

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that AVESTA PEARL STREET TWO L.P.

Located At 184 PEARL ST

Job ID: 2011-10-2374-NEWCOM

CBL: 026-E-002-001

has permission to Construct a new 54 unit residential building w/parking on ground floor provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

 12/9/11
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

~~2-8-12 DWM Rick 749-4417 spot checked footings, Contractor will provide SI report + survey~~

~~2-22-12 DWM Arctc footng Partial OK~~

~~3-7-12 DWM Rick Scott 491-7735 Partial under slab plumbing~~

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-10-2374-NEWCOM	Date Applied: 10/3/2011	CBL: 026- E-002-001	
Location of Construction: 184 PEARL ST	Owner Name: AVESTA PEARL STREET TWO L.P.	Owner Address: 307 CUMBERLAND AVE PORTLAND, ME, 04101	Phone: 553-7777
Business Name: Pearl Place – Phase 2	Contractor Name: Wright-Ryan Construction, Inc. – Cordelia Pitman	Contractor Address: 10 Danforth Street, Portland, ME 04101	Phone: 773-3625
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: B-7
Past Use: Vacant and parking lot	Proposed Use: To construct new 54 residential dwelling units with interior parking on ground floor	Cost of Work: to be paid at a later date	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group 52/R-2 Type: 18/5A IBC-2009 Signature: <i>[Signature]</i>
Proposed Project Description: 1 story parking with 4 stories of mult family		Pedestrian Activities District (P.A.D.) 12/9/11	
Permit Taken By: Gayle		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland <i>N/A</i></p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone <i>panel 13 zone C</i></p> <p><input checked="" type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan #10-99700006</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>OK with conditions</i> <i>10/5/11</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

2-8-12 DWM Rick 749-4417 spot checked footings, S.I reports + Survey to follow
2-22-12 " " " " " " " " "
3-7-12 " " " Scott 491-7735 (Mech) Plumb under slab Lines 5-5.5 + 6.6 - J west.
3-30-12 Storm inspections not required as per Director
4-4-12 DWM ~~Scott~~ Scott under slab sanitary "A" wings OK

Memorandum
Department of Planning and Urban Development
Planning Division



To: Phil DiPierro- Development Review Coordinator
Assessor's Office
Capt. Chris Pirone- Fire Department
Matt Doughty- Public Services-
Marge Schmuckal- Zoning Administrator
Bill Clark- Public Services- Site Plans and CD

From: Philip DiPierro, Development Review Coordinator

Date: January 13, 2012

RE: Final Site Plans for 184 Pearl Street, Pearl Place II

CBL: 026-E-002-001
App #: 10-99700006
Project Address: 184 Pearl Street

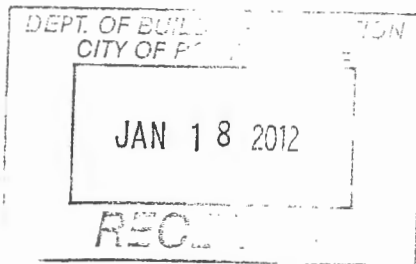
Attached are the final site plans for 184 Pearl Street, Pearl Place II, which was approved by the Planning Authority on February 22, 2011 as Level II site plan application for the affordable housing project.

If you have any questions, please contact me.

Thanks.

Phil

*perm # 2011-10-2374
issued*



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Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <i>N/A</i>	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in Dist or Landmark
<input type="checkbox"/> Wetlands	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does not Require Review
<input type="checkbox"/> Flood Zone <i>panel 13 Zone C</i>	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
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<input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>ok with conditions</i> <i>[Signature]</i> 10/5/11	Date:	Date: <i>[Signature]</i>

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SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Foundation/Rebar

Close In Elec/Plmb/Frame prior to insulate or gyp

Certificate of Occupancy Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-10-2374-NEUCOM

Located At: 184 PEARL ST

CBL: 026- E-002-001

Conditions of Approval:

Zoning

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2. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
3. This property shall remain 54 residential dwelling units with the issuance of this permit and subsequent issuance of a certificate of occupancy. Any change of use shall require a separate permit application for review and approval.
4. This B-7 zone has maximum noise allowances. The City of Portland strictly enforces the level of sound generated on the property. Any verified noise violations shall require the owner to take mitigating measures to bring the property and the noise it generates into compliance. All separate permits for HVAC systems shall include the amount of dBAs emitted by the units.

Fire

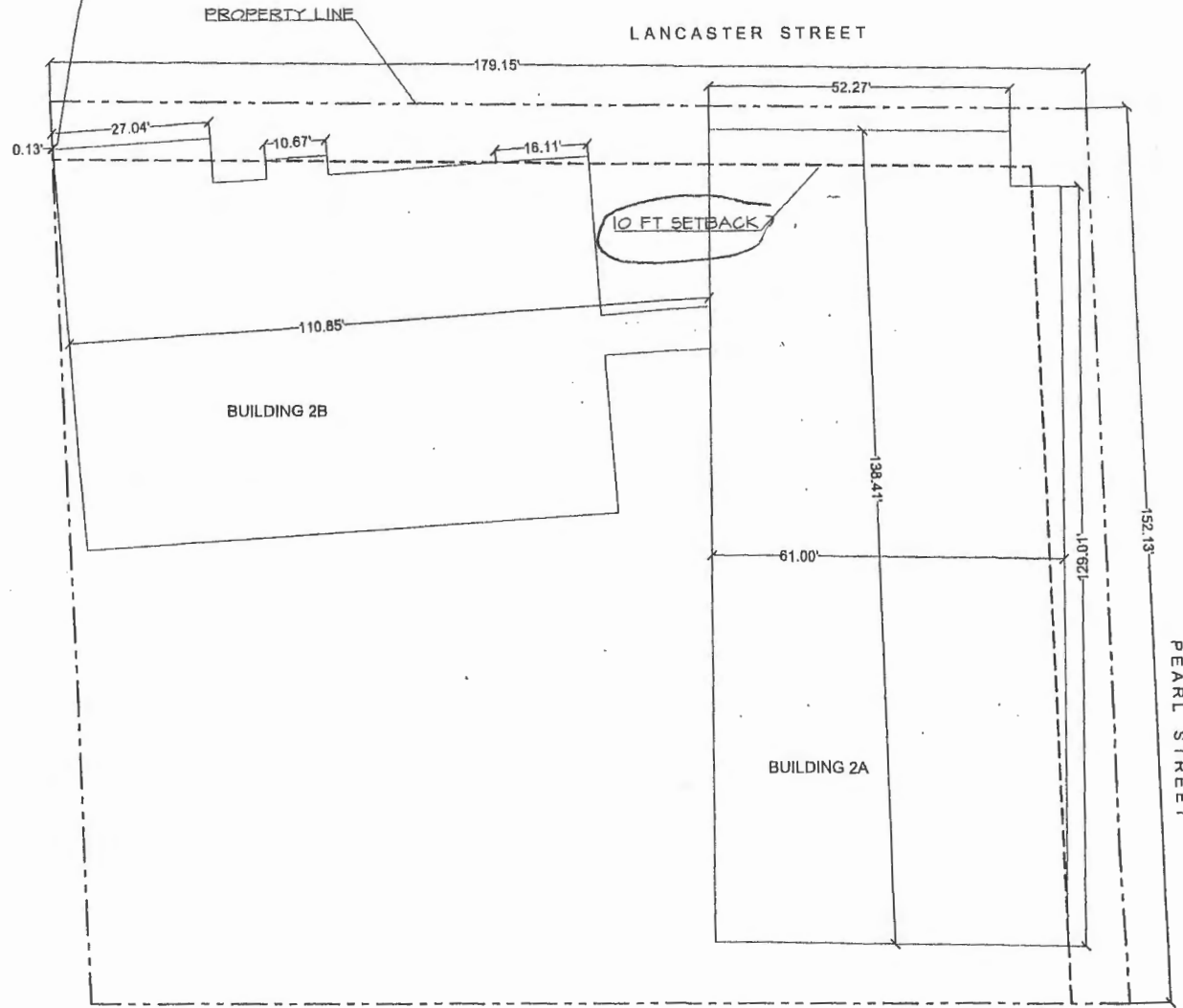
1. All construction shall comply with City Code Chapter 10.
2. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
3. Application requires State Fire Marshal approval.
4. These plans have not been evaluated for fire alarm, carbon monoxide detection, sprinkler, or standpipe installation.
5. A separate Fire Alarm Permit is required.
6. The fire alarm system shall comply with the City of Portland Standard for Signaling Systems for the Protection of Life and Property. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department.
7. All fire alarm records required by NFPA 72 should be stored in an approved cabinet located at the FACP labeled "FIRE ALARM RECORDS".
8. Records cabinet, FACP, annunciator(s), and pull stations shall be keyed alike.
9. Central Station monitoring for addressable fire alarm systems shall be by point.
10. Fire alarm system requires a wireless master box connection per city ordinance. Master box design and installation shall be as approved by City Electrical Division.
11. All smoke detectors and smoke alarms shall be photoelectric.
12. Hardwired Carbon Monoxide alarms with battery back up are required in the dwelling units.
13. Carbon Monoxide detection system is required per NFPA 720.
14. The sprinkler system shall be installed in accordance with NFPA 13.

15. A Class 1 Wet Standpipe System shall be installed in accordance with NFPA 14. Standpipes shall be installed in each exit stair on intermediate landings and at the top landing giving access to the roof. The installer shall provide two Kocheck 2 1/2" NH 45 Degree Line Gauges [LG25-45] to the Fire Department in lieu of individual discharge gauges.
16. Separate Suppression System Permit(s) are required.
17. Sprinkler supervision shall be provided in accordance with NFPA 101, *Life Safety Code*, and NFPA 72, *National Fire Alarm and Signaling Code*. Sprinkler supervisory systems shall monitor for water flow and sprinkler supervisory signals via the fire alarm panel to central station.
18. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
19. Fire department connection type and location shall be approved in writing by fire prevention bureau. The Fire Department will require Knox locking caps on all Fire Department Connections on the exterior of the building.
20. System acceptance and commissioning must be coordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.
21. Model 4100 Knox Box(s) shall be installed in approved locations.
22. The building shall be master keyed. Access control cards shall not be acceptable.
23. Fire extinguishers are required per NFPA 10.
24. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
25. Any cutting and welding done will require a Hot Work Permit from Fire Department.
26. Walls in structure are to be labeled according to fire resistance rating. IE; 1 hr. / 2 hr. / smoke proof.
27. A single source supplier should be used for all through penetrations.
28. The requirements of City Code 10-4 shall be provided including records box, low proximity signage, and exit stair path markings.
29. The building shall comply with the *City of Portland Requirements Regarding Building, Stair, Suite and Room Designations*. Stairs shall be designated "STAIR A", "STAIR B", and "STAIR C". The primary stair shall be "STAIR A". The parking level shall be designated Floor 1. Room designations shall be realigned to match these designations. A copy of the standard can be viewed at <http://www.portlandmaine.gov/fireprevention/>

Building

1. Application approval based upon information provided by applicant including dated revisions. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
3. Special inspection reports shall be submitted to this office on a periodic basis. A final special inspection report must be submitted prior to issuance of a certificate of occupancy. This report must demonstrate any deficiencies and corrective measures that were taken.

NOTE:
0.13' OFFSET TO PROPERTY LINE



LOT 2 FRONTAGE	PEARL STREET	152.13'	
	LANCASTER STREET	179.15'	
	TOTAL	331.28'	
BLDG 2A	BUILDING LENGTH- PEARL	138.41'	
	LANCASTER	61.0'	
	TOTAL BLDG LENGTH	199.41'	
	FRONTAGE <10 FT FROM PEARL	129.01'	
	<10' FROM LANCASTER	52.27'	
BLDG 2B	TOTAL FRONTAGE <10'	181.28'	(95.1%)
	BUILDING LENGTH- LANCASTER	110.85'	
	FRONTAGE <10' FROM LANCASTER	53.82'	(48.6%)
COMBINED 2A + 2B	TOTAL BUILDING LENGTH	301.39'	
	TOTAL BUILDING < 10 FT TO P.L.	235.10'	(78.0%)

PEARL PLACE II

REVISED BUILDING FOOTPRINT &
ZONING SETBACK CALCULATIONS

SCALE: 1"= 20'-0"
DATE: OCT 07, 2010

BY: CARROLL ASSOCIATES

14-298(c)2.a



FAX

MEMO

NOTES

TELCON

TRANSMITTAL

DATE: 02 November 2011

Jeanie Bourke

TO/COMPANY: Code Enforcement Officer / Plan Reviewer
Portland Maine Planning & Urban Development Department

PROJECT: AVESTA - 184 Pearl Street (Pearl Place 2)

FROM: Kathryn Cogan
Alan Kuniholm

RE: Comments & Clarifications to Permit Drawings requested on 10/31/11 via telephone

	Comment	Response
1.	Statement of Special Inspections - Include Fire Resistant Spray to be inspected per IBC 2009 Section 1704.12	Fire Resistant Spray shall be included in the Statement of Special Inspections. See attached Statement of Special Inspections for reference.
2.	A001 - Free Area Calculations for B Wing is mislabeled.	Clarified over the phone.
3.	Clarify Separation Distance for exterior wall along column line I and provide allowable opening area calculations	Fire Separation Distance for exterior wall along Column Line I is 30'0" to the interior lot line. 9'7" See attached PDF for opening area calculations
4.	Standpipe at Stair 2 Ground Level appears inaccessible	There will be a branch from the standpipe out to the face of the wall that encloses the area under the stair. This branch line and connection is shown on M2.I
5.	Safety Glazing for windows - Indicate windows at stairwells to have safety glazing	See attached elevations for clarification
6.	Clarify locations of safety glazing at Link curtainwall.	Glazing at the link shall comply with IBC Section 2406. Since all single panes of non-spandrel glass are greater than 9 sq.ft., it will all be required to be tempered safety glazing. See attached elevations for clarification

cc: Seth Parker, Avesta Housing
Cordelia Pittman, Wright-Ryan Construction, Inc.
Craig Hill, Wright-Ryan Construction, Inc
David Lewis, PDT Architects
Alan Kuniholm, PDT Architects
File

Attachments:

Exterior Wall Column I.pdf
A200 Safety Glazing.pdf

Statement of Special Inspections SFRM.pdf
A60I Safety Glazing.pdf

RECEIVED
 NOV - 4
 Dept. of Building Inspections
 City of Portland Maine

184 Pearl

026-E002-001

Permit # 2011-10-2374

54 Unit Residential

*Plans out Back By
Marge.*

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PENALTY FOR REMOVING THIS CARD**

Architecture ■ Interior Design ■ Planning

7/14/10

Marilyn E. Lelvian, NCARB
Registered Architect
Associate

49 Dartmouth Street
Portland, Maine 04101
207-775-1059 ■
207-775-2694 Fax



www.pdtarchs.com
e-mail: lelvia@pdtarchs.com

Memorandum
Department of Planning and Urban Development
Planning Division



To: Phil DiPierro- Development Review Coordinator
Assessor's Office
Capt. Chris Pirone- Fire Department
Matt Doughty- Public Services-
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From: Philip DiPierro, Development Review Coordinator

Date: January 13, 2012

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CBL: 026-E-002-001
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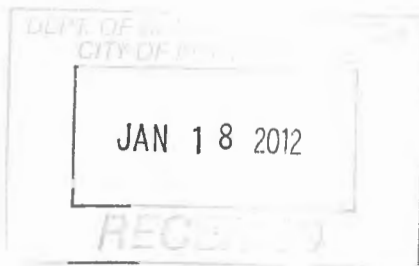
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Director of Planning and Urban Development
Penny St. Louis

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CD entered
received ED

2011 10 2374



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>104 PEARL STREET; PORTLAND, ME 04101</u>		
Total Square Footage of Proposed Structure/Area <u>70,761 S.F.</u>		Square Footage of Lot <u>27,369 S.F. (0.63 acre)</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>026 E002 001</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>AVISTA PEARL STREET TWO L.P.</u> Address <u>307 CUMBERLAND AVE.</u> City, State & Zip <u>PORTLAND, ME 04101</u>	Telephone: <u>207-553-7777</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>8,075,000.00</u> C of O Fee: \$ <u>75.00</u> Total Fee: \$ <u>80,845.00</u>
Current legal use (i.e. single family) <u>PARKING LOT</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>MULTI-FAMILY</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>ONE STORY OF STRUCTURED PARKING WITH FOUR STORIES OF MULTI-FAMILY HOUSING.</u> <u>for all S & D. U.</u>		
Contractor's name: <u>WRIGHT-RYAN CONSTRUCTION, INC</u> Address: <u>10 DANFORTH ST.</u> City, State & Zip <u>Portland, ME. 04101</u> Telephone: <u>773-3625</u> Who should we contact when the permit is ready: <u>Cordelia Pitman</u> Telephone: <u>773-3625</u> Mailing address: <u>(Same as above)</u>		

outlined on the applicable Checklist. Failure to
automatic denial of your permit.



