

NOTE: PORTIONS OF THE MEWS REQUIRE MITIGATION OF FILL USING LIGHTWEIGHT CONCRETE.

NOTE: PORTIONS OF PEARL STREET EXTENSION REQUIRE MITIGATION OF FILL USING LIGHTWEIGHT CONCRETE.

PROPOSED LAWN AREA ON NORTH SIDE OF WALL SHALL BE GRADED TO DRAIN TOWARDS THE QUESADA PARKING LOT. MAX. LAWN SLOPE SHALL BE 3%

SUBGRADE PREPARATION IN TRANSFORMER PAD AREA WITH LIGHT WEIGHT CONCRETE. SEE DETAIL ON THIS SHEET

PROPOSED ACCESS, UTILITY AND GENERAL USE ACCESS EASEMENT TO BENEFIT midtownOne AND midtownTwo

PROPOSED 15' ACCESS, DRAINAGE, & UTILITY EASEMENT TO BENEFIT midtownOne AND midtownTwo

24" HIGH CURB WITH 0" TO 12" REVEAL

4'-0" CB-A14 RIM 9.90

REPLACE WITH 12" SD

REPLACE EXISTING CB WITH CB A0 RIM 11.37

4" DIA. MH A1 RIM 11.45

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FOR PLANTER GRADES AND WALL ELEV.'S - SEE MITCHELL & ASSOCIATES PLANS

OPEN AREA-SEE MITCHELL & ASSOCIATES PLANS

4" DIA. MH-O.C.S. RIM 11.90

15' x 18' x 3' UNDERGROUND STORAGE TANK ST-A2

CONNECT UD TO DOWNSTREAM SIDE OF STRUCTURE A13

ROOF DRAIN FOR midtownOne CONNECT TO DOWNSTREAM SIDE OF STRUCTURE H-5

SCUPPER (TYP. OF 4)

BUILDING UNDERDRAIN IF REQUIRED (REFER TO GEOTECHNICAL REPORT)

USE ECCENTRIC CONE TO AVOID 18" SD

CONNECT SCUPPER WITH 6" SD TO F-3

CONNECT SCUPPER WITH 6" SD TO F-2

UNDERDRAIN BEHIND RETAINING WALL

PLAZA EXTENDS UNDER BUILDING-SEE MITCHELL & ASSOCIATES DRAWINGS

RAISE TRAIL TO ALLOW ACCESSIBLE ACCESS FROM MDTOWN

REPLACE EXISTING CATCH BASIN WITH DMH RIM 10.45

RIPRAP TO KEEP GRADING WITHIN PROPERTY

32'+13.97'

RIM 8.60

RIM 8.60

FENCE ALONG NORTHERLY SIDE OF TRAIL TO BE REPLACED IN KIND. THREE 4'-0" OPENINGS MAYBE PROVIDED AS DIRECTED BY FEDERATED AT SUCH TIME AS ONE OR MORE OF THESE OPENINGS IS REQUIRED BY QUESADA (THE NORTHERLY ABUTTER). THE LOCATIONS SHALL RECEIVE THE CITY OF PORTLAND AND QUESADA CONCURRENCE

6" Ø HYDRODYNAMIC SEPARATOR BASED PRETREATMENT UNIT, RIM 11.50

12" MANHOLE, 14' LONG WITH CAPS AT EACH END AND 6" TEES AT 90 DEGREES TO STORM RESERVOIRS (TYPICAL OF 2)

12" PARKING DECK SURFACE DRAIN 0.68 ACRES OF SURFACE

ROOF DRAIN FOR PORTION OF PARKING DECK RECEIVING WATER QUALITY TREATMENT

4'-0" CB-A12, RIM 11.40

3' X 18' X 3' UNDERGROUND STORM RESERVOIR ST-A9

12" SD OVERFLOW FROM A3

FLOW STORAGE DIST. MH A6, RIM 11.52

6'-0" CB-A13 AND OVERFLOW MANHOLE

18" HIGH FLOW DRAINAGE

ROOF DRAIN FOR midtownTwo CONNECT TO DOWNSTREAM SIDE OF STRUCTURE H-5

INSPECTION PORT, TYP.

ABANDON EX SD

4' x 6' TREEBOX FILTER (TYP.)

