

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:

04-1764

Issue Date:

MAR 14 2005

CBL:

026 F008001

PERMIT ISSUED

Location of Construction: 263 Cumberland Ave	Owner Name: Clarke Merle W	Owner Address: 40 Portland Pier #2	Phone:
Business Name:	Contractor Name: Ron Johnson	Contractor Address: PO Box 445 Portland	Phone: 2077872732
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: 2-1

Past Use: commercial <i>legal use; 15 units only</i>	Proposed Use: Commercial Replace & repair Fire Escape Replace & repair Fire Escape	Permit Fee: \$93.00	Cost of Work: \$8,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group 3 Type 3 3/14/05 <i>[Signature]</i>	
		Signature: <i>[Signature]</i> Signature: <i>[Signature]</i>		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 11/30/2004	Zoning Approval		
<ol style="list-style-type: none">This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.Building permits do not include plumbing, septic or electrical work.Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>OK under 14-440</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK with condition</i> Date: <i>3/16/05</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <input type="checkbox"/> Denied Date: _____ Date: <i>3/16/05</i>
		Date: _____		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE

DATE

PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read
Application And
Notes, If Any,
Attached

PERMIT ISSUED

Permit Number: 041764

MAR 14 2005

CITY OF PORTLAND

This is to certify that Clarke Merle W/Ron Johnsonhas permission to Replace & repair Fire EscapesAT 263 Cumberland Ave

026 F008001

provided that the person or persons performing or supervising this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or otherwise closed-in. 4
OUR NO. REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. W. J. G.

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Ch. K. 3/11/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland
City Hall Rm. 315
389 Congress St.
Portland, Maine 04101

May 18, 2005
Job No. 2005-312
Pg. 1 of 1

Subject: Fire-escape at 263 Cumberland Ave., Portland, ME.

Attention: Mr. Michael Nugent

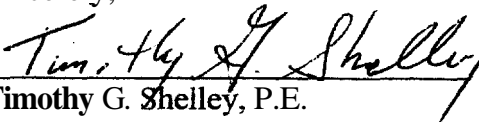
Mr. Nugent:

At the request of Mr. Ron Johnson, I made a site visit to the fire-escape located at 263 Cumberland Ave. The fire escape was originally constructed in a manner that ~~was~~ structurally sub-standard. Shelley Engineering was hired to design the required structural upgrades to bring the fire-escape to current building code structural requirements.

The purpose of my site visit was to inspect the fire-escape to determine if the structural upgrades and reinforcements designed by Shelley Engineering were properly installed. On May 17, 2005, I inspected the structural **upgrades** made to the fire-escape. My inspection found that all required upgrades and reinforcements to **the** fire-escape were done in compliance with the specifications prepared by Shelley Engineering.

Please do not hesitate to contact me should you **have** any questions.

Sincerely,


Timothy G. Shelley, P.E.

cc: Ron Johnson

6/2/05

The Fire escape has been rebuilt.

① Handrails must be returned. ② also questions regarding windows. ③ also Shelby letter will be provided to us, ^{Engineering}

AR

6/3/05 Window issue o.k. AR

9/29/05 completed

AR

**COUNTRYSIDE PROPERTIES LLC
P.O. BOX 445
SEBAGO, ME . 04029**

**City OF Portland, Me.
Attn: Marge Schmuckal
Zoning Administrator**

12/27/04

SUBJECT: Permit Application, Fire Escape, 263 Cumberland Ave.

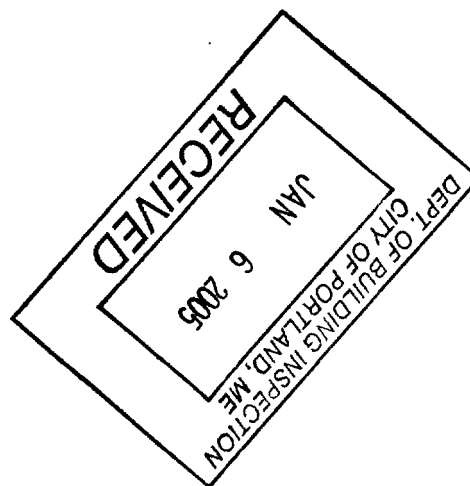
I delivered a copy of Northeast Civil Solutions sketch plan of subject property to your office last Wednesday. Based on their findings I only have approx 19" from the building to the property line, I have came up with another plan enclosed that will only require using a maximum of 15".

