

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Please Read  
 Application And  
 Notes, If Any,  
 Attached

BU **PERMIT** ION

Permit Number: 090990

This is to certify that 161 Marginal Way Llc/Tom V  
 has permission to Adding 3 interior walls also removing and replacing reception area.

AT 161 Marginal Way CE 025 B001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other used-in. 2  
 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. CAPT. R. Southern

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

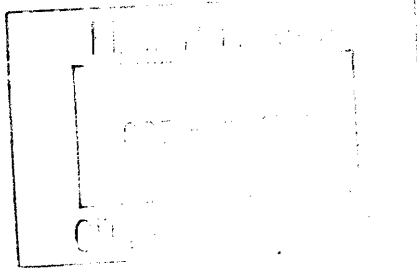
Permit No: 09-0990	Issue Date:	CBL: 025 B001001
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Location of Construction: 161 Marginal Way	Owner Name: 161 Marginal Way Llc	Owner Address: Box 7525	Phone:
Business Name:	Contractor Name: Tom Vallee	Contractor Address: 207 Bog Road Augusta	Phone 2074854193
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-7

Past Use: Commercial / Office Building <i>ME Health &amp; Human Services</i>	Proposed Use: Office Building / Adding 3 interior walls also removing and replacing the reception area.	Permit Fee: \$420.00	Cost of Work: \$40,000.00	CEO District: 1
Proposed Project Description: Adding 3 interior walls also removing and replacing the reception area.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>* See Conditions</i>	INSPECTION: Use Group: <i>B</i> Type: <i>IBC 2003</i>	
		Signature: <i>(KB)</i>	Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 09/16/2009	<b>Zoning Approval</b>		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/16/09</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

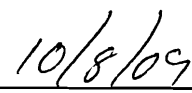
Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

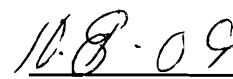
**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

  
\_\_\_\_\_  
Signature of Applicant/Designee

  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Inspections Official

  
\_\_\_\_\_  
Date



**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0990	<b>Date Applied For:</b> 09/10/2009	<b>CBL:</b> 025 B001001
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<b>Location of Construction:</b> 161 Marginal Way	<b>Owner Name:</b> 161 Marginal Way Llc	<b>Owner Address:</b> Box 7525	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Tom Vallee	<b>Contractor Address:</b> 207 Bog Road Augusta	<b>Phone</b> (207) 485-4193
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

<b>Proposed Use:</b> Office Building / Adding 3 interior walls also removing and replacing the reception area.	<b>Proposed Project Description:</b> Adding 3 interior walls also removing and replacing the reception area.
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**Dept:** Zoning      **Status:** Approved      **Reviewer:** Marge Schmuckal      **Approval Date:** 09/10/2009  
**Note:**      **Ok to Issue:**

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 09/17/2009  
**Note:**      **Ok to Issue:**

- 1) All penetrations shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the required rating.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Keith Gautreau      **Approval Date:** 09/15/2009  
**Note:**      **Ok to Issue:**

- 1) A separate Sprinkler Permit will not be required for the minor sprinkler work to be done. However a compliance letter will be required for the system after completion of work. KG
- 2) Emergency lights and exit signs are required
- 3) Fire extinguishers required. Installation per NFPA 10
- 4) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.



09 099 U

# General Building Permit Application

Location/Address of Construction: <u>161 Marginal Way, Portland</u>		
Total Square Footage of Proposed Structure/Area <u>± 12,600</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>095 B</u> Block# <u>001</u> Lot# <u>See Attached Tax Card</u>	Applicant *must be owner, Lessee or Buyer* Name <u>DHHS</u> Address <u>SHS # 11</u> City, State & Zip <u>Augusta ME 04333</u>	Telephone: <u>(207) 287-5837</u> Attn: <u>Mareha Kluzak</u>
Lessee/DBA (If Applicable) <u>DHHS</u> <u>SEP 10 2009</u>	Owner (if different from Applicant) Name <u>161 Marginal Way, LLC</u> Address <u>5 Mill Street PO Box 7525</u> City, State & Zip <u>Portland 04112</u>	Cost Of Work: \$ <u>40,000.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Office Building</u> If vacant, what was the previous use? <u>N/A - occupied</u> Proposed Specific use: <u>Renovations to lobby and parts of 1st floor - same</u> Is property part of a subdivision? <u>No</u> If yes, please name <u>N/A</u> Project description: <u>See attached Scope of Work</u> <u>Adding 3 interior walls and removing and replacing the reception area</u>		
Contractor's name: <u>Tom Vallee</u>		
Address: <u>207 Bog Rd</u>		
City, State & Zip <u>Augusta ME 04330</u>		Telephone: <u>485-4193</u>
Who should we contact when the permit is ready: <u>Tom Vallee</u>		Telephone: <u>485-4193</u>
Mailing address: <u>Same as above</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: M. M. M. M., DHHS Date: 8/28/2009

This is not a permit; you may not commence ANY work until the permit is issue  
Director of Facilities Mgmt

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

### Current Owner Information

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	025 B001001
<b>Location</b>	161 MARGINAL WAY
<b>Land Use</b>	OFFICE & BUSINESS SERVICE
<b>Owner Address</b>	161 MARGINAL WAY LLC BOX 7525 PORTLAND ME 04112
<b>Book/Page</b>	14990/255
<b>Legal</b>	25-B-1 MARGINAL WAY 149-179  124158 SF

### Current Assessed Valuation

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$1,127,300	\$4,841,200	\$5,968,500

### Building Information

Bldg #	Year Built	# Units	Bldg Sq. Ft.	Identical Units
1	1999	1	55040	1
<b>Total Acres</b>	<b>Total Buildings</b>	<b>Sq. Ft.</b>	<b>Structure Type</b>	<b>Building Name</b>
2.85	55040		OFFICE BUILDING - LOW-RISE	ME HEALTH & HUMAN SERVICES

### Exterior/Interior Information

Section	Levels	Size	Use
1	01/01	14048	OFFICE BUILDING
2	02/04	13664	OFFICE BUILDING