INSPECTION AND OUTLET CONTROL MANHOLE (TYP.)

UNDERGROUND STORAGE SYSTEM (TYP.)

4' x 6' RAISED CURB PLANTER (TYP.)

midtownTwo F.F.E. 12.0

midtownOne F.F.E. 12.0

COURTYARD

MEWS

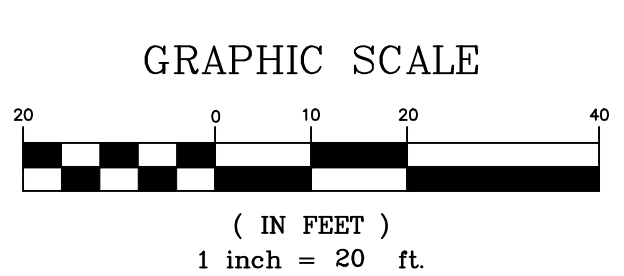
SOMERSET STREET

PEARL ST

PEARL ST EXT

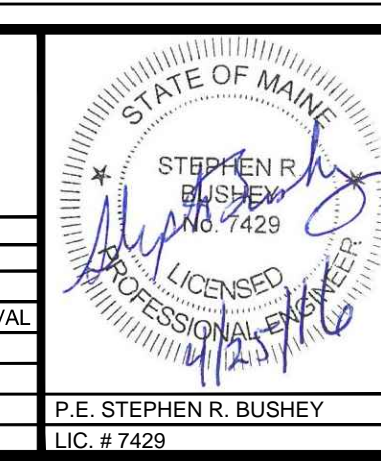
AREA OF FILL MITIGATION APPLIES TO ALL AREAS OUTSIDE OF BUILDING WHERE DEPTH OF FILL EXCEEDS 6" OVER EXISTING ELEVATIONS EXCEPT WITHIN THE BAYSIDE TRAIL AREA. PLACE LIGHT WEIGHT FILL BASED UPON:

- DEPTH OF FILL = D
- LIGHT WEIGHT CONCRETE THICKNESS = (D-6") x 1.5
- LIGHT WEIGHT FILL TO BE PLACED AT OR BELOW EXISTING GRADE AFTER EXCAVATION TO REQUIRED CONCRETE THICKNESS DEPTH AND PREPARED SUBGRADE HAS BEEN OBSERVED / APPROVED BY THE OWNER'S REPRESENTATIVE AND CITY PUBLIC WORKS REPRESENTATIVE



SEE PLANS C-3.3, C-3.4, C-3.5, C-3.6, C-3.7 AND C-3.15 FOR DETAILED GRADING AND DRAINAGE OF SOMERSET STREET, CHESTNUT STREET, PEARL STREET EXTENTION, MEWS AND COURTYARD

REV	DATE	DESCRIPTION	REVISIONS
6	04.25.16	FINAL SITE PLANS WITH CONDITIONS OF APPROVAL	
5	02.17.16	FINAL SITE PLANS WITH CONDITIONS OF APPROVAL	
4	12.08.15	REVISED PER COORDINATION WITH LANDSCAPE ARCHITECT	
3	11.09.15	SUBMITTED TO CITY IN COMPLIANCE WITH CONDITION OF APPROVAL	
2	01.21.15	REVISED PER SITE PLAN CHANGES, SUBMITTED TO CITY	
1	11.14.14	FINAL LEVEL III SUBMISSION TO CITY OF PORTLAND	
		DATE	DESCRIPTION



PROJECT
midtown
PORTLAND, MAINE

SHEET TITLE
GRADING & DRAINAGE PLAN
midtownOne and midtownTwo

CLIENT
FEDEQ DV001, LLC

FST
FAY, SPOFFORD & THORNDIKE
ENGINEERS - PLANNERS - SCIENTISTS
778 MAIN ST., SUITE 8, SOUTH PORTLAND, ME 04106
FORMERLY DELUCA-HOFFMAN ASSOCIATES

DRAWN: LA
DESIGNED: BEK
CHECKED: SRB
FILE NAME: 3062-GRADE
SHEET: C-3.0

DATE: OCTOBER 2014
SCALE: 1" = 20'
JOB NO.: 195350127
DATE: OCTOBER 2014