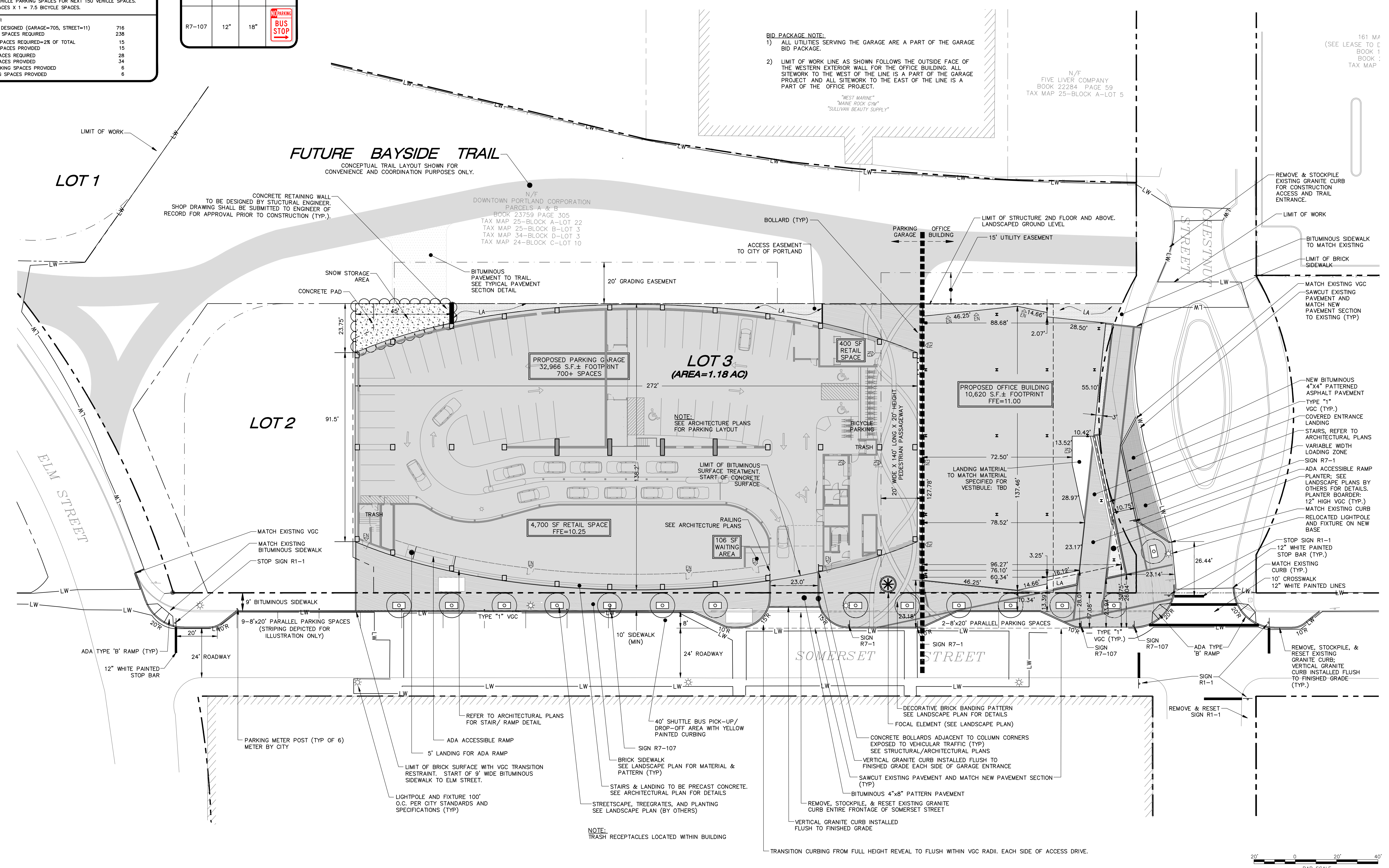


SITE DEVELOPMENT TABLES			
TOTAL AREA OF DEVELOPMENT: 1.18± Acres			
ZONING TABLE			
ZONE: B-7	USE: COMMERCIAL OFFICE, PARKING STRUCTURE, AND RETAIL		
	REQUIRED B-7	PROVIDED	
MAX BUILDING HEIGHT	150	OFFICE 106 FT	GARAGE 82 FT
MINIMUM LOT AREA	NONE	38,360 SF	14,700 SF
MINIMUM FRONTAGE	NONE	274 FT	105 FT
MINIMUM LOT DEPTH	NONE	140 FT	140 FT
MINIMUM FRONT SETBACK	NONE	1.5 FT	0 FT
MINIMUM SIDE SETBACK	NONE	0 FT	0 FT
MINIMUM REAR SETBACK	NONE	0 FT	0 FT
MINIMUM LOT COVERAGE	NONE	86%	84%
PARKING SUMMARY			
TOTAL PARKING SPACES	REQUIRED B-7	PROVIDED	
	238	716	
PARKING SPACE CALCULATIONS:			
OFFICES:			
1 PARKING SPACE FOR EACH 400 S.F. OF RENTABLE FLOOR SPACE.			
OFFICE AREA (98,500 S.F.) - SHAFT AREAS (14,875 S.F.) = 84,425 S.F.			
84,425 S.F./400 S.F. = 212 SPACES			
GARAGE RETAIL AREA:			
1 PARKING SPACE FOR EACH 200 S.F. OF RENTABLE FLOOR SPACE.			
5,100 S.F./200 S.F. = 26 SPACES			
BICYCLE PARKING:			
2 BICYCLE SPACES PER 10 VEHICLE PARKING SPACES FOR FIRST 100 VEHICLE SPACES.			
100 SPACES/10 VEHICLE SPACES X 2 = 20 BICYCLE SPACES.			
1 BICYCLE SPACE PER 20 VEHICLE PARKING SPACES FOR NEXT 150 VEHICLE SPACES.			
150 SPACES/20 VEHICLE SPACES X 1 = 7.5 BICYCLE SPACES.			
PARKING SPACE BREAKDOWN:			
TOTAL PARKING SPACES AS DESIGNED (GARAGE=705, STREET=11)	716		