Height	Walls	Heating	A/C
8	BRK/CONC BLK	HOT AIR	CENTRAL
8	BRICK/STONE	HOT AIR	CENTRAL
		NONE	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE

### Building Other Features

Line	Structure Type	Identical Units
1	ELEVATOR - ELEC. PASSENGER	2
1	SPRINKLER - WET	1

### Yard Improvements

Year Built	Structure Type	Length or Sq. Ft.	# Units
1999	ASPHALT PARKING	100000	1
1999	LIGHT - POLE AND BRACKET		8

1999 FENCE CHAIN 600 1

### Sales Information

Date	Type	Price	Book/Page
08/19/1999	LAND + BLDING	\$52,188	14990-257
08/19/1999	LAND + BLDING	\$1,692,632	14990-255

### Picture and Sketch

[Picture](#)      [Sketch](#)      [Tax Map](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

[New Search!](#)

Outline Scope of Work  
DHHS  
161 Marginal Way  
Portland, Maine

## Phases 1 & 2:

### General Notes:

- The building Owner is: 161 Marginal Way LLC.
- Work to be performed in two phases. See plans for Phasing and additional notes.
- All work to be performed after hours or weekends **or on state furlough days**. Work schedule to be coordinated with DHHS.
- DHHS has received a permit from the state Fire Marshal's office.
- The General Contractor will be responsible for obtaining a building permit from the City of Portland and for coordinating required inspections.
- General contractor responsible for hiring and coordinating a licensed sprinkler contractor, **if sprinkler work is required**, and a licensed electrical contractor. Owners written approval of contractors required before Contractors begin or contract any work.
- Refer to floor plan and Electrical outline scope of electrical work for electrical work.
- Tele/Data work by DHHS.
- General Contractor responsible for hiring and coordinating HVAC Services, Inc for HVAC system modifications.
- Furniture moving to allow access to work areas by DHHS.

## Phase 1:

### Reception Area renovations Waiting room 164 and Storage (new Receptionist Room) 134:

#### New Receptionist area:

- Demo walls for window openings and install (3) sliding windows, (1) fixed window, trim, countertops, vinyl base, and paint.
- Relocate existing emergency call button system.
- Replace (3) light fixtures in reception/storage area.
- Install a dedicated outlet for a photocopier.
- Refer to floor plan and Electrical outline scope of electrical work for electrical work.
- Modify/rebalance HVAC system for receptionist use.

#### Wind break near entry:

- Install storefront window type wind break.
- Relocate Fire alarm and pull station as required.
- Paint new and impacted GWB areas.
- Flooring repair or replacement and vinyl base work.

#### Old Receptionist area:

- Remove old receptionist desk including cabinets, countertops, and trim.
- Flooring and base. Remove existing carpet and prep floor for new tile and base to match existing (DalTile CD07 Verde Algiero" – textured with Johnsonite #73 Palm Leaf cove base (verify!!!). Install vinyl transition strip between existing carpet and new tile.
- Re-finish GWB column enclosure as required and trim with wood and finish to match existing. Paint GWB.
- Patch/repair Areas of GWB damaged or exposed due to demo.
- Refer to floor plan and Electrical outline scope of electrical work for electrical work.



Outline Scope of Work  
DHHS  
161 Marginal Way  
Portland, Maine

## Phase 2:

### Interview rooms 146A and 146B

- Subdivide room with a new insulated GWB partition to match existing. New wall to extend above/thru the ACT ceiling to bottom of deck and lay sound batts above ACT adjacent to partitions and extend 3 ft from wall.
- Repair ACT ceiling.
- Refer to floor plan and Electrical outline scope of electrical work for electrical work.
- Paint rooms
- Flooring to remain – install VB to match at new walls.
- Reconfigure HVAC system for new configuration.

### Office rooms 105A and 105B

- Demolish wall
- Subdivide room with a new insulated GWB partition to match existing. New wall to extend above/thru the ACT ceiling to bottom of deck and lay sound batts above ACT adjacent to partitions and extend 3 ft from wall.
- Remove door and sidelight assembly from room 105A and infill door opening.
- Remove door and sidelight assembly from room 105B and install it in a new opening between Rooms 105 A and Room 101. Note: Existing frames may be welded and the contractor has the option to replace rather than reuse the welded frames with new welded frames to match the existing (typical).
- Install the door and sidelight assembly removed from Room 105A into the opening between Room 105B and Room 101.
- Repair ACT ceiling
- Paint rooms 105A and 105 B. Touch up paint impacted GWB in rooms 101 and Corridor Room 171.
- Paint door frames
- Refer to floor plan and Electrical outline scope of electrical work for electrical work.
- Room 105A: Existing flooring to remain – install VB at new walls to match existing.
- Room 105B: Install new flooring to match existing – install VB at new walls to match existing. (Verify: Patcraft – “Scholastic” 061 Honor Roll with Johnsonite #73 Palm Leaf” cove base).
- Reconfigure HVAC system for new configuration.

### Office room 101 & 104

- Permanently secure the moveable partition in Rm 101 in the open position.
- Remove the exit light above the door into Rm 105B.
- Remove door and sidelight #104A and infill wall with GWB partition with sound batts. Paint wall and install VB to match existing between rooms 101 and 104.
- Repair any ACT damage due to removal of exit light.
- Reconfigure HVAC system for new use.

Outline Scope of Work  
DHHS  
161 Marginal Way  
Portland, Maine

## **Phase 2 (continued):**

### **Interview rooms Offices 108A and 108B**

- Subdivide room with a new insulated GWB partition to match existing. New wall to extend above/thru the ACT ceiling to bottom of deck and lay sound batts above ACT adjacent to partitions and extend 3 ft from wall..
- Repair ACT ceilings.
- Cut light into door into Room 108A to match bldg standard.
- Install new door with light into new door opening into Room 108A. Door, frame, and hardware package to bldg standard for interview room.
- Refer to floor plan and Electrical outline scope of electrical work for electrical work.
- Paint rooms and door frames
- ~~Install new carpet and vinyl base (Pacraft —“Scholastic” 061 Honor Roll with Johnsonite #73 Palm Leaf” cove base).~~ **VCT flooring to remain, install Vinyl base to match existing.**
- **Install plywood enclosure with access panel to enclose condensate pump. Paint with semi gloss enamel to match wall color.**
- Reconfigure HVAC system for new configuration.

