



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Strengthening a Remarkable City, Building a Community for Li

Date: 02/10/15

Jeff Levine, AICP, Director
Director of Planning and Urban Development

Tammy Munson
Director, Inspections Division

Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

- Within 24-48 hours, once my complete permit application and corresponding paperwork has been electronically delivered, I intend to **call the Inspections Office** at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.
- Within 24-48 hours, once my permit application and corresponding paperwork has been electronically delivered, I intend to **hand deliver** a payment method to the Inspections Office, Room 315, Portland City Hall.
- I intend to deliver a payment method through the U.S. Postal Service mail once my permit paperwork has been electronically delivered.

Applicant Signature: **Matt Provencal, Assoc. AIA**

Date: **December 10, 2014**

I have provided digital copies and sent them on:

Date: **December 10, 2014**

NOTE: All electronic paperwork must be delivered to buildinginspections@portlandmaine.gov or by physical means ie; a thumb drive or CD to the office.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges within the City, payment arrangements must be made before permits of any kind are issued.



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Address/Location of Construction: 127 Marginal Way			Date: 02/10/15
Total Square Footage of Proposed Structure:		N/A	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 025 A015 001	Applicant Name: Mark Mueller Architects Address 100 Commercial St - Suite 205 City, State & Zip Portland, Maine 04101	Telephone: 207.774.9057 Email: matt@muellerarchitects.com	
Lessee/Owner Name : Allspeed Cyclery & Snow (if different than applicant) Address: 72 Auburn Street City, State & Zip: Portland, Maine 04103 Telephone & E-mail: c. 712.2470 chris@allspeed.com	Contractor Name: Monaghan Woodworks (if different from Applicant) Address: 100 Commercial Street City, State & Zip: Portland, Maine 04101 Telephone & E-mail: 207.775.2683	Cost Of Work: \$ 49,500.00 C of O Fee: \$ _____ Historic Rev \$ _____ Total Fees : \$ 515.00	
Current use (i.e. single family) <u>Mercantile</u>			
If vacant, what was the previous use? <u>N/A</u>			
Proposed Specific use: <u>Mercantile (No change).</u>			
Is property part of a subdivision? <u> </u> If yes, please name <u>N/A</u>			
Project description: <u>The proposed work is for interior tenant fit-up for Allspeed Cyclery & Snow; to include interior renovations and the construction of a mezzanine as shown in architectural plan.</u>			
Who should we contact when the permit is ready: <u>Andy Garcia</u>			
Address: <u>100 Commercial Street, Suite 212</u>			
City, State & Zip: <u>Portland, Maine 04101</u>			
E-mail Address: <u>andy@mwoodworks.com</u>			
Telephone: <u>207.775.2683 Ext.35</u>			

Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Matt Provencal, Assoc. AIA **Date:** December 10, 2014

This is not a permit; you may not commence ANY work until the permit is issued.

Building Inspections - Allspeed Cyclery & Snow



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From: Mark Mueller <mark@muellerarchitects.com>
To: "buildinginspections@portlandmaine.gov" <buildinginspections@portlandm
Date: 12/10/2014 10:02 AM
Subject: Allspeed Cyclery & Snow
CC: Chris Carleton <chris@allspeed.com>, "Andy Garcia (andy@mwoodworks.c
Attachments: 2014 Allspeed Commercial Building Permit Application.pdf; A1.001. Allspe Date: 02/10/15
A1.002. Allspeed Elevations & Sections.pdf; G1.001. Allspeed Title Sheet.pdf; S1.001. Allspeed
Structural plan.pdf

To Portland Building Inspections office,

I am sending you the following application and drawings for a new location of Allspeed Cyclery & Snow.

New location: 127 Marginal Way.

Please submit us into your schedule as soon as possible.

