2. In regard to the question raised in Paragraph #4 of our earlier letter, it is apparently the intention to use 8" cinder blocks instead of wood studs covered both sides with metal lath and plaster for the panel of the front wall of the office section above the show window. This will meet Building Code requirements, but indication is needed as to the size and type of lintel to be provided to support this masonry across the show window opening. Since this opening is more than 10' wide, fireproofing of a steel lintel will be required if the height of the masonry wall above the top of the lintel is to exceed four feet. However, since reinforced concrete lintels are indicated for the other openings in the walls of the building, it is likely that you will wish to use a lintel of similar construction at this location. In such a case information as to the construction of the lintel similar to that shown on the plans for the other lintels is needed.

As soon as information has been furnished in regard to the above details and the name of the contractor has been furnished, we shall be in a position to issue the building permit for the proposed construction.

Very truly yours,

Warren McDonald  
Inspector of Buildings

AJS/G

AP 270 Cumberland Avenue-I

September 11, 1950

Tide Water Associated Oil Company  
Attn: Mr. H. T. McCarthy  
31 St. James Street  
Boston 16, Massachusetts

Gentlemen:

Your letter of September 6, 1950 regarding your application for permit for additions and alterations to service station at 270 Cumberland Avenue, this City, has been received and contents noted. Some method of taking care of the questions raised in our letter of August 28, 1950 than your proposal of making that letter a part of the plans and specifications will need to be adopted to satisfy Building Code requirements. It will be acceptable if you will outline in detail by letter, a copy of which will be given to the contractor, the manner in which each of the items in our letter are to be taken care of and will mark on the plans already filed at this office whatever changes are necessary to accomplish compliance with Building Code requirements. It should be noted that the responsibility for notifying the owner of the adjoining property of intention to excavate close to the lot line is that of the owner of the service station rather than the contractor.

Very truly yours,

Warren McDonald  
Inspector of Buildings

AJS/G



TIDE WATER ASSOCIATED OIL COMPANY

(INCORPORATED)

EASTERN DIVISION

31 ST. JAMES AVENUE - BOSTON 16, MASSACHUSETTS

TELEPHONE: HANCOCK 6-7703

NEW ENGLAND  
SALES DEPARTMENT

*Handwritten notes:*  
OK  
9/7/50

September 6, 1950

Mr. Warren McDonald  
Inspector of Buildings  
City Hall  
Portland, Maine

Re: Your File A.P. 270 Cumberland Ave.-I  
(Service Station #1215)

Dear Mr. McDonald:

Your letter of August 28, 1950 covering corrections which are to be made on our construction drawings on file at your office has been received and forwarded to our New York Office.

In order to expedite the issuance of Building Permit, would it be agreeable with your office if the required items listed in your letter are made part of the plans and specifications when this job is awarded to a contractor?

According to our contract specifications, the contractor is required to meet all rules and regulations imposed by the local building code.

The statement of design will be filled out and signed and returned to your office.

Yours very truly,

TIDE WATER ASSOCIATED OIL COMPANY

*H. T. McCarthy*  
H. T. McCarthy  
Service Station Engineer



HIM:b



At 270 Cumberland Avenue-I

August 28, 1950

Tide Water Associated Oil Company  
Attn: Mr. H. F. McCarthy  
1150 Park Square Building  
Boston, Massachusetts

Gentlemen:

A check of the plans filed with the application for alterations and additions to the existing service station building at 270 Cumberland Avenue, corner of Chestnut Street, this City raises the following questions as to compliance with Building Code requirements:

1. As specified by Section 204-b-1 of the Building Code, the parapet on the rear wall of the building is required to be at least 32" high because this wall of the building will be closer than 5' to the lot line. - OK
2. The small door in the easterly end wall of the addition is required to be a standard fire resistant door as specified by Section 204-b-4 of the Code set in a structural metal frame. Wire glass panels are allowable however. - OK
3. There is no indication that strap iron anchors at least 3/8" x 1 1/2" x 16" long are to be attached to the bottoms of the new rafters at intervals not exceeding 8' for anchorages to the masonry walls. Where the roof joists run parallel to the walls, anchors are required to be long enough to engage three joists. See Section 302-c-1. - OK
4. Because the building is required to be of Second Class Construction or better both because of its use and its location in Fire District #1, the wood stud and stucco panel in the front wall of the office section is not permissible. See Section 302c. - OK
5. The metal chimney indicated is not allowable, but one of masonry construction is required. See Section 602a. - OK
6. Owner is required to give notification in writing to the owner of the adjoining property at the rear of the building of his intention to excavate close to the lot line, as provided by Section 307-a-4. A copy of such notice should be sent to this department. - OK
7. Foundation walls should be extended across the large door openings. - OK
8. The height of the 8" masonry walls is not allowed to exceed 12' from the grade to the underneath side of the roof timbers where the anchorage to the walls is provided. The plans indicate that the walls of the higher portion of the building will exceed this height to some extent. If the foundation walls were to be made of poured concrete, it would be allowable to extend them above the grade high enough to bring the height of the concrete block superstructure within the limits set by law. In any case it is not allowable to use cinder concrete blocks below grade. - OK
9. The 2x8 rafters spaced 16" on centers as indicated for the roof of the service area do not figure to take care of the required live load of forty pounds per square foot plus the dead loads involved, but will do so if spaced 12" on centers. The 2x10 rafters spaced 16" on centers over the storage room do not figure to take care of the plaster ceiling of the storage room. - OK

Tide Water Associated Oil Company-----2

August 28, 1950

10. A blank statement of design to be filled out and signed by the person responsible for the design of the structural steel lintels and returned to this office is enclosed. *OK*

11. What is to be provided in roof framing for the support of the ceiling furnace and how is it to be hung thereto? This furnace is required to bear the label of the Underwriters Laboratories, Inc. certifying it for use in a building where inflammable vapors may be present and must be located at least eight feet above the floor and not more than fifteen feet above the fuel supply.

Information is needed as to how all of the above details are to be taken care of in compliance with Building Code requirements before the permit for the work may be issued. We shall appreciate receiving the name of the contractor as soon as he has been selected.

Very truly yours,

Warren McDonald  
Inspector of Buildings

AJS/G

Enclosure: Copy of this letter to Mr. McCarthy for home office.  
Blank statement of design

September 20, 1950

Mrs. Ida B. McAfee  
25 Chestnut St.  
Portland, Maine

Re: S.S. #1215  
270 Cumberland Ave.  
Portland, Maine

Dear Mrs. McAfee:

The Tide Water Associated Oil Co. plans to remodel our service station building at 270 Cumberland Ave., Portland, Maine.

Complying with section 307-a-4 of the City of Portland Building Code, we are hereby notifying you that we will excavate close to your lot line.

Please be assured that your property will be protected and that when our proposed work is completed, your property will remain in its original condition.

Very truly yours,

TIDE WATER ASSOCIATED OIL CO.

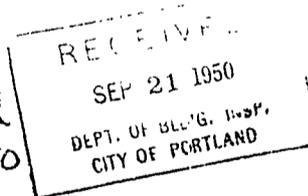
*H. F. McCarthy*

H. F. McCARTHY  
Service Station Engineer

HMcC/hcg

CC: Mr. Warren MacDonald ✓  
Dept. of Building Inspection  
City Hall  
Portland, Maine

*Mrs. McAfee acknowledged  
receipt of this letter 9/26/50*



STATION  
BUILDING

TIDE WATER OIL Co.

CHESTNUT ST.

□ GAS □ PUMPS □

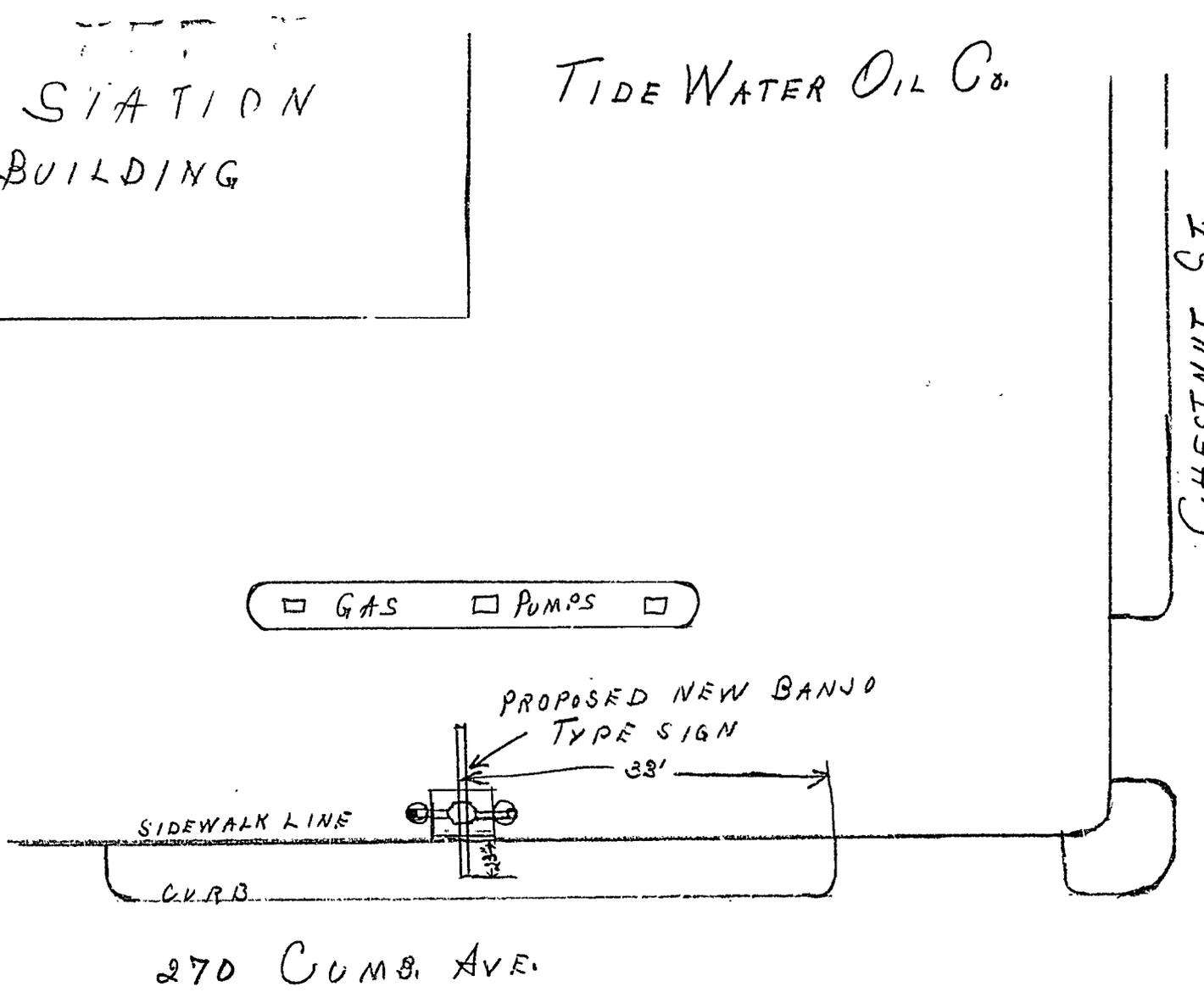
PROPOSED NEW BANJO  
TYPE SIGN

33'

SIDEWALK LINE

CURB

270 CUMB. AVE.





(3) GENERAL BUSINESS ZONE Permit No. ISSUED

APPLICATION FOR PERMIT TO ERECT SIGN 2059  
OVER PUBLIC SIDEWALK OR STREET NOV 14 1939

Portland, Maine, November 13, 1939 19

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 270 Cumberland Avenue

Within Fire Limits? yes Dist. No. 1

Owner of building to which sign is to be attached \_\_\_\_\_

Name and address of owner of sign Tidewater Oil Co., 7 Main St., Portland

Contractor's name and address N. T. Simmons, 191 St. John St.