I would appreciate your input to determine if this would be adequate.

Respectively submitted,

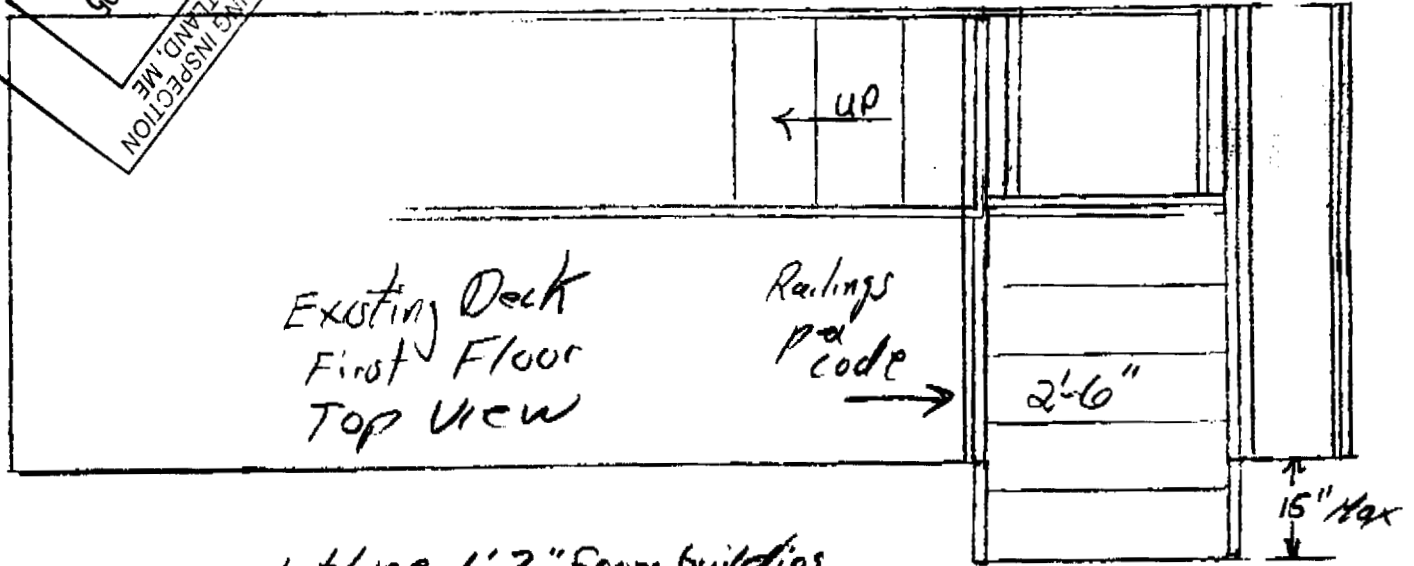
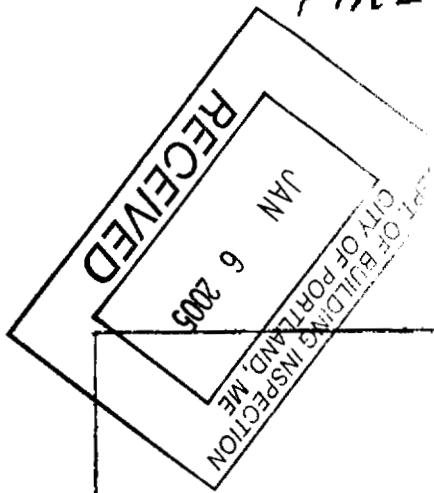
**Ron Johnson
Pending Purchaser
Cell 617-872-1027**

