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**Five Liver Company**

5 Milk Street

P.O. Box 7525

Portland, ME 04112

(207) 879-1671

October 19, 2017

Andrew Page  
GCP Portland LLC  
PO Box 7098  
Portsmouth, NH 03802

Re: 145 Marginal Way, Portland, Maine

Dear Drew,

Five Liver Company, owner at 145 Marginal Way in Portland, Maine, has reviewed the T|W Design drawings dated April 12, 2017, containing drawings originally issued June 27, 2017, with revision dates July 14, 2017, and related documents (collectively, the "Drawings"), all attached hereto.

Section 4.2 of the Lease, as amended, between Five Liver Company and GCP Portland, LLC requires Landlord's review of alterations. Landlord hereby consents to Tenant proceeding with the alterations described in the Drawings, subject to the additional conditions in the "BK Planet Fitness renovation plan notes" included in the Drawings, and subject to the following additional conditions:

1. subject to the requirement that Tenant shall not cut, bore or trench "into or through any floor, roof or building structure" without prior separate written consent from Landlord (rather than only "through" the same, as stated on page 1 of TW Design's attached plans), and
2. subject to the additional requirement that subject to structural review: The second floor concrete slab & metal decking may be drilled to install railing per detail 2/A1.2, but that Tenant shall not drill into or through any structural steel (rather than only "through the same) without prior separate written consent from Landlord.

Any deviation from the drawings shall be reviewed and approved by Landlord prior to proceeding with any such deviation.

Sincerely,



Peter Quesada  
vp

August 17, 2017

Drew Page  
Granite Coast Properties, LLC  
P.O. Box 4609  
Portsmouth, NH 03802

**Re: Planet Fitness Floor Structure  
Portland, Maine**

Dear Mr. Page,

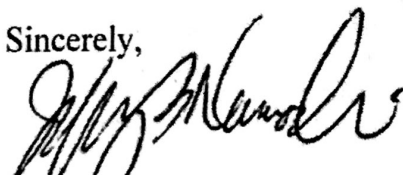
At your request, I have reviewed the second-floor structure at Planet Fitness in Portland to determine load capacity and adequacy to support PF gear soffit. I measured sizes on site and confirmed they were consistent with those in the original structural plans by Becker Structural Engineers of Portland.

First, this gear soffit is made of light gage metal framing and gypsum board. It is considered to be very light and would generally fall into "collateral" loads that would apply to ceilings, etc. However, having the original plans made it simple to determine actual capacity. The note sheet on the plans only requires 50 psf Live Load, and another 20 psf for partitions, in addition to structure weight. It is important to note these are minimum requirements and often the actual structure will far exceed the minimum design.

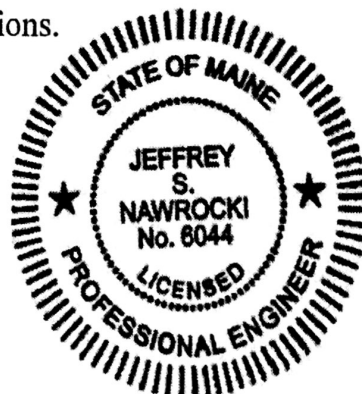
The weakest links of the structure are the W16x31 steel beams that are spaced approximately 9 feet apart and span 30 feet. These beams have (12) 3/4" diameter x 4-1/2" long welded studs on top to make them composite with the slab structure. The slab is 3" 20 gage composite deck with a total of 5-1/2" concrete thickness. Back calculating these beams, the result is they legitimately can carry a design Live Load of 100 psf, which is very conservative for the current use. Based on this, I can assure that the structure is completely adequate for weight of the gear ceiling soffit and much more.

Please contact me if you have any further questions.

Sincerely,



Jeffrey S. Nawrocki  
President – JSN Associates, Inc.



# Proposal

**HVAC SERVICES, INC.**  
73 BRADLEY DRIVE  
WESTBROOK, MAINE 04092  
(207) 854-4822 (207) 854-0775 (fax)

August 31, 2017  
Summary: PROPOSAL  
Reference #: 5325-20075  
Due Date: 9/15/2017

GRANITE COAST PROPERTIES, LLC  
  
P.O. BOX 4609  
PORTSMOUTH, NH 03802

**Job Name:**  
PLANET FITNESS  
AIR AND HUMIDITY ISSUES  
145 MARGINAL WAY  
PORTLAND, ME 03802

1-603-312-8308

1-603-312-8308

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**We Hereby Submit Specifications And Estimates For:**

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PROPOSAL FOR THE WORK OUT LINED IN THE FORE RIVER/PLANET FITNESS  
EMAIL DATED 7/25.

1). BALANCE EXHAUST AND SUPPLY AIR QUANTITIES IN BOTH 2ND FLOOR  
LOCKER AREAS. THIS WILL CONCENTRATE EXHAUST FLOWS IN THE  
BATHROOM/SHOWER AREAS. WE WILL ALSO REDUCE SUPPLY AIRFLOWS TO MAKE  
SURE LOCKER AREAS ARE NEGATIVE PRESSURE AS COMPARED TO THE REST OF  
THE BUILDING. \$500.

**We propose hereby to furnish material and labor - complete in accordance with the above specifications, for the  
sum of: \$500.00**

**Acceptance and Payment Terms:**


CONTRACT PRICE VALID FOR 30 DAYS. PAYMEN25% UPON ACCEPTANCE - PROGRESS INVOICES  
THEREAFTER - COMPLETION PAYMENT NET 20 DAYS OF INVOICE.

All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements contingent upon delays beyond our control. Purchaser agrees to pay all costs of collection, including attorney's fees. This proposal may be withdrawn by us if not accepted within 30 days of the proposal date.

Authorized  
Signature



Acceptance  
Signature



9/27/17

# Planet Fitness Portland

145 Marginal Way  
Portland, ME

# T|W DESIGN S.LLC

P.O. BOX 69 STRAFFORD, NH 03884 - P.603.664.2181 |

For Construction

April 12th, 2017

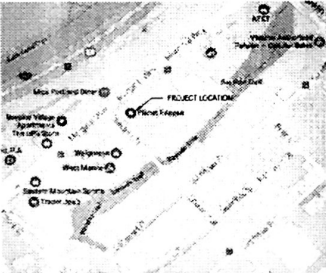
**ABBREVIATION:**

FOUND / NUMBER	TRICAL PANEL	OUTSIDE
WALL PLATE	WALL COOLER	OUTSIDE DIAMETER
CONTRACTOR (URAL)	WALL COOLER	OUTSIDE DIAMETER
CEILING TILE	FIRE PROOFING	QUANTITY
EXPANSION JOINT	CONTRACTOR	QUANTITY
WALL	WALL	WALL

**ANNOTATION LEGEND KEY:**

ROOM NAME	ROOM NUMBER
TO OUTSIDE	TO OUTSIDE
TO WALL	TO WALL
TO CEILING	TO CEILING
TO FLOOR	TO FLOOR
TO WINDOW	TO WINDOW

**LOCUS MAP:**



**Revision Schedule**

No.	Description	Date
A	Issued for Review	04.12.17
B	Landlord Response	06.26.17
C	Landlord Response - Coord	06.27.17
D	Landlord Response T.S.17	07.14.17