Building Maine's Great Spaces

Cordelia T. Pitman, R.A., LEED AP
Director of Pre-construction Services
cpitman@wright-ryan.com
Cell (207)415-3654

full scope of the project, the Planning and Development Department issuance of a permit. For further information or to download copies of forms Division on-line at www.portlandmaine.gov, or stop by the Inspections

Wright-Ryan Construction, Inc.
10 Danforth Street • Portland, Maine 04101
Phone (207)773-3625 • Fax (207)773-5173
www.wright-ryan.com

named property, or that the owner of record authorizes the proposed work and application as his/her authorized agent. I agree to conform to all applicable work described in this application is issued, I certify that the Code Official's enter all areas covered by this permit at any reasonable hour to enforce the

Signature: Cordelia Pitman Date: 9/26/10

This is not a permit; you may not commence ANY work until the permit is issued



PORTLAND MAINE

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Receipts Details:

Tender Information: Check , BusinessName: Wright-Ryan Const, Check Number: 81286
Tender Amount: 80845.00

Receipt Header:

Cashier Id: Ldobson
Receipt Date: 12/9/2011
Receipt Number: 13793

Receipt Details:

Referance ID:	3710	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	80770.00	Charge Amount:	80770.00
Job ID: Job ID: 2011-10-2374-NEWCOM - 1 story parking with 4 stories of mulit family			
Additional Comments: 184 Pearl St			

Referance ID:	3711	Fee Type:	BP-C of O
Receipt Number:	0	Payment Date:	
Transaction Amount:	75.00	Charge Amount:	75.00
Job ID: Job ID: 2011-10-2374-NEWCOM - 1 story parking with 4 stories of mulit family			

Additional Comments: 184 Pearl St

Thank You for your Payment!

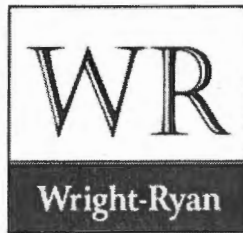
Marge Schmuckal - 184 Pearl St, AVESTA

From: Gayle Guertin
To: Marge Schmuckal; Tammy Munson
Date: 10/5/2011 12:35 PM
Subject: 184 Pearl St, AVESTA
CC: Gayle Guertin

Hi,

I forwarded the permit application as of 10-5-11. The fee will be paid in the beginning of November, 2011. They are waiting for the loan to close first.

Thanks Gayle



September 30, 2011

Ms. Tammy Munson
Division Director
Inspection Services Program
City of Portland
Portland, Maine 04101

Reference: Pearl Place II – 184 Pearl Street

Dear Ms. Munson,

Wright-Ryan Construction is pleased to be able to say we have been selected as the G.C. for the Pearl Place II project. Enclosed and attached please find a Building Permit Application for the above referenced project. I am attaching a paper copy of the Building Permit Application and a CD with the same. Also attached are all the drawings, Addenda and Specifications, in both paper and electronic form. My understanding from Seth Parke, the Development Officer from Avesta, is that you are allowing Avesta to submit the check for the Building Permit at their closing, and that the City of Portland will review the attached Permit material in the meantime.

Please call or email with any questions or comments.

Sincerely,

Cordelia Pitman, RA, LEED AP
Director of Preconstruction Services

Building Maine's Great Spaces

Wright-Ryan Construction, Inc. ▪ 10 Danforth Street ▪ Portland, Maine 04101
Phone (207)773-3625 ▪ Fax (207)773-5173 ▪ www.wright-ryan.com



Certificate of Design Application

From Designer: ALAN G. KUNIHOLM
 Date: 09.26.2011
 Job Name: PEARL PLACE 2
 Address of Construction: 184 PEARL ST. PORTLAND, ME 04101

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2009 Use Group Classification (s) S-2 ; R-2
 Type of Construction PARKING = IB ; RESIDENTIAL = VA
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES
 Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) SEPARATED
 Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) _____

Structural Design Calculations

N/A Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Floor Area Use	Loads Shown
<u>RESIDENTIAL</u>	<u>40 PSF</u>
<u>STAIRS</u>	<u>100 PSF</u>
<u>PUBLIC ROOMS & CORRIDORS</u>	<u>100 PSF</u>

Wind loads (1603.1.4, 1609)

ANALYTICAL Design option utilized (1609.1.1, 1609.6)
100 MPH Basic wind speed (1809.3)
 $F_w = 1.0$ Building category and wind importance Factor, K
 table 1604.5, 1609.5)
B Wind exposure category (1609.4)
 ± 0.18 Internal pressure coefficient (ASCE 7)
PER ASCE 7-02 Component and cladding pressures (1609.1.1, 1609.6.2.2)
PER ASCE 7-02 Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

EQ FORCE METHOD Design option utilized (1614.1)
1 Seismic use group ("Category")
.481 ; .179 Spectral response coefficients, SD_0 & SD_1 (1615.1)
E Site class (1615.1.5)

N/A Live load reduction
N/A Roof live loads (1603.1.2, 1607.11)
 $f_s = 46.2 PSF$ Roof snow loads (1603.7.3, 1608)
 $P_g = 60 PSF$ Ground snow load, P_g (1608.2)
 $f_f = 46.2 DF$ If $P_g > 10$ psf, flat-roof snow load f_f
1.0 If $P_g > 10$ psf, snow exposure factor, C_e
1.0 If $P_g > 10$ psf, snow load importance factor, I_s
1.1 Roof thermal factor, C_t (1608.4)
N/A Sloped roof snowload, P_s (1608.4)
C Seismic design category (1616.3)
BEARING WALL + BLDG. FRAME Basic seismic force resisting system (1617.6.2)
 $R = 3.0 \text{ \& } 6.5$ Response modification coefficient, R , and
 $C_d = 3.0 \text{ \& } 4.0$ deflection amplification factor, C_d (1617.6.2)
EQ FORCE METHOD Analysis procedure (1616.6, 1617.5)
PER ASCE 7-02 Design base shear (1617.4, 1617.5.1)
 Flood loads (1803.1.6, 1612)
N/A Flood Hazard area (1612.3)
N/A Elevation of structure
 Other loads
300 @ STAIRS Concentrated loads (1607.4)
N/A Partition loads (1607.5)
N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Certificate of Design

Date: 09.26.2011

From: ALAN G. KUNIHOLM

These plans and / or specifications covering construction work on:

PEARL PLACE 2
184 PEARL ST. PORTLAND, ME 04101

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: *Alan G. Kuniholm*
Title: PRINCIPAL
Firm: PDT ARCHITECTS
Address: 49 DATCHMOUTH STREET.
PORTLAND, ME, 04101.
Phone: 207-775-1059

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Accessibility Building Code Certificate

Designer: ALAN G. KUNIHOLM

Address of Project: 194 PEARL ST. PORTLAND, ME 04101

Nature of Project: STRUCTURED PARKING - ONE STORY
MULTI-FAMILY RESIDENTIAL - FOUR STORIES

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: AK Kuniholm

Title: PRINCIPAL

Firm: PDT ARCHITECTS

Address: 49 DARTMOUTH STREET.
PORTLAND, ME. 04101

Phone: 207-775-1079

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Project: Pearl Place II
Date Prepared: March 21, 2011

Structural Statement of Special Inspections

Project: Pearl Place II

Location: Portland, ME

Owner: Avesta Pearl Street Two, L.P.

This Statement of Special Inspections encompasses the following discipline: Structural

This Statement of Special Inspections is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Structural Special Inspection Coordinator (SSIC) and the identity of other approved agencies to be retained for conducting these inspections and tests.

The Structural Special Inspection Coordinator shall keep records of all Structural inspections and shall furnish inspection reports to the Building Code Official (BCO) and the Structural Registered Design Professional in Responsible Charge (SRDP). Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Structural Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Structural Registered Design Professional in Responsible Charge at an interval determined by the SSIC and the BCO.

A Final Report of Special Inspections documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted to the BCO prior to issuance of a Certificate of Use and Occupancy.

Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: Upon request of Building Official _____ or per attached schedule.

Prepared by:

Paul Becker

(type or print name of the Structural Registered Design Professional in Responsible Charge)


Signature

3-21-2011
Date



Owner's Authorization:

Signature

Date

Building Code Official's Acceptance:


Signature

4/4/11
Date



FAX

MEMO

NOTES

TELCON

TRANSMITTAL

DATE: 02 November 2011
 Jeanie Bourke
TO/COMPANY: Code Enforcement Officer / Plan Reviewer
 Portland Maine Planning & Urban Development Department
PROJECT: AVESTA – 184 Pearl Street (Pearl Place 2)
FROM: Kathryn Cogan
 Alan Kuniholm
RE: Comments & Clarifications to Permit Drawings requested on 10/31/11 via telephone

	Comment	Response
1.	Statement of Special Inspections - Include Fire Resistant Spray to be inspected per IBC 2009 Section 1704.12	Fire Resistant Spray shall be included in the Statement of Special Inspections. See attached Statement of Special Inspections for reference.
2.	A001 – Free Area Calculations for B Wing is mislabeled.	Clarified over the phone.
3.	Clarify Separation Distance for exterior wall along column line 1 and provide allowable opening area calculations	Fire Separation Distance for exterior wall along Column Line 1 is 30'0" to the interior lot line. → 9'7" See attached PDF for opening area calculations
4.	Standpipe at Stair 2 Ground Level appears inaccessible	There will be a branch from the standpipe out to the face of the wall that encloses the area under the stair. This branch line and connection is shown on M2.1
5.	Safety Glazing for windows - Indicate windows at stairwells to have safety glazing	See attached elevations for clarification
6.	Clarify locations of safety glazing at Link curtainwall.	Glazing at the link shall comply with IBC Section 2406. Since all single panes of non-spandrel glass are greater than 9 sq.ft., it will all be required to be tempered safety glazing. See attached elevations for clarification

cc: Seth Parker, Avesta Housing
 Cordelia Pittman, Wright-Ryan Construction, Inc.
 Craig Hill, Wright-Ryan Construction, Inc
 David Lewis, PDT Architects
 Alan Kuniholm, PDT Architects
 File

Attachments:

Exterior Wall Column 1.pdf
 A200 Safety Glazing.pdf

Statement of Special Inspections SFRM.pdf
 A601 Safety Glazing.pdf

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 Dept. of Building Inspections
 City of Portland Maine

Jeanie Bourke - Pearl Place 2 - Response to Plan Review Comments - 11/02/11

From: Kathy Cogan Kahill <cogan@pdtarchs.com>
To: "JMB@portlandmaine.gov" <JMB@portlandmaine.gov>
Date: 11/2/2011 1:58 PM
Subject: Pearl Place 2 - Response to Plan Review Comments - 11/02/11
CC: Cordelia Pitman <cpitman@wright-ryan.com>, "chill@wright-ryan.com" <chil...
Attachments: 184PearlSt-M-plan review response-110211.pdf; Exterior Wall Column 1.pdf; A200 - SAFETY GLAZING.pdf; A601 - SAFETY GLAZING.pdf; Statement of Special Inspections SFRM.pdf

Good morning Jeanie,

Attached please find a memo that responds to the clarifications you requested in our phone conversation on 10/31/11. Additional graphic attachments are included for reference. Also attached is a Special Inspections Statement for Spray Applied Fire Resistant Material as requested.

Please feel free to contact me with any questions or concerns.

Thank you,
Kathy

Kathy Cogan Kahill, LEED AP

PDT Architects
49 Dartmouth Street
Portland, ME 04101

(207).775.1059
www.pdtarchs.com

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Project: Pearl Place II
Date Prepared: November 1, 2011

Statement of Special Inspections – A/M/E/P

Project: Pearl Place II
Location: Portland, ME
Owner: Avesta Pearl Street Two, LP

This Statement of Special Inspections encompass the following discipline:

Mechanical/Electrical/Plumbing

Architectural Other: _____
Design Professional in Responsible Charge: Alan G. Kuniholm

Firm Name: PDT ARCHITECTS

(Note: Statement of Special Inspections for other disciplines may be included under a separate cover)

This Statement of Special Inspections is submitted as a condition for permit issuance in accordance with the Special Inspection and Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Special Inspection Coordinator (SIC) and the identity of other approved agencies to be retained for conducting these inspections and tests.

The Special Inspection Coordinator shall keep records of all inspections and shall furnish inspection reports to the Building Code Official (BCO) and the Registered Design Professional in Responsible Charge (RDP). Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Registered Design Professional in Responsible Charge at an interval determined by the RDP, SIC and the BCO.

A Final Report of Special Inspections documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted to the BCO prior to issuance of a Certificate of Use and Occupancy.

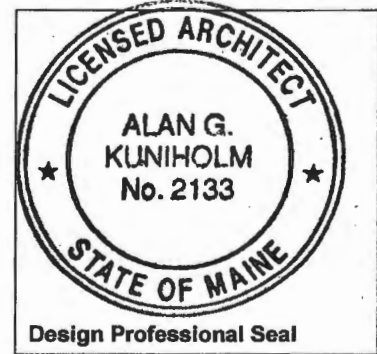
Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: Upon request of Building Official _____ or per attached schedule.

Prepared by:

Alan G. Kuniholm
(type or print name of the Registered Design Professional in Responsible Charge)


Signature _____ Date 11-02-11



Owner's Authorization:

Signature _____ Date _____

Building Code Official's Acceptance:


Signature _____ Date 11/4/11

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City of Portland Maine

Project: Pearl Place II
Date Prepared: November 1, 2011

Statement of Special Inspections – AM/E/P (Continued)

List of Agents

Project: *Pearl Place II*

Location: *Portland, ME*

Owner: *Avesta Pearl Street Two, LP*

This *Statement of Special Inspections* encompass the following discipline:

- Architectural
 Mechanical/Electrical/Plumbing
 Other: _____

(Note: *Statement of Special Inspections* for other disciplines may be included under a separate cover)

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- Spray Fire Resistant Material
 Exterior Insulation and Finish
 Mechanical & Electrical
 Architectural Systems
 Special Cases

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Special Inspection Agencies	Firm	Address, Telephone, e-mail
1. Special Inspection Coordinator (SIC)	<i>PDT Architects</i>	<i>49 Dartmouth St. Portland, ME 207.775.1059 info@pdtarchs.com</i>
2. Special Inspector (SI 1)	<i>S.W. Cole Engineering</i>	<i>286 Portland Road Gray, ME 04039 207.657.2866 infogray@swcole.com</i>
3. Special Inspector (SI 2)		
4. Testing Agency (TA 1)	<i>S.W. Cole Engineering</i>	<i>286 Portland Road Gray, ME 04039 207.657.2866 infogray@swcole.com</i>
5. Testing Agency (TA 2)		
6. Other (O1)		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Project: Pearl Place II
Date Prepared: November 1, 2011

Statement of Special Inspections – A/M/E/P (Continued)

Final Report of Special Inspections (SIC)

[To be completed by the Special Inspections Coordinator (SIC). Note that all Agent's Final Reports must be reviewed prior to issuance.]

Project: *Pearl Place II*
Location: *Portland, ME*
Owner: *Avesta Pearl Street Two, LP*
Owner's Address: 307 Cumberland Ave
Portland, ME 04101

Architect of Record: Alan G. Kuniholm PDT Architects
(name) (firm)

Registered Design Professional in Responsible Charge: Alan G. Kuniholm PDT Architects
(name) (firm)

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City of Portland Maine

To the best of my information, knowledge and belief, the Special Inspections required for this project, and itemized in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved.