Sketch Plan Attached dated 12/27/04



FIRE ESCAPE LANDING TO GROUND
263 Cumberland Ave

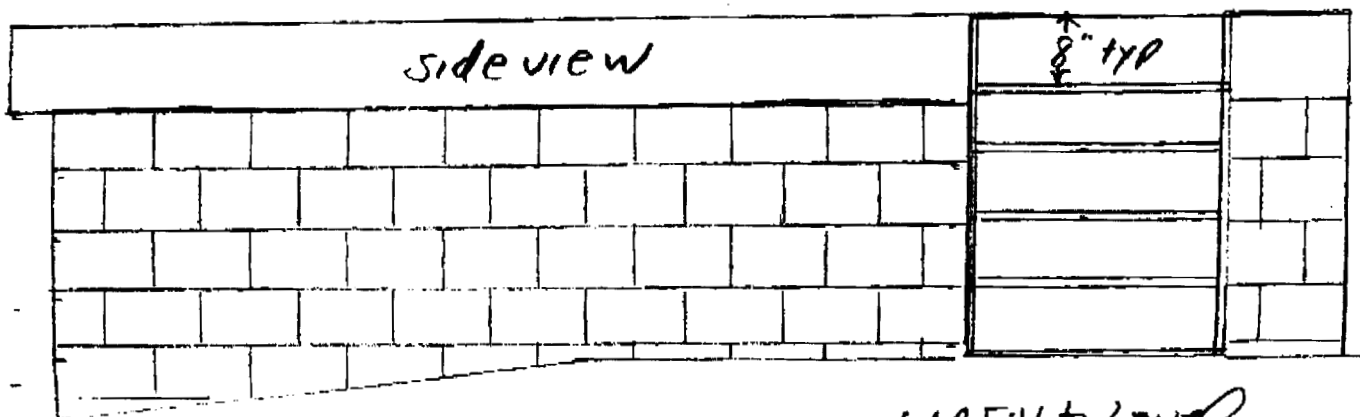
12/27/04



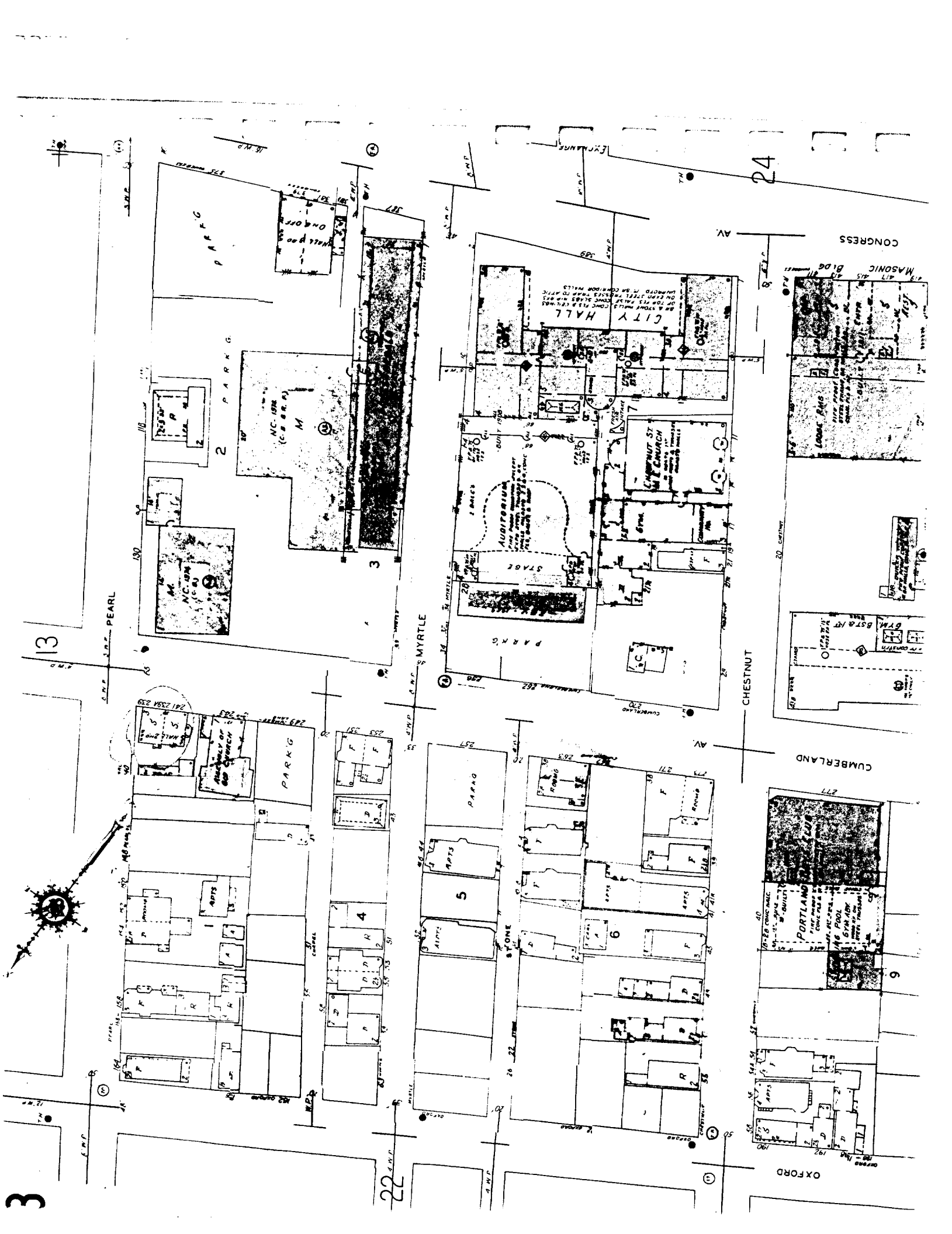
Lot line 1'7" from building
Northcut Civil