**Architect of Record:**  
T|W Design, LLC  
P.O. Box 69 Strafford, NH 03884  
603-664-2181

**Structural Engineer:**  
NA

**Civil Engineer:**  
NA

**Electrical Engineer:**  
T.S.D. Design / Build

**Mechanical Engineer:**  
T.S.D. Design / Build

**Fire Protection Eng.:**  
T.S.D. Design / Build

**General Contractor:**  
Whitaker Builders, Inc.  
P.O. Box 69 Strafford, NH 03884  
603-664-8577

**Project Owner:**  
Planet Fitness of Central Maine  
145 Marginal Way  
Portland, ME

**DRAWING SHEET INDEX:**

Sheet	Sheet Name	Org. Issued	Revision Date
PCS	Project Cover Sheet	06.27.17	07.14.17
D.1	First Floor Demolition Plan	06.27.17	
D.2	Second Floor Demolition Plan	06.27.17	05.24.17
A1.1	First Floor Renovation Plan	06.27.17	07.14.17
A1.2	Second Floor Renovation Plan	06.27.17	07.14.17
A1.3	First & Second Floor Reflected Ceiling Plans	06.27.17	
A2.1	Reception Desk & Gear Soffit Plans, Sections & Details	06.27.17	07.14.17
A7.1	Interior Elevations	06.27.17	07.14.17

LANDLORD & CLIENT SHALL RESOLVE THE NOTION OF A PRE-EXISTING INTERIOR BUILDING MOISTURE ISSUE. T|W DESIGN & THESE DOCUMENTS ARE NOT MEANT TO ADDRESS THE TOPIC.

DO NOT CUT, BORE, OR TRENCH ANY FLOOR, ROOF, OR BUILDING STRUCTURE (Subject to structural review: The 2nd floor concrete slab & metal decking may be drilled to install railing per detail 2/A1.2. DO NOT drill thru any structural steel).

**GENERAL NOTES:**

- DO NOT SCALE DRAWING OR DIMENSIONS. FOR MISSING DIMENSIONS OR DIMENSIONS IN CONFLICT, CONTACT THE DESIGN / BUILD CONTRACTOR IMMEDIATELY BEFORE CONTINUING WITH WORK.
- ANY DISCREPANCIES IN THESE PLANS WILL BE BROUGHT TO THE ARCHITECT'S ATTENTION IN WRITING IMMEDIATELY.
- REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DESIGN-BUILD PLANS AND SPECIFICATION, IF REQUIRED FOR LOCATIONS OF ALL BLOCK OUTS, INSERTS, OPENINGS, CURBS, BASES, & PADS THAT ARE NOT DIMENSIONED OR SHOWN ON THESE ARCHITECTURAL PRINTS.
- ANY ENGINEERING, IF REQUIRED, SHALL BE BY OTHERS.
- ALL CONSTRUCTION SHALL CONFORM TO AND IN ACCORDANCE WITH THE REGULATOR REQUIREMENTS MANDATED BY ALL FEDERAL, STATE AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE WORK. THIS INCLUDES BUT IS NOT LIMITED TO THE MAINE STATE BUILDING CODE, MAINE LIFE SAFETY & FIRE CODE.
- THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS, AND SHALL CONFIRM WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC. SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION.
- DIMENSIONS ARE FROM EXTERIOR FACE OF FOUNDATION, VENEER, OR WALL STUD AND TO CENTER OF ALL INTERIOR STUD WALLS OR FACE OF INTERIOR MASONRY, UNLESS NOTED OTHERWISE.
- CLEAR DIMENSIONS ARE FROM FACE TO FACE OF WALL FINISH UNLESS NOTED OTHERWISE.
- REFER TO MECHANICAL DRAWINGS AND SPECIFICATIONS, IF REQUIRED FOR ALL SIZES AND LOCATIONS OF MECHANICAL DUCT WORK.
- UNLESS OBVIOUSLY SHOWN OTHERWISE, DOOR LOCATIONS NOT DESIGNATED BY WRITTEN DIMENSION SHALL BE CENTERED IN THE WALL OR SHALL BE LOCATED SIX (6) INCHES FROM FINISH WALL TO EDGE OF DOOR JAMB, PER PLAN.
- PROVIDE METAL CORNER BEAD AT ALL OUTSIDE CORNERS OF PLASTERED OR DRYWALL SURFACES, UNLESS NOTED OTHERWISE.
- PENETRATIONS OF ALL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY FIRE RATED CONSTRUCTION DAMPERS, SEALANTS, COLLARS, ETC., TYPICAL.
- FURNISH AND INSTALL SOLID BLOCCING BEHIND ALL WALL HUNG MECHANICAL ITEMS, RAILS, FIXTURES, GRAB BARS, ETC., WHERE INDICATED OR REQUIRED.
- CONTRACTOR SHALL LAYOUT OR MARK ALL EQUIPMENT, SYSTEMS AND MILLWORK ON THE FLOOR FOR ARCHITECTS APPROVAL PRIOR TO BEGINNING CEILING/OVER HEAD WORK.
- ALL SPRINKLER HEAD LOCATIONS, MAINS, BRANCHES AND RISER PIPE LOCATIONS MUST BE COORDINATED WITH THE DESIGN / BUILD CONTRACTOR PRIOR TO WORK.
- FURNISH AND INSTALL FIRE EXTINGUISHERS IN TYPE, QUANTITY, AND LOCATION PER LOCAL FIRE DEPARTMENT, TYPICAL.
- CONTRACTOR SHALL VERIFY, COORDINATE WITH THE ARCHITECT ANY SMOKE, CARBON MONOXIDE DETECTOR OR FIRE ALARM DEVICE AS REQUIRED BY THE LOCAL FIRE DEPARTMENT.
- FURNISH & INSTALL FIRE DAMPERS WITH FUSIBLE LOUVER WHEREVER DUCT WORK PENETRATES ONE OR TWO HOUR CEILING OR WALLS, TYPICAL UNLESS NOTED OTHERWISE.
- PROVIDE PLASTER AND GYPSUM WALL BOARD CONTROL JOINTS AT 36"-ON CENTER FROM FLOOR TO CEILING, OR AS NOTED ON THE CONSTRUCTION DOCUMENTS. VERIFY IN FIELD WITH ARCHITECT PRIOR TO WORK.