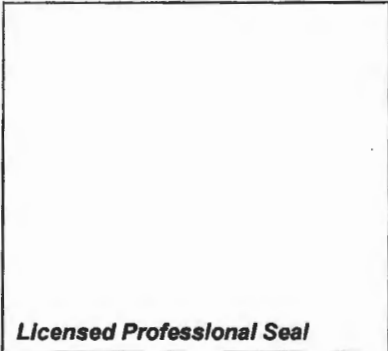
Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
Special Inspection Coordinator

(Type or print name)

(Firm Name)

Signature Date



Project: Pearl Place II
Date Prepared: November 1, 2011

Statement of Special Inspections – A/M/E/P (Continued)
Special Inspector's/Agent's Final Report

Project: *Pearl Place II*
Special Inspector or
Agent:

Designation: *SI 1 & TA1*

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City of Portland Maine

To the best of my information, knowledge and belief, the Special Inspections or testing required for this project, and designated for this Inspector/Agent in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved.

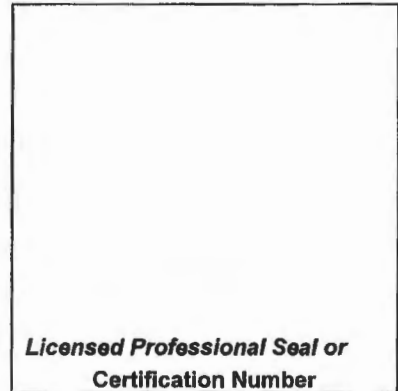
Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
Special Inspector or Agent:

(Type or print name)

Signature

Date



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City of Portland Maine

Schedule of Special Inspections – A/M/E/P

Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided to the Special Inspector for their records. *NOTE VERIFICATION THAT QUALIFIED INDIVIDUALS ARE AVAILABLE TO PERFORM STIPULATED TESTING AND/OR INSPECTION SHOULD BE PROVIDED PRIOR TO SUBMITTING STATEMENT. AGENT QUALIFICATIONS IN SCHEDULE ARE SUGGESTIONS ONLY; FINAL QUALIFICATIONS ARE SUBJECT TO THE DISCRETION OF THE REGISTERED DESIGN PROFESSIONAL PREPARING THE SCHEDULE.*

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge or Special Inspector of Record deems it appropriate that the individual performing a stipulated test or inspection have a specific certification, license or experience as indicated below, such requirement shall be listed below and shall be clearly identified within the schedule under the Agent Qualification Designation.

RA	Registered Architect – a licensed Registered Architect
PE	Professional Engineer – a licensed PE specializing in the discipline to be inspected
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

Experienced Testing Technician

ETT	Experienced Testing Technician – An Experienced Testing Technician with a minimum 5 years experience with the stipulated test or inspection
-----	---

International Code Council (ICC) Certification

ICC-SFSI	Spray-Applied Fireproofing Special Inspector
----------	--

Exterior Design Institute (EDI) Certification

EDI-EIFS	EIFS Third Party Inspector
----------	----------------------------

Other

Project: Pearl Place II
 Date Prepared: November 1, 2011

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 City of Buffalo, NY

Schedule of Special Inspections – A/M/E/P
SPRAYED FIRE-RESISTANT MATERIALS

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
IBC Section 1704.12						
1. Surface Conditions: Verify surfaces are prepared in accordance with the approved fire-resistance design and the approved manufacturer's written instructions prior to application of the sprayed fire-resistant material	Y	P	IBC 1704.12.2	SI1	RA, PE, EIT, ETT, OR ICC-SFSI	
2. Application: Verify the substrate shall have a minimum ambient temperature before and after application as specified in the approved manufacturer's written instruction. The area for application shall be ventilated during and after application as required by the approved manufacturer's written instructions.	Y	P	IBC 1704.12.3	SI1	RA, PE, EIT, ETT, OR ICC-SFSI	
3. Thickness: Verify that no more than 10 percent of the thickness measurements of the sprayed fire-resistant materials applied to floor, roof, and wall assemblies and structural members shall be less than the thickness required by the approved fire-resistance design, but in no case less than the minimum allowable thickness required by Section 1404.12.4.1						
a. Floor, Roofs & Walls: The thickness of the sprayed fire-resistant material applied to floor, roof and wall assemblies shall be determined in accordance with ASTM E 605, taking the average of not less than four measurements for each 1,000 square feet (93 m2) of the sprayed area on each floor or part thereof.	N		IBC1704.12.4.2; ASTM E605	SI1		
b. Structural Members: The thickness of the sprayed fire-resistant material applied to structural members shall be determined in accordance with ASTM E 605. Thickness testing shall be performed on not less than 25 percent of the structural members on each floor.	Y	P	IBC1704.12.4.3; ASTM E605	SI1	RA, PE, EIT, ETT, OR ICC-SFSI	
4. Density: Verify density of the sprayed fire-resistant material not be less than the density specified in the approved fire-resistant design.	Y	P	IBC1704.12.5; ASTM E605	TA1	RA, PE, EIT, ETT, OR ICC-SFSI	
5. Bond Strength: Verify the cohesive/adhesive bond strength of the cured sprayed fire-resistant material applied to structural elements shall not be less than 150 pounds per square foot (psf) (7.18 kN/m2). The cohesive/adhesive bond strength shall be determined in accordance with the field test specified in ASTM E 736 by testing in-place samples.						
a. The test samples for determining the cohesive/adhesive bond strength of the sprayed fire-resistant materials shall be selected from each floor, roof and wall assembly at the rate of not less than one sample for every 2,500 square feet (232 m2) or part thereof of the sprayed area in each story.	Y	P	IBC 1704.12.6.1; ASTM E 736	TA1	RA, PE, EIT, ETT, OR ICC-SFSI	
b. The test samples for determining the cohesive/adhesive bond strength of the sprayed fire-resistant materials shall be selected from beams, girders, joists, trusses and columns at the rate of not less than one sample for each type of structural framing member for each 2,500 square feet (232 m2) of floor area or part thereof in each story.	Y	P	IBC 1704.11.5.2; ASTM E 736	TA1	RA, PE, EIT, ETT, OR ICC-SFSI	

Project: Pearl Place II
Date Prepared: November 1, 2011

<p>c. Bond tests to qualify a primer, paint or encapsulant shall be conducted when the sprayed fire-resistant material is applied to a primed, painted or encapsulated surface for which acceptable bond-strength performance between these coatings and the fire-resistant material has not been determined. A bonding agent approved by the SFRM manufacturer shall be applied to a primed, painted or encapsulated surface where the bond strengths are found to be less than required values.</p>	<p>Y</p>	<p>P</p>	<p>IBC1704.12.6. 3</p>	<p>TAI</p>	<p>RA, PE, EIT, ETT, OR ICC-SFSI</p>	
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 City of Portland, Maine

Project: Pearl Place II
Date Prepared: November 1, 2011

Contractor's Statement of Responsibility –Exhibit D

Each contractor responsible for the construction or fabrication of a system or component designated in the Quality Assurance Plan must submit a Statement of Responsibility. The Statement of Responsibility is required for Seismic Design Category C or higher. Make additional copies of this form as required.

Project: Pearl Place II

Contractor's Name: Wright-Ryan Construction Inc.

Address: 10 Danforth St.; Portland, ME

License No.:

Description of designated building systems and components included in the Statement of Responsibility:

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City of Portland, Maine

Contractor's Acknowledgment of Special Requirements

I hereby acknowledge that I have received, read, and understand the Quality Assurance Plan and Special Inspection program.

I hereby acknowledge that control will be exercised to obtain conformance with the construction documents approved by the Building Official.

Signature

Date

Contractor's Provisions for Quality Control

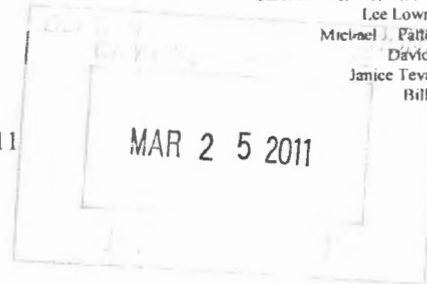
Procedures for exercising control within the contractor's organization, the method and frequency of reporting and the distribution of reports is attached to this Statement.

Identification and qualifications of the person(s) exercising such control and their position(s) in the organization are attached to this Statement.

CITY OF PORTLAND, MAINE
PLANNING BOARD

Joe Lewis, Chair
Carol Morrissette, Vice Chair
Lee Lowry, III
Michael J. Patterson
David Silk
Janice Tevarjian
Bill Hall

March 8, 2011



Pinecone Housing Corporation, LP
Avesta Housing Development Corporation
307 Cumberland Ave
Portland, Maine 04101

Project Name: Pearl Place Phase II **Project ID:** 10-99700006
Address: 184 Pearl St **CBL:** 026-E-002-001
Planner: Erick Giles

Dear Mr. Boxer-Macomber:

On February 22, 2011, the Planning Board considered the Pearl Place Phase II affordable housing project. The project proposes to develop 54 affordable housing units and with off-street parking. The Planning Board reviewed the proposal for conformance with the standards of the Subdivision Ordinance and Site Plan Ordinance. The Planning Board voted 5-0 to approve the application with the following motions, waivers, and conditions as presented below.

Waivers:

On the basis of the application, plans, reports and other information submitted by the applicant, findings, and recommendations contained in PB Report #6-11 relevant to Portland's Technical and Design Standards and other regulations, and the testimony presented at the Planning Board hearing:

- i. The Planning Board waives Section 14-526 (b)(2)(b)(iii) Street Trees, where the applicant shall contribute to the City of Portland Tree Fund an amount proportionate to the cost of 37 street trees. The number trees may be reduced based on a determination by the City Arborist.

Stormwater Management Permit:

That based upon the City of Portland's Delegated Review Authority, the Portland Planning Board finds the site plan and subdivision plan is in conformance with the standards for a Storm Water Permit application for Pearl Place Phase II and grants a permit subject to the following condition:

- i. The applicant and all assigns, must comply with the conditions of Chapter 32 Storm Water including Article III. Post-Construction Storm Water Management, which specifies the annual inspections and reporting requirements. The developer/contractor/subcontractor must

9. **Department of Public Services Permits** If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
10. **As-Built Final Plans** Final sets of as-built plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
11. **Mylar Copies** Mylar copies of the as-built drawings for the public streets and other public infrastructure in the subdivision must be submitted to the Public Services Dept. prior to the issuance of a certificate of occupancy.

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Erick Giles at 874-8723 or egiles@portlandmaine.gov

Sincerely,

Joe Lewis, Chair
Portland Planning Board

Attachments:

1. Planning Board Report
2. Performance Guarantee Packet

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Erick Giles, Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspections Division
Fannie Dobson, Administrative Assistant
Michael Bobinsky, Public Services Director
Katherine Earley, Public Services
Bill Clark, Public Services
David Margolis-Pineo, Deputy City Engineer
Jane Ward, Public Services
Keith Gautreau, Fire
Jeff Farling, City Arborist
Tom Errico, Wilbur Smith Consulting Engineers

Comments
Submitted

filed 10/20/10

City of Portland
Development Review Application
Planning Division Transmittal form

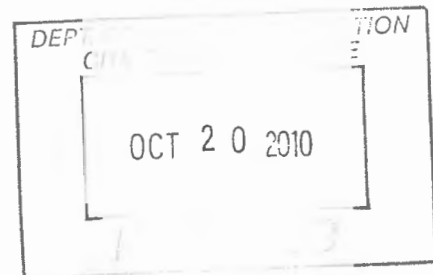
Application Number: 10-99700006 **Application Date:** 10/13/2010
Project Name: PEARL PLACE PHASE 2
Address: 184 Pearl Street **CBL:** 026 - E-002-001
Project Description: Pearl Street - 184; Pearl Place Phase 2;
Avesta Housing, Applicant.
Zoning: B7

Other Reviews Required:

Review Type: MAJOR SITE PLAN WITH SUBDIVISION

Applicant:
Avesta Housing
307 Cumberland Avenue
Portland Me 04101

Applicant:
Carroll Associates
217 Commercial Street
Portland Me 04101



Distribution List:

<input type="checkbox"/> Planner	Erick Giles	<input type="checkbox"/> Parking	John Peverada
<input type="checkbox"/> Zoning Administrator	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Stormwater	Dan Goyette	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Keith Gautreau	<input type="checkbox"/> Inspections	Tammy Munson
<input type="checkbox"/> City Arborist	Jeff Tarling	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> Outside Agency	
		<input type="checkbox"/> DRC Coordinator	Phil DiPierro

Preliminary Comments needed by: Wednesday, October 27, 2010
Final Comments needed by: Wednesday, November 3, 2010

Zoning Administrator Marge Schmuckal

October 26, 2010

I have done my preliminary review of Pearl Place – phase two. Phase two consists of two phases itself, 2A & 2B. It is my understanding that both 2A & 2B will be reviewed by the Planning Board. In total Phase Two consists of 54 residential dwelling units. Phase 2A consists of 30 apartments in a building located on the corner of Pearl Street and Lancaster Street with 14 parking spaces on the lower level and additional surface parking adjoining the building. Those parking spaces are shown to be 35' from the street line of Lancaster Street. Phase 2B consists of 24 apartments in a building located along Lancaster Street with parking underneath. This building will be placed where the previous surface parking for phase 2A was located.

This application will be a level III site plan review with a subdivision review and a conditional use appeal for the surface parking as part of phase 2A. The project is located entirely within a B-7 Zone.

It is noted that the parking and loading approvals are governed by the site plan standards of 14-526(2)b and not with the underlying zone B-7, division 20 and division 21.

The application did not include scalable elevation plans. I will need those plans to continue my zoning assessment review for maximum and minimum required building heights. I also noted that building 2B is not meeting the maximum 10' street setback. There are some exceptions to the requirement. I would like the applicant to assess their compliance with the given exemptions. It will also help me if I have the building elevations to assess this compliance also.

It appears that all other dimensional B-7 requirements are being met.

It is reminded at this time that the B-7 noise standards shall be met. When the time is appropriate, I would like to review the mechanical specs for the HVAC systems to be sure the units will comply with the noise requirements.

Of course separate building permits are required for the construction of these buildings.

Applicant:

Avesta Housing

NOV, 9th @ 7:00

watched

Date:

10/26/10

Address:

PEARL PLACE - Phase 2

C-B-L: 026 - E - 002

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location -

B-7

Interior or corner lot -

Cor. of Pearl & Lancaster St

Proposed Use/Work -

54 - 1-2 & 3 bdrm APTS. - 2 PHASES for Phase 2

Sewage Disposal

(2A) PHASE 1 -> 30 APTS (14 pkgs on lower level) - bldg on corner

(2B) PHASE 2 -> 24 APTS (along) LANCASTER - connected to 2A

Lot Street Frontage -

N/A lower level is covered pkg SP.

Front Yard -

MAX street setback - 10' - other conditions to allow more 10' along Pearl / 4' along St

Rear Yard -

None req.

Side Yard -

None req. - max street setback applies - 10'

2B NOT meeting the 10' max setback

Projections -

Width of Lot -

N/A

Height -

min 3 floors -

max ht of 105'

Lot Area -

NO min lot size
27,369 sq ft given

Lot Coverage

Impervious Surface - 100% Allowed

Area per Family -

MAX Density -> None

Off-street Parking -

14-296(a) 3 surface pkg - 35' from streetline (DIV. 20 & 21)

Loading Bays -

Governed by site plan standards 14-526a(2)b } Don't apply

Site Plan -

Level III with Subdivision & condition of use for Bldg it all at once doesn't req an appeal
10-99700006

Shoreland Zoning/ Stream Protection -

N/A

Flood Plains -

Panel 13 - Zone C

Noise Standards

7 AM - 10:00 PM - 60 dBA's

10:00 PM - 7:00 AM 50 dBA's

Bldg entrances -

1 public ped. entrance faces the street frontage of lot - B-7 design standards

need elev.

need Bldg plans

Applicant: Avesta

Date: 2/11/10

Address: 184 Pearl St - Phase II C-B-L: 26-E-2

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - B-7

Interior or corner lot -

PHASE
" 2A = 30 APTS
" 2B = 24 APTS

Proposed Use/Work - to build new 54 Res. D.U

Sevage Disposal -

Lot Street Frontage - NO min req

Front Yard - shows ^{met} street line setback - MAX setback 10' - can be increased if all 3 conditions are met - (shows 98% of bldg meets 10' or less) NOT used for PARKS -

Rear Yard - None req

Side Yard - None req.