1/2" = 1'

STONE WALL



Add Fill to level



**COUNTRYSIDE PROPERTIES LLC
P.O. BOX 445
SEBAGO, ME. 04029**

City Of Portland, Me.
Permit Application Dept.

11/29/04

SUBJECT: Permit Application, Fire Escape, **263** Cumberland Ave.

I am requesting a permit to rebuild the existing fire escape at 263 Cumberland Ave.

The original fire escape ~~was~~ rotted so it was torn down this July to be replaced with a duplicate structure. A duplicate structure was built in August without a permit. This new fire escape needs to be repaired to meet current codes.

My application and fee **of** \$93.00 **as** well **as** copies **of** the construction details and floor plans are enclosed. They detail the structural modifications required. Work on the step risers and the addition of proper railings and guardrail heights will also be corrected.

These current construction details also include **a** new landing to the ground. This was not required originally. This landing addition may require **a** variance due to lot setback requirements. The landing will be a foot from the property line.

*- checking with survey people
presently*

Respectively submitted,



Ron Johnson

Pending Purchaser

263 Cum & Ave

BK 12025 PG 180

34596

Know all Men by these Presents,

That The City of Portland, a body politic and corporate, and located at Portland, in the County of Cumberland and State of Maine, in consideration of one dollar and other valuable considerations paid by CLARKE MERCE W

of Portland, in the County of Cumberland and State of Maine, the receipt whereof it does hereby acknowledge, does hereby remise, release, bargain, sell and convey, and forever quit-claim unto the said

CLARKE HERLE W AND HIS
Heirs and Assigns forever, all its right, title and interest in and to the following described real estate situated in Portland in the County of Cumberland and State of Maine and more particularly described as, viz:
REAL ESTATE PORTLAND MAINE ASSESSOR'S PLAN ON FILE IN THE ASSESSOR'S OFFICE CITY HALL PLAN 26-F-8 CUMBERLAND AVE. 261-265 & STONE ST. 2-4 2475sf

Meaning and intending to convey the same land and building which the said grantor acquired by
TAX LIEN CERTIFICATE DATED JUNE 10, 1993

The instrument above referred to recorded in the Cumberland County Registry of Deeds in Book 10748 .
Page 319

In Witness Whereof, the said City of Portland has caused this instrument to be executed and its corporate seal affixed by DUANE G KLINE Director of Finance, thereunto duly authorized, this 26th day of JULY A.D. 1995.

Signed, Sealed and Delivered in presence of
Linda J. McLeod

By [Signature] SEAL
City of Portland
Director of Finance.
DUANE G KLINE

State of Maine. ss. JULY 26, 1995
Cumberland, }

Then personally appeared the above named DUANE G KLINE and acknowledged the foregoing instrument to be his free act and deed in his said capacity, and the free act and deed in of said City of Portland.