Telephone 3-0531

When does contractor's bond expire? May, 1940

Information Concerning Building

No. stories \_\_\_\_\_ Material of wall to which sign is to be attached \_\_\_\_\_  
Erected on steel column

Details of Sign and Connections

Electric? Canopy lighted Vertical dimension after erect: 0' Horizontal: 6'

Weight 275 lbs. Will there be any hollow spaces? no Any rigid frame? yes

Material of frame steel No. advertising faces 2, material steel

No. rigid connections 2 Are they fastened directly to frame of sign? yes

No. through bolts 4, Size 5/8", Location: top or bottom bottom

No. guys no, material \_\_\_\_\_, Size \_\_\_\_\_

Minimum clear height above sidewalk or street 12'

Maximum projection into street 23"

Fee \$ 1.00

Signature of contractor N. T. Simmons

INSPECTION COPY

REQUIREMENT OF COLORADO  
REQUIREMENT IS WAIVED





FILL IN COMPLETELY AND SIGN WITH INK

GENERAL BUSINESS ZONE

PERMIT No. 0035

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, January 22, 1936

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location: 270 Cumberland Avenue Use of Building: Filling Station
Name and address of owner: Tide Water Oil Co., Ward 4
Contractor's name and address: P. Reuben & Co., 253 Doering Ave., No. 8491

General Description of Work

To install Hot Water

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? yes If not, which story? Kind of Fuel: COAL
Material of supports of heater or equipment (concrete floor or what kind): concrete
Minimum distance to wood or combustible material, from top of boiler or casing top of furnace: 4'
from top of smoke pipe: 8x8, from front of heater: over 4', from sides or back of heater: over 3'
Size of chimney flue: Other connections to same flue: none

IF OIL BURNER

Name and type of burner: Labeled and approved by Underwriters' Laboratories?
Will operator be always in attendance? Type of oil feed (gravity or pressure)
Location oil storage: No. and capacity of tanks
Will all tanks be more than seven feet from any flame? How many tanks fireproofed?
Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

INSPECTION COPY

Signature of contractor: P. Reuben

60908

Ward 4 Permit No. 36/45

Location 270 Cumberland Ave

Owner Tid. Water Oil Co.

Date of permit 1/22/36.

Post Card sent \_\_\_\_\_

Notif. for insp. 1/

Approval Tag issued 1/28/36

Oil Burner Check List (date)

1. Kind of heat Hot Water Area

2. Label \_\_\_\_\_

3. Anti-siphon \_\_\_\_\_

4. Oil storage \_\_\_\_\_

5. Tank distance \_\_\_\_\_

6. Vent pipe \_\_\_\_\_

7. Fill pipe \_\_\_\_\_

8. Gauge \_\_\_\_\_

9. Rigidity \_\_\_\_\_

10. Feed safety \_\_\_\_\_

11. Pipe sizes and material \_\_\_\_\_

12. Control valve \_\_\_\_\_

13. Ash pit vent \_\_\_\_\_

14. Temp. or pressure safety \_\_\_\_\_

15. Instruction card \_\_\_\_\_

16. \_\_\_\_\_

NOTES

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*Make with  
Amos...  
Dec. 20, 1935*

JOHN H. SIMONDS COMPANY  
GENERAL CONTRACTORS  
216 FEDERAL STREET  
PORTLAND, MAINE

December 12, 1935

Building Inspector,  
Portland, Maine.

RE: Tydol Service Station #1215  
270 Cumberland Avenue,  
Portland, Maine.

Reference is made to your letter of December 10, regarding certain information on the above named building.

- Par. 1. The proposed addition is in excess of 5' from the Smith lot line.
- Par. 2. The boiler room is to be reached after the addition is built in the same manner as at present.
- Par. 3. All concrete foundations walls will have a uniform thickness of 12".
- Par. 4. The front and rear walls of the addition will have a minimum thickness of 12".
- Par. 5. We believe that the ceiling joists or collar beam being spiked, to every pair of rafters, will eliminate all outward on the side wall of this building.
- Par. 6. The wall plate will be bolted to the brick wall not over 5' on centers.

Very truly yours,  
JOHN H. SIMONDS COMPANY,  
By *[Signature]*  
Engineer

SEB/COD

*Rec'd 12/12/35*

File: R. 5345B-I

December 10, 1935

John H. Simonds Company,  
216 Federal Street,  
Portland, Maine

Gentlemen:

With reference to your application for a building permit to build an addition upon the gasoline filling station building at 270 Cumberland Avenue, corner of Chestnut Street, there are a few questions to be settled.

1. Proposed addition sited just five feet from the south lot line. It is assumed that this distance will be at least five feet. If it is not, the Building Code requires a difference in construction.
2. There is no indication on the plan as to how the boiler room is to be reached after the addition is built. It is assumed that the entrance to the boiler room is to be outside of the building as at present. If this is not the case, the new entrance should be indicated.
3. The foundation wall of the addition is shown to be uniformly ten inches thick. The Building Code requires a minimum of ten inches thick at the top and twelve inches thick at the bottom of the wall, the wall to extend at least four feet below grade. Wherever it is necessary to make the brick wall twelve inches thick, it will be necessary to have an equal thickness at the top of the foundation wall, and, if a batter is desired against frost, an additional thickness will be required of course at the bottom.
4. The front and rear walls of the building that come to the peak of the gable ends are more than twelve feet in height and therefore are required to be at least twelve inches in thickness.
5. The provision in the Building Code which allows the brick wall of a one story mercantile building to be eight inches in thickness, also stipulates that the roof is to be approximately flat. The evident intention of this rule is to eliminate outward pressure upon such a thin brick wall. The roof that you have shown on the addition is a pitch roof, but I note that you are showing collar beams on every pair of rafters. If care is used in framing these collar beams, this

John H. Simonds Company-----2

arrangement is acceptable to this office. The elimination of outward pressure would be made more sure if the rafters were framed down on top of the collar beams instead of having the collar beams spiked to the rafters.

6. There is no indication on the plan that the plate will be bolted to the brick wall. This of course will be necessary.

Please have the changes made on the plans indicated by the notations in this letter, promptly so that the permit may be issued.

Very truly yours,

McD/H  
CC: Tide Water Oil Co.

Inspector of buildings.

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for Laboratory Addition to Building  
at 170 Cumberland Avenue

Date 11/7/33

Use name is the title of the property now recorded? Tide Water Oil Co.

Are the boundaries of the property in the vicinity of the proposed work shown  
clearly on the ground, and how? Fence

Is the outline of the proposed work now staked out upon the ground? Yes If  
will you notify the Inspection Office when the work is staked out and be-  
fore any of the work is commenced? Yes

What is to be maximum projection or overhang of eaves or drip? 7"

5. Do you assume full responsibility for the correctness of the location plan or  
statement of location filed with this application, and does it show the complete  
outline of the proposed work on the ground, including bay windows, porches and  
other projections? Yes
6. Do you assume full responsibility for the correctness of all statements in the  
application concerning the sizes, design and use of the proposed building? Yes
7. Do you understand that in case changes are proposed in the location of the work  
or in any of the details specified in the application that a revised plan and  
application must be submitted to this office before the changes are made? Yes

Tide Water Oil Co.  
By Robert H. Proctor, Co.  
by J. H. Proctor



GENERAL BUSINESS ZONE  
**APPLICATION FOR PERMIT**

Permit No. 2197  
 FEB 14 1935

Class of Building or Type of Structure Second Class

Portland, Maine, December 7, 1925

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 270 Cumberland Avenue Ward 4 Within Fire Limits? YES Dist. No. 1  
 Owner's or Lessee's name and address Tide Water Oil Co., 17 Battery Place, N.Y. Telephone \_\_\_\_\_  
 Contractor's name and address John H. Simonds Co., 216 Federal St. Telephone 7-5122  
 Architect's name and address \_\_\_\_\_  
 Proposed use of building Service Station No. families \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Plans filed as part of this application? yes No. of sheets 1  
 Estimated cost \$ 2,500. Fee \$ 3.75

Description of Present Building to be Altered

Material brick No. stories 2 Heat hot water Style of roof hip Roofing Metal  
 Last use Filling Station Office No. families \_\_\_\_\_

General Description of New Work

To erect one story brick addition app. 15' x 24' on side of building as per plan submitted

CERTIFICATE OF OCCUPANCY  
 REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to top of plate \_\_\_\_\_  
 Height average grade to highest point of roof \_\_\_\_\_  
 To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of Roof pitch Rise per foot \_\_\_\_\_ Roof covering Asphalt shingles Class C Und. Lab.  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
 Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_  
 Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? 5" height? 11 1/2'

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
 Total number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes  
 By John H. Simonds Co.

INSPECTION COPY John H. Simonds Co. signature of owner By John H. Simonds

7/14/25

Yard 4 Permit No. 35/2/24

Location 270 Cumberland Ave  
Tide Water Oil Co.

Date 12/14/35

Inspr. closing-in

Final Notif.