### **Interview rooms Storeroom 108**

- Subdivide room with a new insulated GWB partition to match existing. New wall to extend above/thru the ACT ceiling to bottom of deck and lay sound batts above ACT adjacent to partitions and extend 3 ft from wall..
- Repair ACT
- Refer to floor plan and Electrical outline scope of electrical work for electrical work.
- Paint new GWB and touch up paint repaired GWB areas
- VCT to remain install base to match existing.
- Reconfigure HVAC system for new configuration.

5/21/09 revise 7/9/09

Outline Electrical Scope of Work  
DHHS  
161 Marginal Way  
Portland, Maine

**For Pricing: (see plans for additional information).**

## **Phases 1 & 2:**

### **Notes:**

- HVAC control/T-stat wiring by others.
- Telecom wiring by others.
- Verify capacity of emergency call button system to add additional buttons
- Verify capacity of Fire Alarm system to add more horn/strobes
- Include cost of obtaining an electrical permit.

## **Phase 1:**

### **Reception/Waiting/Storage (Rms #134 &164):**

- Demo
  - Demo electrical in reception desk.
  - Demo/rewire electrical and fire alarm (FA) in wall between Rms #134 and 164 for installation of windows as required.
  - Replace (3) existing recessed 2x4 ft fixtures with prismatic lens with new (18) cell 2x4 recessed parabolic ft fixtures to bldg standard.
- Lighting and Switching
  - Replace (3) existing recessed 2x4 ft fixtures with prismatic lens with new (18) cell 2x4 recessed parabolic ft fixtures to bldg standard. Wire to existing switching (see above).
- Outlets:
  - Add dedicated outlet for copier.
- Emergency Call Buttons
  - Relocate Emergency call button panel from existing reception desk to new reception desk in room 134.
- Fire Alarm
  - See demo above.
  - Relocate Horn/Strobe and pull station near exit to allow installation of additional wall.

5/21/09 revise 7/9/09

Outline Electrical Scope of Work  
DHHS  
161 Marginal Way  
Portland, Maine

## Phase 2:

### Interview Rooms #146A and 146B:

- Lighting and Switching:
  - Rewire existing (3) way light switches to provide single pole switches to recessed lighting in each room. Remove the two recessed It fixtures in the center of the room and use them to replace (2) of the recessed 2x4 It fixtures with prismatic lens in storage room # 108A.
- Outlets:
  - Install two new outlets
- Emergency call button:
  - Install one additional emergency call button
- Fire Alarm
  - Install one additional FA strobe

### Receiving/Storage Room 108, Interview Rooms Offices 108A and 108B

- Lighting and switching
  - Remove two recessed prismatic light fixtures and relocate (2) other prismatic light fixture to provide (6) total prismatic It fixtures in Receiving/Storage Room 100. Replace the (3) way light switch with a single pole switch to control the 6 fixtures.
  - Replace the (3) way light switch with a single pole switch and wire it to the (2) 18 cell parabolic recessed light fixtures from Interview Rooms #146A &146B (see above) relocated into room 108A .
  - Install a new single pole switch and wire it to (2) new 18 cell parabolic recessed light fixtures from.
- Outlets:
  - Install (3) new outlets in the new partition – one each in rooms 100, 108A and 108B
- ~~○ Call Buttons~~
  - ~~○ Install emergency call buttons in rooms 108A and 108B~~
- Fire Alarm
  - ~~○ Relocate existing Horn/strobe into room 108A or 108B and install new Strobe in rooms 108A or 108B~~
  - Relocate existing Horn/strobe to new partition in the Storage Room 108

5/21/09 revise 7/9/09

Outline Electrical Scope of Work  
DHHS  
161 Marginal Way  
Portland, Maine

## Phase 2 (continued):

### ~~Office Room 100:~~

- ~~○ Demo~~
- ~~○ Remove exit sign above door leading to room 105B~~

### ~~Office Rooms 105 A & 105B~~

- ~~○ Demo~~
  - ~~○ Remove/relocate one outlet from wall to be removed.~~
  - ~~○ Remove one magnetic door hold open tied to fire alarm from wall to be removed.~~
  - ~~○ Remove one 1x4 recessed light fixture.~~
  - ~~○ Remove wall switch from Rm #105A.~~
  - ~~○ Remove emergency call button from Rm 105A.~~
- ~~○ Lighting and Switching~~
  - ~~○ Relocate (4) existing recessed 2x4 parabolic light fixtures so that there are 2 fixtures in each Rm 105A and 105B. Wire to new switches to be located adjacent to doors.~~
- ~~○ Outlets:~~
  - ~~○ Install one new additional outlet in 105A~~
  - ~~○ Install one new additional outlet and one relocated outlet ( see demo above) in Rm 105B~~
- ~~○ Emergency Call Buttons~~
  - ~~○ Remove emergency call button from Rm 105A see demo above.~~



*State of Maine*  
*Department of Public Safety*  
**Construction Permit**



Reviewed  
for Barrier  
Free

# 18413

Sprinkled  
Sprinkler Supervised

**MISC. INTERIOR RENOVATIONS TO DHHS BLDG.**

Located at: 161 MARGINAL WAY

**PORTLAND**

Occupancy/Use: BUSINESS

**Permission is hereby given to:**

FORE RIVER COMPANY

5 MILK ST.  
PORTLAND, ME 04101

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.