Before me,

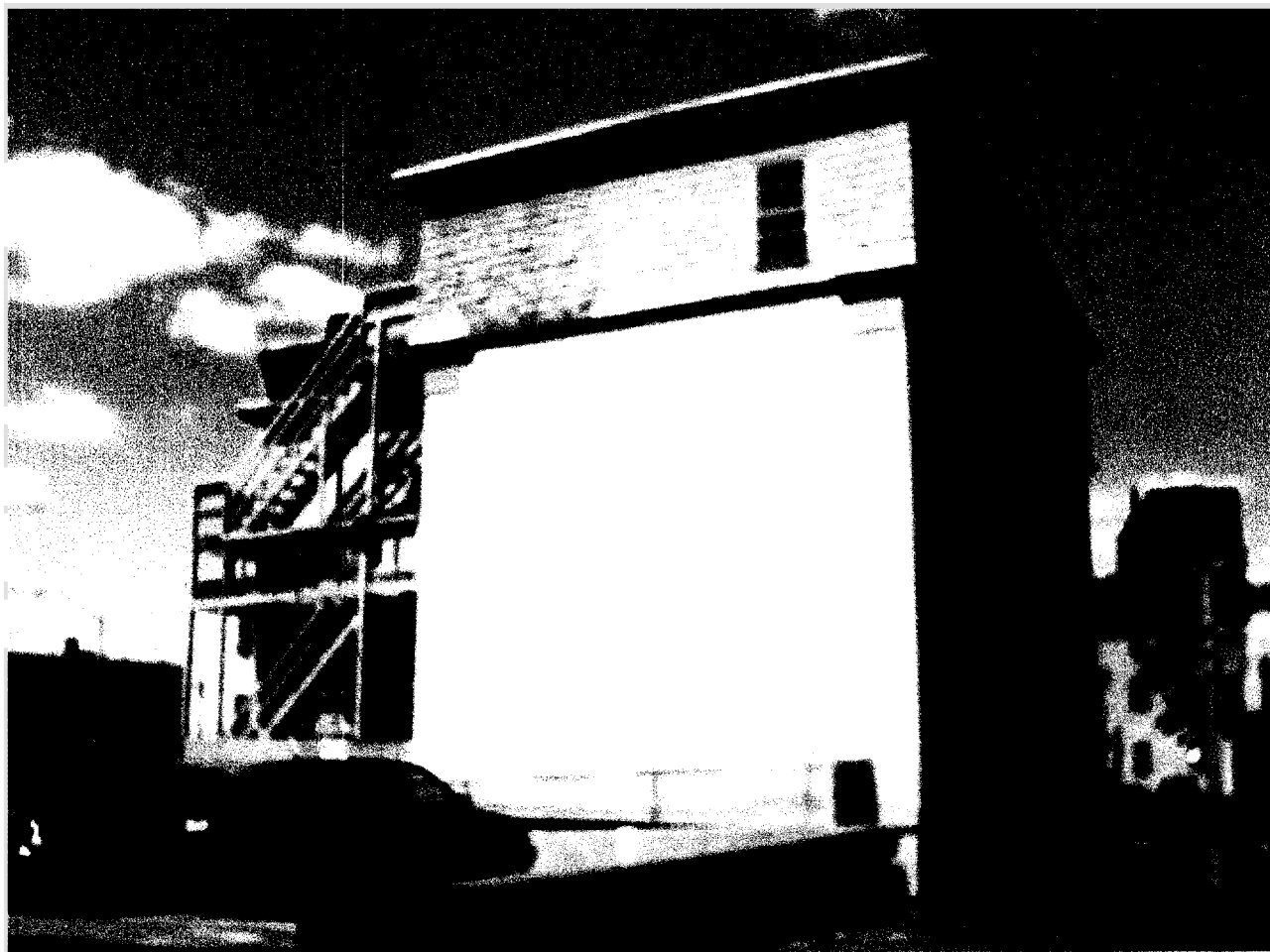
[Signature] SEAL
LINDA J. McLEOD
NOTARY PUBLIC, MAINE
MY COMMISSION EXPIRES OCT. 28, 2001
Justice of the Peace.
Notary Public.

