

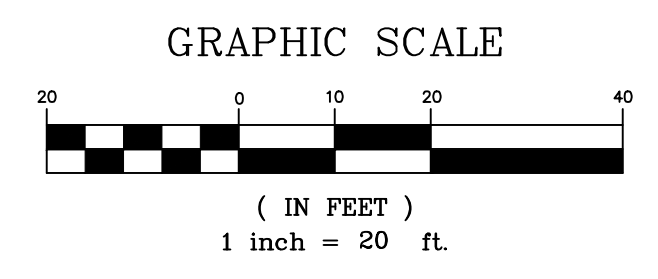
LEGEND	
	PROPOSED PROPERTY BOUNDARY
	FEDERATED BUILDINGS
	BRICK AREAS
	GREEN SPACE/PLANTERS
	PROPOSED LANDING, PLANTER AND RAMP
	VERTICAL GRANITE CURB
	FLUSH GRANITE CURB
	MOUNTABLE CURB
	TIPDOWN

NOTES:

- SUPPLEMENTAL INFORMATION FOR LOT 3 IS DEPICTED ON THE LEVEL III SITE PLANS THE midtown PROJECT.
- THIS SUBDIVISION IS FOR RESIDENTIAL OCCUPANCY ON LOT 3. REFER TO THE 'AMENDED SUBDIVISION/RECORDING PLAT' FOR INFORMATION ON THE CITY OF PORTLAND AMENDED PLAN FOR LAND PARCELS WHICH INCLUDE LOT 3.

REFERENCE NOTES:

- EXISTING PROPERTY BOUNDARIES, EXISTING CONDITIONS, EXISTING EASEMENTS, AND ELM ST., CHESTNUT ST., SOMERSET ST. AND PEARL STREET BASE LINE DATA ARE BASED ON OWEN HASKELL BOUNDARY AND TOPOGRAPHIC SURVEY PLAN DATED NOVEMBER 2012.



REV	DATE	DESCRIPTION	REVISIONS
2	04.25.16	FINAL SITE PLANS WITH CONDITIONS OF APPROVAL	
1	02.17.16	FINAL PLANS WITH CONDITIONS OF APPROVAL	

P.E. STEPHEN R. BUSHEY
LIC. # 7429

PROJECT
midtown
PORTLAND, MAINE

SHEET TITLE
**RESIDENTIAL
SUBDIVISION OF LOT 3**

CLIENT
FEDEQ DV001, LLC

FST
100 YEARS

FAY, SPOFFORD & THORNDIKE
ENGINEERS · PLANNERS · SCIENTISTS
778 MAIN ST., SUITE 8, SOUTH PORTLAND, ME 04106
FORMERLY DELUCA-HOFFMAN ASSOCIATES

DRAWN: LA	DATE: JULY 2015
DESIGNED: BEK	SCALE: 1" = 20'
CHECKED: SRB	JOB NO. 195350127
FILE NAME: 3062-SUBDIVISION PLANS	
SHEET	C-1.6