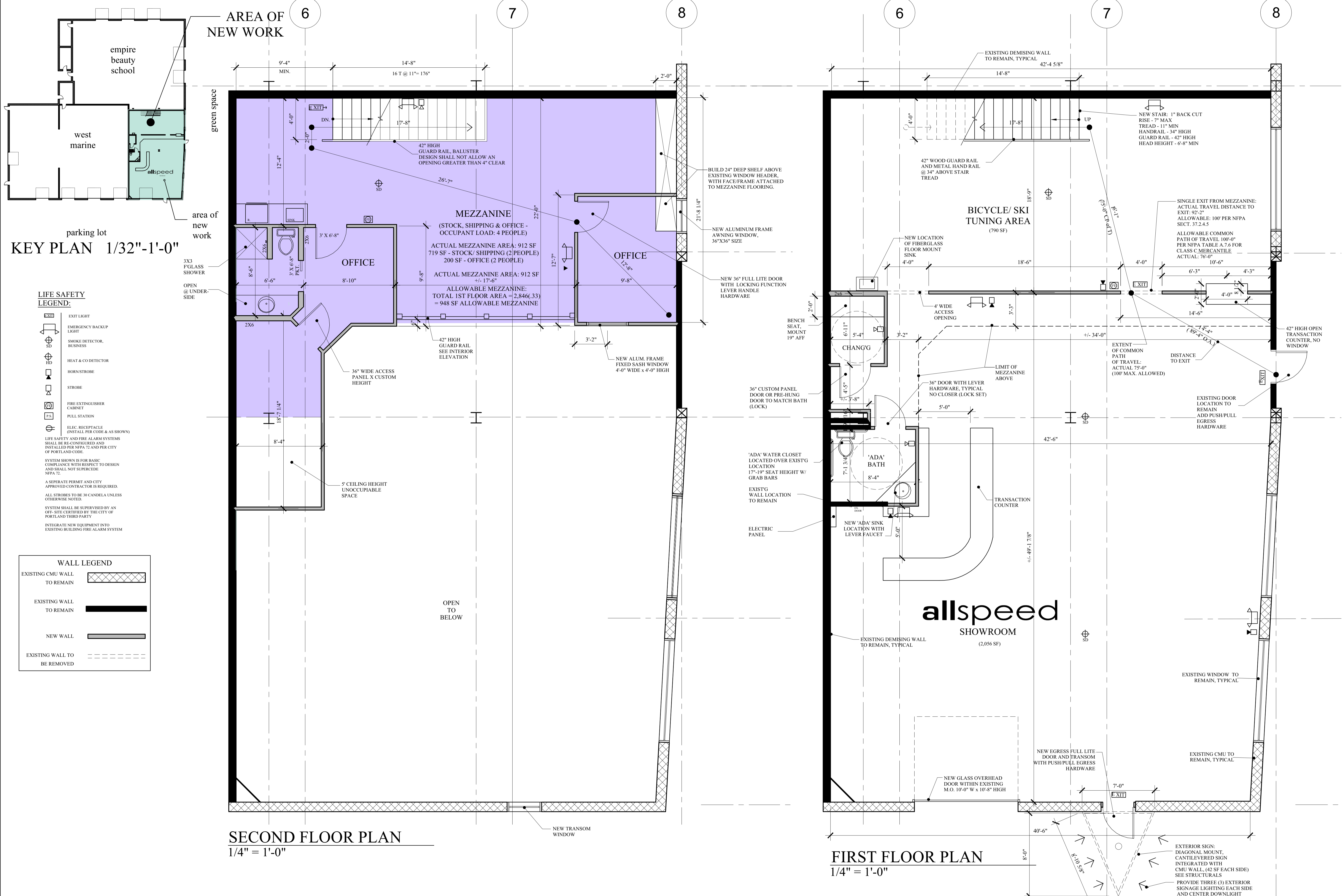
Please forward us a project number and we will have the owner call with a credit card payment.