No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

*This permit will expire at midnight on the 10 th of December 2009*

Dated the 11 th day of June A.D. 2009

Commissioner

**Copy-1 Owner**

Comments:

FORE RIVER COMPANY

5 MILK ST.  
PORTLAND, ME 04101

**PROJECT TEAM**

OWNER

**FORE RIVER COMPANY**

3 MILK STREET  
PORTLAND, MAINE 04112  
207-774-4941

ARCHITECT



**CWS ARCHITECTS**

434 GINGERSLAND AVENUE  
PORTLAND, ME 04103-3233  
TEL: (207) 774-4411  
FAX: (207) 774-4815

TRAVEL

**DHHS**

161 Marginal Way  
Portland, Maine

**ADMINISTRATIONS**

NO. OF SHEETS: 17  
NO. OF SHEETS USED: 17  
DATE: 05/10/04  
PROJECT NO.: 09407  
DRAWING NO.: TP  
SHEET NO.: 17  
OWNER: FORE RIVER COMPANY  
ARCHITECT: CWS ARCHITECTS  
TRAVEL: DHHS  
SCALE: AS SHOWN  
PROJECT LOCATION: 161 MARGINAL WAY, PORTLAND, ME  
PROJECT DESCRIPTION: MISC. INTERIOR RENOVATIONS TO THE DHHS BUILDING  
DRAWING TITLE: TITLE PAGE AND DRAWING INDEX  
DATE: 05-09-02  
SCALE: NTS  
CWS PROJECT NO.: 09407

**GENERAL NOTES PERTAINING TO THE CONSTRUCTION AND CONSTRUCTION DOCUMENTATION**

1. THE CONTRACTOR SHALL VERIFY AND REPORT ALL NEW CONSTRUCTION TO BE INSTALLED TO THE LOCAL JURISDICTIONAL AGENCIES FOR APPROVAL.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY THE LOCAL JURISDICTIONAL AGENCIES FOR THE PROJECT.
3. THE CONTRACTOR SHALL VERIFY THE EXISTING ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS AND REPORT ANY DEFICIENCIES TO THE ARCHITECT FOR CORRECTION.
4. IF FIELD CONDITIONS REQUIRE ANY CHANGES TO THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL SUBMIT A REQUEST FOR INFORMATION TO THE ARCHITECT FOR APPROVAL.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY THE LOCAL JURISDICTIONAL AGENCIES FOR THE PROJECT.
6. IF FIELD CONDITIONS REQUIRE ANY CHANGES TO THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL SUBMIT A REQUEST FOR INFORMATION TO THE ARCHITECT FOR APPROVAL.
7. THE CONTRACTOR SHALL VERIFY THE EXISTING ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS AND REPORT ANY DEFICIENCIES TO THE ARCHITECT FOR CORRECTION.

**PRELIMINARY MECHANICAL AND ELECTRICAL SCOPE OF WORK**

**MECHANICAL SCOPE:**

1. THE FINAL SCOPE OF THE MECHANICAL WORK SHALL BE ULTIMATELY DETERMINED BY THE LOCAL JURISDICTIONAL AGENCIES. AT A MINIMUM, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION AND TESTING OF ALL MECHANICAL SYSTEMS, INCLUDING BUT NOT LIMITED TO: HEATING, VENTILATION, AND AIR CONDITIONING (HVAC) SYSTEMS; PIPING SYSTEMS; EXHAUST SYSTEMS; AND OTHER MECHANICAL SYSTEMS AS REQUIRED BY THE LOCAL JURISDICTIONAL AGENCIES. THE CONTRACTOR SHALL VERIFY THE EXISTING MECHANICAL SYSTEMS AND REPORT ANY DEFICIENCIES TO THE ARCHITECT FOR CORRECTION.

**ELECTRICAL SCOPE:**

1. THE FINAL SCOPE OF THE ELECTRICAL WORK SHALL BE ULTIMATELY DETERMINED BY THE LOCAL JURISDICTIONAL AGENCIES. AT A MINIMUM, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION AND TESTING OF ALL ELECTRICAL SYSTEMS, INCLUDING BUT NOT LIMITED TO: POWER DISTRIBUTION SYSTEMS; LIGHTING SYSTEMS; COMMUNICATION SYSTEMS; AND OTHER ELECTRICAL SYSTEMS AS REQUIRED BY THE LOCAL JURISDICTIONAL AGENCIES. THE CONTRACTOR SHALL VERIFY THE EXISTING ELECTRICAL SYSTEMS AND REPORT ANY DEFICIENCIES TO THE ARCHITECT FOR CORRECTION.

**SYMBOLS LEGEND**

- 1. WALL SECTION
- 2. WINDOW TYPE
- 3. DOOR NUMBER
- 4. CONFERENCE ROOM NUMBER
- 5. HANGER ELEVATION
- 6. CONDUIT RIGID ROD AND SEALING
- 7. EXISTING ELEVATION
- 8. EXISTING WALL / PARTITION - TO REMAIN
- 9. EXISTING WALL TO BE REMOVED, OTHER EXISTING WALLS OTHER REMOVAL PLANS ARE ALSO TO BE REMOVED
- 10. NEW WALL/PARTITION
- 11. PARTITION TYPE, PER PARTITION SCHEDULE AND LISTED FOR ADDITIONAL INFORMATION
- 12. HANGERS PER PARTS WILL ASSEMBLY
- 13. 3-HOLE PER RATED WALL ASSEMBLY

**DRAWING STATUS LIST**

DWG. NO.	DRAWING NAME	ISSUED FOR PERMITS	ISSUED FOR PROGRESS SET
TP	TITLE PAGE AND DRAWING INDEX	●	●
	ARCHITECTURAL DRAWINGS		
0A1.1	GENERAL PLAN	●	●
AA1.1	FLOOR PLAN	●	●
AA1.2	CEILING PLAN	●	●
AA1.3	MECHANICAL SYMBOL DETAILS	●	●