**Project Cover Sheet**

**SHEET NUMBER**  
PCS



1

2

3

4

4.3

A

B

B.3

C

D

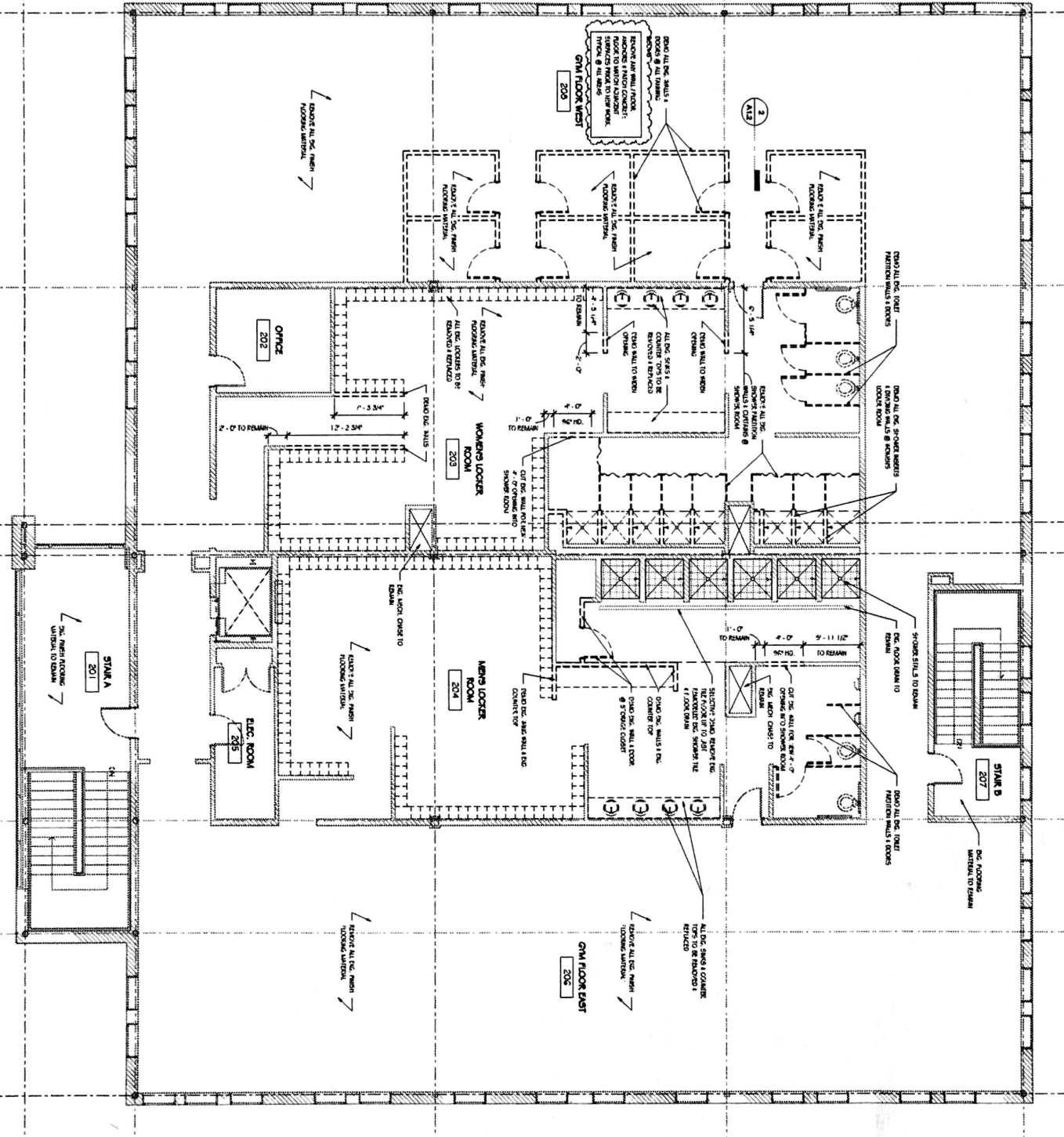
D.1

D.2

D.3

D.4

E



**WALL LEGEND**

- WALLS TO REMAIN OR FINISHES TO BE DEMOLISHED
- - - - - REMOVED WALLS, FINISHES OR FINISHES TO REMAIN (NOT SHOWN FROM DRAWING)

- SECOND FLOOR DEMOLITION NOTES**
- 1) DEMOLISH ALL EXISTING FINISH FLOORING IN ALL AREAS
  - 2) ALL EXISTING CEILING LIGHT FIXTURES TO REMAIN
  - 3) NO STRUCTURAL REVISIONS ARE TO BE REQUIRED
  - 4) THIS DRAWING SHALL BE USED FOR ALL DEMOLITION WORK
  - 5) ALL EXISTING WALLS TO REMAIN TO BE DEMOLISHED TO 0.2" MIN. FROM FINISH LINE
  - 6) ALL EXISTING WALLS TO REMAIN TO BE DEMOLISHED TO 0.2" MIN. FROM FINISH LINE
  - 7) ALL EXISTING WALLS TO REMAIN TO BE DEMOLISHED TO 0.2" MIN. FROM FINISH LINE
  - 8) ALL EXISTING WALLS TO REMAIN TO BE DEMOLISHED TO 0.2" MIN. FROM FINISH LINE
  - 9) REMOVE ALL EXISTING FINISH FLOORING IN ALL AREAS
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  - 15) REMOVE ALL EXISTING FINISH FLOORING IN ALL AREAS

Project Title:  
**Planet Fitness Portland**  
 145 Marginal Way  
 Portland, ME

Sheet Title:  
**Second Floor Demolition Plan**

Scale:  
 1/4" = 1'-0"