Projections -

per Bayside MAP Height - min 3 in A " B " Area - min 3 floors MAX - 105' - showing 5 floors ok - 56' 8 1/2" to top of roof beam

Lot Area - No min req. - 27,369 sq ft given

Lot Coverage/Impervious Surface - 100% allowed - 63.6% given

Area per Family - ^{max} Residential density - None -

Off-street Parking - Determined by ~~state~~ PB

~~Condition of Use Appeal to PB for the surface parking as part of Phase 2A if all at once~~

Loading Bays - N/A

Site Plan - site plan # 10 - 9970006

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 13 - Zone C

Zoning Administrator Marge Schmuckal

October 26, 2010

I have done my preliminary review of Pearl Place – phase two. Phase two consists of two phases itself, 2A & 2B. It is my understanding that both 2A & 2B will be reviewed by the Planning Board. In total Phase Two consists of 54 residential dwelling units. Phase 2A consists of 30 apartments in a building located on the corner of Pearl Street and Lancaster Street with 14 parking spaces on the lower level and additional surface parking adjoining the building. Those parking spaces are shown to be 35' from the street line of Lancaster Street. Phase 2B consists of 24 apartments in a building located along Lancaster Street with parking underneath. This building will be placed where the previous surface parking for phase 2A was located.

This application will be a level III site plan review with a subdivision review and a conditional use appeal for the surface parking as part of phase 2A. The project is located entirely within a B-7 Zone.

It is noted that the parking and loading approvals are governed by the site plan standards of 14-526(2)b and not with the underlying zone B-7, division 20 and division 21.

The application did not include scalable elevation plans. I will need those plans to continue my zoning assessment review for maximum and minimum required building heights. I also noted that building 2B is not meeting the maximum 10' street setback. There are some exceptions to the requirement. I would like the applicant to assess their compliance with the given exemptions. It will also help me if I have the building elevations to assess this compliance also.

It appears that all other dimensional B-7 requirements are being met.

It is reminded at this time that the B-7 noise standards shall be met. When the time is appropriate, I would like to review the mechanical specs for the HVAC systems to be sure the units will comply with the noise requirements.

Of course separate building permits are required for the construction of these buildings.

February 11, 2011

I have reviewed the additional information submitted on this project. The applicant submitted data concerning the maximum street setback requirement of 10' [14-298(c)2.a]. Their analysis meets the three conditions that are listed. Therefore the maximum street setback requirement is being met.

I also reviewed the building elevation. The Bayside Height Overlay map shows the property to be in a "B" area where there is a minimum height requirement of three stories. Five stories are being proposed. The maximum allowable height in the "B" area is 105'. The measurement to the top of the roof beam is shown to be 56' 8 1/2". The building is meeting the required minimum and maximum building heights of this B-7 area. The applicant for some reason thought the maximum building height was 65'. I am not sure where they got that from.

All other B-7 requirements are being met. I reiterate that I would like to review the HVAC noise emissions. I understand that this might be early for that review.

Zoning Administrator Marge Schmuckal

October 26, 2010

I have done my preliminary review of Pearl Place – phase two. Phase two consists of two phases itself, 2A & 2B. It is my understanding that both 2A & 2B will be reviewed by the Planning Board. In total Phase Two consists of 54 residential dwelling units. Phase 2A consists of 30 apartments in a building located on the corner of Pearl Street and Lancaster Street with 14 parking spaces on the lower level and additional surface parking adjoining the building. Those parking spaces are shown to be 35' from the street line of Lancaster Street. Phase 2B consists of 24 apartments in a building located along Lancaster Street with parking underneath. This building will be placed where the previous surface parking for phase 2A was located.

This application will be a level III site plan review with a subdivision review and a conditional use appeal for the surface parking as part of phase 2A. The project is located entirely within a B-7 Zone.

It is noted that the parking and loading approvals are governed by the site plan standards of 14-526(2)b and not with the underlying zone B-7, division 20 and division 21.

The application did not include scalable elevation plans. I will need those plans to continue my zoning assessment review for maximum and minimum required building heights. I also noted that building 2B is not meeting the maximum 10' street setback. There are some exceptions to the requirement. I would like the applicant to assess their compliance with the given exemptions. It will also help me if I have the building elevations to assess this compliance also.

It appears that all other dimensional B-7 requirements are being met.

It is reminded at this time that the B-7 noise standards shall be met. When the time is appropriate, I would like to review the mechanical specs for the HVAC systems to be sure the units will comply with the noise requirements.

Of course separate building permits are required for the construction of these buildings.

CARROLL ASSOCIATES

217 COMMERCIAL STREET SUITE 200
PORTLAND, ME 04101
PHONE 207.772.1503 FAX 207.772.0712

LANDSCAPE ARCHITECTS

November 2, 2010

Mr. Erick Giles, Planner
City of Portland
389 Congress Street
Portland, ME 04101

11/3/10

RE: Pearl Place Phase 2, 184 Pearl Street

#10-9970006

Dear Erick,

26-E-2

On behalf of Avesta Housing we are pleased to submit revised plans and supporting information relating to the Preliminary Plan Submission for Pearl Place 2. Since our last submission we have continued to refine the design for the buildings and site and are have appreciate the Staff comments that you forwarded to us on October 31, 2010.

In response to your review we offer the following comments:

A. Planning (Erick Giles, ACIP, LEED, AP)

1. We concur that surface parking is permitted as a Conditional Use subject to Planning Board review. We have submitted data that supports a reduction of parking from typical zoning standards based on actual use on the Pearl Place 1 site.
2. Elevation Drawings for buildings 2A and 2B are included with this submission. Additionally, we are including 3D \Sketchup models of the buildings for review as they portray the scale and massing a bit clearer than the elevations.

B. Zoning Administrator Marge Schmuckal

1. Scalable elevation plans are being submitted as part of this package.
2. We concur that Building B does not meet the maximum 10 foot setback requirement in the B-7 zoning, but when combined with Building A the zoning requirement is met. Attached is a diagram that indicates how we are complying with this requirement.
3. We understand that the B-7 Noise Standards need to be met and will be designing the building mechanical systems to comply with those standards.

C. Deputy City Engineer David Margolis-Pineo

1. We have discussed with Mr. Margolis-Pineo the feasibility of separating the on-site stormwater and carrying it to Somerset Street in a new stormwater system to be located in Pearl Street. We are awaiting the Analysis work completed by City Staff and will be completing additional feasibility studies to insure that the proper solution is included in this project. At this point it is premature to commit to this solution without time to review the data, but we will commit to working closely with the City on this issue.
2. We are aware of the grading issues relating to having ADA accessible entrances located on the street and have located all building entrances far enough behind the Right-of Way to insure that proper grades and cross-slopes will be maintained within the public Right-of Way.

D. Traffic Engineer Tom Errico

1. We concur with initial comments from Tom and await his detailed survey of actual traffic conditions, traffic contribution, TDM, and on-street parking.
2. An analysis of the Lancaster Street width and turning movements required for the E. Perry Iron and Metal Company is currently being completed and will be submitted to the City for review prior to November 5.

E. Outstanding Agency Reviews

1. **Stormwater.** We understand that Jim Seymour is completing his preliminary stormwater review and it will be available by Nov 3. We will review his report and offer comments once received, but anticipate working closely with Jim and Public Services to provide proper stormwater design for quantity and quality.
2. **Design Review.** We are awaiting detailed comments on Design Review of the project.
3. **Parking Management.** We are awaiting detailed comments on Parking Management of the project.
4. **Landscaping.** We are awaiting detailed comments on Landscaping of the project.
5. **Fire Prevention.** We are awaiting detailed comments on Fire Prevention of the project. It is noted that design changes to Building 2B were made after an initial meeting with the Captain Gautreau, and we will be working closely with the Department as the project design evolves.

This project represents an opportunity to complete a highly successful and vibrant block of Bayside and we are all excited to bring this before the City for review and approval. We are committed to working closely with City Staff, Planning Board members, and Bayside neighbors to insure that all issues are addressed in a positive way. We look forward to meeting with the Board on November 9, 2010 to discuss the project in greater detail. In the meantime, please contact me or Ethan if you have questions or need additional information.

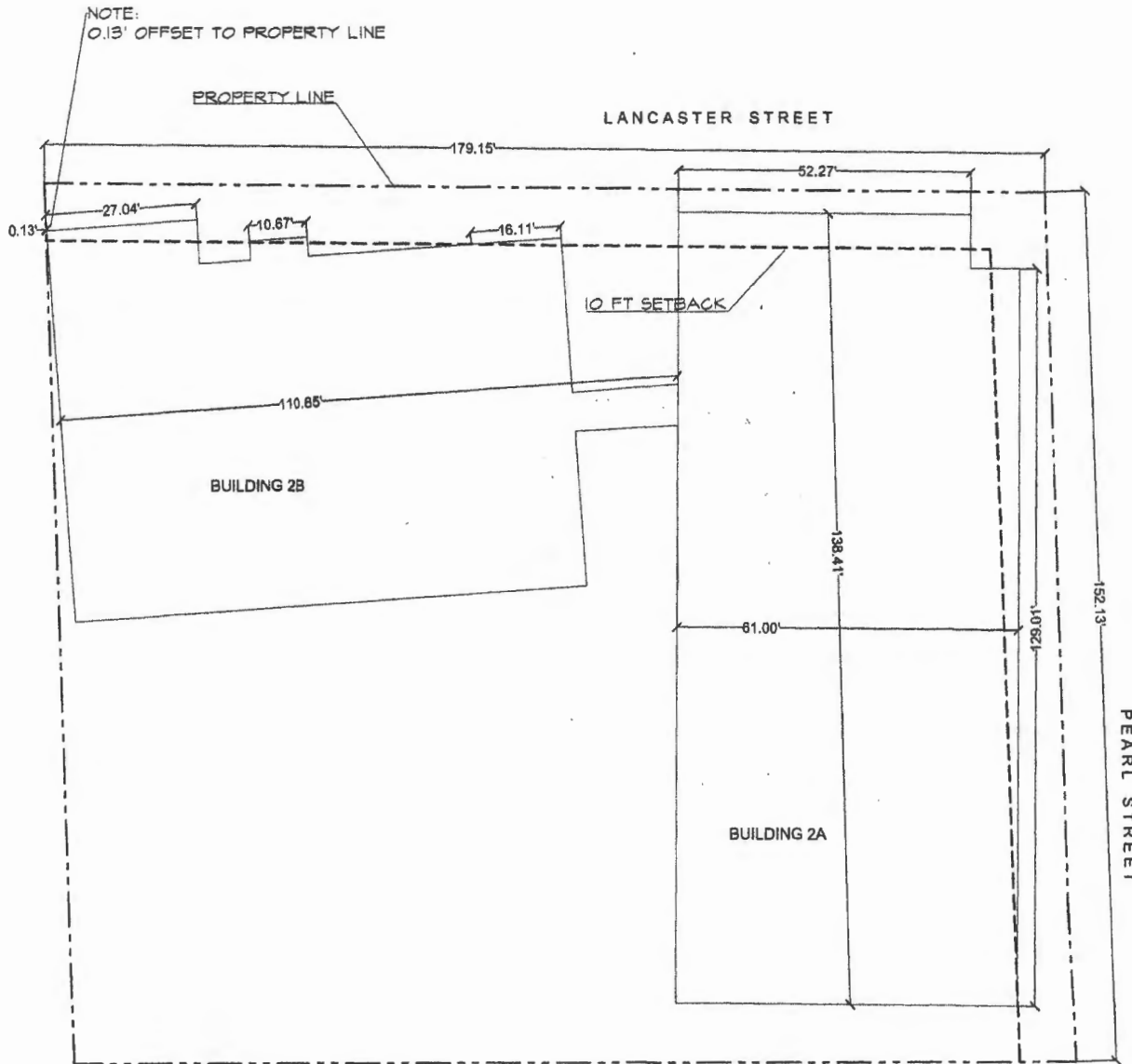
Regards,
CARROLL ASSOCIATES



Patrick J. Carroll, Principal

Enc.

CC: Ethan Boxer-Macomber, Avesta Housing
Alan Kuniholm, PDT Architects
Denise Cameron, Woodard and Curran



LOT 2 FRONTAGE	PEARL STREET	152.13'
	LANCASTER STREET	179.15'
	TOTAL	331.28'
BLDG 2A	BUILDING LENGTH- PEARL	138.41'
	LANCASTER	81.0'
	TOTAL BLDG LENGTH	190.54'
	FRONTAGE <10 FT FROM PEARL	129.01'
	<10' FROM LANCASTER	52.27'
	TOTAL FRONTAGE <10'	181.28'
		(95.1%)
BLDG 2B	BUILDING LENGTH- LANCASTER	110.85'
	FRONTAGE <10' FROM LANCASTER	53.82'
		(48.6%)
COMBINED 2A + 2B	TOTAL BUILDING LENGTH	301.39'
	TOTAL BUILDING < 10 FT TO P.L.	235.10'
		(78.0%)

PEARL PLACE II

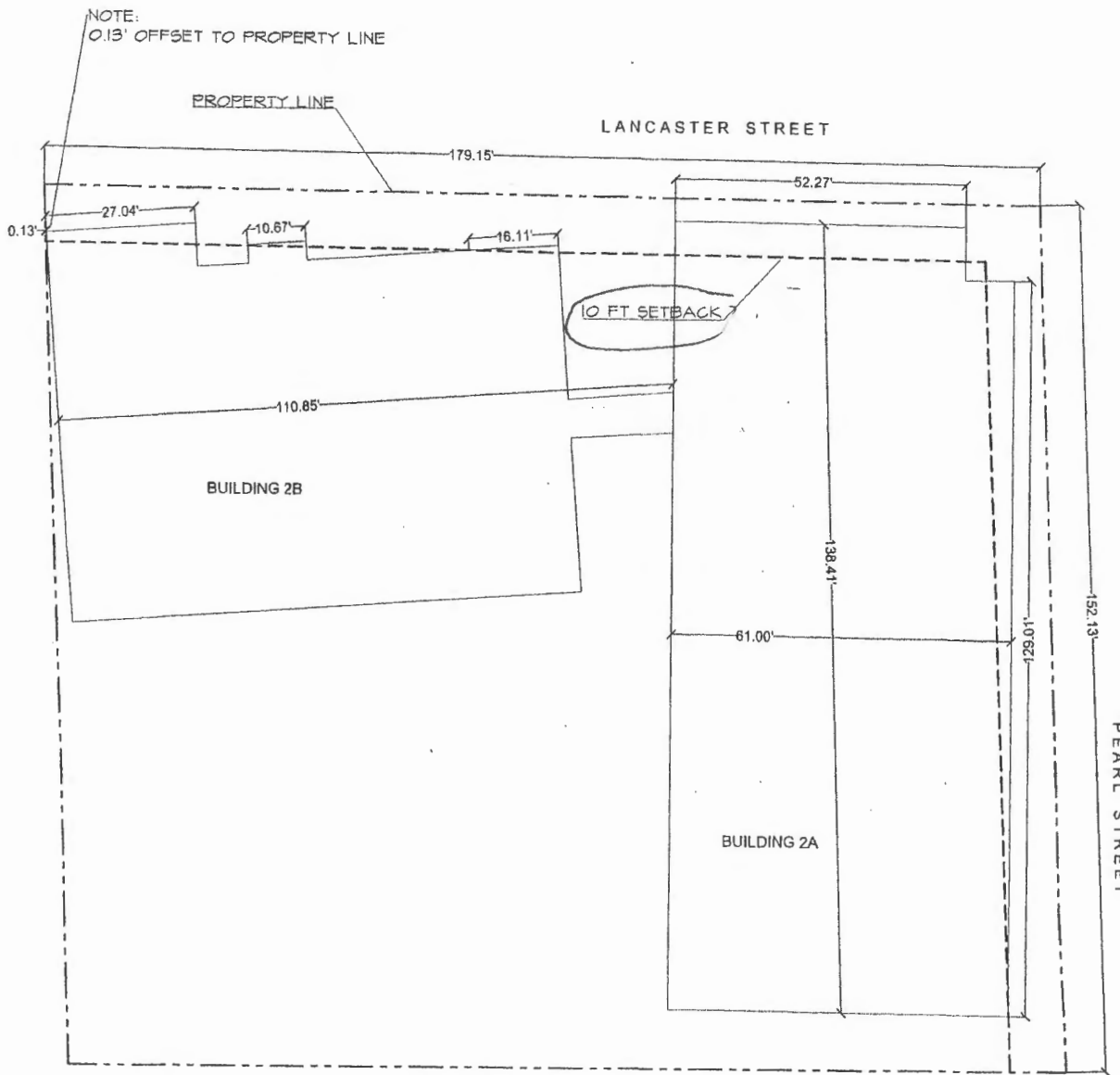
REVISED BUILDING FOOTPRINT &
ZONING SETBACK CALCULATIONS

SCALE: 1" = 20'-0"