**MISC. INTERIOR RENOVATIONS TO THE DHHS BUILDING**

CWS Architects

434 Gingersland Avenue  
Portland, ME 04103  
Phone: (207) 774-4411  
Fax: (207) 774-4815  
www.CWSarch.com

**MISC. INTERIOR RENOVATIONS TO THE DHS BUILDING**  
161 MARGINAL WAY  
PORTLAND, MAINE

Owner:  
**FORE RIVER COMPANY**  
5 MILK STREET  
PORTLAND, MAINE  
PHONE: 772-6404  
FAX: 772-8286

**REVISIONS**

Description	Date

Drawing Title:  
**TITLE PAGE AND DRAWING INDEX**

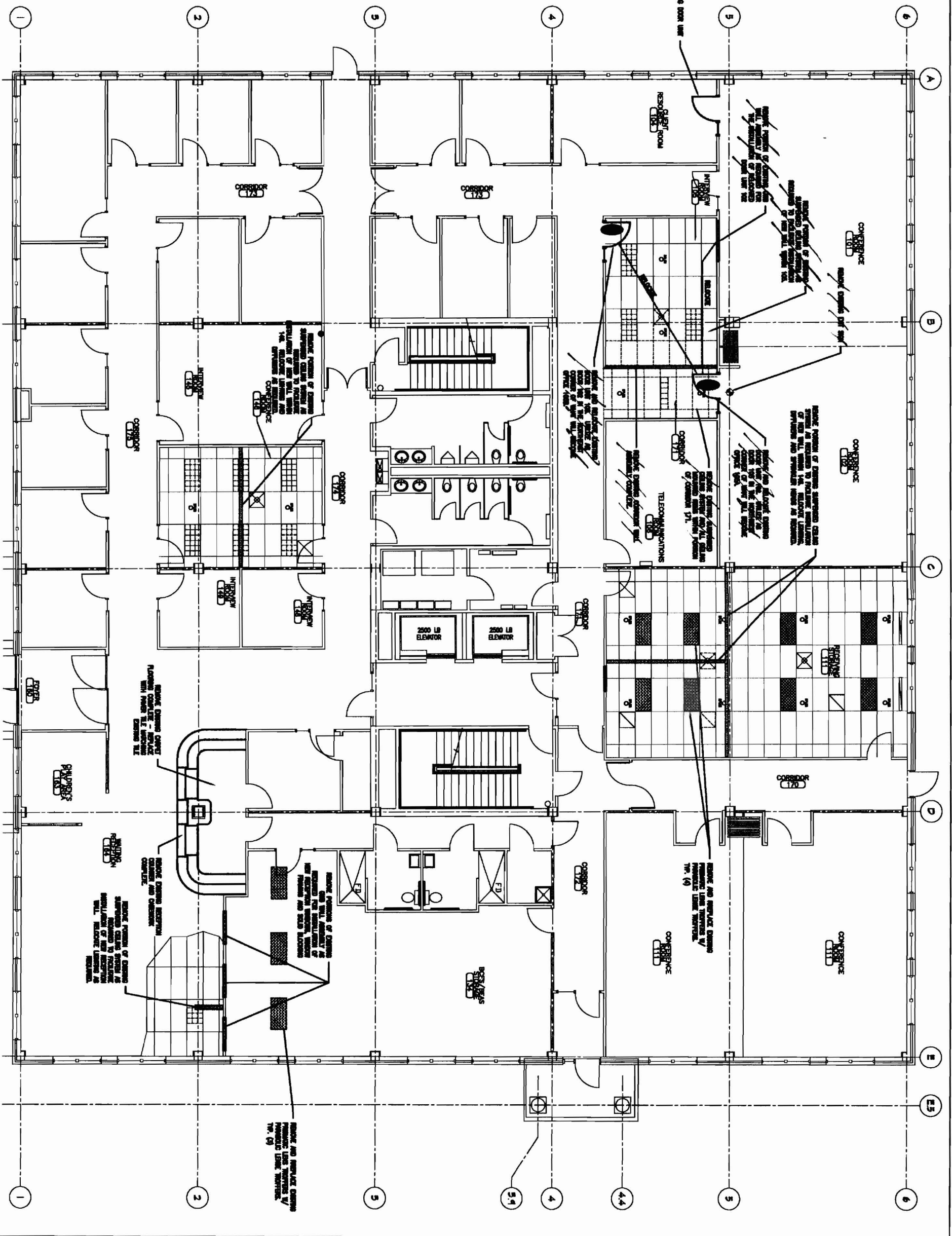
Scale: NTS  
Date: Progress Date 5-9-02  
CWS Proj. No.: 09407

TP

Drawing Number

**A**  
RENOVALS PLAN  
REMOVED ROOMS

SCALE: 3/8" = 1'-0"