Date:  
 08.24.17

Drawn By:  
 J. HITCHER

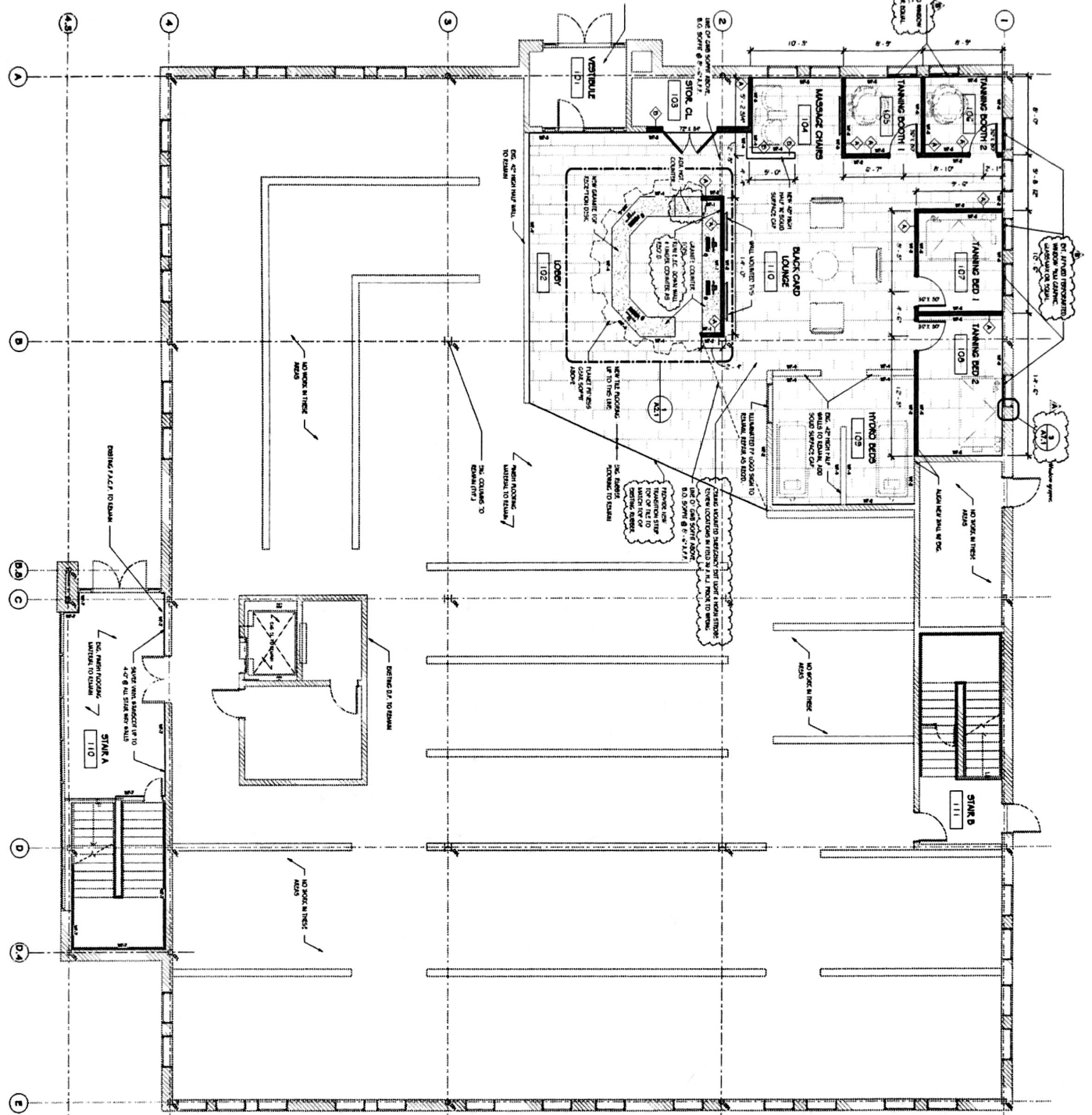
Checked By:  
 J. HITCHER

Title:  
**D.2**

**TJM**  
 DESIGN  
 P.O. BOX 8781 PORTLAND, ME 04108  
 P: 603.242.1811 F: 603.242.0888  
 Prepared For: **HITCHER BUILDERS**  
 HITCHER BUILDERS

SECOND FLOOR DEMOLITION PLAN  
 SHEET D.2

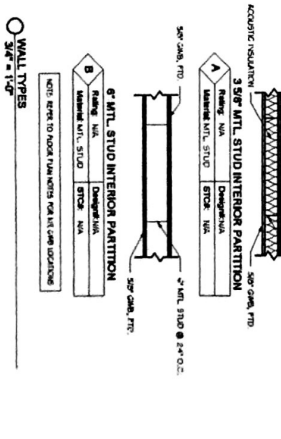
**PROPOSED FIRST FLOOR RENOVATION**  
**PLAN**  
**SIZE = 1/8"**



**WALL TYPES**

WALL TYPE	DESCRIPTION	CONSTRUCTION	FINISH
WT-1	1/2" Gypsum Board	1/2" Gypsum Board	Acoustic Ceiling
WT-2	1/2" Gypsum Board	1/2" Gypsum Board	Acoustic Ceiling
WT-3	1/2" Gypsum Board	1/2" Gypsum Board	Acoustic Ceiling
WT-4	1/2" Gypsum Board	1/2" Gypsum Board	Acoustic Ceiling
WT-5	1/2" Gypsum Board	1/2" Gypsum Board	Acoustic Ceiling
WT-6	1/2" Gypsum Board	1/2" Gypsum Board	Acoustic Ceiling
WT-7	1/2" Gypsum Board	1/2" Gypsum Board	Acoustic Ceiling

- NOTES:**
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**Project:**  
**Planet Fitness**  
**Portland**

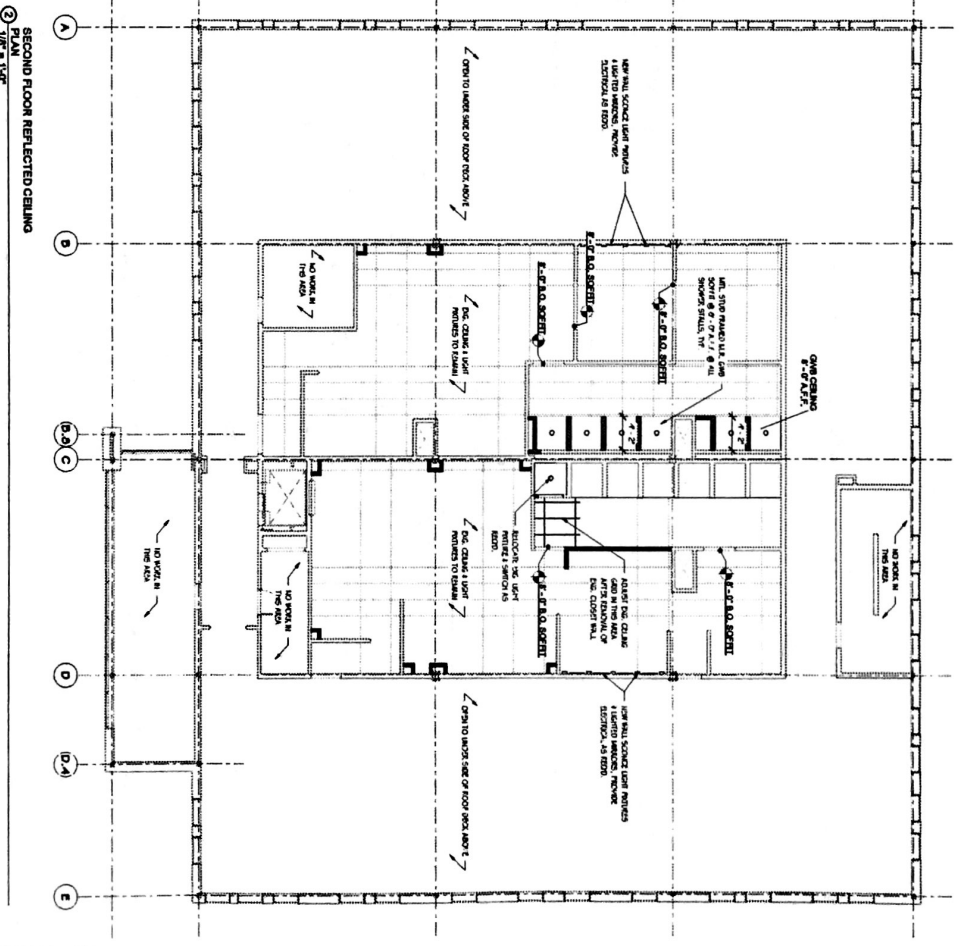
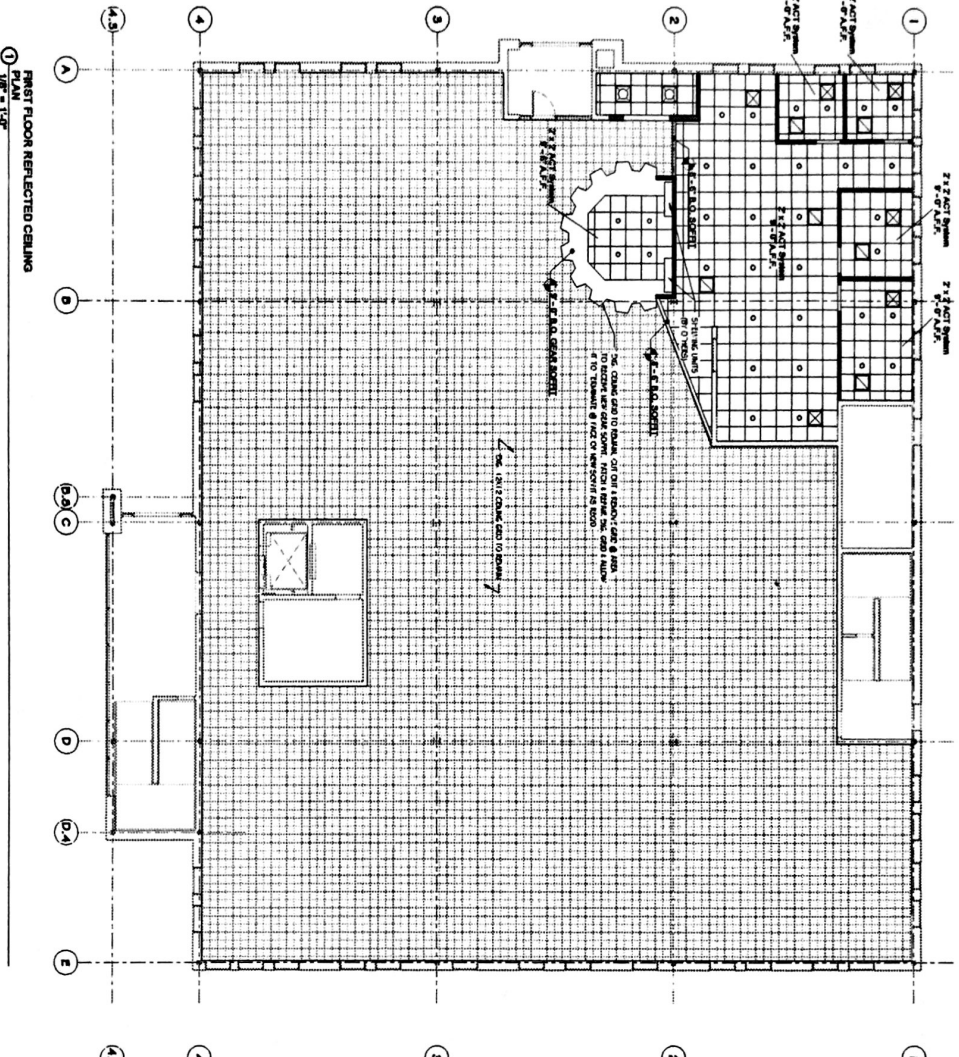
**145 Marginal Way**  
**Portland, ME**

