

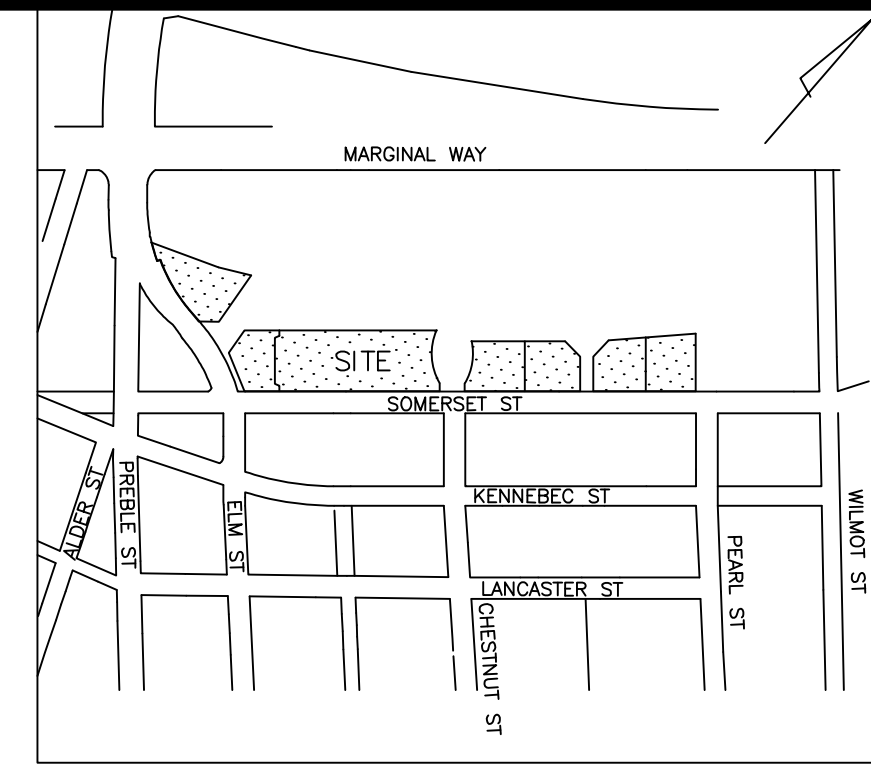
REMOVAL NOTES:

1. SITE CONTRACTOR SHALL COORDINATE WITH PROJECT LANDSCAPE CONTRACTOR AND CITY ARBORIST TO PROPERLY PREPARE TREES TO BE RELOCATED. REMOVAL OF TREES SHALL CONFORM TO CURRENT ARBORICULTURE STANDARDS. STANDARDS INCLUDE DIGGING AND PREPARING ROOTBALL WITH "BALLED AND BURLAP" STANDARD. DECIDUOUS TREES SHALL ONLY BE DUG IN EARLY SPRING BEFORE LEAVING OUT OR FALL AFTER GROWING SEASON. LANDSCAPE CONTRACTOR SHALL COORDINATE WITH CITY ARBORIST TO MAKE TREES AVAILABLE TO THE CITY. TREES SHALL BE CARED FOR ON-SITE, IN A PROTECTED LOCATION. TREES SHALL BE MULCHED AND WATERED ON A REGULAR BASIS UNTIL REPLANTING OCCURS.
2. ALL UTILITIES (STORM DRAIN, SANITARY SEWER, WATER, ELECTRICAL, COMMUNICATIONS AND GAS) WITHIN ELM STREET, SOMERSET STREET, CHESTNUT STREET, PEARL STREET AND BAY SIDE TRAIL PUBLIC RIGHT-OF-WAY AND PROJECT LIMITS SHALL BE MODIFIED AS REQUIRED TO CONSTRUCT THE MIDTOWN CONTRACT DOCUMENTS PER THE UTILITY AND CITY OF PORTLAND STANDARDS AND SPECIFICATIONS. THIS INCLUDES BUT NOT LIMITED TO RAISING FRAMES AND COVERS, METER BOXES, VALVE NUTS, HYDRANTS, LIGHTS AND SITE AMENITIES (BENCHES).
3. THE MIDTOWN PROJECT (INCLUDING BUT NOT LIMITED TO LOTS 1-9 AS SHOWN ON SUBDIVISION OF LAND SOMERSET STREET, ELM STREET, CHESTNUT STREET AND PEARL STREET EXTENSION) IS SUBJECT TO LAND COVERED BY A MEDEP WRAP PLAN. ALL SOILS AND GROUNDWATER SHALL BE HANDLED IN ACCORDANCE WITH THE SOILS MANAGEMENT PLAN PREPARED BY WOODARD & CURRAN DATED FEBRUARY 2016.