ISSUED FOR PERMITTING 03/03/04

**DATE 1**

Drawing Title:  
**REMOVALS PLAN**

Scale: 3/16" = 1'-0"  
Date: Progress Date 5-8-09  
CWS Proj. No.: 09407

REVISIONS	
Descriptor	Date

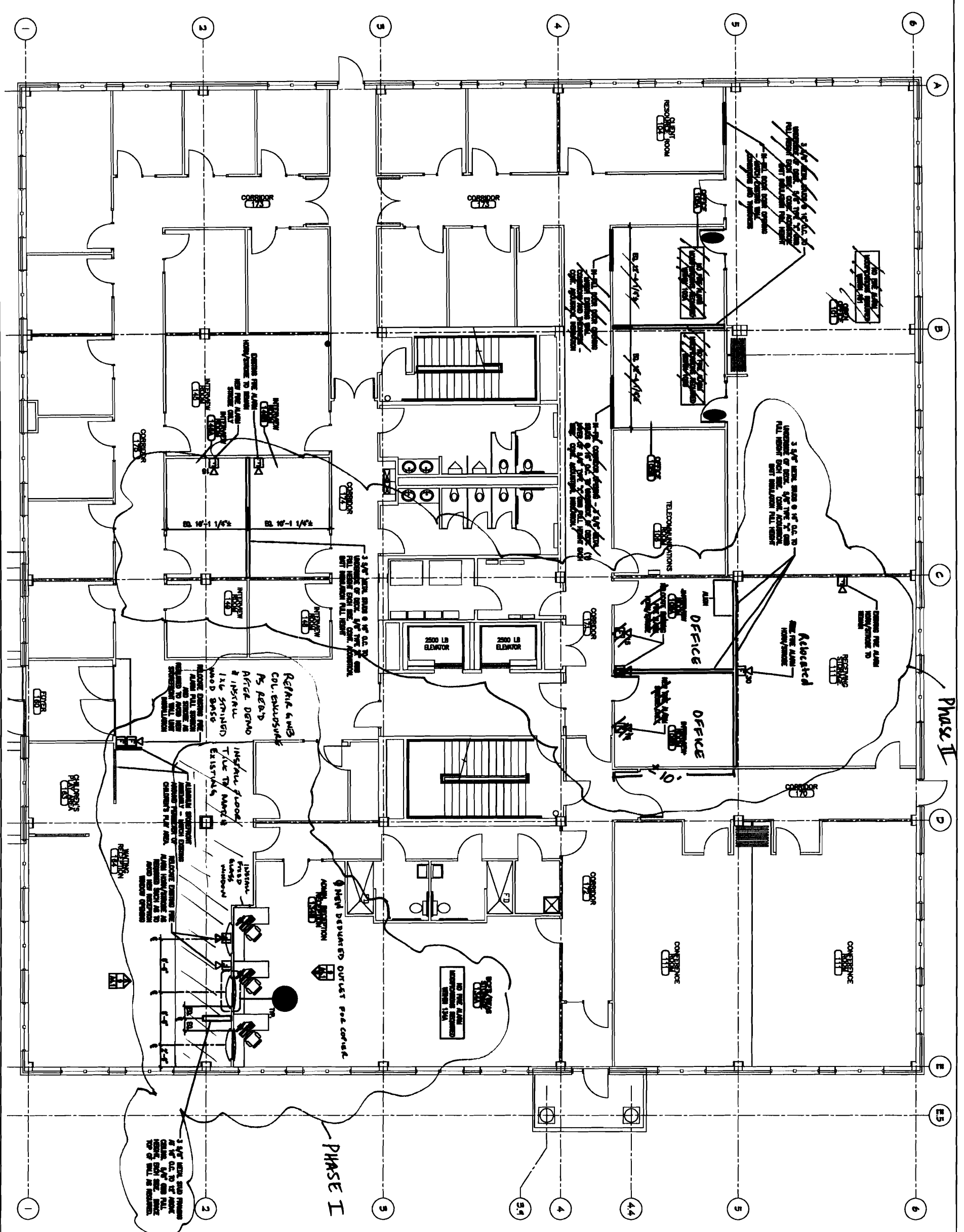
Owner:  
**FOUR RIVER COMPANY**  
5 MILK STREET  
PORTLAND, MAINE  
PHONE: 772-6404  
FAX: 772-8286

**MEC. INTERIOR RENOVATIONS TO THE DEES BUILDING**  
161 MARGINAL WAY  
PORTLAND, MAINE

494 Cumberland Avenue  
Portland, ME 04101  
Phone: (207) 774-4444  
Fax: (207) 774-4106  
www.CWSarch.com

**CWS Architects**





**A.1.1**  
Drawing Number:

Drawing Title:  
**FLOOR PLAN**  
Scale: 3/16" = 1'-0"  
Date: Progress Date 9-8-09  
CWS Proj. No.: 09407

REVISIONS:	
Description	Date

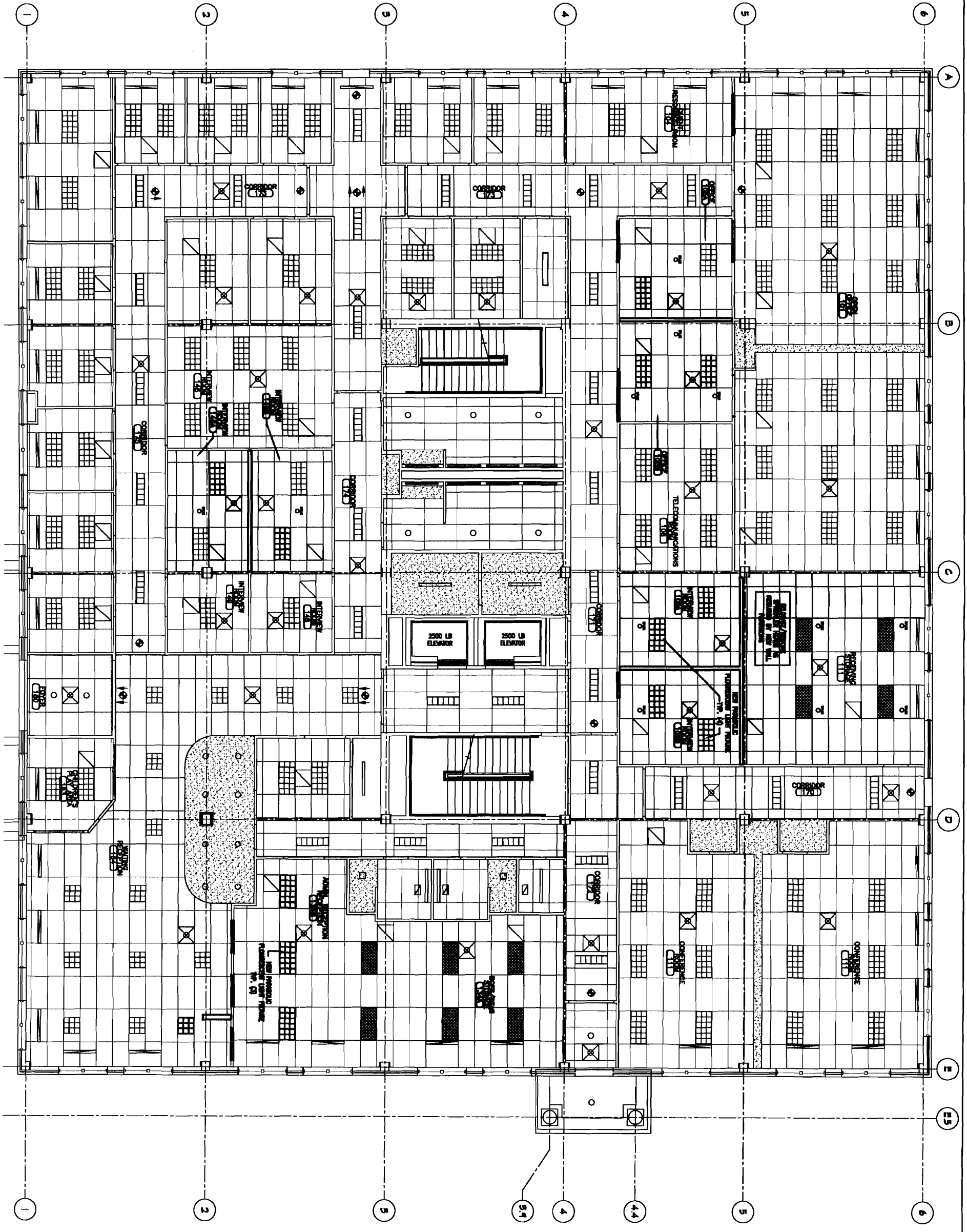
Owner:  
**FOUR RIVER COMPANY**  
5 MILK STREET  
PORTLAND, MAINE  
PHONE: 772-6404  
FAX: 772-8266