DATE: OCT 07, 2010

BY: CARROLL ASSOCIATES

14-298(c)2.a



LOT 2 FRONTAGE	PEARL STREET	152.13'
	LANCASTER STREET	179.15'
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PEARL PLACE II

REVISED BUILDING FOOTPRINT &
ZONING SETBACK CALCULATIONS

SCALE: 1"= 20'-0"

DATE: OCT 07, 2010

BY: CARROLL ASSOCIATES

14-298(c)2.a

B-7 ZONE - MIXED USE URBAN DISTRICT

<u>SPATIAL STANDARDS</u>	<u>REQUIRED</u>	<u>PROVIDED</u>
MINIMUM LOT SIZE	NONE	27,369' sf (0.63 ac)
MINIMUM FRONTAGE	NONE	331.28'
FRONT SETBACK	NONE	4.0'
MAXIMUM FRONT SETBACK	75% WITHIN 10'	TOTAL= 75.8%
SIDE SETBACK	NONE	9.7"
REAR SETBACK	NONE	0.21'
MAXIMUM LOT COVERAGE	100%	63.6%
MAXIMUM RESIDENTIAL DENSITY	NONE	54 UNITS
MAXIMUM BUILDING HEIGHT	65' 105'	54 UNITS ~56' to top of beam of Radio tower 69.53' ELEV. towers to top?
BUILDING FOOTPRINT	N/A	14,725 SF
TOTAL FLOOR AREA	N/A	71,489 SF
PARKING	TBD	(SEE BELOW)

Bayside Height overlay

Transportation Demand MGMT PLAN

*PAGES A-200
A-201*

PARKING SUMMARY

	EXISTING	PROPOSED
PHASE 1- 60 DU		
STANDARD	53	32
HANDICAP	7	7
COMPACT		4
<u>TOTAL</u>	60	43 (0.72 SPACES/ DU)
PHASE 2- 54 DU		
STANDARD		21
HANDICAP		6
COMPACT		10
<u>SCOOTER/MOTORCYCLE</u>		1
<u>TOTAL</u>		38 (0.70 SPACES/ DU)
OVERALL PROJECT PARKING SUMMARY PHASE I & II		
TOTAL DU		114
TOTAL PARKING		81 (0.71 SPACES/ DU)
BICYCLE PARKING		28

Determined by PB

- 5 2011

Exhibit 3 Project Description

Avesta Housing Corporation is proposing to construct a total of 54 one, two, and three-bedroom apartments on Pearl Street, between Lancaster Street. The site is located in the B-7 Bayside Zone District, with frontage on Lancaster and Pearl Streets. This project will complete buildout of the Pearl Place Project, and when finished will provide a total of 114 affordable rental housing for the Bayside neighborhood.

As previously discussed at the Preliminary Plan Workshop, this phase of the project was anticipated to occur in two phases. Recent funding from Maine Housing now allows the project to move forward as one combined project, consisting of 30 units in a building on Pearl Street, and another 24 units in a smaller building along Lancaster. The proposed mix of unit types is 26 - 1- bedroom, 17 - 2 bedroom, and 11- 3 bedroom units.

Primary pedestrian access to the buildings will be from Pearl Street, where a major entrance is envisioned at the corner of Pearl and Lancaster Street. Vehicular access will be from the existing Pearl Place driveway along Lancaster Street, and also provide access to 28 parking spaces (+ 1 scooter space) located on the lower level of the buildings. Surface parking which currently exists on the site associated with Pearl Place 1 will be relocated along the existing parking area, and 9 new compact parking spaces will be provided along the access drive into the building. The two buildings will be physically connected on all levels. Pedestrian access into the connector will also be from an exterior stairway at the connector and another located mid-building along Lancaster Street.

The structured parking allows for reduced impact of impervious cover on the site and creation of a significant green space in the interior of the project, which will provide welcome relief for the residents and also be utilized for treatment of the roof runoff. A rain garden is proposed within this green space to handle the runoff from both roofs. A Preliminary Stormwater Management Plan has been completed for the project and is attached to this application.

It is noted that the off-street parking is reduced from current standards, but we believe the numbers proposed do meet the needs of the project based on current demand and use. The parking is anticipated to be shared by both Pearl Place phases, and as such the following total parking is proposed:

- Standard Spaces= 43
- Handicap Spaces= 13
- Compact Spaces = 14
- Scooter Parking = 1
- Bicycle Parking = 28

A full traffic analysis of existing parking demand and a TDM Plan are submitted with this application

The site is served by public utilities, and we propose to tie into each utility in Pearl Street or the sewer easement along the south boundary. It is proposed that stormwater generated by the project will be treated in a rain garden and discharged into the combined sewer system existing in Lancaster Street.

Full reconstruction of the streetscape along Pearl and Oxford Streets is proposed, including new granite curbing, brick sidewalks, Bayside Streetlights, and street trees in treegrates. All streetscape improvements are designed to meet the requirements of the latest version of the City's Technical and Design Standards and Guidelines.

Marge Schmuckal - Re: Fwd: Pearl Place 2, Option III

From: Marge Schmuckal
To: Rick Knowland
Date: 9/27/2010 2:39 PM
Subject: Re: Fwd: Pearl Place 2, Option III

Rick,

If I have interpreted the drawing correctly, the plan for Phase IIA with the surface parking would be violating the 35' setback rule. They would have the right to appeal to the ZBA, but I do not think they would have a chance. I know they intend it to be temporary. But there is no guarantee that it would, plus there is no definition of "temporary" (6 months, 1 year, 2 years????). I would not encourage this design.

Marge

>>> Rick Knowland 9/27/2010 1:45 PM >>>
Marge, Any thoughts about this?

>>> "Patrick Carroll" <pcarroll@carroll-assoc.com> Thursday, September 23, 2010 >>>
Rick,

One option the Owners are looking at would be is as follows:

Phase 2a:

- provide surface parking in the Phase 2b footprint for the initial phase (single loaded) + structured parking under Bldg 2a, totaling 26 spaces on-site, remaining spaces to meet parking demand would be leased.
- This would provide adequate parking for the first phase, and allow some central green space within the project to remain.

Phase 2b:

- Onsite parking would be under bldgs 2a and 2b, with remaining spaces to meet demand to be leased.

The goal is to provide and maintain the central green space in the project.

The issue is whether/ how we can encroach within the 35 ft setback along Lancaster Street. As you can see, a small portion of the driveway/ aisle encroaches in this setback. My understanding is that if there is parking associated with this drive then it is interpreted as an 'aisle' and not allowed in the setback.

It is Avesta's intent that Phase 2b will be built, so the surface parking/ encroachment should be a temporary issue, but of course no one can guarantee when it happens.

The option would be to slide the parking over enough to meet the 35 ft setback, but it will impact the building entrance at the lower level from where it wants to be wrt Phase 2b...

Any thoughts?

PC

Marge Schmuckal - Fwd: Pearl Place 2, Option III

From: Rick Knowland
To: Marge Schmuckal
Date: 9/27/2010 1:45 PM
Subject: Fwd: Pearl Place 2, Option III
Attachments: option III.pdf

Marge, Any thoughts about this?

>>> "Patrick Carroll" <pcarroll@carroll-assoc.com> Thursday, September 23, 2010 >>>
Rick,

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- This would provide adequate parking for the first phase, and allow some central green space within the project to remain.

Phase 2b:

- Onsite parking would be under bldgs 2a and 2b, with remaining spaces to meet demand to be leased.

The goal is to provide and maintain the central green space in the project.

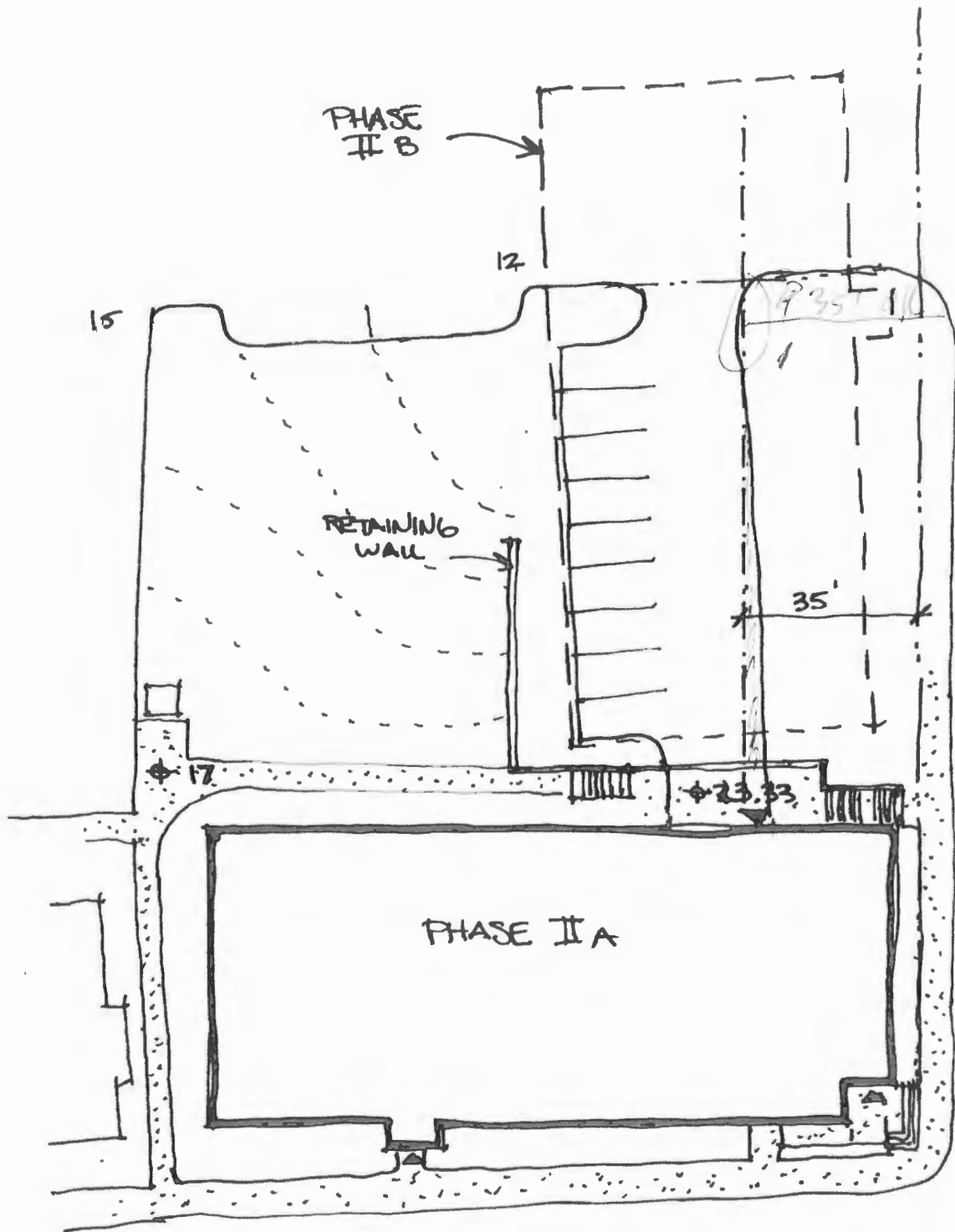
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It is Avesta's intent that Phase 2b will be built, so the surface parking/ encroachment should be a temporary issue, but of course no one can guarantee when it happens.

The option would be to slide the parking over enough to meet the 35 ft setback, but it will impact the building entrance at the lower level from where it wants to be wrt Phase 2b...

Any thoughts?

PC



OPTION 3

Not a good
option

9/27/10



Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Penny St. Louis Littell, Director of Planning and Development
Marge Schmuckal, Zoning Administrator

Meeting Information

DATE: 9/14/10 ZONE: B-7 26-E-1 1/2

LOCATION: 104 Pearl St - Avesta -

PEOPLE PRESENT: Pst Carroll - Ethan - Rick - Alex - Barbara

DAVID M-P - Marge - Alan - ch

DISCUSSION: 30 - 30 each - create condo ASSOC,
60 - existing phase I

Parking now behind the bldgs - Parking reg by PB.
Needs to Do a TDM

1/2 1 BDRM units - will be the same ratio of BDRM
As the Phase I
Bike Storage in basement - wall hangers to hang the bikes - looking

All combined sewers on site
high tide flooding on LANCASTER - at least back flow prevention
Barry Sheff is the eng. on this -> chapter 500 questions

street parking discussion - should have conversations with Neys
Time frame -> They have more analysis to do - maybe Oct.

Please note: this meeting is not an pre-approval of any ordinances. No project can be approved without going thru the appropriate reviews. This meeting is only to outline the City processes to go through based on the information given at this meeting. Any changes to that information may change the process requirements. Please check ordinances that are on-line for further information at www.portlandmaine.gov.

BARBARA explained the process to them - level III Review - to the Bd,
height of entry into site - Fire? trucks or just ambulance



PORTLAND MAINE

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Perry St. Louis Littell, Director of Planning and Development
Marge Schmuckal, Zoning Administrator

Meeting Information

DATE: 7/14/10 ZONE: B-7 - 26-E-1;2

LOCATION: 184 PEARL ST - PEARL PLACE II

PEOPLE PRESENT: RICK K. - BARBARA - DAVID M-P - Marge - Alex pat-tune - Marilyn (PDT) - ETHAN - PAT

DISCUSSION: 1st floor res. @ ~ 21'

- Discussed Flooding and elevations - it is outside
- Discussed The surface parking within 35' of street line -

DAVID wanted for watershed too

(may meet an exemption → need to do the math)
15-1Bd 9-2Bd - 6-3Bd

An Affordable housing project - 30 Du proposed
parking regulations state the number of spaces determined by site plan
Peter Noyes - truck turning, concerns for Noyes trucking
on street parking - discussions

Doug Ronconi → in Public Services is the chapter Sooguru
Jeff Bailey → tree boxes - structured soils
filters - "filters"

Barbara → New site plan Ordinance & Technical Review Standards
submit on Monday so can be reviewed & ~~submit~~ distributed on Wed.

Please note: this meeting is not an pre-approval of any ordinances. No project can be approved without going thru the appropriate reviews. This meeting is only to outline the City processes to go through based on the information given at this meeting. Any changes to that information may change the process requirements. Please check ordinances that are on-line for further information at www.portlandmaine.gov.

Assessor's Office | 189 Congress Street | Portland, Maine 04101 | Phone: (207) 774-3486

City Home Departments City Council E Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

CBL 026 E002001
Land Use Type VACANT LAND
Property Location 184 PEARL ST
Owner Information AVESTA HOUSING DEVELOPMENT CORPORATION
 307 CUMBERLAND AVE
 PORTLAND ME 04101
Book and Page 21704/121
Legal Description 26-E-2
 PEARL ST 178-188
 E LANCASTER ST 110-122
 27369 SF
Acres 0.628

B-7

Current Assessed Valuation:

browse city services a-z

TAX ACCT NO.	49818	OWNER OF RECORD AS OF APRIL 2009
LAND VALUE	\$304,600.00	AVESTA HOUSING DEVELOPMENT CORPORATION
BUILDING VALUE	\$0.00	307 CUMBERLAND AVE
NET TAXABLE - REAL ESTATE	\$304,600.00	PORTLAND ME 04101
TAX AMOUNT	\$5,403.60	

browse facts and links a-z

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.