Client: Planet Fitness  
 Architect: W. Hatcher Builders  
 Date: 08/11/17

**W. HATCHER BUILDERS**

DESIGN & CONSTRUCTION  
 145 MARGINAL WAY  
 PORTLAND, ME 04106  
 PHONE: 603.733.1111  
 WWW.WHATCHERBUILDERS.COM





- REFLECTED CEILING PLAN NOTES:**
- 1) REFLECTED CEILING PLAN NOTES:
  - 2) REFLECTED CEILING PLAN NOTES:
  - 3) REFLECTED CEILING PLAN NOTES:
  - 4) REFLECTED CEILING PLAN NOTES:
  - 5) REFLECTED CEILING PLAN NOTES:

- CEILING FINISH SCHEDULE:**
- 2'0" ACoustic Ceil. CAS
  - 2'0" ACoustic Ceil. TFL
  - 2'0" CEILING FINISH
  - 2'0" SHOWN AS FINISH
  - 2'0" PLASTERED T.C. CAS FINISH
  - 2'0" PLASTERED T.C. FINISH IS SHOWN
  - 2'0" T.C. CAS FINISH

**Project:**  
**Planet Fitness Portland**  
 145 Marginal Way  
 Portland, ME

**Sheet Title:**  
**First & Second Floor Reflected Ceiling Plans**

**Sheet Number:**  
**A1.3**

**Scale:**  
 1/8" = 1'-0"