**GEN. INTERIOR RENOVATIONS TO THE DESS BUILDING**  
161 MARGINAL WAY  
PORTLAND, MAINE

**CWS Architects**  
154 Cumberland Avenue  
Portland, ME 04101  
Phone: (207) 774-4444  
Fax: (207) 774-4046  
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**A**  
**CEILING PLAN**  
 REVISIONS FROM:

SCALE: 3/16" = 1'-0"



ISSUED FOR PERMITTING 09/03/04

**A2.1**  
 Drawing Number:

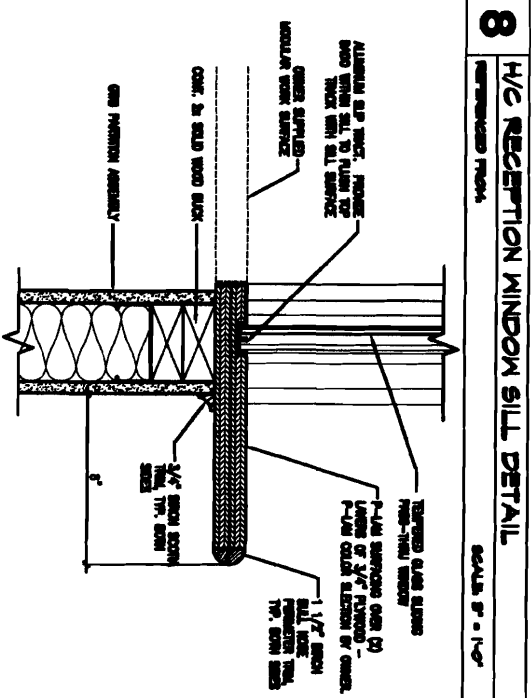
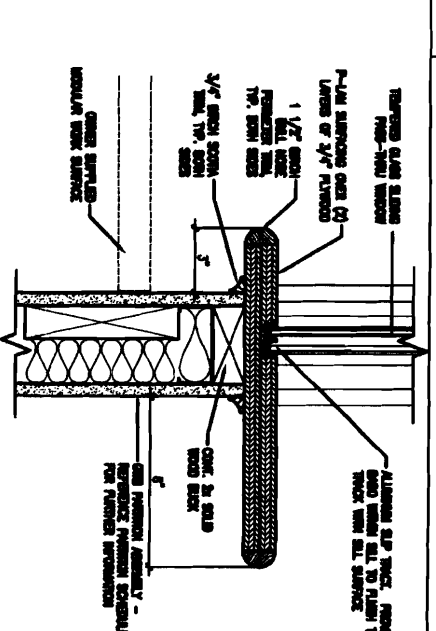
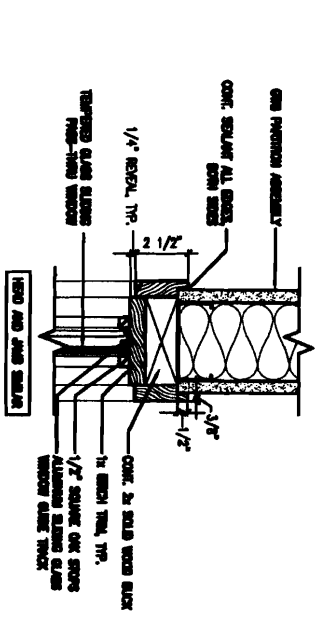
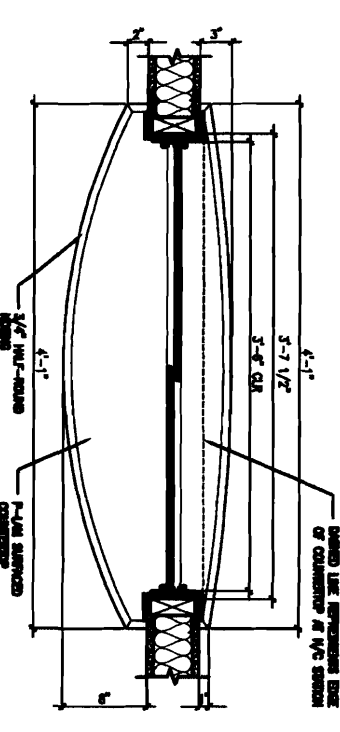
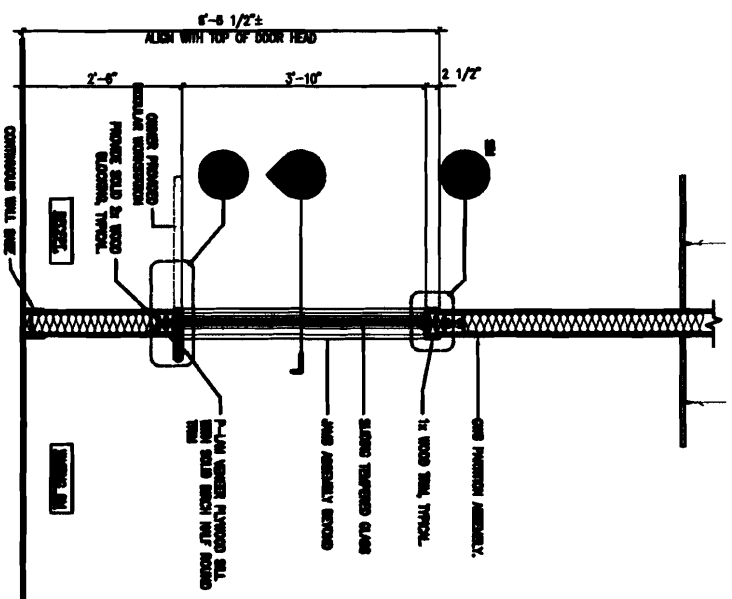
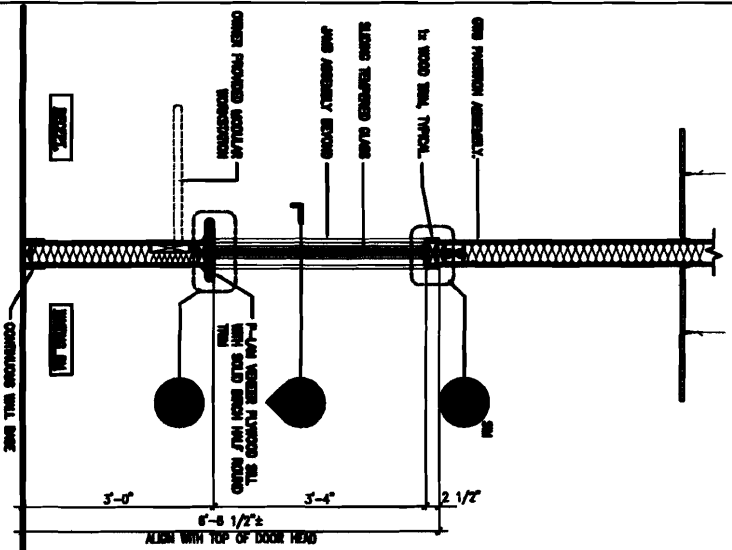
Drawing Title:  
**CEILING PLAN**  
 Scale: 3/16" = 1'-0"  
 Date: Progress Date 9-8-09  
 CWS Proj. No.: 09407