Sales Information:

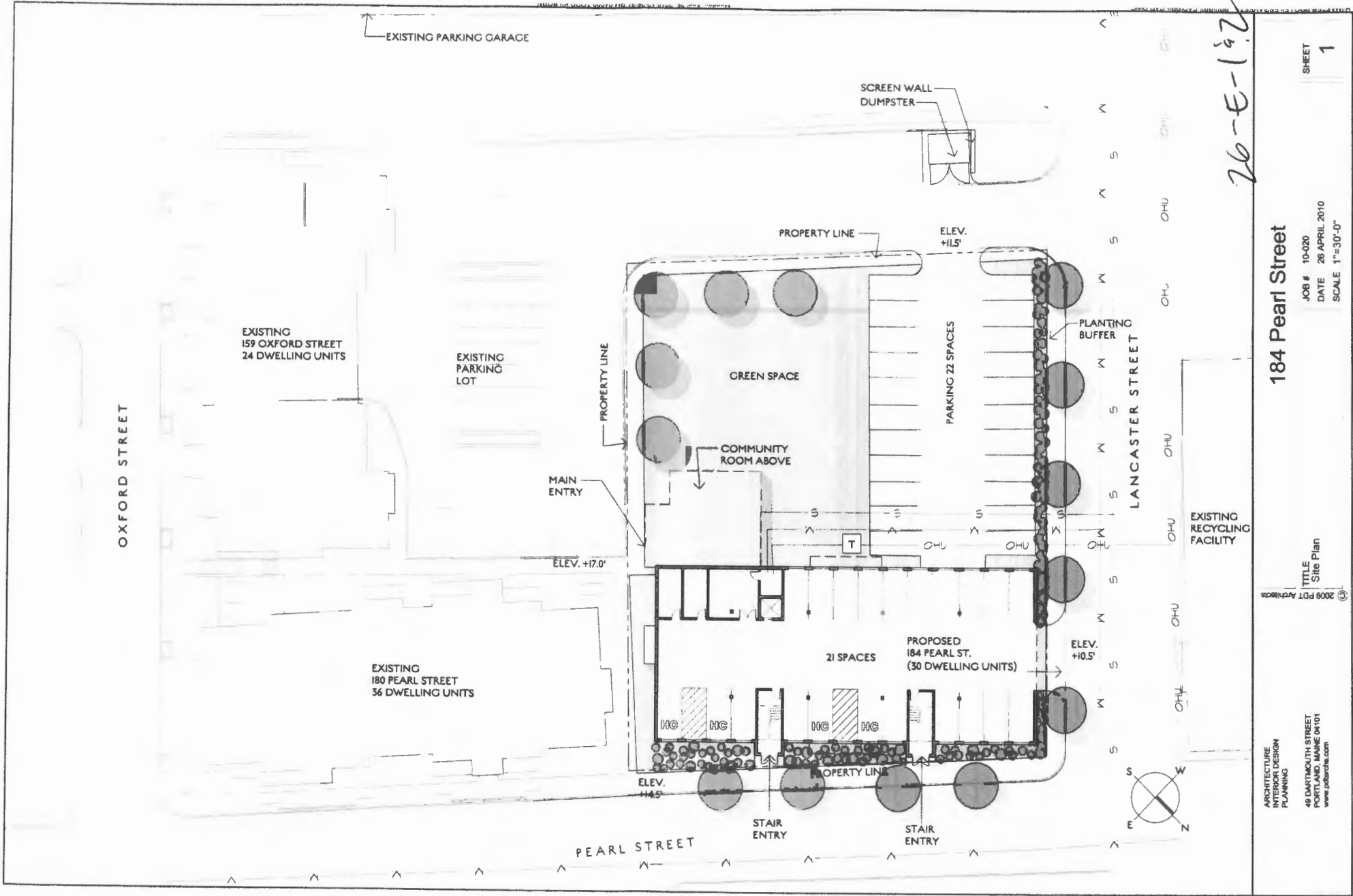
Best viewed at 800x600, with Internet Explorer

Sale Date	Type	Price	Book/Page
8/24/2004	LAND + BUILDING	\$0.00	21704/121

New Search!

B-7

26-E-192



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PORTLAND, MAINE 04101
www.pdarchi.com

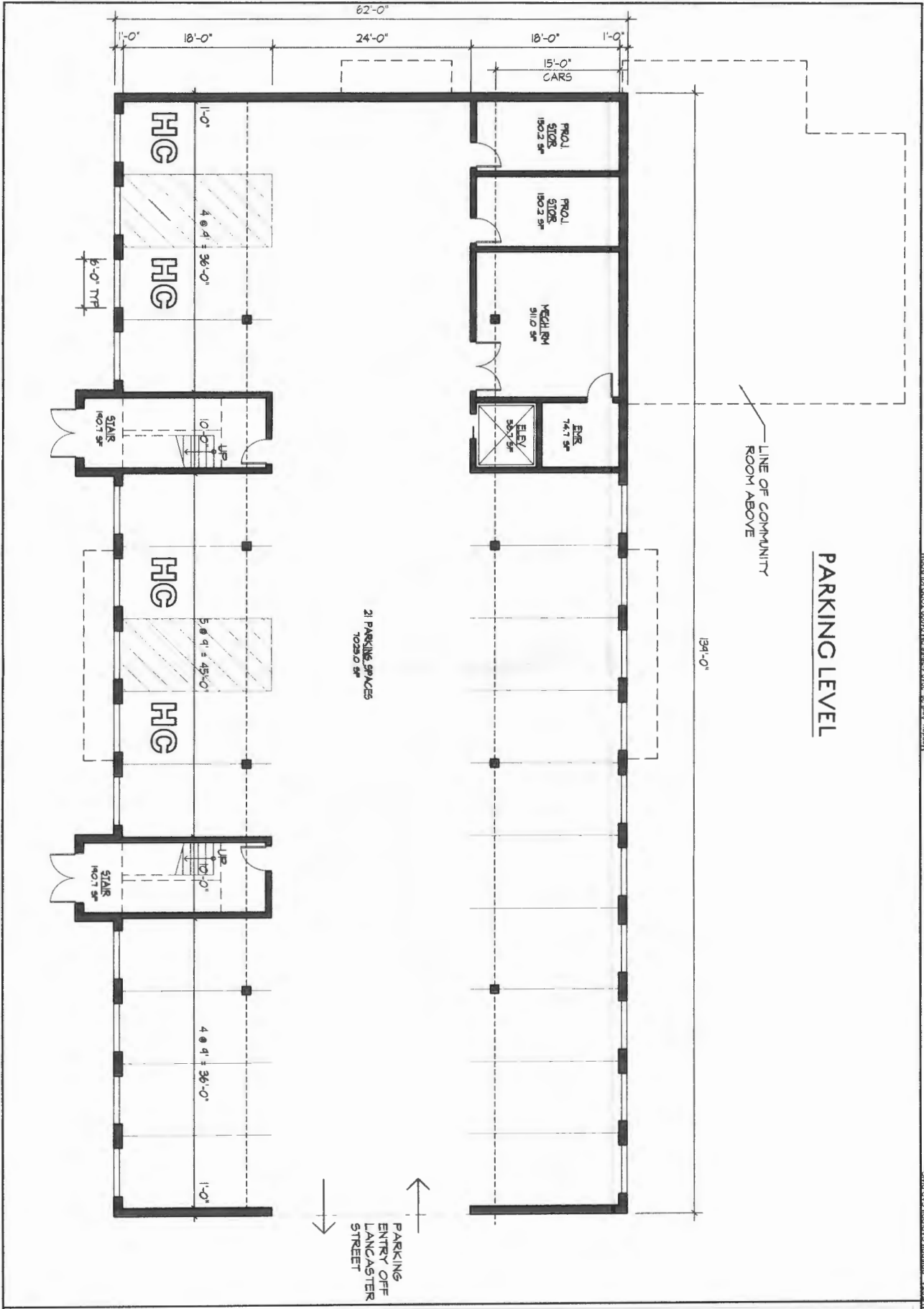
TITLE Site Plan

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184 Pearl Street

JOB # 10-020
DATE 28 APRIL 2010
SCALE 1"=30'-0"

SHEET 1



Monday, April 26, 2010 1:38:38 PM 100DD KILLBORN
 H:\MASTER PROJ FILES\2010\10-1020\184 PEARL STREET\100DD\DWG

ARCHITECTURE
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 PLANNING

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 www.pdtarchts.com

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 TITLE
PARKING LEVEL

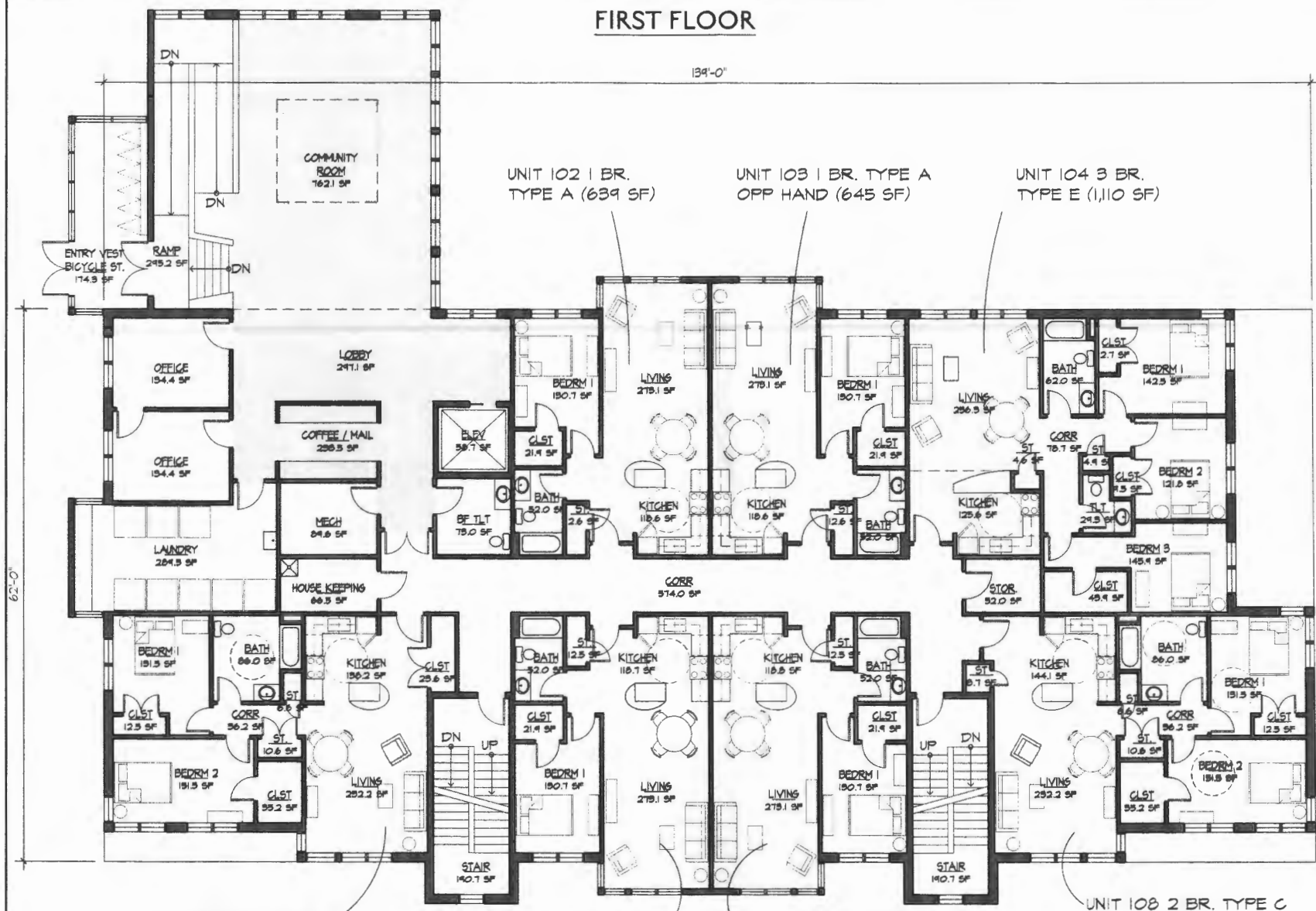
184 Pearl Street

JOB # 10-1020
 DATE 26 APRIL 2010
 SCALE 3/32"=1'-0"

SHEET
2

ARCHITECTS

FIRST FLOOR



62'-0"

134'-0"

UNIT 102 | BR.
TYPE A (639 SF)

UNIT 103 | BR. TYPE A
OPP HAND (645 SF)

UNIT 104 | 3 BR.
TYPE E (1,110 SF)

UNIT 105 | 2 BR. TYPE B
(911 SF) ACCESSIBLE A

UNIT 106 | BR.
TYPE A (639 SF)

UNIT 107 | BR. TYPE A
OPP HAND (639 SF)

UNIT 108 | 2 BR. TYPE C
(904 SF) ACCESSIBLE A

184 Pearl Street

SHEET
3

JOB # 114-00
DATE 28 APRIL 2010
SCALE 3/32"=1'-0"

TITLE
FIRST FLOOR

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ARCHITECTURE
INTERIOR DESIGN
PLANNING

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PORTLAND, MAINE 04101
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ARCHITECTS

SECOND AND THIRD FLOOR

134'-0"

ROOF BELOW

ROOF BELOW

UNIT 201, 301, 3 BR.
TYPE F (1,200 SF)
ACCESSIBLE A

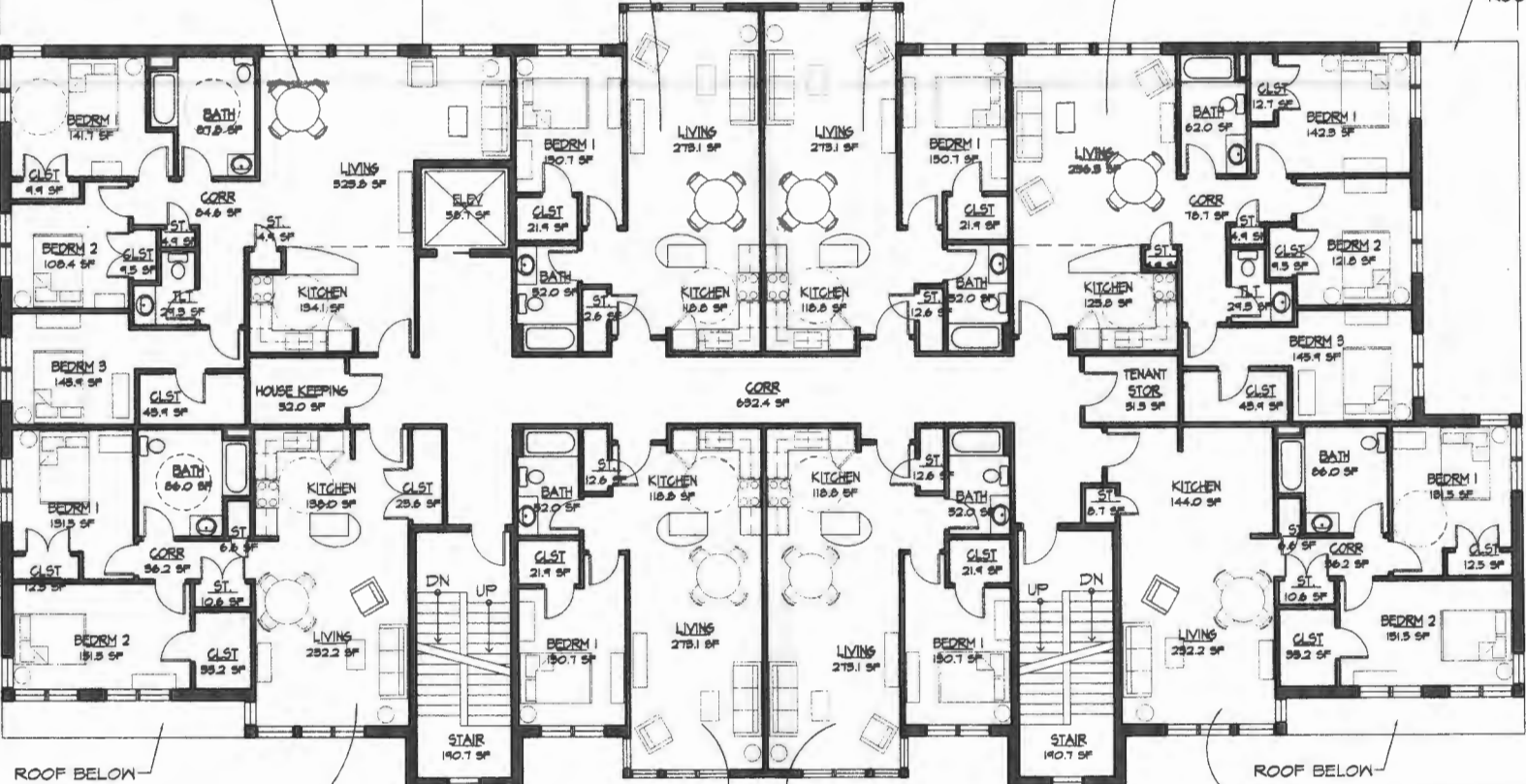
UNIT 202, 302 1 BR.
TYPE A (641 SF)

UNIT 203, 303, 1 BR.
TYPE A OPP HAND (645 SF)

UNIT 204, 304, 3 BR.
TYPE E (1,110 SF)