Final Inspn. 1/22/36

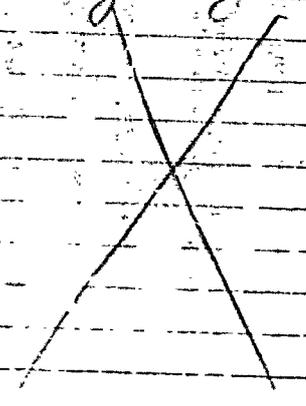
Cert. of Occupancy issued

NOTES

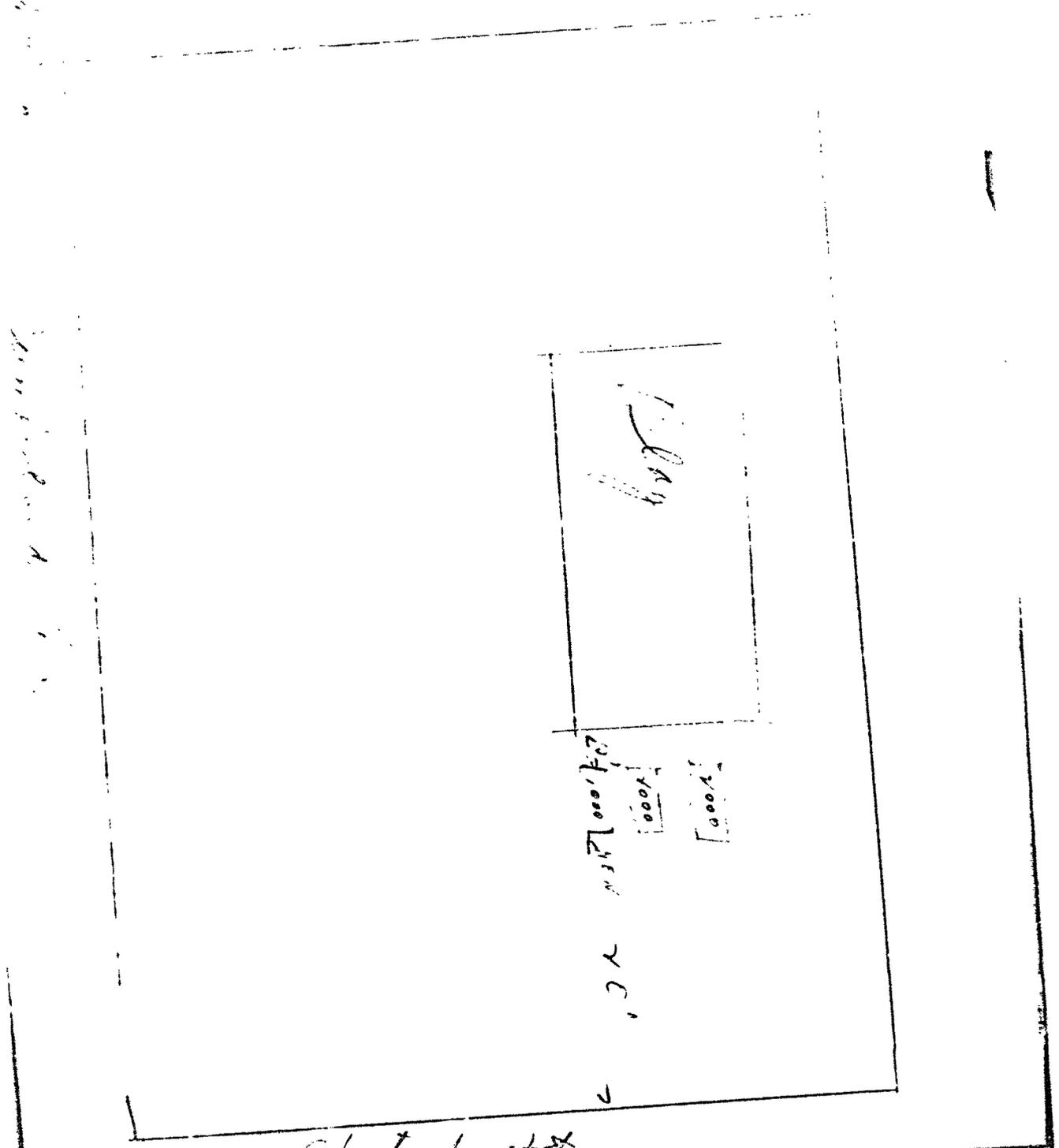
12/18/35 - Foundation  
excavated and stripped  
out

1/2/36 - Excavation  
boarded up

1/7/36 - Workable  
along edge



I H



Chestnut St

INSPECTION COPY

Total number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building \_\_\_\_\_

Miscellaneous \_\_\_\_\_

Will above work require removal or disturbing of any shade tree on a public street?  YES

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?  YES

Signature of owner  
**Oliver T. Sanborn**  
 CHIEF OF FIRE DEPT.

Tide Water Oil Co.

1876-8

(G) GENERAL BUSINESS ZONE Permit No. - 0612  
**APPLICATION FOR PERMIT** **PERMIT ISSUED**

Building or Type of Structure Gasoline Installation  
 Portland, Maine, May 21, 1934

OF BUILDINGS, PORTLAND, ME.

I hereby apply for a permit to ~~erect~~ install the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if herewith and the following specifications:

10 Cumberland Avenue Ward 4 Within Fire Limits? yes Dist. No. 1  
 Owner's name and address Tide Water Oil Co. 27 Main St. So. Portland Telephone 2-4618  
 Contractor's name and address Owner Telephone \_\_\_\_\_  
 Architect's name and address \_\_\_\_\_  
 Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Plans filed as part of this application? YES No. of sheets 1  
 Estimated cost \$ 150. Fee \$ .75

**Description of Present Building to be Altered**

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_

**General Description of New Work**

To install one 1000 gallon tank for gasoline - additional installation - tank to be buried underground - public use

CERTIFICATE OF OCCUPANCY  
 REQUIREMENT IS WAIVED  
 Storage license issued

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

**Details of New Work**

Height average grade to top of plate \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of Roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
 Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_  
 Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

**If a Garage**

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
 Total number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

**Miscellaneous**

Will above work require removal or disturbing of any shade tree on a public street? NO  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES Tide Water Oil Co.

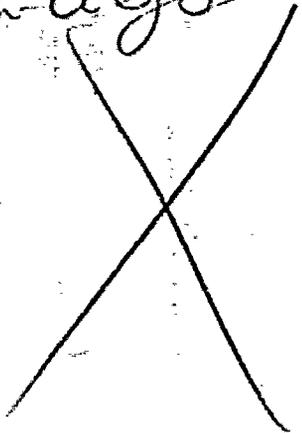
INSPECTION COPY  
 Signature of owner Oliver T. Sanborn  
 CHIEF OF FIRE DEPT.

1876 B

Ward 4 Permit No. 34/612  
Location 270 Cumberland Ave  
St. Louis - Tide Water, Oil Co  
Date of permit 5/21/34.  
Notif. closing-in \_\_\_\_\_  
Inspa. closing-in \_\_\_\_\_  
Final Notif. 7/5/34  
Final Inspa. 7/5/34  
Cert. of Occupancy issued None

NOTES

5/25/34 - Nothing  
done yet - A. J. G.  
6/2/34 - Same - A. J. G.  
6/7/34 - Same - A. J. G.  
6/14/34 - Same - A. J. G.  
7/5/34 - O.K. to cover  
up - A. J. G.





Location, Ownership and detail must be correct, complete and legible.  
 Separate application required for every building.  
 Plans must be filed with this application.

# Application for Permit to Build

1st and 2nd CLASS BUILDING

Portland, Me. May 10, 1925

To the Commissioner of Buildings  
 Inspector of Buildings

The undersigned hereby applies for a permit to build, according to the following Specifications:—  
 270 Cumberland Avenue

Plans must be submitted in duplicate, one set to be filed with the Department and the duplicate set thereof (bearing the approval of the Inspector of Buildings) shall be kept on the work and exhibited on demand to any Building Inspector of the City of Portland

Location, No. 270 Cumberland Avenue Wd. 4  
 Name of owner is? Mutual Service Station Inc Address, 270 Cumberland Ave  
 Name of mechanic is? Forgiione, Romano Address, 30 Portland, Maine  
 Name of architect is? .....

Material of building? brick 1st or 2d class?  
 Building to be occupied for? Filling Station No. of Stores?  
 How many families? .....

How near the line of the street? .....

Will the building be erected on solid or filled land? .....

Size of lot, No. of feet front? .....

Size of building, No. of feet front? 18ft No. of feet rear? 18ft No. of feet deep? 14ft  
 No. of stories in height, above basement? 1 No. of feet in height from sidewalk to highest point of roof? 12ft  
 Material of foundation? brick If concrete, submit specifications.  
 Will foundation be laid on earth, rock or piles? .....

Length of piles? .....

Number of rows? .....

Distance on centres? .....

Diameter top? .....

Capped with stone or concrete? .....

Piles cut off at what grade? .....

External walls, } thickness { 1st, 2d, 3d, 4th, 5th, 6th, 7th, 8th, 9th, .....

Party walls, } thickness { 1st, 2d, 3d, 4th, 5th, 6th, 7th, 8th, 9th, .....

Are the walls solid or vaulted? .....

What will be the materials of front? brick & glass  
 Will the roof be flat, pitch, mansard or hip? pitch Material of roofing metal tile  
 What will be the material of cornice? .....

What will be means of access to roof? .....

Are there any hoistways or elevators? .....

How is building heated? .....

Fire stops provided? yes Method of fire stops? .....

Means of extinguishing fire? .....

Stairways enclosed in brick walls? .....

Means of egress? .....

**If the building is to be occupied as a Tenement House, give the following particulars:**

Height of cellar? .....

Height of first story, .....

Is the cellar or the basement to be occupied for habitation? .....

Distance from surrounding buildings? front, .....

If there is a building already erected on the front or rear of lot, give height? .....

State how many ways of egress are to be provided, .....

Style of egress? .....

Will the building conform with the requirements of statutes? .....

Estimated Cost. \$ 2500.

Signature of owner or authorized representative, *[Signature]*  
 Address, 270 Cumberland Ave

Plans submitted? .....

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

1632

270 Cumberland Ave

May 5/25

RECEIVED REC



Location, Ownership and detail must be correct, complete and legible.  
 Separate Plans on required for every building.  
 Plans filed with this application.

**Application for Permit for Alterations, etc.**

Portland, Me., May 5, 1925 19

To the  
 INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location 270 Cumberland Ave Ward 4 in fire-limits? yes  
 Name of Owner or Lessee Mutual Service Station Inc Address 270 Cumberland Ave  
 " " Contractor, owner  
 " " Architect, \_\_\_\_\_  
 Material of Building is steel Style of Roof, pitch Material of Roofing, steel  
 Size of Building is 14ft feet long; 14ft feet wide. No. of Stories, 1  
 Cellar Wall is constructed of \_\_\_\_\_ is \_\_\_\_\_ inches wide on bottom and batters to \_\_\_\_\_ inches on top.  
 Underpinning is \_\_\_\_\_ is \_\_\_\_\_ inches thick; is \_\_\_\_\_ feet in height.  
 Height of Building \_\_\_\_\_ Wall, if Brick; 1st, \_\_\_\_\_ 2d, \_\_\_\_\_ 3d, \_\_\_\_\_ 4th, \_\_\_\_\_ 5th, \_\_\_\_\_  
 What was Building last used for? filling station No. of Families? \_\_\_\_\_  
 What will Building now be used for? demolish

Description of Present Bldg.