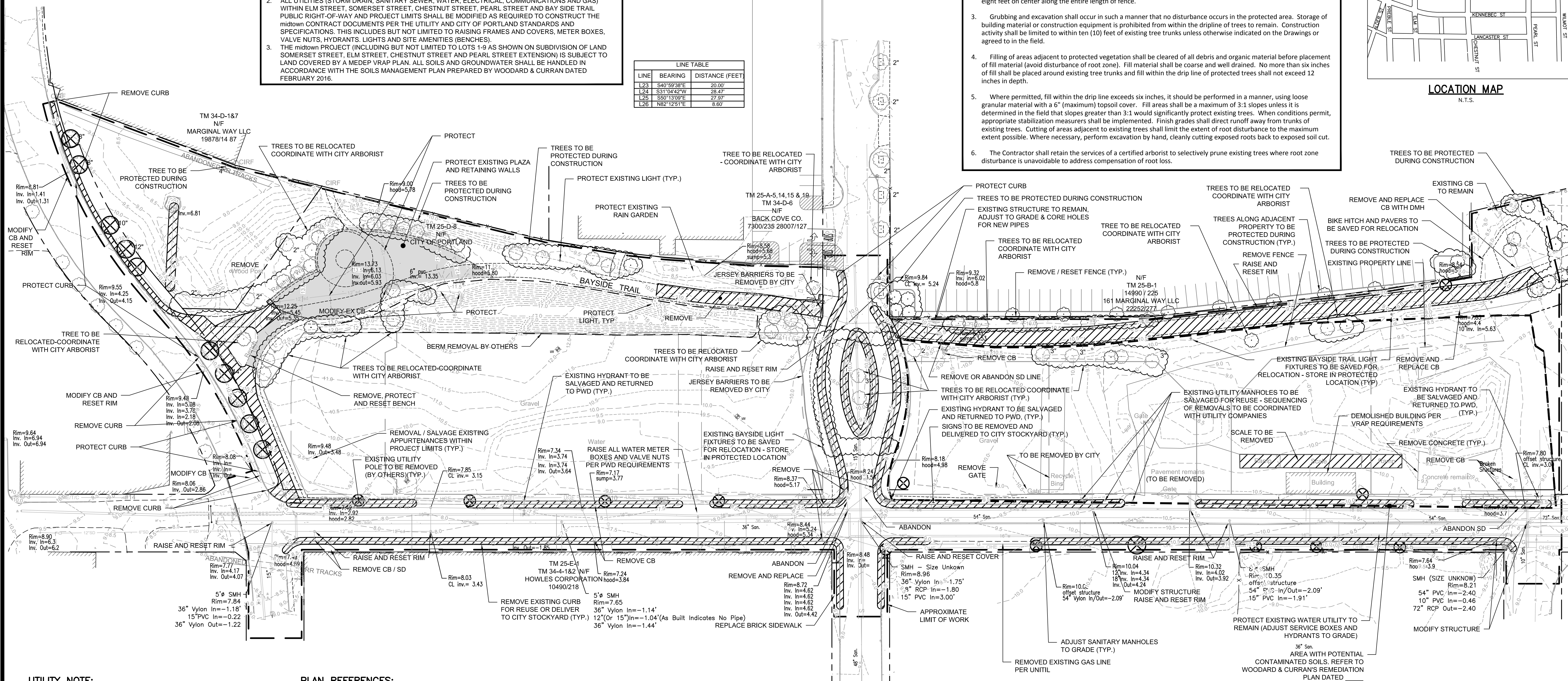
LINE	BEARING	DISTANCE (FEET)
L23	S40°59'38"E	20.00'
L24	S31°04'42"W	28.47'
L25	S50°13'09"E	27.97'
L26	N82°12'51"E	8.60'