62'-0"

ROOF BELOW



ROOF BELOW

UNIT 205, 305, 2 BR.
TYPE B (915 SF)
ACCESSIBLE A

UNIT 206, 306, 1 BR.
TYPE A (639 SF)

UNIT 207, 307 1 BR. TYPE A
OPP HAND (639 SF)

ROOF BELOW

UNIT 208 308, 2 BR. TYPE C
(904 SF) ACCESSIBLE A

184 Pearl Street

SHEET 4
JOB # 10-020
DATE 28 APRIL 2010
SCALE 3/32"=1'-0"

TITLE SECOND AND THIRD FLOOR PLANS

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ARCHITECTURE
INTERIOR DESIGN
PLANNING

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PORTLAND, MAINE 04101
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ARCHITECTS

FOURTH FLOOR

134'-0"

ROOF BELOW

UNIT 401 3 BR. TYPE F
(1,200 SF) ACCESSIBLE A

UNIT 402 1 BR.
TYPE A (641 SF)

UNIT 403 2 BR. TYPE D
(894 SF)

ROOF BELOW

ROOF BELOW

ROOF

62'-0"

ROOF BELOW

UNIT 405, 2 BR. TYPE B
(915 SF) ACCESSIBLE A

UNIT 406, 1 BR.
TYPE A (639 SF)

UNIT 407, 1 BR. TYPE A
OPP HAND (639 SF)

UNIT 408 2 BR. TYPE C
(894 SF) ACCESSIBLE A

ROOF BELOW

184 Pearl Street

SHEET
5

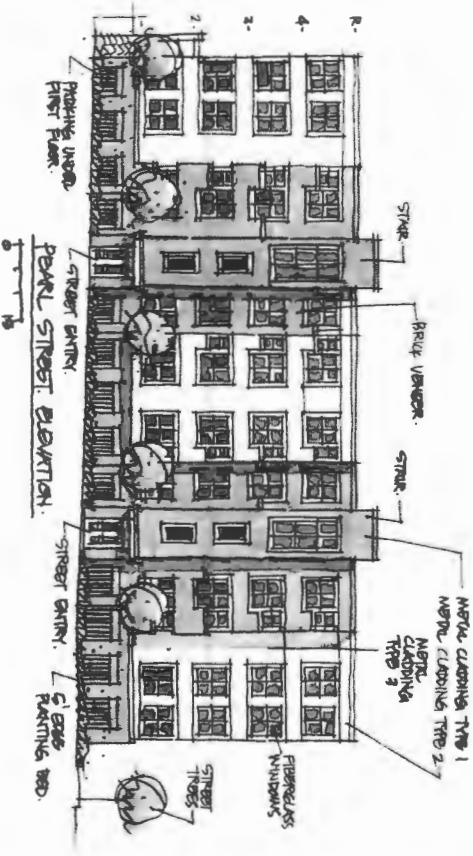
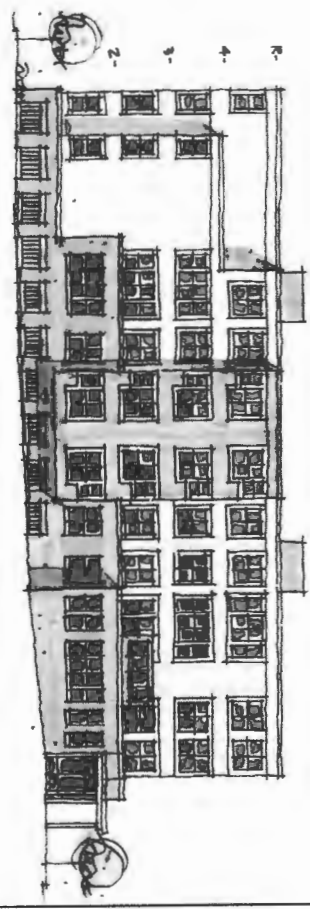
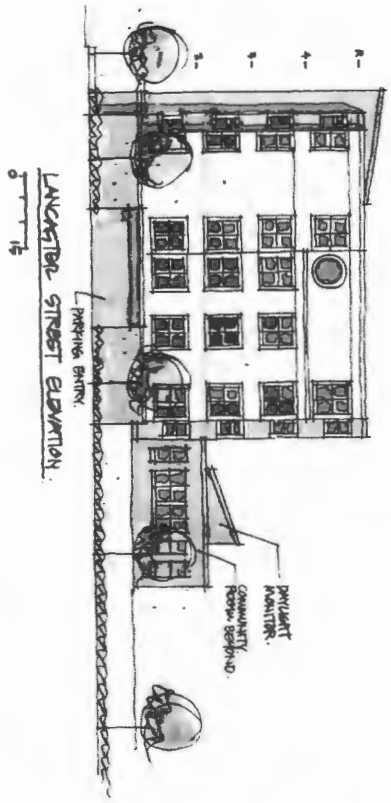
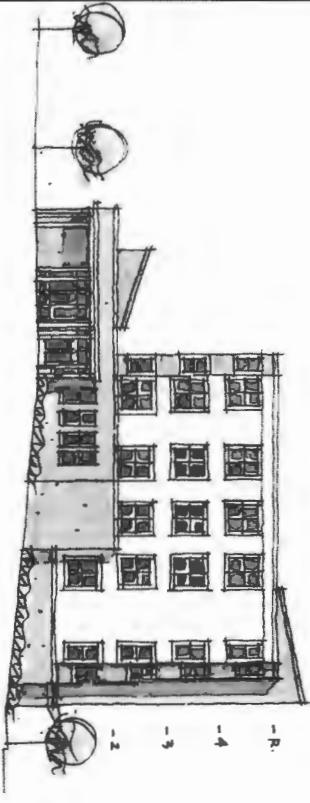
JOB # 10-000
DATE 26 APRIL 2010
SCALE 3/32"=1'-0"

TITLE
FOURTH FLOOR

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TITLE
 EXTERIOR ELEVATIONS

184 Pearl Street

JOB # 10-020
 DATE 26 APRIL 2010
 SCALE N.T.S.

SHEET
 6

Monday, April 26, 2010 1:02:19 PM 0409 TODD FRIEDEN
 TRAWMASTER.PLOTFILES2\ZAVES\1A-184.PDF\CAD\PHICAD.DWG

Map



Parcels	Stream Overlay Zone	Zoning (continued)	Zoning (continued)
Interstate	Stream_protection	R2 Residential	C25
Streets	Island Zoning	R3 Residential	C26
Buildings	C43	R4 Residential	C27
Building	I-B	R5 Residential	C28
Out Building	I-TS	R6 Residential	C29
Parcels	I-R1	ROS Recreation Open Space	C30
Traveled Ways	I-R2	RP Residential Professional	C31
Stream	I-R3	RPZ Resource Protection	none
Wetland	ROS	WCZ* Waterfront	B2c
swamp	RPZ	WPDZ Waterfront	C32
Lake/Pond	Zoning	WSUZ Waterfront	C33
under_road	AB Airport Business	C1	C34
waterbody	EWPZ	C2	C35
Jetport	C44	C3	C36
Coastal Bluff	C45	C5	C37
IH - Highly Unstable	B7	C7	C38
U - Unstable	B1 Neighborhood Business	C8	C39
Overlay Zones	B1b Neighborhood Business	C9	C40
DEOZ	B2 Business Community	C10	C41
FH	B2b Business Community	C11	C42
Hellstop Overla	B3* Downtown Business	C13	County Streets
R-7	B3c Downtown Business	C14	A15
USM	B4 Commercial Business	C15	A21
Shoreland Overlay Zone	B5 Urban Commercial	C16	A31
	B5b Urban Commercial	C17	ME Towns
	IH Industrial - High Impact	C18	Land
	IL Industrial - Low Impact	C19	Water Body
	ILb Industrial - Low	C20	Ocean
		C21	
		C22	



BECKER
STRUCTURAL ENGINEERS

Structural Statement of Special Inspections

Pearl Place II

Portland, Maine

March 21, 2011

Statement Prepared by:

Structural Engineer of Record
Becker Structural Engineers, Inc.
75 York Street
Portland, ME 04101
207. 879. 1838

Owner
Avesta Pearl Street Two L.P.
307 Cumberland Ave
Portland, ME 04101
207.553.7777

Architect of Record
PDT Architects
49 Dartmouth Street
Portland, ME 04101
207. 775. 1059

Special Inspections – Exhibit A

Statement of Special Inspections

List of Agents

Final Report of Special Inspections

Special Inspector/Agent Report

Project: Pearl Place II
Date Prepared: March 21, 2011

Structural Statement of Special Inspections

Project: Pearl Place II

Location: Portland, ME

Owner: Avesta Pearl Street Two, L.P.

This Statement of Special Inspections encompass the following discipline: **Structural**

This Statement of Special Inspections is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Structural Special Inspection Coordinator (SSIC) and the identity of other approved agencies to be retained for conducting these inspections and tests.

The Structural Special Inspection Coordinator shall keep records of all Structural inspections and shall furnish inspection reports to the Building Code Official (BCO) and the Structural Registered Design Professional in Responsible Charge (SRDP). Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Structural Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Structural Registered Design Professional in Responsible Charge at an interval determined by the SSIC and the BCO.

A Final Report of Special Inspections documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted to the BCO prior to issuance of a Certificate of Use and Occupancy.

Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: Upon request of Building Official _____ or per attached schedule.

Prepared by:

Paul Becker

(type or print name of the Structural Registered Design Professional in Responsible Charge)

Signature Date 3-21-2011



Owner's Authorization:

Building Code Official's Acceptance:

Signature Date

Signature Date

Project: Pearl Place II
 Date Prepared: March 21, 2011

Structural Statement of Special Inspections (Continued)

List of Agents

Project: Pearl Place II

Location: Portland, ME

Owner: Avesta Pearl Street Two, L.P.

This Statement of Special Inspections encompass the following discipline: Structural

(Note: Statement of Special Inspections for other disciplines may be included under a separate cover)

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- Soils and Foundations
- Cast-in-Place Concrete
- Precast Concrete System
- Structural Masonry Systems
- Structural Steel
- Wood Construction
- Special Cases

Special Inspection Agencies	Firm	Address, Telephone, e-mail
1. STRUCTURAL Special Inspections Coordinator (SSIC)	Becker Structural Engineers	75 York Street Portland, ME 207.879.1838 info@beckerstructural.com
2. Special Inspector (SI 1)	Becker Structural Engineers	75 York Street Portland, ME 207.879.1838 info@beckerstructural.com
3. Special Inspector (SI 2)	S.W. Cole Engineering	286 Portland Road Gray, ME 04039 207.657.2866 infogray@swcole.com
4. Testing Agency (TA 1)	S.W. Cole Engineering	286 Portland Road Gray, ME 04039 207.657.2866 infogray@swcole.com
5. Testing Agency (TA 2)		
6. Other (O1)		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Project: Pearl Place II
Date Prepared: March 21, 2011

Structural Statement of Special Inspections (Continued)

Final Report of Special Inspections (SSIC/SI 1)

[To be completed by the Structural Special Inspections Coordinator (SSIC/SI 1). Note that all Agent's Final Reports must be received prior to issuance.]

Project: *Pearl Place II*
Location: *Portland, ME*
Owner: *Avesta Pearl Street Two, L.P.*
Owner's Address: *307 Cumberland Ave*
Portland, ME 04101

Architect of Record: *Alan Kuntholm* *PDT Architects*
(name) (firm)

Structural Registered Design
Professional in Responsible Charge: *Paul B. Becker* *Becker Structural Engineers, Inc.*
(name) (firm)

To the best of my information, knowledge and belief, the Special Inspections required for this project, and itemized in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved.

Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
Structural Special Inspection Coordinator

(Type or print name)

(Firm Name)

Signature

Date

Licensed Professional Seal

Project: Pearl Place II
Date Prepared: March 21, 2011

Structural Statement of Special Inspections (Continued)
Special Inspector's/Agent's Final Report

Project: *Pearl Place II*
Special Inspector or Agent: *Roger Domingo* *S.W. Cole Engineering*
(name) *(firm)*
Designation: *SI 2 & TA 1*

To the best of my information, knowledge and belief, the Special Inspections or testing required for this project, and designated for this Inspector/Agent in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved.

Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
Special Inspector or Agent:

(Type or print name)

Signature Date



Special Inspections – Exhibit B

**Qualifications of Inspectors and Test Agency
List of Minimum Qualifications
Schedule of Structural Inspections**

Structural Schedule of Special Inspections

Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided to the Special Inspector for their records. *NOTE VERIFICATION THAT QUALIFIED INDIVIDUALS ARE AVAILABLE TO PERFORM STIPULATED TESTING AND/OR INSPECTION SHOULD BE PROVIDED PRIOR TO SUBMITTING STATEMENT. AGENT QUALIFICATIONS IN SCHEDULE ARE SUGGESTIONS ONLY; FINAL QUALIFICATIONS ARE SUBJECT TO THE DISCRETION OF THE REGISTERED DESIGN PROFESSIONAL PREPARING THE SCHEDULE.*

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge or Special Inspector of Record deems it appropriate that the individual performing a stipulated test or inspection have a specific certification, license or experience as indicated below, such requirement shall be listed below and shall be clearly identified within the schedule under the Agent Qualification Designation.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-in-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

Experienced Testing Technician

ETT	Experienced Testing Technician – An Experienced Testing Technician with a minimum 5 years experience with the stipulated test or inspection
-----	---

American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
------	---

International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician - Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician - Levels I, II, III & IV

Other

Project: Pearl Place II
 Date Prepared: March 21, 2011
Structural Schedule of Special Inspections
SOILS & FOUNDATION CONSTRUCTION

VERIFICATION AND INSPECTION	REQD Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
IBC Section 1704.7, 1704.8, 1704.9						
1. Required Verification and Inspection of Soils:						
a. Verify materials below shallow foundations are adequate to achieve the design bearing capacity.	Y	P	IBC 1704.7	SI2	PE/GE, EIT or ETT	
b. Verify excavations are extended to proper depth and have reached proper material.	Y	P	IBC 1704.7	SI2	PE/GE, EIT or ETT	
c. Perform classification and testing of compacted fill materials.	Y	P	IBC 1704.7	TA1	PE/GE, EIT or ETT	
d. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.	Y	C	IBC 1704.7	TA1	PE/GE, EIT or ETT	
e. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	Y	P	IBC 1704.7	SI2	PE/GE, EIT or ETT	
2. Required Verification and Inspection of Driven Deep Foundation Elements:						
a. Verify element materials, sizes and lengths comply with the requirements.	Y	C	IBC 1704.8	TA1	PE/GE, EIT or ETT	
b. Determine capacities of test elements and conduct additional load tests, as required.	Y	C	IBC 1704.8	SI2	PE/GE, EIT or ETT	
c. Observe driving operations and maintain complete and accurate records for each element.	Y	C	IBC 1704.8	TA1	PE/GE, EIT or ETT	
d. Verify placement locations and plumbness, confirm type and size of hammer, record number of blows per foot of penetration, determine required penetrations to achieve design capacity, record tip and butt elevations and document any damage to foundation element.	Y	C	IBC 1704.8	TA1	PE/GE, EIT or ETT	
3. Required Verification and Inspection of Cast-in-Place Deep Foundation Elements:						
a. Observe drilling operations and maintain complete and accurate records for each element.	N	C	IBC 1704.9	TA1	PE/GE, EIT or ETT	
b. Verify placement locations and plumbness, confirm element diameters, bell diameters (if applicable), lengths, embedment into bedrock (if applicable) and adequate end bearing strata capacity. Record concrete or grout volumes.	N	C	IBC 1704.9	TA1	PE/GE, EIT or ETT	

See Concrete, Masonry, and/or Steel Schedules for additional material inspections for deep foundation elements as applicable.