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

**Detail of Proposed Work**

to demolish building all to comply with the building ordinance

Estimated Cost \$ 25.

**If Extended On Any Side**

Size of Extension, No. of feet long (.....); No. of feet wide (.....); No. of feet high above sidewalk (.....)  
 No. of Stories high? (.....); Style of Roof? (.....); Material of Roofing? (.....)  
 Of what material will the Extension be built? (.....) Foundation? (.....)  
 If of Brick, what will be the thickness of External Walls? (.....) inches; and Party Walls (.....) inches.  
 How will the extension be occupied? (.....) How connected with Main Building? (.....)

**When Moved, Raised or Built Upon**

No. of Stories in height when Moved, Raised, or Built upon? (.....) Proposed Foundations? (.....)  
 No. of feet high from level of ground to highest part of Roof to be? (.....)  
 How many feet will the External Walls be increased in height? (.....) Party Walls (.....)

**If Any Portion of the External or Party Walls Are Removed**

Will an opening be made in the Party or External Walls? (.....) in (.....) Story.  
 Size of the opening? (.....) How protected? (.....)  
 How will the remaining portion of the wall be supported? (.....)

Signature of Owner or Authorized Representative [Signature]  
 Address 270 Cumberland Ave

1625

2074  
270 Cumberland Ave

May 5/25

NOTHING TO REPORT FOR 2017 AND 17

ВВЕДЕНИЕ В РАБОТУ



Location, Ownership and detail must be correct, complete and legible.  
 Separate application required for every building.  
 Plans must be filed with this application.

## Application for Permit for Alterations, etc.

Portland, Me., April 7, 1924 19

To the

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location 268 Cumberland Ave Ward 4 in fire-limits? yes  
 Name of Owner or Lessee, Annie P. Aldrich Address Cumberland Center  
 " " Contractor, H. D. Murray " R. F. D. #1  
 " " Architect, \_\_\_\_\_ " \_\_\_\_\_  
 Description of Present Bldg. Material of Building is wood Style of Roof, pitch Material of Roofing, shingle  
 Size of Building is 60ft feet long; 40ft feet wide. No. of Stories, 2 1/2  
 Cellar Wall is constructed of stone is \_\_\_\_\_ inches wide on bottom and batters to \_\_\_\_\_ inches on top.  
 Underpinning is brick is \_\_\_\_\_ inches thick; is \_\_\_\_\_ feet in height.  
 Height of Building 30ft Wall, if Brick; 1st, \_\_\_\_\_ 2d, \_\_\_\_\_ 3d, \_\_\_\_\_ 4th, \_\_\_\_\_ 5th, \_\_\_\_\_  
 What was Building last used for? dwelling No. of Families? 2  
 What will Building now be used for? demolish

### Detail of Proposed Work

To demolish building all to comply with the building ordinance

Estimated Cost \$ 100.

### If Extended On Any Side

Size of Extension, No. of feet long? \_\_\_\_\_; No. of feet wide? \_\_\_\_\_; No. of feet high above sidewalk? \_\_\_\_\_  
 No. of Stories high? \_\_\_\_\_; Style of Roof? \_\_\_\_\_; Material of Roofing? \_\_\_\_\_  
 Of what material will the Extension be built? \_\_\_\_\_ Foundation? \_\_\_\_\_  
 If of Brick, what will be the thickness of External Walls? \_\_\_\_\_ inches; and Party Walls \_\_\_\_\_ inches.  
 How will the extension be occupied? \_\_\_\_\_ How connected with Main Building? \_\_\_\_\_

### When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? \_\_\_\_\_ Proposed Foundations \_\_\_\_\_  
 No. of feet high from level of ground to highest part of Roof to be? \_\_\_\_\_  
 How many feet will the External Walls be increased in height? \_\_\_\_\_ Party Walls \_\_\_\_\_

### If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? \_\_\_\_\_ in \_\_\_\_\_ Story.  
 Size of the opening? \_\_\_\_\_ How protected? \_\_\_\_\_  
 How will the remaining portion of the wall be supported? \_\_\_\_\_

Signature of Owner or Authorized Representative

Address

J. B. Aldrich  
Cumberland Center

R. F. D. #1

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK





Location, Ownership and detail must be correct, complete and legible.  
 Separate application required for every building.  
 Plans must be filed with this application.

## Application for Permit for Alterations, etc.

To the Portland, March 17, 1923 192

INSPECTOR OF BUILDINGS:

(268-274) The undersigned applies for a permit to alter the following described building:—  
 Location 29 Chestnut Street Ward 4 in fire-limits? yes  
 Name of Owner or Lessee Mrs C H Stowell Address 173 Pearl Street  
 Contractor A. de R Harris 130 Boyd Street  
 Architect.....  
 Description of Present Bldg.:  
 Material of Building is wood Style of Roof pitch Material of Roofing shingle  
 Size of Building is 20ft feet long: 16ft feet wide. No. of Stories 1  
 Collar Wall is constructed of stone is.....inches wide on bottom and batters to.....inches on top.  
 Underpinning is brick is.....inches thick: is.....feet in height.  
 Height of Building 12ft Wall, if Brick; 1st.....2d.....3d.....4th.....5th.....  
 What was Building last used for? store No. of families?.....  
 What will Building now be used for? demolish

### Detail of Proposed Work

to demolish building all to comply with the building ordinance

Estimated Cost \$ 200.

### If Extended On Any Side

Size of Extension, No. of feet long?.....; No. of feet wide?.....; No. of feet high above sidewalk?.....  
 No. of Stories high?.....; Style of Roof?.....; Material of Roofing?.....  
 Of what material will the Extension be built?..... Foundation?.....  
 If of Brick, what will be the thickness of External Walls?.....inches: and Party Walls.....inches.  
 How will the extension be occupied?..... How connected with Main Building?.....

### When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon?..... Proposed Foundations.....  
 No. of feet high from level of ground to highest part of Roof to be?.....  
 How many feet will the External Walls be increased in height?..... Party Walls.....

### If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls?..... in..... Story.  
 Size of the opening?..... How protected?.....  
 How will the remaining portion of the wall be supported?.....

Signature of Owner or Authorized Representative Frank J. Hill  
 Address 192 Franklin St

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK





Location, ownership and detail must be correct, complete and legible. Separate application required for every building. Plans must be filed with this application.

**APPLICATION FOR PERMIT TO BUILD**  
(3D CLASS BUILDING)

Portland, Me., March 17, 1923 19

To THE  
INSPECTOR OF BUILDINGS

The undersigned hereby applies for a permit to build, according to the following Specifications:—

Location 270 Cumberland Avenue Ward 4 Fire Limits? yes  
 Name of owner is? A. de R Harris Address 173 Pearl Street  
 Name of mechanic is? Thomas Skinner Co Address 97 Center Street  
 Name of architect is? \_\_\_\_\_ Address \_\_\_\_\_  
 Proposed occupancy of building (purpose)? office (steel building)  
 If a dwelling or tenement house, for how many families? \_\_\_\_\_  
 Are there to be stores in lower story? \_\_\_\_\_  
 Size of lot, No. of feet front? \_\_\_\_\_; No. of feet rear? \_\_\_\_\_; No. of feet deep? \_\_\_\_\_  
 Size of building, No. of feet front? 14ft; No. of feet rear? 14ft; No. of feet deep? 14ft  
 No. of stories, front? 1; rear? \_\_\_\_\_  
 No. of feet in height from the mean grade of street to the highest part of the roof? 12ft  
 Distance from lot lines, front? \_\_\_\_\_ feet; side? \_\_\_\_\_ feet; side? \_\_\_\_\_ feet; rear? \_\_\_\_\_  
 Firestop to be used? \_\_\_\_\_  
 Will the building be erected on solid or filled land? \_\_\_\_\_  
 Will the foundation be laid on earth, rock or piles? \_\_\_\_\_  
 If on piles, No. of rows? \_\_\_\_\_ distance on centres? \_\_\_\_\_ length of? \_\_\_\_\_  
 Diameter, top of? \_\_\_\_\_ diameter, bottom of? \_\_\_\_\_  
 Size of posts, 4 x 6 Studding 2 x 4 16 O. C. Sills 4 x 8 Roof Rafters 2 x 6 24 O. C. Girders 6 x 8  
 Size of girts 4 x 4  
 Size of floor timbers? 1st floor concrete, 2d \_\_\_\_\_, 3d \_\_\_\_\_, 4th \_\_\_\_\_  
 O. C. " " " " \_\_\_\_\_, 2d \_\_\_\_\_, 3d \_\_\_\_\_, 4th \_\_\_\_\_  
 Span " " " " \_\_\_\_\_, 2d \_\_\_\_\_, 3d \_\_\_\_\_, 4th \_\_\_\_\_  
 Will the building be properly braced? \_\_\_\_\_  
 Building, how framed? \_\_\_\_\_  
 Material of foundation? \_\_\_\_\_ thickness of? \_\_\_\_\_ laid with mortar? \_\_\_\_\_  
 Underpinning, material of? posts height of? \_\_\_\_\_ thickness of? \_\_\_\_\_  
 Will the roof be flat, pitch, mansard or hip? pitch Material of roofing? steel  
 Will the building be heated by steam, furnaces, stoves or grates? \_\_\_\_\_ Will the flues be lined? \_\_\_\_\_  
 Will the building conform to the requirements of the law? yes  
 Means of egress? \_\_\_\_\_

If the building is to be occupied as a Tenement House, give the following particulars

What is the height of cellar or basement? \_\_\_\_\_  
 What will be the clear height of first story? \_\_\_\_\_ second? \_\_\_\_\_ third? \_\_\_\_\_  
 State what means of egress is to be provided \_\_\_\_\_  
 \_\_\_\_\_ Scuttle and stepladder to roof? \_\_\_\_\_

Estimated Cost,  
\$ 650.

Signature of owner or authorized representative,  
Frank J. Mitchell

Address, 127 Franklin St

Received by? \_\_\_\_\_

Plans submitted? \_\_\_\_\_

Plans must be submitted in duplicate, one set to be filed with the Department and the duplicate set thereof (bearing the approval of the Inspector of Buildings) shall be kept on the work and exhibited on demand.

PERMIT MUST BE RECEIVED BEFORE BEGINNING WORK

270 Cumberland Ave.  
192

No. 5981

APPLICATION FOR  
Permit to Build  
3rd CLASS BUILDING

LOCATION  
No. 270 Cumberland Ave  
268-74

WARD 4

Inspector.

CONDITIONS

PERMIT GRANTED

March 17, 1924 192

Permit filled out by \_\_\_\_\_

Permit number \_\_\_\_\_

Plan number \_\_\_\_\_

FINAL REPORT

192

Has the work been completed in accordance  
with this application and plans filed and ap-  
proved?