REVISIONS	
Describe	Date

Owner:  
**FOUR RIVER COMPANY**  
 5 MILK STREET  
 PORTLAND, MAINE  
 PHONE: 772-6404  
 FAX: 772-8286

**MDC. INTERIOR RENOVATIONS TO THE BORG BUILDING**  
 161 MARGINAL WAY  
 PORTLAND, MAINE

**CWS Architects**  
 454 Cumberland Avenue  
 Portland, ME 04101  
 Phone: (207) 774-4441  
 Fax: (207) 774-4016  
 www.CWSarch.com



**5** RECEPTION WINDOW SECTION  
SCALE: 3/4" = 1'-0"

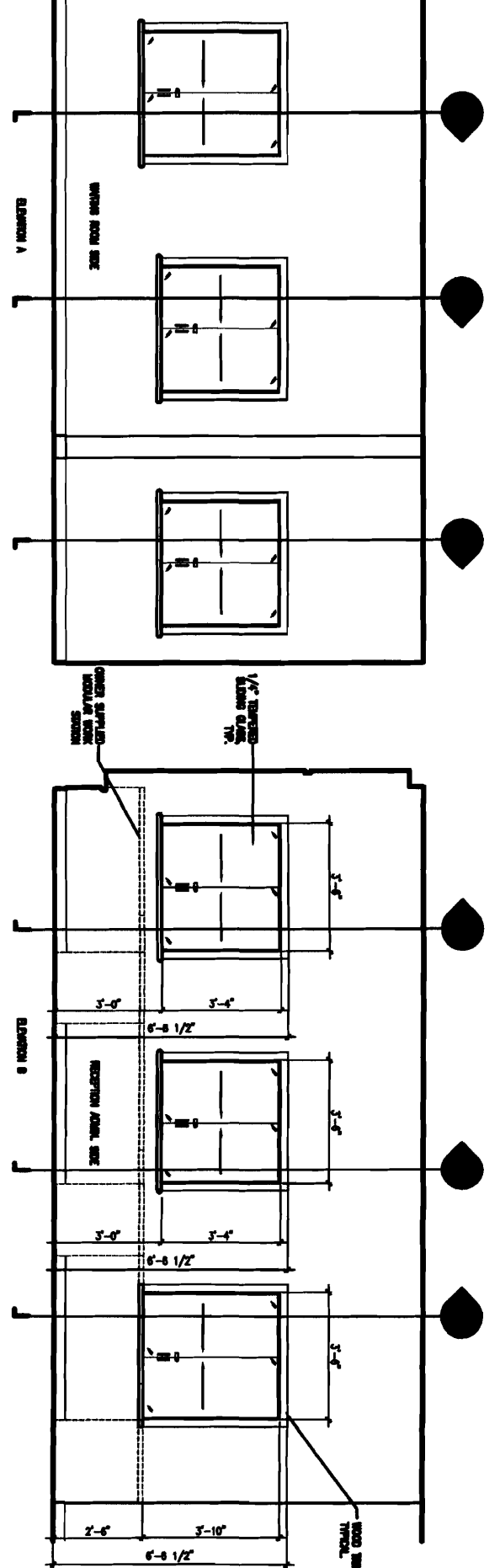
**6** H/C RECEPTION WINDOW SECTION  
SCALE: 3/4" = 1'-0"

**7** PLAN DETAIL TYPICAL RECEPTION WINDOW CTR  
SCALE: 1/2" = 1'-0"

**4** RECEPTION WINDOW HEAD AND JAMB DETAIL  
SCALE: 3/4" = 1'-0"

**8** H/C RECEPTION WINDOW SILL DETAIL  
SCALE: 3/4" = 1'-0"

**9** INTERIOR ELEVATIONS • RECEPTION WINDOWS  
SCALE: 1/8" = 1'-0"



**12** RECEPTION WINDOW SILL DETAIL  
SCALE: 3/4" = 1'-0"



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**INS: INTERIOR INNOVATIONS TO THE BIRD BUILDING**  
161 MARGINAL WAY  
PORTLAND, MAINE

**FOUR RIVER COMPANY**  
5 MLK STREET  
PORTLAND, MAINE  
PHONE: 772-6404  
FAX: 772-8286

REVISIONS	
Description	Date

Drawing Title:  
**RECEPTION WINDOW DETAILS**  
Scale: AS NOTED  
Date: Progress Date 5-B-09  
CWS Proj. No.: 09407

**A4.1**  
Drawing Number