TOTAL NUMBER OF PARKING SPACES REQUIRED	238		
TOTAL HANDICAP PARKING SPACES REQUIRED=2% OF TOTAL	15		
TOTAL HANDICAP PARKING SPACES PROVIDED	15		
TOTAL BICYCLE PARKING SPACES REQUIRED	28		
TOTAL BICYCLE PARKING SPACES PROVIDED	34		
TOTAL MOTOR SCOOTER PARKING SPACES PROVIDED	6		
TOTAL MOTORCYCLE PARKING SPACES PROVIDED	6		

SIGN SUMMARY			
M.U.T.C.D. NUMBER	SPECIFICATION	DESC.	
R1-1	24" x 24"	STOP	
R7-B	12" x 18"	RESERVED PARKING	
R7-8A	12" x 6"	VAN ACCESSIBLE	
R5-1	24" x 24"	DO NOT ENTER	
R7-1	18" x 24"	NO PARKING ANY TIME	
R6-1	36" x 12"	ONE WAY	
R7-107	12" x 18"	NO PARKING BUS STOP	

BUILDING NOTE:
 PROPOSED BUILDING IS SHOWN FOR COORDINATION PURPOSES ONLY. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS PREPARED BY THE ARCHITECT OF RECORD FOR EXACT DIMENSIONS.



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Project Title
BAYCO LLC.
BAYSIDE DEVELOPMENT
 PORTLAND, MAINE

HA Project No.
 Key Plan

Professional Engineer Seal:
 BARRY & SHEETS
 1978
 JANUARY 7, 2009

Mark	Date	Description
1-7-09	100% SITE ENABLING PLAN	
12-19-08	90% SITE ENABLING PLAN	
11-21-09	PERMIT SUBMITTAL	
11-13-08	PERMIT SUBMITTAL	
10-24-08	PERMIT SUBMITTAL	
10-10-08	REVISE BLDG LAYOUT & ADD BUS DRDP	
09-26-08	PERMIT SUBMITTAL	

Drawing Status

Drawing Title
SITE PLAN

PA / PE: **BSS** Drawn By: **RJJDV**

Drawing Number
C200