Law been violated? \_\_\_\_\_

Nature of violation? \_\_\_\_\_

Violation removed when? \_\_\_\_\_ 192

Estimated cost of building, etc., \$ \_\_\_\_\_

Building Inspector.

APPROVAL OF PLANS

Supervisor of plans.

Location, Ownership and detail must be correct, complete and legible.  
 Separate application required for every building.  
 Plans must be filed with this application.



## Application for Permit for Alterations, etc.

To the Portland, May 1, 1922 192  
 INSPECTOR OF BUILDINGS:

(270-274 Cumberland Ave)  
 The undersigned applies for a permit to alter the following described building:—  
 Location... 29 Chestnut Street Ward, 4 in fire-limits? yes  
 Name of Owner or Lessee, Mina A Stowell Address 173 Pearl Street  
 " " Contractor, Charles Hunter " Cumberland Avenue  
 " " Architect...  
 Description of Present Bldg. Material of Building is wood Style of Roof, pitch Material of Roofing, asphalt  
 Size of Building is 20ft feet long; 40ft feet wide No. of Stories, 1  
 Cellar Wall is constructed of posts is inches wide on bottom and batters to inches on top.  
 Underpinning is is inches thick; is feet in height.  
 Height of Building 12ft Wall, if Brick; 1st, 2d, 3d, 4th, 5th,  
 What was Building last used for? store No. of Families?  
 What will Building now be used for? same

### DETAIL OF PROPOSED WORK

enlarge windows, interior changes all to comply with the building ordinance  
 Estimated Cost \$ 200,

### IF EXTENDED ON ANY SIDE

Size of Extension, No. of feet long? ; No. of feet wide? ; No. of feet high above sidewalk?  
 No. of Stories high? ; Style of Roof? ; Material of Roofing?  
 Of what material will the Extension be built? Foundation?  
 If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.  
 How will the extension be occupied? How connected with Main Building?

### WHEN MOVED, RAISED OR BUILT UPON

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations  
 No. of feet high from level of ground to highest part of Roof to be?  
 How many feet will the External Walls be increased in height? Party Walls

### IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED

Will an opening be made in the Party or External Walls? in... Story.  
 Size of the opening? How protected?  
 How will the remaining portion of the wall be supported?

Signature of Owner or Authorized Representative Fred H. Morse  
 Address 173 Pearl St

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK



B

419

April 22, 1987

PERMIT # ..... BUILDING PERMIT APPLICATION **Portland** Previous permit # .....

**APPLICANT FILL OUT I - XVIII AND DETAILS OF WORK ON REVERSE**

Please insert N/A (not applicable) for any item not pertaining to your request

**I. GENERAL INFORMATION**

Location/address of construction \_\_\_\_\_ Tel \_\_\_\_\_

Owner or lessee's name \_\_\_\_\_

Address \_\_\_\_\_

Contractor's name \_\_\_\_\_ Tel 339-3369

Address \_\_\_\_\_

Subcontractors: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**II. NEW SUBDIVISION OR EXISTING LOT REFERENCE**

Name \_\_\_\_\_

Lot \_\_\_\_\_

Block \_\_\_\_\_

Bk. & pg. Reg./deeds \_\_\_\_\_

Date recorded \_\_\_\_\_

III. PROPOSED USE: CODE \_\_\_\_\_ If other, explain \_\_\_\_\_ Seasonal \_\_\_\_\_ Condominium \_\_\_\_\_ Apartment \_\_\_\_\_

IV. PAST USE: \_\_\_\_\_

V. OWNERSHIP: PUBLIC (Federal/State/local government) \_\_\_\_\_ PRIVATE (individual/corp/nonprofit) \_\_\_\_\_

VI. DESCRIPTION OF WORK:

To set 4 x 8 temporary portable sign to be used from April 22 to May 22, 1987

1st time for sign this year. 2

VII. BUILDING DIMENSIONS: length \_\_\_\_\_ width \_\_\_\_\_ square footage \_\_\_\_\_ height \_\_\_\_\_ #stories \_\_\_\_\_

VIII. EST. CONSTRUCTION COST: \_\_\_\_\_ IX. GR. SQ. FT. OF LAND: \_\_\_\_\_ BUILDING: \_\_\_\_\_

<p>X. RESIDENTIAL BUILDINGS ONLY:</p> <p>NEW DWELLING UNITS WITH:</p> <p>EXISTING DWELLING UNITS WITH:</p>	<p>BEDROOMS</p> <p>1 BDRM _____</p> <p>2 BDRMS _____</p> <p>3 BDRMS _____</p>	<p>XI. RESIDENTIAL UNITS:</p> <p>NEW DWELLINGS _____</p> <p>EXISTING DWELLINGS _____</p> <p>NET RESIDENTIAL UNITS _____</p>
	<p>XII. SIGNATURE OF APPLICANT: <u>New England Home Odu. Inc. D. J. [Signature]</u> DATE: <u>4-22-87</u></p>	

DO NOT WRITE BELOW THIS LINE

<p>XIII. ZONING:</p> <p>DISTRICT _____ STREET FRONTAGE _____</p> <p>SETBACKS: front _____ back _____ side _____ side _____</p> <p>ZONING BOARD APPROVAL: no <input type="checkbox"/> yes <input type="checkbox"/> (date) _____</p> <p>PLANNING BOARD APPROVAL: no <input type="checkbox"/> yes <input type="checkbox"/> (date) _____</p>	<p>XIV. OFFICE USE:</p> <p>TAX MAP # _____</p> <p>LOT # _____</p> <p>VALUE/STRUCTURE _____</p> <p>PERMIT EXPIRATION _____</p>
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------

XV. CONDITIONAL USE: variance \_\_\_\_\_ site plan \_\_\_\_\_ subdivision \_\_\_\_\_ shore and floodplain mgmt \_\_\_\_\_

special exception \_\_\_\_\_ other \_\_\_\_\_ (explain) \_\_\_\_\_

XVI. SIGNATURE OF FIELD INSPECTOR (CEO) \_\_\_\_\_ DATE \_\_\_\_\_

<p>XVII. FEES:</p> <p>base fee _____</p> <p>subdivision fee _____</p> <p>site plan review fee _____</p> <p>other fees _____</p> <p>late fee _____</p> <p>TOTAL _____</p>	<p>XVIII. SPACE FOR FIGURING /ADDITIONAL COMMENTS:</p>
--------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------

<p>1. WATER SUPPLY <input type="checkbox"/> public <input type="checkbox"/> private</p> <p>2. SEWER <input type="checkbox"/> public <input type="checkbox"/> private, type _____</p> <p>3. HEAT type _____ fuel _____</p> <p>4. FOUNDATION type _____ thickness _____ footing _____</p> <p>5. ROOF type _____ pitch _____ covering _____ load _____</p> <p>6. PLUMBING # tubs _____ # showers _____</p> <p># lavatories _____ # laundry tubs _____</p> <p># flushes _____ # other _____</p> <p>SPRINKLER SYSTEM? <input type="checkbox"/> yes <input type="checkbox"/> no</p> <p>7. ELECTRICAL service entrance size _____</p> <p># smoke detectors _____</p> <p>NUMBER OF OFF-STREET PARKING SPACES:</p> <p>enclosed _____ outdoors _____</p>	<p>8. CHIMNEY # flucs _____ # fireplaces _____</p> <p>material _____</p> <p>9. FRAMING: floor joists _____</p> <p>size _____ max. on centers _____</p> <p>ceiling joists _____</p> <p>rafters _____</p> <p>studs _____</p> <p>wall studs _____</p> <p>10. If 1-story building w/ masonry walls:</p> <p>wall thickness _____ height _____</p> <p>11. BEDROOM WINDOWS</p> <p>height _____ width _____ sill height _____</p> <p>egress window? <input type="checkbox"/> yes <input type="checkbox"/> no</p>	<p><b>PLOT PLAN/DETAILS OF WORK ON REVERSE</b></p> <p>White - Municipal Office</p> <p>Yellow - CEO</p> <p>Pink - Tax Assessor</p> <p>Gold - GPCUG</p>
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------

6

SIGN OWNER  
N.E.O.P.A.  
17 Elm Street  
Gorham, Me 04038  
839-3569

RECEIVED  
APR 2 1987  
DEPT. OF BUILDING INSPECTIONS  
CITY OF PORTLAND

Temporary sign #122-5/21  
Sign is 15' from Road  
Does not block view of  
entrance/exit.



Sign location  
R.H. Taylor  
270 Cumberland Ave  
Portland Me 04101  
871-8004

Sign Owner: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Repair Costs:

Legs ( @ \$9.95 ea.)-----\$-----  
Crossmembers (@ \$20.00 ea.)-----\$-----  
Top Panel ( @ \$20.00 ea.)-----\$-----  
Back Panel ( @ \$20.00 ea.)-----\$-----  
Arrow Tip ( @ \$40.00 ea.)-----\$-----  
Painting Needed ?-----\$-----  
labor-----\$-----

April 22, 1987

0 419

Portland

BUILDING PERMIT APPLICATION

APPLICANT FILL OUT I - XVIII AND DETAILS OF WORK ON REVERSE

PERMIT # ..... Previous permit # .....

I. GENERAL INFORMATION

Please insert N/A (not applicable) for any item not pertaining to your request

Location/address of construction: 270 Cumberland Avenue  
Owner or lessee's name: R. H. Taylor  
Address: same  
Tel: 871-8004

Contractor's name: New England ON Premise Adv.  
Address: 17 Elm St. Gorham  
Tel: 839-3569

Subcontractors:  
Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Tel: \_\_\_\_\_

II. NEW SUBDIVISION OR EXISTING LOT REFERENCE  
Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Tel: \_\_\_\_\_

III. PROPOSED USE: 328 - car wash  
IV. PAST USE: same  
V. OWNERSHIP: Public (Federal/State/local government) / Private (individual/corporation)

VI. DESCRIPTION OF WORK:  
To set 4 x 8 temporary portable sign to be used from April 22 to May 22, 1987  
1st check time for sign this year. # 2

VII. BUILDING DIMENSIONS: length: \_\_\_\_\_ width: \_\_\_\_\_ square footage: \_\_\_\_\_ height: \_\_\_\_\_ # stories: \_\_\_\_\_

VIII. EST. CONSTRUCTION COST: \_\_\_\_\_  
IX. GR. SGT. FT. OF LAND: \_\_\_\_\_  
X. RESIDENTIAL BUILDINGS ONLY: 1 BDRM, 2 BDRMS, 3+ BDRMS  
XI. RESIDENTIAL UNITS: NEW DWELLINGS, EXISTING DWELLINGS, NET RESIDENTIAL UNITS