**Revision:**  
 1. 04/12/2017  
 2. 04/12/2017  
 3. 04/12/2017  
 4. 04/12/2017  
 5. 04/12/2017

**Author:**  
 [Name]

**Check:**  
 [Name]

**Drawn:**  
 [Name]

**Scale:**  
 1/8" = 1'-0"

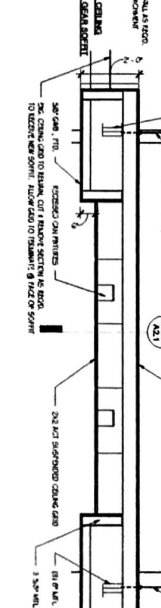
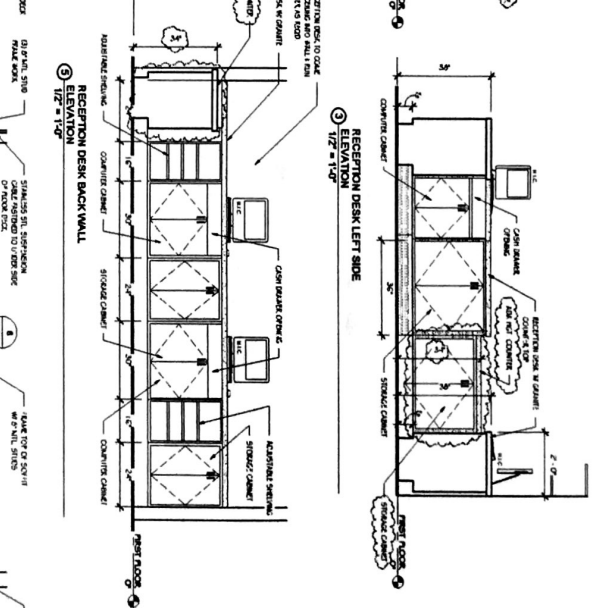
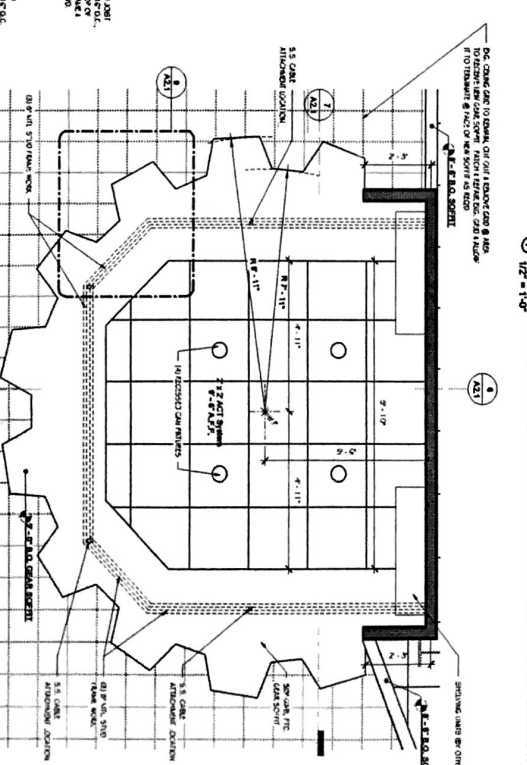
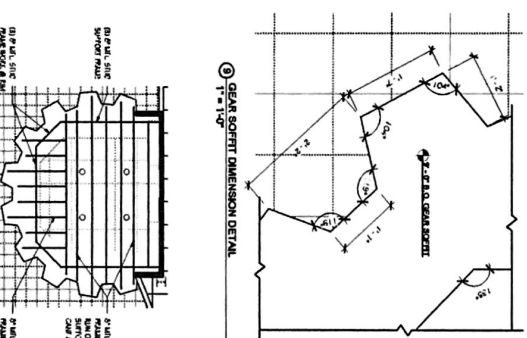
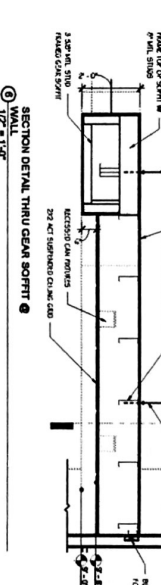
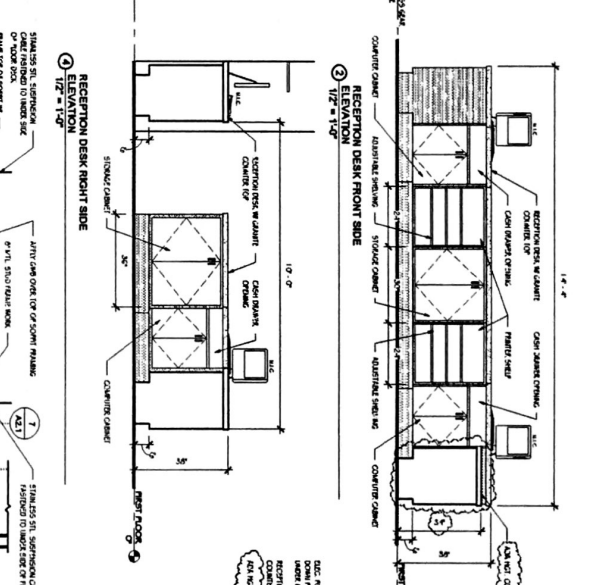
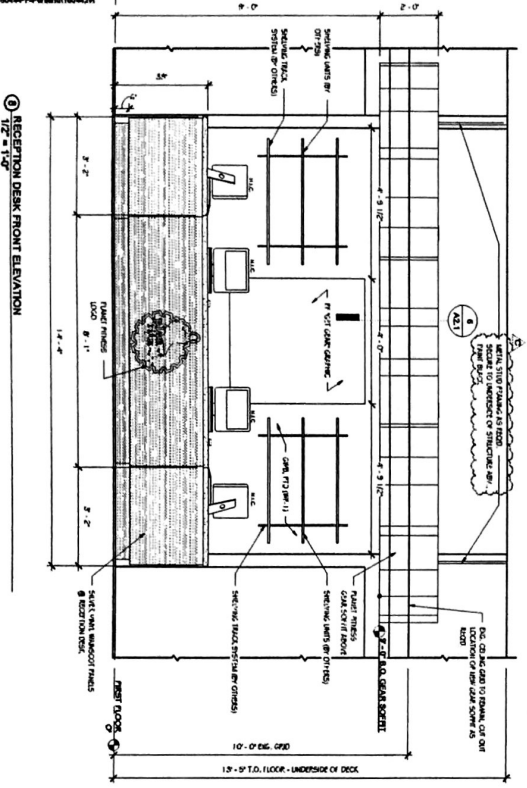
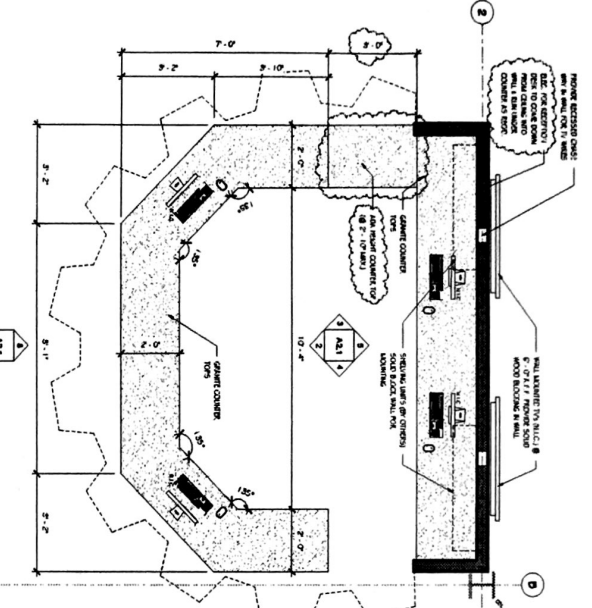
**Project Number:**  
 145 MARGINAL WAY

**Sheet Number:**  
 A1.3

**Date:**  
 04/12/2017

**Scale:**  
 1/8" = 1'-0"



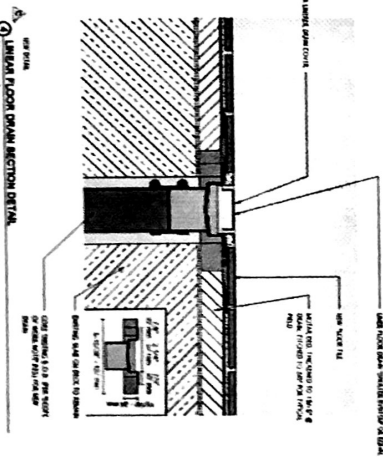
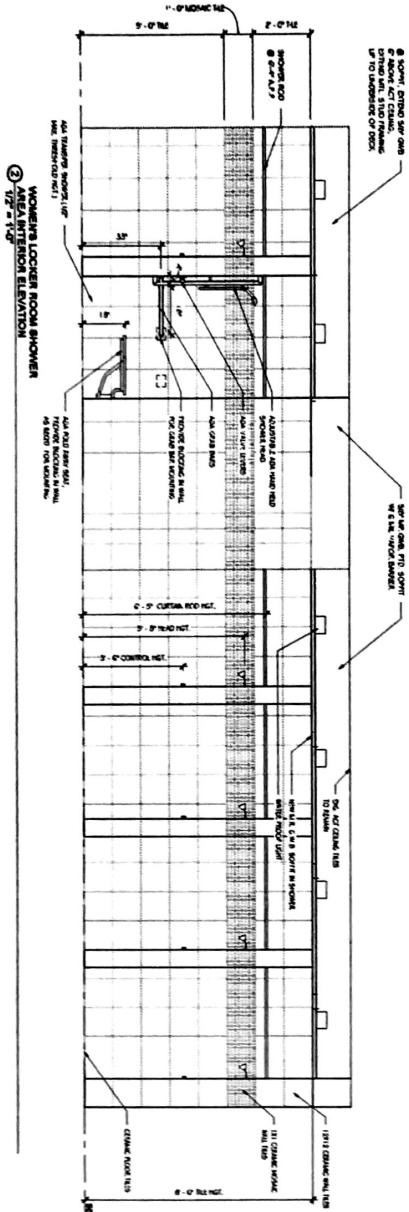
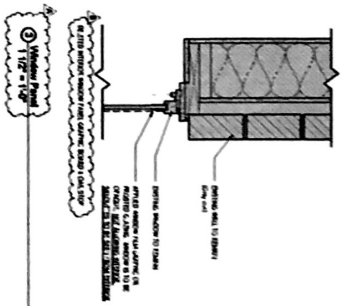
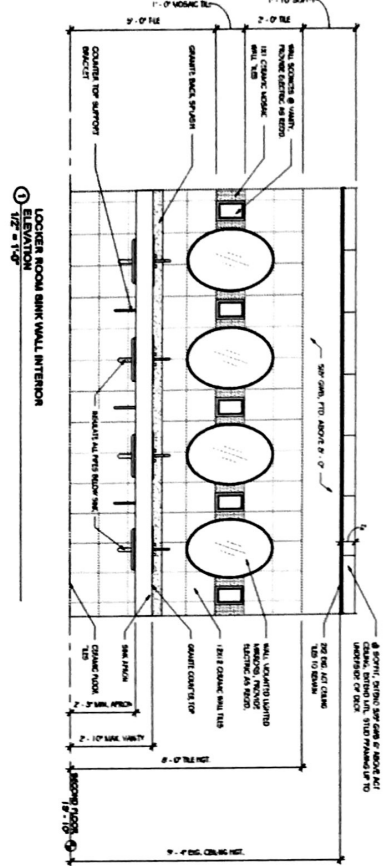