RECEIVED
RECORDED REGISTRY OF DEEDS

95 JUL 27 AM 10:03

CUMBERLAND COUNTY

John B O'Brien



8/10/04
12:25
No Answer

Merle Clarke
761 - 3770

Merle Clark's
from 1995 has
changed
"Not in Service"

**COUNTRYSIDE PROPERTIES LLC
P.O. BOX 445
SEBAGO, ME . 04029**

City Of Portland, Me.
Attn: Marge Schmuckal
Zoning Administrator

12/27/04

SUBJECT: Permit Application, Fire Escape, 263 Cumberland Ave.

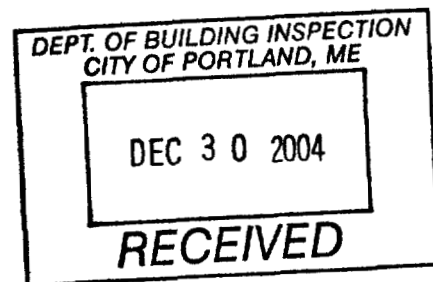
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I would appreciate your input to determine if this would be adequate.

Respectively submitted,

**Ron Johnson
Pending Purchaser
Cell 617-872-1027**

Sketch Plan Attached dated 12/27/04



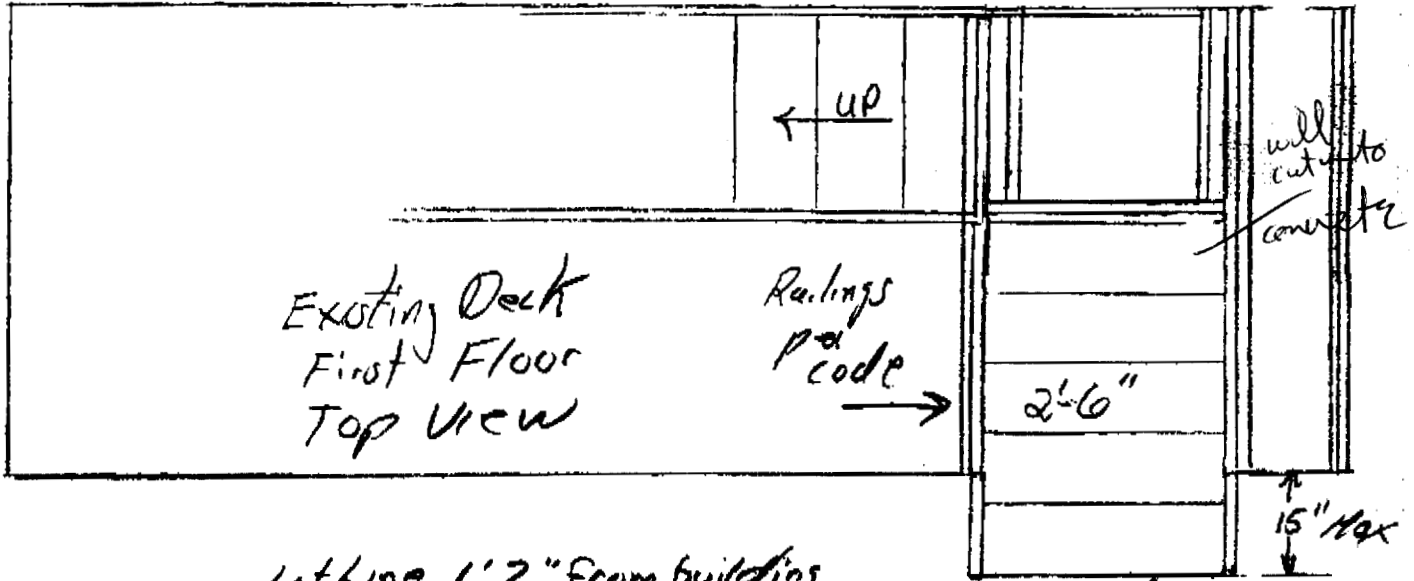
FINE ESCAPE LANDING TO GROUND
263 Cumberland Ave