XII. SIGNATURE OF APPLICANT: \_\_\_\_\_  
XIII. ZONING: DISTRICT B-2  
SETBACKS: front \_\_\_\_\_ back \_\_\_\_\_ side \_\_\_\_\_  
ZONING BOARD APPROVAL: no  yes  (date) \_\_\_\_\_  
PLANNING BOARD APPROVAL: no  yes  (date) \_\_\_\_\_

XV. CONDITIONAL USE: variance \_\_\_\_\_ site plan \_\_\_\_\_ subdivision \_\_\_\_\_ shore and floodplain mgmt \_\_\_\_\_  
special exception \_\_\_\_\_ other \_\_\_\_\_ (explain) \_\_\_\_\_

XVII. FEES: base fee \_\_\_\_\_ subdivision fee \_\_\_\_\_ site plan review fee \_\_\_\_\_ other fees \_\_\_\_\_ late fee \_\_\_\_\_ TOTAL: 10:00

XVIII. SPACE FOR FIGURING/ADDITIONAL COMMENTS:  
A.K. B-2 zone sign for 29187  
for Monica's Motor Sales

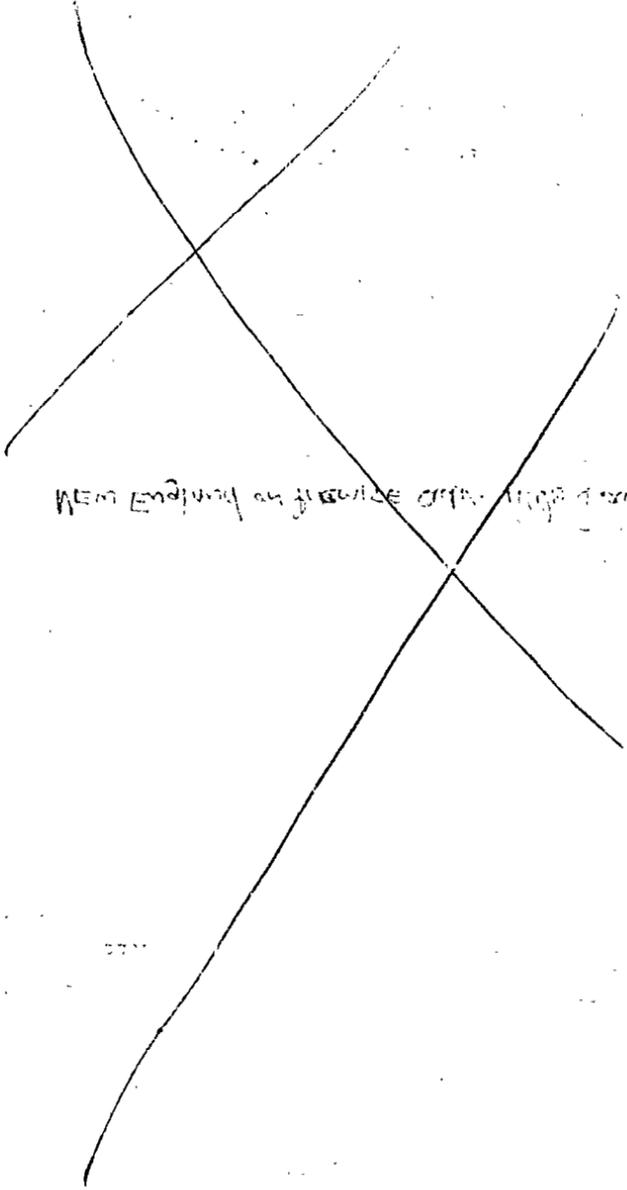
XVI. SIGNATURE OF FIELD INSPECTOR (CEO): \_\_\_\_\_ DATE: \_\_\_\_\_

1. WATER SUPPLY <input type="checkbox"/> public <input type="checkbox"/> private	2. SEWER <input type="checkbox"/> public <input type="checkbox"/> private, type _____ fuel _____	3. HEAT type _____	4. FOUNDATION type _____ thickness _____ footing _____	5. ROOF type _____ pitch _____ load _____	5. PLUMBING # tubs _____ # showers _____ # lavatories _____ # laundry tubs _____ # flushes _____ # other _____	7. ELECTRICAL service entrance size _____ smoke detectors _____	SPRINKLER SYSTEM? <input type="checkbox"/> yes <input type="checkbox"/> no	enclosed _____ outdoors _____
8. CHIMNEY # flues _____ # fireplaces _____ material _____	9. FRAMING: floor joists _____ ceiling joists _____ rafters _____ studs _____ wall studs _____	10. If 1-story building with masonry walls: wall thickness _____ height _____	11. BEDROOM WINDOWS height _____ width _____ sill height _____ egress window? <input type="checkbox"/> yes <input type="checkbox"/> no					

PLOT PLAN/DETAILS ON REVERSE  
White - Municipal Office  
Yellow - CEO  
Pink - Tax Assessor  
Grey - GPCUG

(6) Mrs. MacIsaac

270 Cumberland Ave



MEMORANDUM ON FILED COPY - 11/10/87

5/87 Forward over

811

PERMIT # \_\_\_\_\_ PORTLAND BUILDING PERMIT APPLICATION DATE 6/23/87 PERMIT ISSUED

1. GENERAL INFORMATION  
 Location/address of construction 270 Cumberland Avenue  
 1. Owner's name Mario's Motor Sales Tel. 773-6930  
 Address same  
 2. Lessee's name \_\_\_\_\_  
 Address \_\_\_\_\_  
 3. Contractor's name Jetline Services Tel. 799-0850  
 Address 106 Main Street So. Portland 04106  
 4. Is this a legally recorded lot? yes \_\_\_\_\_ no \_\_\_\_\_

JUN 23 1987  
 City Of Portland

II. DESCRIPTION OF WORK:  
 to remove 4 underground tanks and back fill  
~~and~~ will pick up permit on Thursday

III. BUILDING DIMENSIONS: length \_\_\_\_\_ width \_\_\_\_\_ square footage \_\_\_\_\_ height \_\_\_\_\_ #stories \_\_\_\_\_  
 IV. ZONE \_\_\_\_\_ Street frontage \_\_\_\_\_ Zoning board approval: no  yes  date \_\_\_\_\_  
 Setbacks: front \_\_\_\_\_ back \_\_\_\_\_ side \_\_\_\_\_ side \_\_\_\_\_ Planning board approval: no  yes  date \_\_\_\_\_  
 V. REVIEW REQUIRED: variance \_\_\_\_\_ other \_\_\_\_\_ Number of off-street parking spaces:  
 site plan \_\_\_\_\_ subdivision \_\_\_\_\_ shore \_\_\_\_\_ floodplain mgmt \_\_\_\_\_ enclosed \_\_\_\_\_ outdoors \_\_\_\_\_  
 VI. FEES:  
 base fee \_\_\_\_\_ other fees \_\_\_\_\_  
 subdivision fee \_\_\_\_\_ late fee \_\_\_\_\_  
 site plan review fee \_\_\_\_\_ TOTAL \$40.00

VII. DETAILS OF WORK  
 1. WATER SUPPLY:  public  private  
 2. SEWER:  public  private, type \_\_\_\_\_  
 3. HEAT: type \_\_\_\_\_ fuel \_\_\_\_\_  
 4. FOUNDATION: type \_\_\_\_\_ thickness \_\_\_\_\_ footing \_\_\_\_\_  
 5. ROOF: type \_\_\_\_\_ pitch \_\_\_\_\_ covering \_\_\_\_\_ load \_\_\_\_\_  
 6. PLUMBING: SPRINKLER SYSTEM? yes  no   
 7. ELECTRICAL: service entrance size \_\_\_\_\_ # smoke detectors \_\_\_\_\_  
 8. CHIMNEY: # flues \_\_\_\_\_ material \_\_\_\_\_ # fireplaces \_\_\_\_\_  
 9. FRAMING: floor joists \_\_\_\_\_ size \_\_\_\_\_ max. on center \_\_\_\_\_  
 ceiling joists \_\_\_\_\_ rafters \_\_\_\_\_  
 studs \_\_\_\_\_ wall studs \_\_\_\_\_  
 10. If 1-story building w/masonry walls: wall thickness \_\_\_\_\_ height \_\_\_\_\_  
 11. BEDROOM WINDOWS height \_\_\_\_\_ width \_\_\_\_\_ sill height \_\_\_\_\_ egress window? yes  no   
 VIII. OFFICE USE:  
 TAX MAP # \_\_\_\_\_  
 LOT # \_\_\_\_\_  
 VALUE/STRUCTURE \_\_\_\_\_  
 PERMIT EXPIRATION \_\_\_\_\_  
 CODE \_\_\_\_\_ If other, explain \_\_\_\_\_  
 X. PROPOSED USE: \_\_\_\_\_ Seasonal \_\_\_\_\_ Condominium \_\_\_\_\_ Apartment \_\_\_\_\_  
 XI. PAST USE: \_\_\_\_\_  
 XII. OWNERSHIP: PUBLIC \_\_\_\_\_ PRIVATE \_\_\_\_\_  
 XIII. EST. CONSTRUCTION COST: \_\_\_\_\_  
 XIV. GR. SQ. FT. OF LOT BUILDING \_\_\_\_\_

COMPLETE XV AND XVI ONLY IF THE NUMBER OF UNITS WILL CHANGE  
 XV. RESIDENTIAL BUILDINGS ONLY: # BEDROOMS  
 # NEW DWELLING UNITS WITH: 1. BDRM. \_\_\_\_\_ 2. BDRMS \_\_\_\_\_ 3. BDRMS \_\_\_\_\_  
 # EXISTING DWELLING UNITS WITH: \_\_\_\_\_  
 XVI. # RESIDENTIAL UNITS:  
 # NEW DWELLINGS \_\_\_\_\_  
 # EXISTING DWELLINGS \_\_\_\_\_  
 TOTAL RESIDENTIAL UNITS \_\_\_\_\_

APPROVALS BY: \_\_\_\_\_ DATE \_\_\_\_\_  
 BUILDING INSPECTION - PLAN EXAMINER \_\_\_\_\_  
 ZONING: \_\_\_\_\_  
 C.E.O. \_\_\_\_\_  
 FIRE DEPT. \_\_\_\_\_  
 MISCELLANEOUS  
 Will work require disturbing of any tree on a public street? \_\_\_\_\_  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? \_\_\_\_\_

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical, and mechanicals.