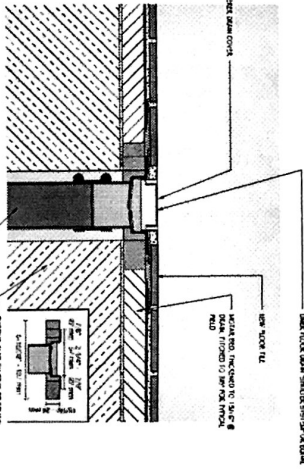
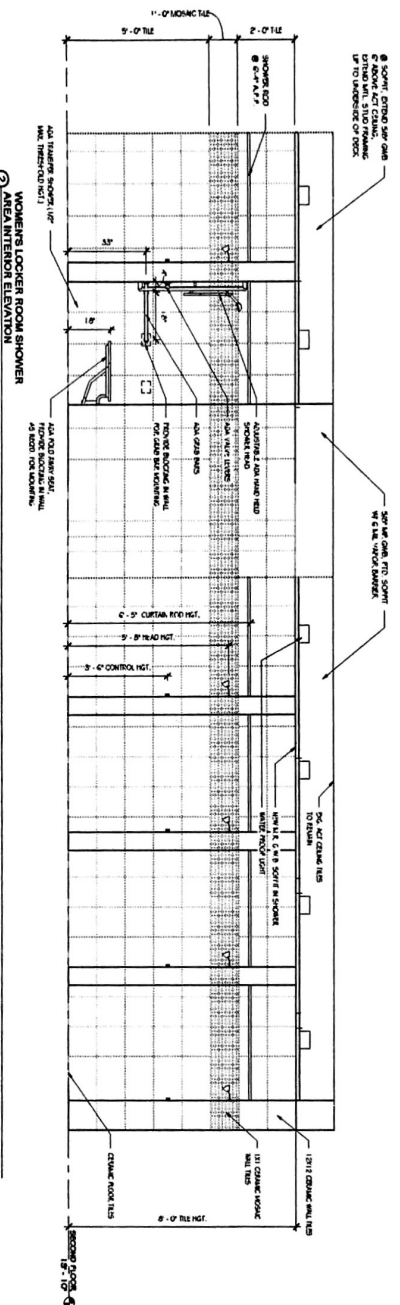
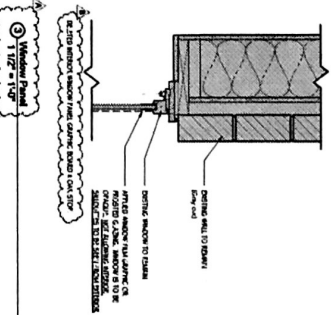
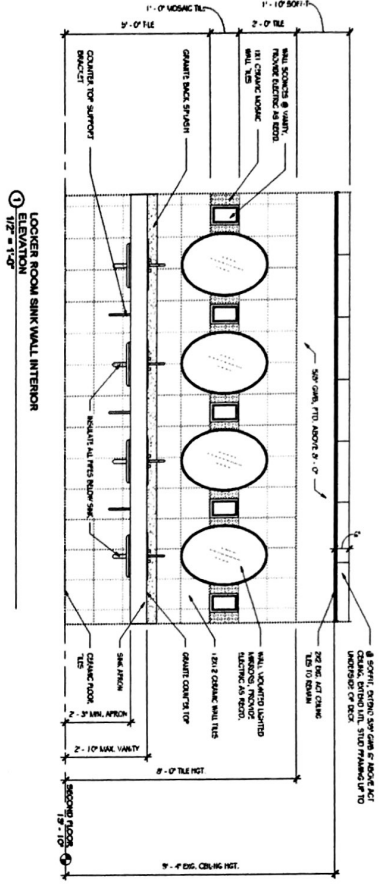
Planet Fitness  
 145 Marginal Way  
 Portland, ME

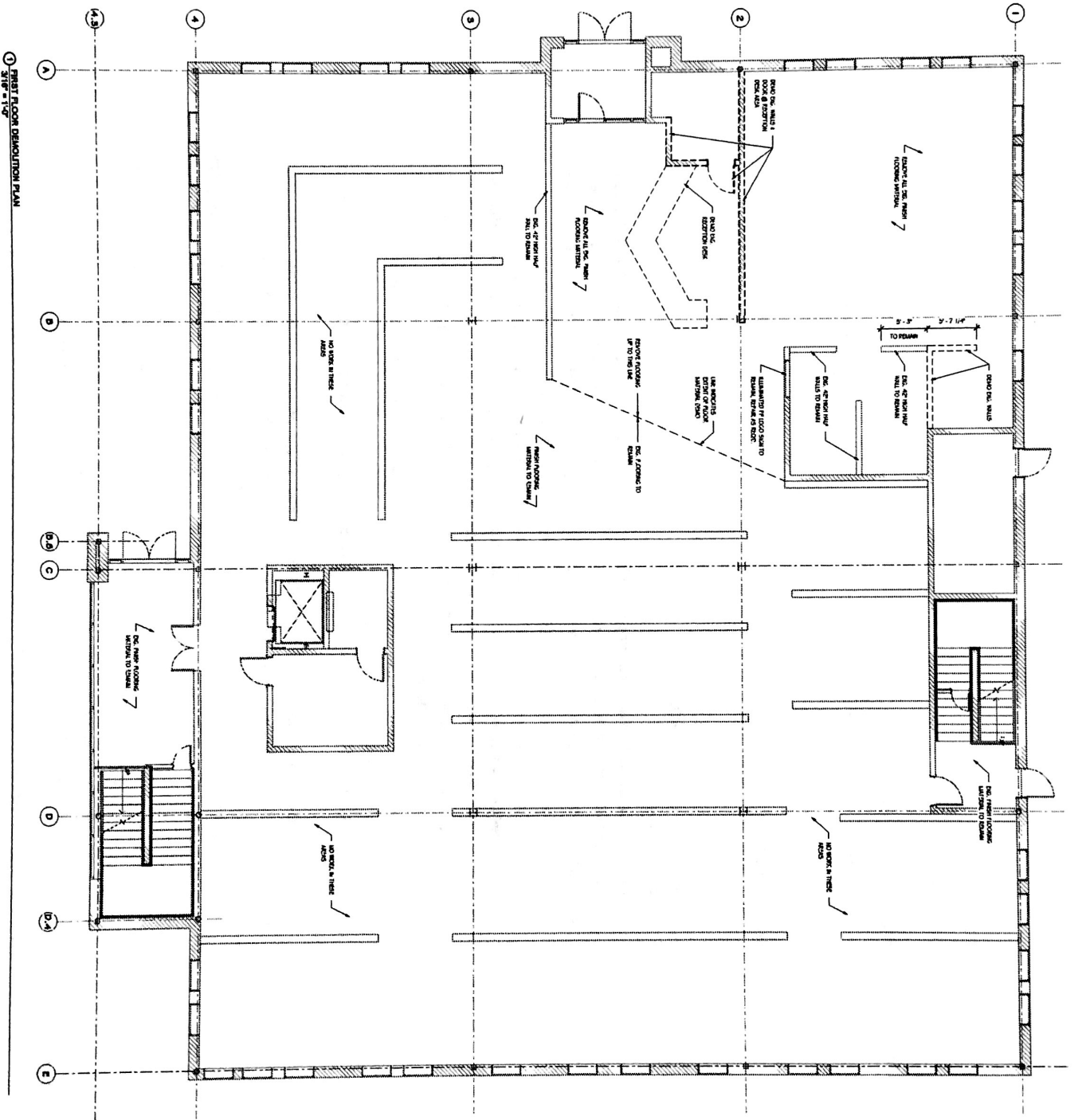
Project: Planet Fitness  
 145 Marginal Way  
 Portland, ME  
 Architect: [Name]  
 Date: [Date]  
 Scale: 1/2" = 1'-0"