PROTECTION OF EXISTING TREES

1. Prior to construction activity, the general contractor and site contractor shall meet on the site with Mitchell & Associates and the City Arborist to identify and establish the protection required for existing vegetation to be temporarily relocated or to remain. The limit of protection line for trees to remain shall be a minimum of ten feet from the trunk of trees being protected. All reasonable precautions shall be taken where possible to protect the root zone within the drip line of trees being preserved. Only authorized activities shall be allowed within the area of protected vegetation.
2. The Contractor shall install a four foot high snow fence along the established limit of protection line where required. Snow fence shall be secured to metal fence posts driven securely into the ground. Metal posts shall be a minimum of eight feet on center along the entire length of fence.
3. Grubbing and excavation shall occur in such a manner that no disturbance occurs in the protected area. Storage of building material or construction equipment is prohibited from within the dripline of trees to remain. Construction activity shall be limited to within ten (10) feet of existing tree trunks unless otherwise indicated on the Drawings or agreed to in the field.
4. Filling of areas adjacent to protected vegetation shall be cleared of all debris and organic material before placement of fill material (avoid disturbance of root zone). Fill material shall be coarse and well drained. No more than six inches of fill shall be placed around existing tree trunks and fill within the drip line of protected trees shall not exceed 12 inches in depth.
5. Where permitted, fill within the drip line exceeds six inches, it should be performed in a manner, using loose granular material with a 6" (maximum) topsoil cover. Fill areas shall be a maximum of 3:1 slopes unless it is determined in the field that slopes greater than 3:1 would significantly protect existing trees. When conditions permit, appropriate stabilization measures shall be implemented. Finish grades shall direct runoff away from trunks of existing trees. Cutting of areas adjacent to existing trees shall limit the extent of root disturbance to the maximum extent possible. Where necessary, perform excavation by hand, cleanly cutting exposed roots back to exposed soil cut.
6. The Contractor shall retain the services of a certified arborist to selectively prune existing trees where root zone disturbance is unavoidable to address compensation of root loss.



LOCATION MAP
N.T.S.



UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-800-DISSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION. DUE TO OSHA CONFINED SPACE REQUIREMENTS, ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.

PLAN REFERENCES:

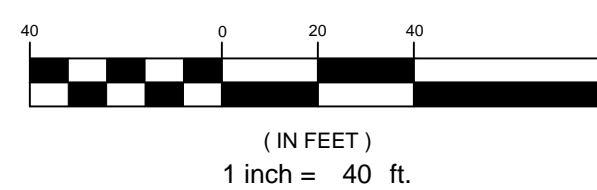
1. CONTRACT DRAWINGS - SEWER SEPARATION FRANKLIN ARTERIAL, MARGINAL WAY AND SOMERSET STREET - AS BUILT BY CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS.

LEGEND

- MONUMENT FOUND
- IRON PIPE OR ROD FOUND
- HYDRANT
- WATER VALVE
- UTILITY POLE
- LIGHT POLE
- MANHOLE
- CATCH BASIN
- SIGN
- FENCE
- 1' CONTOUR
- OVERHEAD WIRES
- WATER LINE
- SEWER LINE
- DECIDUOUS TREE
- MONITORING WELL

NOTES:

1. OWNER OF RECORD: CITY OF PORTLAND, C.C.R.D. BOOK 27870 PAGE 299.
2. BASIS OF BEARINGS: MAINE STATE PLANE COORDINATE SYSTEM WEST ZONE NAD83.
3. ELEVATIONS ARE BASED ON CITY DATUM. BENCH MARK: MDT DISK "612-(1)-10 1983"
4. THIS PLAN IS THE RESULT OF A FIELD SURVEY CONDUCTED BY OWEN HASKELL, INC. NOVEMBER 2012 AND DATA TAKEN FROM PLAN REFERENCE 2 AS SHOWN ABOVE.
5. THIS PLAN MAY NOT INCLUDE ALL SURFACE CONDITIONS OR REFLECT ALL REMOVALS REQUIRED TO COMPLETE THE WORK. ANY UNFORESEEN CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO FURTHER ACTION.



PRELIMINARY - NOT FOR CONSTRUCTION

		PROJECT midtown PORTLAND, MAINE	FAY, SPOFFORD & THORNDIKE ENGINEERS - PLANNERS - SCIENTISTS 778 MAIN ST., SUITE 8, SOUTH PORTLAND, ME 04106 FORMERLY DELUCA-HOFFMAN ASSOCIATES
SHEET TITLE EXISTING CONDITIONS AND REMOVALS PLAN		DRAWN: WBL DESIGNED: BEK CHECKED: SRB FILE NAME: 3062B-EXIST REMOVAL	DATE: OCTOBER 2014 SCALE: 1" = 40' JOB NO. 195350127 SHEET C-1.8
REV. DATE DESCRIPTION REVISIONS	CLIENT FEDEQ DV001, LLC	P.E. STEPHEN R. BUSHEY LIC. # 7429	