12/27/04

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

DEC 30 2004

RECEIVED



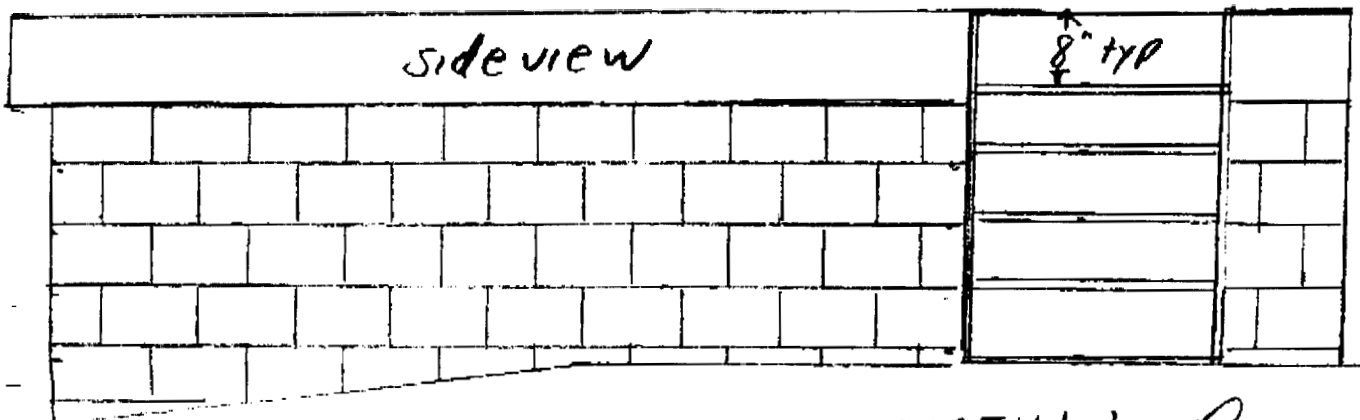
Lot line 1'-7" from building
Northcoast Civil

1/2" = 1'

2
7
19
OK 1A-ADD

1/6/05 - Discussions
with Lt MAC - OK
Presents the min. dimensions
S

STONE WALL



Add Fill to level

Please **call 874-8703 or 874-8693** to schedule your inspections as agreed upon

Permits expire in 6 months, if the **project is not** started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in **48-72** hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

☐ Footing/Building Location Inspection; Prior to pouring concrete
☐ Re-Bar Schedule Inspection: Prior to pouring concrete
☒ Foundation Inspection: Prior to placing **ANY** backfill
☒ Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
☒ Final/Certificate **of** occupancy: Prior to any occupancy of the structure or use. NOTE: There **is** a \$75.00 fee per inspection at this point.

Certificate **of** Occupancy is not required for certain projects. Your inspector can advise you **if** your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

☐ If **any** of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

CERTIFICATE OF OCCUPANCIES MUST **BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]
Signature of Applicant/Designee

3/14/05
Date

[Signature]
Signature of Inspections Official

3/14/05
Date

CBL: 026 Foo8

Building Permit #: 041764

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

04-1764

11/30/2004

026 F008001

Location of Construction: 263 Cumberland Ave	Owner Name: Clarke Merle W	Owner Address: 40 Portland Pier #2	Phone:
Business Name:	Contractor Name: Ron Johnson	Contractor Address: PO Box 445 Portland	Phone (207) 787-2732
Lessee/Buyer's Name	Phone:	Permit Type:	

Proposed Use: Commercial Replace & repair Fire Escape - 15 residential units only	Proposed Project Description: Replace & repair Fire Escape
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This image shows a blank sheet of white paper with horizontal ruling lines. A single vertical line runs down the left side, creating a margin. The paper is otherwise empty of any text or markings.

Dept: Zoning **Status:** Pending **Reviewer:** **Approval Date:**
Note: **Ok to Issue:** ☐

Dept: Building **Status:** Pending **Reviewer:** **Approval Date:**
Note: **Ok to Issue:** ☐

Comments:
1/13/2005-mjn: Need complete plans that address the Letter of violation as well as the Tim Shelley plans.
~~Need Dand on P. 8. S. agreement~~

1/13/2005-mjn: Need complete plans that address the Letter of violation as well as the Tim Shelley plans.

~~Noted Deed or Prof. Statement~~

605