District No. \_\_\_\_\_ XVII. SIGNATURE OF APPLICANT \_\_\_\_\_ PHONE # \_\_\_\_\_  
 TYPE NAME OF ABOVE Jack Vallely for Mario's Motor Sales 1 2 3 4

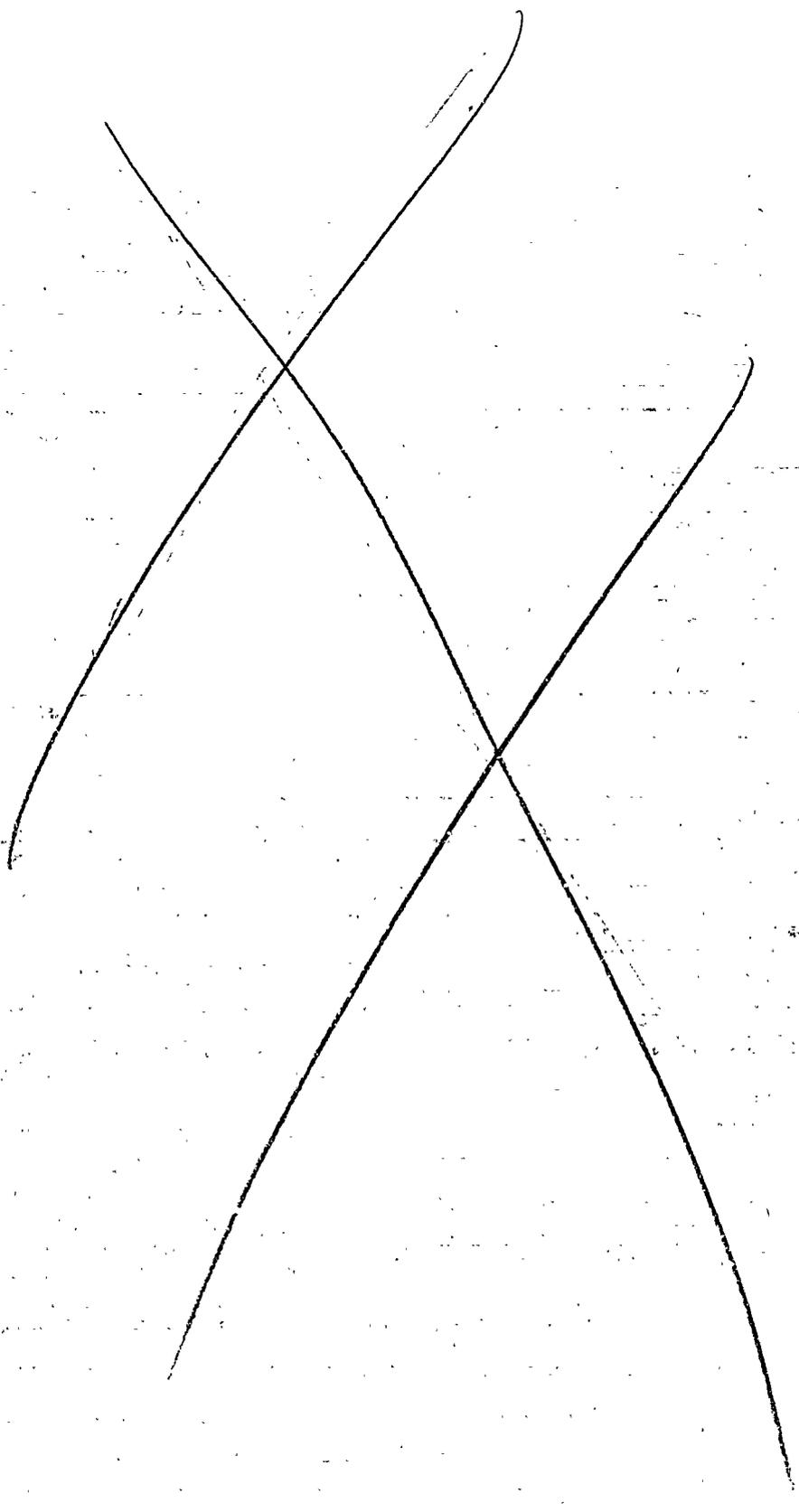
White - GPCOG Green - Applicant Yellow - Assessor Pink - Office File Gold - Field Inspector

ACTM Rose

11/87

OK A.R.

270 Committed



B

PERMIT # 134 PORTLAND BUILDING PERMIT APPLICATION DATE 6/23/87 PERMIT ISSUED

I. GENERAL INFORMATION
Location/address of construction 270 Cumberland Avenue
1. Owner's name Mario's Motor Sales Tel. 773-6930
Address 5472
2. Lessee's name
Address
3. Contractor's name Jetline Services Tel. 799-0850
Address 106 Main Street So. Portland 04106
4. Is this a legally recorded lot? yes no

JUN 23 1987
City of Portland

II. DESCRIPTION OF WORK:
to remove 4 underground tanks and back fill
XXXXXXXXXXXX will pick up permit on Thursday

III. BUILDING DIMENSIONS: length width square footage height #stories

IV. ZONE Street frontage Zoning board approval: no yes date
Setbacks: front back side side Planning board approval: no yes date

V. REVIEW REQUIRED: variance other
site plan subdivision shore floodplain mgmt
Number of off-street parking spaces: enclosed outdoors

VI. FEES:
base fee
subdivision fee other fees
site plan review fee late fee
TOTAL \$40.00

VII. DETAILS OF WORK

1. WATER SUPPLY: public private
2. SEWER: public private, type
3. HEAT: type fuel
4. FOUNDATION: type thickness footing
5. ROOF: type pitch covering load
6. PLUMBING: SPRINKLER SYSTEM? yes no
7. ELECTRICAL: service entrance size # smoke detectors
8. CHIMNEY: # flues material # fireplaces
9. FRAMING: floor joists size max. on center ceiling joists rafters studs wall studs
10. If 1-story building w/masonry walls: wall thickness height
11. BEDROOM WINDOWS height width sill height egress window? yes no

VIII. OFFICE USE: TAX MAP # LOT # VALUE/STRUCTURE PERMIT EXPIRATION
IX. NEW OR PHASED SUBDIVISION REFERENCE Name Lot Block

X. PROPOSED USE: CODE If other, explain Seasonal Condominium Apartment
XI. PAST USE
XII. OWNERSHIP: PUBLIC PRIVATE

XIII. EST. CONSTRUCTION COST
XIV. GR. SQ. FT. OF LOT BUILDING

COMPLETE XV AND XVI ONLY IF THE NUMBER OF UNITS WILL CHANGE
XV. RESIDENTIAL BUILDINGS ONLY: BEDROOMS
# NEW DWELLING UNITS WITH: 1. BDRM. 2. BDRMS 3. BDRMS
# EXISTING DWELLING UNITS WITH:
XVI. # RESIDENTIAL UNITS: # NEW DWELLINGS # EXISTING DWELLINGS TOTAL RESIDENTIAL UNITS

APPROVALS BY: DATE
BUILDING INSPECTION - PLAN EXAMINER
ZONING:
C.E.O.
FIRE DEPT.
MISCELLANEOUS
Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical, and mechanicals.

District No.
XVII. SIGNATURE OF APPLICANT PHONE #
TYPE NAME OF ABOVE Jack Valenti for Mario Motor Sales 1 2 3 4

White - GPCOG Green - Applicant Yellow - Assessor Pink - Office File Gold - Field Inspector

PERMIT # 001114 CITY OF PORTLAND BUILDING PERMIT APPLICATION MAP # 101 LOT # 101

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: James F. Keeley, Jr. - 773-8499  
Address: P. O. Box 1074, Portland, ME 04104  
LOCATION OF CONSTRUCTION 270 Cumberland Avenue  
CONTRACTOR: White Bros. SUPPLY  
ADDRESS: Warren Ave., Westbrook, ME

Est. Construction Cost: 5,000.00 Type of Use: Filling Station & Used Car Lot.  
Past Use: Same  
Building Dimensions L     W     Sq. Ft.     # Stories     Lot Size:      
Is Proposed Use: Seasonal Condominium     Apartment    

Conversion - Explain: To demolish 1-1/2' grey cement block building. COMPLETELY ONLY IF THE NUMBER OF UNITS WILL CHANGE UTILITIES CALLED. Residential Buildings Only: # Of Dwelling Units     # Of New Dwelling Units    

Foundation:  
1. Type of Soil:      
2. Set Backs - Front     Rear     Sides      
3. Footings Size:      
4. Foundation Size:      
5. Other    

Floor:  
1. Sills Size:     Sills must be anchored.  
2. Girder Size:      
3. Lally Column Spacing:     Size:      
4. Joists Size:     Spacing 16" O.C.  
5. Bridging Type:     Size:      
6. Floor Sheathing Type:     Size:      
7. Other Material:     Size:    

Exterior Walls:  
1. Studding Size     Spacing      
2. No. windows      
3. No. Doors      
4. Header Sizes     Span(s)      
5. Bracing: Yes     No      
6. Corner Posts Size      
7. Insulation Type     Size      
8. Sheathing Type     Size      
9. Siding Type     Weather Exposure      
10. Masonry Materials      
11. Metal Materials    

Interior Walls:  
1. Studding Size     Spacing      
2. Header Sizes     Span(s)      
3. Wall Covering Type      
4. Fire Wall if required      
5. Other Materials    

White Tax Assessor

Yellow GPCOG

White Tag - CEO

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Date	Subdivision: Yes / No	LOT#
Inside Fire Alarm	Name	
Blug Code	Loc	
Time Limit	Block	
Estimated Cost: <u>\$5,000.00</u>	Permit Expiration:	
Value/Structure	Ownership	
Fee: <u>\$45.00</u>	Public	
	Private	

Ceiling:  
1. Ceiling Joists Size:     Spacing      
2. Ceiling Strapping Size:      
3. Type Ceilings:      
4. Insulation Type     Size      
5. Ceiling Height:    

Roof:  
1. Truss or Rafter Size     Spacing      
2. Sheathing Type     Size      
3. Roof Covering Type     City of Portland  
4. Other    

Chimneys:  
Type:     Number of Fire Places      
Heating:  
Type of Heat:      
Electrical:  
Type of Heat:      
Service Entrance Size:     Smoke Detector Required Yes     No    

Plumbing:  
1. Approval of soil test if required Yes     No      
2. No. of Tubs or Showers      
3. No. of Flushes      
4. No. of Lavatories      
5. No. of Other Fixtures    

Swimming Pools:  
1. Type:     Square Footage      
2. Pool Size:     X      
3. Must conform to National Electrical Code and State Law.

Zoning:  
District:     Street Frontage Req.:     Provided      
Required Setbacks: Front     Back     Side      
Review Required:    

Zoning Board Approval: Yes     No     Date:      
Planning Board Approval: Yes     No     Date:      
Conditional Use:     Variance     Site Plan     Subdivision      
Share and Floodplain Mgmt.     Special Exception      
Other (Explain)      
Date Approved    

Permit Received By Joyce M. Rinaldi  
Signature of Applicant Joe Quercy  
Signature of CEO OK Date 11-18-88  
Inspection Dates

**PERMIT # 201414 CITY OF PORTLAND BUILDING PERMIT APPLICATION**

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: James F. Keeley, Jr. - 777-8439

Address: P. O. Box 1974, Portland, OR 97208

LOCATION OF CONSTRUCTION: 721 Commercial Ave.