Structural Schedule of Special Inspections
CONCRETE CONSTRUCTION

VERIFICATION AND INSPECTION IBC Section 1704.4	REQD Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
1. Inspection of reinforcing steel, including prestressing tendons, and placement	Y	P	ACI 318: 3.5, 7.1-7.7	SII	PE/SE or EIT	
2. Inspection of reinforcing steel welding in accordance with Table 1704.3, Item 5B	N	-	Not applicable. Welding of Reinf Not Allowed	-	-	
3. Inspect bolts to be installed in concrete prior to and during placement of concrete where allowable loads have been increased or where strength design is used.	Y	C	IBC 1911.5	SII	PE/SE or EIT	
4. Inspection of anchors installed in hardened concrete.	Y	P	IBC 1212.1	SII	PE/SE or EIT	
5. Verifying use of required design mix	Y	P	ACI 318: Ch 4, 5.2-5.4	TA1	ACI-CFTT or ACI-STT	
6. At time fresh concrete is sampled to fabricate specimens for strength tests, perform slump and air content tests and determine the temperature of the concrete.	Y	C	ASTM C 172 ASTM C 31 ACI 318: 5.6, 5.8	TA1	ACI-CFTT or ACI-STT	
7. Inspection of concrete and shotcrete placement for proper application techniques	Y	C	ACI 318: 5.9, 5.10	TA1	ACI-CFTT or ACI-STT	
8. Inspection for maintenance of specified curing temperature and techniques	Y	P	ACI 318: 5.11-5.13	TA1	ACI-CFTT or ACI-STT	
9. Inspection of Prestressed Concrete						
a. Application of prestressing force.	N	C	ACI 318: 18.20	TA2	PE/SE or EIT	
b. Grouting of bonded prestressing tendons in seismic force resisting system	N	C	ACI 318: 18.18.4	TA1	ACI-CFTT or ACI-STT	
10. Erection of precast concrete members.	N	P	ACI 318: Ch 16	SII	PE/SE or EIT	
11. Verification of in-situ concrete strength, prior to stressing of tendons in post-tensioned concrete and prior to removal of shores and forms from beams and structural slabs.	N	P	ACI 318: 6.2	TA1	ACI-CFTT or ACI-STT	
12. Inspect formwork for shape, location and dimensions of the concrete member being formed.	N	P	Limitations apply. See below	SII	PE/SE or EIT	

Limitations of item 12: Special inspection includes periodic review of formwork shape, general location, and formwork dimensions that can be readily measured with conventional tape measure. Verification of building layout, building location, foundation extents, column grids, and foundation elevations is excluded.

Structural Schedule of Special Inspections
MASONRY CONSTRUCTION - LEVEL 1

VERIFICATION AND INSPECTION IBC Section 1704.8	REQD	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
	Y/N					
1. Compliance with required inspection provisions of the construction documents and the approved submittals shall be verified.	Y	P	ACI530.1, 1.5	SII	PE/SE or EIT	
2. Verification of f_m and f_{AAC} prior to construction except where specifically exempted by this code.	Y	P	ACI531.1, 1.4B	TA1	ACI-CFTT or ACI-STT	
3. Verification of slump flow and VSI as delivered to the site for self-consolidating grout.	Y	C	ACI530.1, 1.5B.1.b.3	TA1	ACI-CFTT or ACI-STT	
4. As masonry construction begins, the following shall be verified to ensure compliance:						
a. Proportions of site-prepared mortar.	Y	P	ACI530.1, 2.6A	TA1	ACI-CFTT or ACI-STT	
b. Construction of mortar joints.	Y	P	ACI530.1, 3.3B	TA1	ACI-CFTT or ACI-STT	
c. Location of reinforcement and connectors.	Y	P	ACI530.1, 3.4, 3.6A	SII	PE/SE or EIT	
d. Prestressing technique.	N	P	ACI530.1, 3.6B	SII	PE/SE or EIT	
e. Grade and size of prestressing tendons and anchorages.	N	P	ACI530.1, 2.4B, 2.4H	SII	PE/SE or EIT	
5. During construction the inspection program shall verify:						
a. Size and location of structural elements.	Y	P	ACI530.1, 3.3F	SII	PE/SE or EIT	
b. Type, size and location of anchors, including other details of anchorage of masonry to structural members, frames or other construction.	Y	P	ACI530, 1.2.2(e), 2.1.4, 3.1.6	SII	PE/SE or EIT	
c. Specified size, grade and type of reinforcement, anchor bolts, prestressing tendons and anchorages.	Y	P	ACI530, 1.12, ACI530.1, 2.4, 3.4	SII	PE/SE or EIT	
d. Welding of reinforcing bars.	N	-	Not applicable. Welding of Reinf Not Allowed	-	-	
e. Preparation, construction and protection of masonry during cold weather (temperature below 40°F) or hot weather (temperature above 90°F).	Y	P	IBC 2104.3, 2104.4; ACI530.1, 1.8C, 1.8D	SII	PE/SE or EIT	
f. Application and measurement of prestressing force.	N	C	ACI530.1, 3.6B	TA2	PE/SE or EIT	
6. Prior to grouting, the following shall be verified to ensure compliance:						
a. Grout space is clean.	Y	P	ACI530.1, 3.2D	SII	PE/SE or EIT	
b. Placement of reinforcement and connectors and prestressing tendons and anchorages.	Y	P	ACI530, 1.12, ACI530.1, 3.4	SII	PE/SE or EIT	
c. Proportions of site-prepared grout and prestressing grout for bonded tendons.	Y	P	ACI530.1, 2.6B	TA1	ACI-CFTT or ACI-STT	
d. Construction of mortar joints.	Y	P	ACI530.1, 3.3B	TA1	ACI-CFTT or ACI-STT	
7. Grout placement shall be verified to ensure compliance.	Y	C	ACI530.1, 3.5	TA1	ACI-CFTT or ACI-STT	
a. Grouting of prestressing bonded tendons.	N	C	ACI530.1, 3.6C	TA1	ACI-CFTT or ACI-STT	
8. Preparation of any required grout specimens, mortar specimens and/or prisms shall be observed.	Y	C	IBC 2105.2.2, 2105.3; ACI530.1, 1.4	TA1	ACI-CFTT or ACI-STT	

Project: Pearl Place II
Date Prepared: March 21, 2011

Structural Schedule of Special Inspections - STEEL CONSTRUCTION

VERIFICATION AND INSPECTION	REQD Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
IBC Section 1704.3						
1. Material verification of high-strength bolts, nuts and washers:						
a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Y	P	Applicable ASTM material standards, AISC 360, A3.3	TA1	AWS/AISC-SSI	
b. Manufacturer's certificate of compliance required.	Y	S		SII	PE/SE or EIT	
2. Inspection of high-strength bolting						
a. Snug-tight joints.	Y	P		TA1	AWS/AISC-SSI	
b. Pretensioned and slip-critical joints using turn-of-nut with matchmaking, twist-off bolt or direct tension indicator methods of installation.	Y	P	AISC LRFD Section M2.5 IBC Sect 1704.3.3	TA1	AWS/AISC-SSI	
c. Pretensioned and slip-critical joints using turn-of-nut without matchmaking or calibrated wrench methods of installation.	N	C		TA1	AWS/AISC-SSI	
3. Material verification of structural steel and cold-formed steel deck:						
a. For structural steel, identification markings to conform to AISC 360.	Y	P	AISC 360, M5.5	SII	PE/SE or EIT	
b. For other steel, identification markings to conform to ASTM standards specified in the approved construction documents.	Y	P	Applicable ASTM material standards	SII	PE/SE or EIT	
c. Manufacturer's certified test reports.	Y	S		SII	PE/SE or EIT	
4. Material verification of weld filler materials:						
a. Identification markings to conform to AWS specification in the approved construction documents.	Y	P	AISC 360, M5.5	TA1	AWS/AISC-SSI	
b. Manufacturer's certificate of compliance required.	Y	S		SII	PE/SE or EIT	
5. Submit current AWS D1.1 welder certificate for all field welders who will be welding on this project.						
	Y	S	AWS D1.1	SII	PE/SE or EIT	
6. Inspection of welding (IBC 1704.3.1):						
a. Structural steel and cold-formed deck:						
1) Complete and partial joint penetration groove welds.	Y	C	AWS D1.1	TA1	AWS-CWI	
2) Multipass fillet welds.	Y	C		TA1	AWS-CWI	
3) Single-pass fillet welds > 5/16"	Y	C		TA1	AWS-CWI	
4) Plug and slot welds	Y	C		TA1	AWS-CWI	
5) Single-pass fillet welds ≤ 5/16"	Y	P		TA1	AWS-CWI	
6) Floor and deck welds.	Y	P	AWS D1.3	TA1	AWS-CWI	
b. Reinforcing steel:						
1) Verification of weldability of reinforcing steel other than ASTM A706.	N	-	Not applicable.	-	-	
2) Reinforcing steel-resisting flexural and axial forces in intermediate and special moment frames, and boundary elements of special structural walls of concrete and shear reinforcement.	N	C	AWS D1.4 ACI 318: 3.5.2	TA1	AWS-CWI	
3) Shear reinforcement.	N	C		TA1	AWS-CWI	
4) Other reinforcing steel.	Y	P		TA1	AWS-CWI	
7. Inspection of steel frame joint details for compliance (IBC Sect 1704.3.2) with approved construction documents:						
a. Details such as bracing and stiffening.	Y	P	IBC 1704.3.2	SII	PE/SE or EIT	
b. Member locations.	Y	P		SII	PE/SE or EIT	
c. Application of joint details at each connection.	Y	P		SII	PE/SE or EIT	

Structural Schedule of Special Inspection Services
FABRICATION AND IMPLEMENTATION PROCEDURES – STRUCTURAL STEEL

VERIFICATION AND INSPECTION IBC Section 1704.2	REQ'D Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
1. Fabrications Procedures: Review of fabricator's written procedural and quality control manuals and periodic auditing of fabrication practices by an approved special inspection agency. At the completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents. -OR- 2. AISC Certification	N Y	S	Fabricator shall submit one of the two qualifications	SII	PE/SE or EIT	
3. At completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents.	Y	S	IBC 1704.2.2	SII	PE/SE or EIT	

Structural Schedule of Special Inspection Services
FABRICATION AND IMPLEMENTATION PROCEDURES – WOOD TRUSSES

VERIFICATION AND INSPECTION IBC Section 1704.2	REQD Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
1. Fabrications Procedures: Review of fabricator's written procedural and quality control manuals and periodic auditing of fabrication practices by an approved special inspection agency. At the completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents. -OR-	N	S	Fabricator shall submit one of the two qualifications	SI1	PE/SE or EIT	
2. TPI Inspection Program: Fabricator shall participate in the TPI Quality Assurance Inspection Program, and maintain a copy of the Quality Assurance Procedures Manual, QAP-90. Submit copy of certificate. All trusses shall bear the TPI Registered Mark.	Y					
3. At completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents	Y	S	IBC 1704.2.2	SI1	PE/SE or EIT	

Structural Schedule of Special Inspections
WOOD CONSTRUCTION

VERIFICATION AND INSPECTION IBC Section 1704.6	REQ Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
1. Fabrication of high-load diaphragms						
a. Verify wood structural panel sheathing for grade and thickness	Y	P	IBC 1704.6	SII	PE/SE or EIT	
b. Verify the nominal size of framing members at adjoining panel edges	Y	P	IBC 1704.6	SII	PE/SE or EIT	
b. Verify the nail or staple diameter and length	Y	P	IBC 1704.6	SII	PE/SE or EIT	
b. Verify the number of fastener lines	Y	P	IBC 1704.6	SII	PE/SE or EIT	
b. Verify the spacing between fasteners in each line and at edge margins	Y	P	IBC 1704.6	SII	PE/SE or EIT	
2. Load Tests for Joist Hangers: Provide evidence of manufacturer's load test in accordance with ASTM D1761 including the vertical load bearing capacity, torsional moment capacity, and deflection characteristics when there is no calculated procedure recognized by the code.	N	S	IBC 1716 [submit ICBO reports]	SII	PE/SE or EIT	
3. Metal-plate-connected wood trusses spanning 60 feet or greater:						
a. Verify the temporary installation restraint / bracing and the permanent individual truss member restraint / bracing is installed per the approved truss submittal package.	N	P	IBC 1704.6.2.	SII	PE/SE or EIT	

Special Inspections – Exhibit C

**Quality Assurance for Seismic Resistance Seismic Checklist
Quality Assurance for Seismic Resistance Wind Checklist
Schedule of Inspections**

**(Note: participation of Architect, Mechanical Engineer,
and Electrical Engineer of Record will be required
to complete Exhibit C)**

Structural Schedule of Special Inspections
SEISMIC RESISTANCE - STRUCTURAL

VERIFICATION AND INSPECTION IBC Section 1707	REQD Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETE D
1. Special inspections for seismic resistance. Special inspection as specified in this section is required for the following:						
a. The seismic-force-resisting systems in structures assigned to Seismic Design Category C, D, E or F	Y	P	IBC 1707.1	SII	PE/SE or EIT	
b. Designated seismic systems in structures assigned to Seismic Design Category D, E, or F.	N	P	IBC 1707.1	SII	PE/SE or EIT	
2. Structural steel: Continuous special inspection for structural welding in accordance with AISC 341.	N	C	IBC 1707.2	TA1	AWS-CWI	
3. Structural wood:						
a. Continuous special inspection during field gluing operations of elements of the seismic-force-resisting system.	N	C	IBC 1707.3	SII	PE/SE or EIT	
b. Periodic special inspections for nailing, bolting, anchoring and other fastening of components within the seismic-force-resisting system (where spacing is 4" o.c., or less) including drag struts, braces and hold-downs	Y	P	IBC 1707.3	SII	PE/SE or EIT	
4. Cold-formed steel framing: Periodic special inspections during welding operations of elements of the seismic-force-resisting system. Periodic special inspections for screw attachment, bolting, anchoring and other fastening of components within the seismic-force-resisting system (where spacing is 4" o.c., or less), including struts, braces, and hold-downs	N	-	CFSF for this project not part of the primary seismic-force resisting system.	-	-	
5. Seismic isolation system. Provide periodic special inspection during the fabrication and installation of isolator units and energy dissipation devices if used as part of the seismic isolation system	N	-	Seismic isolators not used.	-	-	

SEISMIC RESISTANCE CHECK LIST [IBC 1705.3]

Seismic Design Category C

FOR SEISMIC DESIGN CATEGORY C OR HIGHER:

Structural:

- The seismic-force-resisting systems
 - Steel Braced Frames and associated connections/anchorage (Not required for SDC C, R=3)
 - Steel Moment Frames and associated connections (Not required for SDC C, R=3)
- Shear walls: CMU Wood Concrete Diaphragms: Floor Roof
- Other:

WIND RESISTANCE CHECK LIST [IBC 1705.4]

Wind Exposure Category B

REQUIRED	NOT REQUIRED	NOT APPLICABLE	WIND RESISTANCE REQUIREMENTS
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	In wind exposure Category B, where the 3-second-gust basic wind speed is 120 miles per hour (mph) (52.8 m/sec) or greater.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	In wind exposure Categories C and D, where the 3-second-gust basic wind speed is 110 mph (49 m/sec) or greater.

Special Inspections – Exhibit D

Contractor's Statement of Responsibility

Fabricator's Statement of Responsibility

Project: Pearl Place II
Date Prepared: March 21, 2011

Contractor's Statement of Responsibility

Each contractor responsible for the construction or fabrication of a system or component designated in the Quality Assurance Plan must submit a Statement of Responsibility. The Statement of Responsibility is required for Seismic Design Category C or higher. Make additional copies of this form as required.

Project: Pearl Place II

Contractor's Name:

Address:

License No.:

Description of designated building systems and components included in the Statement of Responsibility:

Contractor's Acknowledgment of Special Requirements

I hereby acknowledge that I have received, read, and understand the Quality Assurance Plan and Special Inspection program.

I hereby acknowledge that control will be exercised to obtain conformance with the construction documents approved by the Building Official.

Signature

Date

Contractor's Provisions for Quality Control

Procedures for exercising control within the contractor's organization, the method and frequency of reporting and the distribution of reports is attached to this Statement.

Identification and qualifications of the person(s) exercising such control and their position(s) in the organization are attached to this Statement.

Project: Pearl Place II
Date Prepared: March 21, 2011

Fabricator's Certificate of Compliance

Each approved fabricator that is exempt from Special Inspection of shop fabrication and implementation procedures per section 1704.2 of the International Building Code must submit a *Fabricator's Certificate of Compliance* at the completion of fabrication.

Project: Pearl Place II

Fabricator's Name:

Address:

Certification or Approval Agency:

Certification Number:

Date of Last Audit or Approval:

Description of structural members and assemblies that have been fabricated:

I hereby certify that items described above were fabricated in strict accordance with the approved construction documents.

Signature

Date

Title

Attach copies of fabricator's certification or building code evaluation service report and fabricator's quality control manual

Project: Pearl Place II
Date Prepared: March 21, 2011

End of Structural Statement of Special Inspections