GEAR SORTER  
 RECEPTION DESK  
 PLANS, SECTIONS & DETAILS

Sheet Number: A2.1







1 FIRST FLOOR DEMOLITION PLAN  
3/18/2017 1:51 PM

- WALL LEGEND**
- WALL, EXISTING OR REMOVED TO BE CEMENTED/REINFORCED
  - - - - WALL, EXISTING OR REMOVED TO BE DEMOLISHED
  - - - - PARTIAL WALL, EXISTING OR REMOVED TO BE DEMOLISHED
  - ||||| PARTIAL WALL, EXISTING OR REMOVED TO BE DEMOLISHED

- NOTES (SEE SPECIFICATIONS FOR DETAILS)**
- 1) REMOVE ALL EXISTING WALLS AND PARTIAL WALLS TO BE DEMOLISHED.
  - 2) REMOVE ALL EXISTING DOORS AND PARTIAL DOORS TO BE DEMOLISHED.
  - 3) REMOVE ALL EXISTING CEILING AND PARTIAL CEILING TO BE DEMOLISHED.
  - 4) REMOVE ALL EXISTING FLOOR FINISHES TO BE DEMOLISHED.
  - 5) REMOVE ALL EXISTING PARTIAL CEILING AND PARTIAL FLOOR FINISHES TO BE DEMOLISHED.
  - 6) REMOVE ALL EXISTING PARTIAL WALLS AND PARTIAL DOORS TO BE DEMOLISHED.
  - 7) REMOVE ALL EXISTING PARTIAL CEILING AND PARTIAL FLOOR FINISHES TO BE DEMOLISHED.
  - 8) REMOVE ALL EXISTING PARTIAL WALLS AND PARTIAL DOORS TO BE DEMOLISHED.
  - 9) REMOVE ALL EXISTING PARTIAL CEILING AND PARTIAL FLOOR FINISHES TO BE DEMOLISHED.
  - 10) REMOVE ALL EXISTING PARTIAL WALLS AND PARTIAL DOORS TO BE DEMOLISHED.
  - 11) REMOVE ALL EXISTING PARTIAL CEILING AND PARTIAL FLOOR FINISHES TO BE DEMOLISHED.
  - 12) REMOVE ALL EXISTING PARTIAL WALLS AND PARTIAL DOORS TO BE DEMOLISHED.
  - 13) REMOVE ALL EXISTING PARTIAL CEILING AND PARTIAL FLOOR FINISHES TO BE DEMOLISHED.
  - 14) REMOVE ALL EXISTING PARTIAL WALLS AND PARTIAL DOORS TO BE DEMOLISHED.
  - 15) REMOVE ALL EXISTING PARTIAL CEILING AND PARTIAL FLOOR FINISHES TO BE DEMOLISHED.
  - 16) REMOVE ALL EXISTING PARTIAL WALLS AND PARTIAL DOORS TO BE DEMOLISHED.
  - 17) REMOVE ALL EXISTING PARTIAL CEILING AND PARTIAL FLOOR FINISHES TO BE DEMOLISHED.
  - 18) REMOVE ALL EXISTING PARTIAL WALLS AND PARTIAL DOORS TO BE DEMOLISHED.
  - 19) REMOVE ALL EXISTING PARTIAL CEILING AND PARTIAL FLOOR FINISHES TO BE DEMOLISHED.
  - 20) REMOVE ALL EXISTING PARTIAL WALLS AND PARTIAL DOORS TO BE DEMOLISHED.

Project:  
**Planet Fitness Portland**  
 145 Marginal Way  
 Portland, ME

Client:  
 Planet Fitness  
 145 Marginal Way  
 Portland, ME 04106

Architect:  
 W/HITCHER BUILDERS  
 145 Marginal Way  
 Portland, ME 04106

Date:  
 3/18/2017 1:51 PM

Sheet No:  
**D.1**

**W/HITCHER BUILDERS**  
 DESIGN | BUILD | MANAGE  
 PROJECTS  
 145 MARGINAL WAY  
 PORTLAND, ME 04106  
 P: 603.231.1111  
 W: WHITCHERBUILDERS.COM



Sept. 26, 2017

**BK Planet Fitness renovation plan review notes :**

- Tenant responsible for verifying structural adequacy for its intended improvements and uses. JSN Associates Structural review letter dated Aug. 17, 2017 included in this review package.
- Package not reviewed for structural adequacy, suitability, or code compliance.
- Tenant will be required to remove and dispose of finishes and patch damaged or impacted area to return the building to its condition before the installation of finishes at the end of its tenancy if requested to do so by the Landlord.
- All costs including but not limited to permitting, constructing, maintaining, insuring, removal and disposal of finishes to be at tenants sole cost and expense.
- Tenant at its sole cost and expense will take necessary design and maintenance steps to control the humidity levels in the building to prevent damages to the building including but not limited to:
  - Balancing the systems as outline on HVAC Services, Inc. proposal dated August 31, 2017 Reference # 5325-20075, and
  - Making seasonal adjustments each year to the Rooftop units economizer programming/operation, and
  - At the end of the existing rooftop HVAC units useful life replacing them with new rooftop HVAC with units built-in Dehumidification capability, sensors and controls.Note: Landlord's review and written approval of Tenant's HVAC plans will be required before tent contracts or begins any rooftop replacement or alteration work.
- Provide the Landlord with a final Finish schedule for all new finishes.
- Provide the Landlord with proposed window graphics for landlords review and written approval before tenant begins or contracts any window graphics work. Note: tenant to verify tenant's proposed window graphics will not damage the existing window, window glazing, or insulated glazing seals,
- Subject to code approval.

Seen and Agreed to:

  
\_\_\_\_\_

Signed for GCP Portland, LLC

by:

Drew Page

Its:

Managing Member

Dated: 9/27/17