CONTRACTOR: White Bros. SUBCONTRACTORS

ADDRESS: Warren Ave., West-Stock, Inc.

Est. Construction Cost: 5,002.00 Type of Use: REPAIR Section & Use: Car Lot

Past Use: SEMI Sq. Ft.        # Stories:        Lot Size:       

Building Dimensions: L        W        # Stories:        Lot Size:       

Is Proposed Use:        Seasonal        Condominium        Apartment       

Conversion - Explain: To demolish 1-story cement block building.

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE (MULTIFAMILY RESIDENTIAL BUILDINGS ONLY):

# of Dwelling Units        # of New Dwelling Units       

Foundation:

1. Type of Soil:        Rear        Sides       

2. Set Backs - Front        Rear        Sides       

3. Footings Size:       

4. Foundation Size:       

5. Other       

Floor:

1. Sills Size:        Sills must be anchored.

2. Girder Size:       

3. Lally Column Spacing:        Size:        Spacing If O.C.       

4. Joist Size:        Size:        Spacing If O.C.       

5. Bridging Type:        Size:       

6. Floor Sheathing Type:        Size:       

7. Other Material:       

Exterior Walls:

1. Studding Size:        Spacing       

2. No. Windows       

3. No. Doors        Spacing       

4. Header Sizes        Spacing       

5. Bracing: Yes        No        Spacing       

6. Corner Posts Size        No.       

7. Insulation Type        Size       

8. Sheathing Type        Size       

9. Siding Type        Weather Exposure       

10. Masonry Material:       

11. Metal Materials       

Interior Walls:

1. Studding Size        Spacing       

2. Header Size        Spacing       

3. Wall Covering Type       

4. Fire Wall if required       

5. Other Materials       

White-Tax Assessor

Yellow-GPCOG

MAP #        LOT #       

For Official Use Only

Date	Subdivision	Name	Yes / No
Inside Fire Permit	Block	Block	
Time Limit	Permit Expiration	Public	
Estimated Cost: \$7,100.00	Ownership	Private	
Value/Structure: \$25,100	Fee		

Ceiling:

1. Ceiling Joists Size:        Spacing       

2. Ceiling Strapping Size        PERMIT ISSUER

3. Type Ceiling:        Size       

4. Insulation Type       

5. Ceiling Height:        NOV 28 1988

Roof:

1. Truss or Rafter Size        Span       

2. Sheathing Type        CITY OF PORTLAND

3. Roof Covering Type       

4. Other       

Chimneys:

Type:        Number of Fire Places       

Heating:

Type of Heat:       

Electrical:

Service Entrance Size:        Smoke Detector Required Yes        No       

Plumbing:

1. Approval of soil test if required        Yes        No       

2. No. of Toilets or Showers       

3. No. of Flushes       

4. No. of Lavatories       

5. No. of Other Fixtures       

Swimming Pools:

1. Type:        Square Footage       

2. Pool Size:       

3. Must conform to National Electrical Code and State Law.

Zoning:

District: B-2 Street Frontage Req:        Provided       

Required Setbacks: Front        Back        Side        Side       

Review Required:       

Zoning Board Approval: Yes        No        Date:       

Planning Board Approval: Yes        No        Date:       

Conditional Use:        Variance        Site Plan        Subdivision       

Shore and Floodplain Mgmt.        Special Exception       

Other (Explain)       

Date Approved       

Permit Received By        Joyce A. Rinaldi

Signature of Applicant        Date 11-15-88

Signature of CEO        Date 11-23-88

White Tag - CEO

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*Please return  
this form to  
Randy after  
insp.*

CITY OF PORTLAND, MAINE  
BUILDING & INSPECTION SERVICES

DATE Nov. 18, 1988

To: White Bros.  
Contractor  
Warren Ave., West., ME

With relation to permit applied for, to demolish a 1-Story cement block bldg.  
at (address) 270 Cumberland Ave., Port. belonging to

(owner) James F. Keeley, Jr.. It is unlawful to commence  
demolition work until a permit has been issued from this department.

Section 22-6 of the ordinance for rodent and vermin control provides, "It shall be unlawful to demolish a building or structure unless provision is made for rodent and vermin eradication. No permit for the demolition of a building or structure shall be issued by the Building and Inspection Services Department until, and unless, provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department."

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor, or both, to take up with the Building Inspections Department the matter of complying with this section, being prepared to inform that department which registered pest control operator is to be employed.

NOTICE - PER MUNICIPAL CODE  
A PERMIT TO DEMOLISH OR REMOVE A  
STRUCTURE SHALL EXPIRE THIRTY (30)  
DAYS AFTER THE DATE OF ISSUANCE

Very truly yours,

P. Samuel Hoffses  
Chief of Inspection Services

Inspection Services comments: No evidence of asbestos  
or vermin A. Rowe 11/21/88

Copies to:

- 1 Sewer Division
- 1 Traffic Division
- 1 Forestry Division
- 1. Sue Sargent

CITY OF PORTLAND, MAINE  
DIVISION OF INSPECTION SERVICES

DEMOLITION CALL LIST

**RECEIVED**  
NOV 18 1988

DEPT OF BUILDING INSPECTIONS  
CITY OF PORTLAND

KEELEY CONSTRUCTION CO. INC.  
JAMES F. KEELEY JR. hereby requests permission to demolish

BUILDING C 270 CUMBERLAND beginning on the following date NOVEMBER 28, 1988

for the following work as described: \_\_\_\_\_

UTILITY APPROVAL

CENTRAL MAINE POWER CO.  
Meter Department  
772-7411, ext. 290, 291, 292  
Date & Name: John Davis 11-18-88

NEW ENGLAND TELEPHONE CO.  
Dig Safe Center  
1-800-225-4977  
Date & Name: Joel C. Davis 11-18-88  
COE # 8846-2115

NORTHERN UTILITIES  
Distribution Department  
797-8002  
Date & Name: Bill J. 11-16-88

PORTLAND WATER DISTRICT  
John Libby  
774-5961, ext. 205  
Date & Name: 11-15-88 Mr. Perry

PUBLIC CABLE CO. (T.V.)  
George Grisby  
775-2381  
Date & Name: 11-15-88 CECILE

CITY OF PORTLAND

DEPARTMENT OF PARKS/PUBLIC WORKS  
Sewer Division  
775-5451, ext. 463  
Date & Name: 11-17-88

DEPARTMENT OF PARKS/PUBLIC WORKS  
Traffic Division  
775-5451, ext. 468, 469  
Date & Name: ISHIHARA 11-16-88

DEPARTMENT OF PARKS/PUBLIC WORKS  
Forestry Division  
775-5451, ext. 333, 350, 351  
Date & Name: 11-18-88 MIKE LAUGLEY

DEPARTMENT OF PLANNING/URBAN DEVELOPMENT  
Inspection Services Division  
774-5399, ext. 374 (rodent/vermin/asbestos)  
Date & Name: 11-17-88 ARTHUR ADDATO

FIRE DEPARTMENT  
Communications - Sam Allen  
775-6361, ext. 321, 322  
Date & Name: 11-16-88 FRIEMAN CLEAVES

DEPARTMENT OF PARKS/PUBLIC WORKS  
Sue Sargent  
775-5451, ext. 443  
Date & Name: OK SEWER PERMIT ATTACHED 11-17-88

ASBESTOS NOTIFICATION:

United States Environmental Protection Agency  
Region I, Air Management Division  
Room 2310  
J.F.K. Federal Building  
Boston, MA 02203

Maine Department of Environmental Protection  
Bureau of Air Quality Control  
State House Station 17  
Attn: Catharine Clayton-Richardson  
Augusta, ME 04333

I have contacted all of the above utility companies and/or necessary City departments.

Date: NOVEMBER 18, 1988

Signed: James F. Keeley

CITY OF PORTLAND, MAINE  
BUILDING & INSPECTION SERVICES

DATE Nov. 18, 1988

To: White Bros.  
Contractor  
Warren Ave., West., ME

With relation to permit applied for, to demolish a 1-story cement block bldg.  
at (address) 270 Cumberland Ave., Port. belonging to

(owner) James F. Keeley, Jr.. It is unlawful to commence  
demolition work until a permit has been issued from this department.

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The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor, or both, to take up with the Building Inspections Department the matter of complying with this section, being prepared to inform that department which registered pest control operator is to be employed.

NOTICE - PER MUNICIPAL CODE  
A PERMIT TO DEMOLISH OR REMOVE A  
STRUCTURE SHALL EXPIRE THIRTY (30)  
DAYS AFTER THE DATE OF ISSUANCE

Very truly yours,

P. Samuel Hoffses  
Chief of Inspection Services

Inspection Services comments: \_\_\_\_\_

Copies to:

1 Sewer Division  
1 Traffic Division  
1 Forestry Division  
1. Sue Sargent

SEALING SEWER DRAINS  
PRIVATE DISPOSAL SYSTEMS  
PERMIT FEE \$50.00 *pa. 11/17/88*

CITY OF PORTLAND, MAINE  
DEPARTMENT OF PUBLIC WORKS

PERMIT NO.

S 0025

DATE: Nov. 17, 1988

PERMISSION IS HEREBY GIVEN TO James F. Keely Jr.  
NAME ADDRESS  
TO (Seal drain or close private disposal system) at 270 Cumberland Avenue  
ADDRESS  
Seal Drain for demolition

SAID WORK SHALL BE PROPERLY DONE ACCORDING TO Chapter 308, Plumbing Code, and Section 24-57, Sewer Use Ordinance of the Municipal Code of the City of Portland, Maine.

THE WORK IS BEING DONE BY:

CONTRACTOR: Keeley Construction  
NAME ADDRESS

THE PROPERTY OWNER IS James F. Keely Jr.  
NAME ADDRESS

*George A. Flaherty*  
GEORGE A. FLAHERTY,  
Director of Public Works

SKETCH OF LOCATION OF WORK:

Date Completed \_\_\_\_\_

THERE IS NO RECORD IN OUR VAULT SHOWING THE EXISTING BUILDING LATERAL'S DIRECTION, COMPOSITION, DATE OF INSTALLATION, ET CETERA. UPON SEALING THE EXISTING LATERAL, AFTER DEMOLISHING THE EXISTING BUILDING, CITY INSPECTORS WILL SKETCH WHAT REMAINS OF THE EXISTING SEWER LATERAL CONNECTION.

FRANK BRANCELY  
ENGINEERING TECHNICIAN III  
11/17/88  
874-8832

RECEIVED

NOV 18 1988

Authorized Sewer Division Inspector

Date of Seal \_\_\_\_\_

DEPT OF BUILDING INSPECTIONS  
CITY OF PORTLAND

BUILDING INSPECTION COPY

045611