Thank you for your attention,

Mark



Mark Mueller Architects
100 Commercial Street
Suite 205
Portland, Maine 04101
mark@muellerarchitects.com
Tele: 207.774.9057
Cell: 207.749.6876



SECOND FLOOR PLAN

 1/4" = 1'-0"

FIRST FLOOR PLAN

 1/4" = 1'-0"

REVISED: FEBRUARY 06, 2015

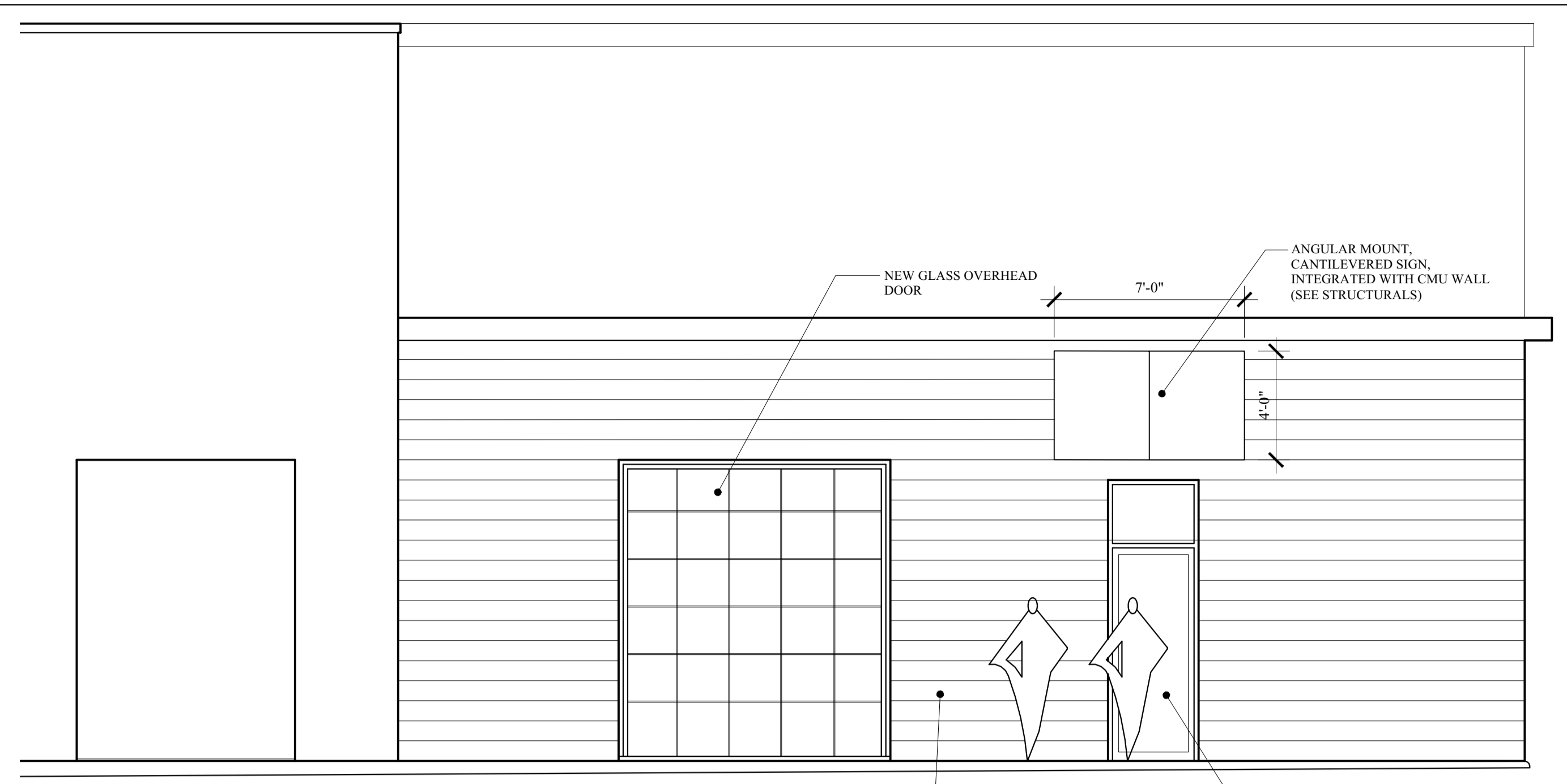
PERMIT SET: DECEMBER 9, 2014

LIFE SAFETY LEGEND:

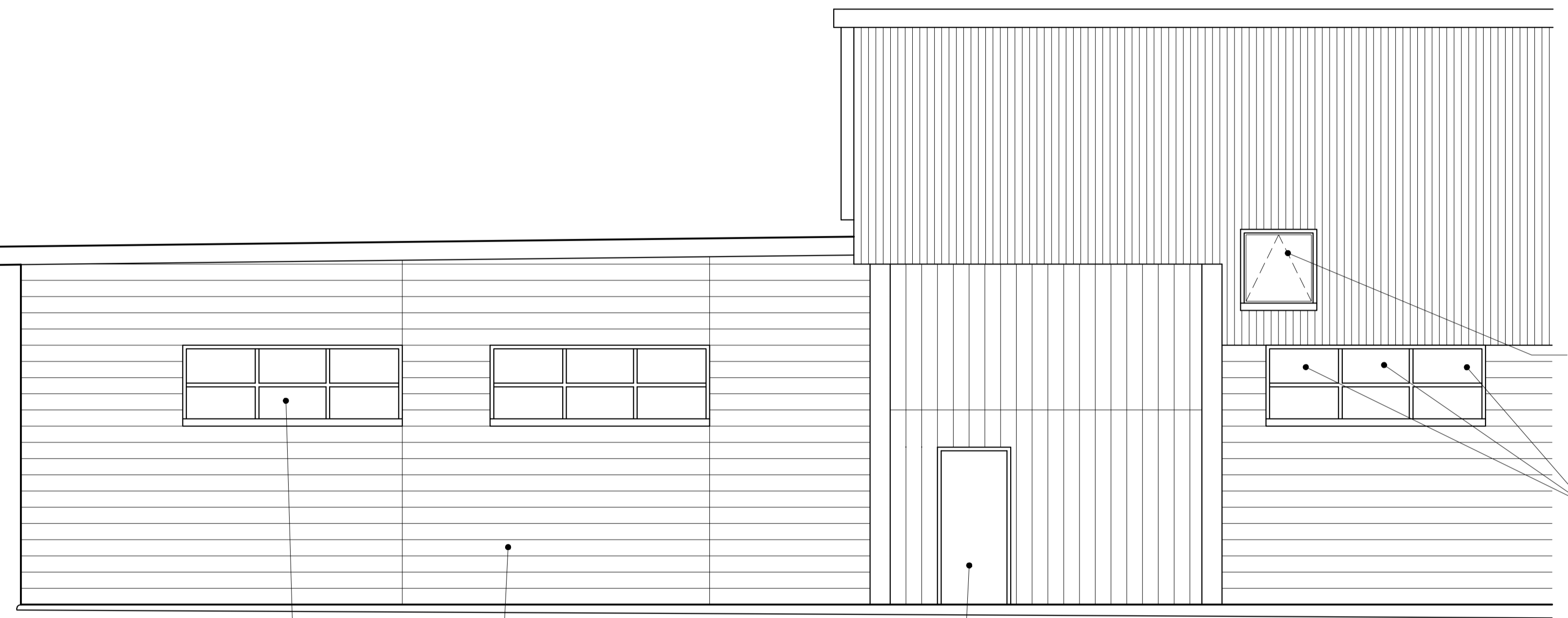
- EXIT LIGHT
- EMERGENCY BACKUP LIGHT
- SMOKE DETECTOR, BUSINESS
- HEAT & CO DETECTOR
- HORN/STROBE
- STROBE
- FIRE EXTINGUISHER CABINET
- PULL STATION
- ELEC. RECEPTACLE (INSTALL PER CODE & AS SHOWN)
- LIFE SAFETY AND FIRE ALARM SYSTEMS SHALL BE RE-CONFIGURED AND INSTALLED PER NFPA 72 AND PER CITY OF PORTLAND CODE.
- SYSTEM SHOWN IS FOR BASIC COMPLIANCE WITH RESPECT TO DESIGN AND SHALL NOT SUPERCEDE NFPA 72.
- A SEPARATE PERMIT AND CITY APPROVED CONTRACTOR IS REQUIRED.
- ALL STROBES TO BE 30 CANDELA UNLESS OTHERWISE NOTED.
- SYSTEM SHALL BE SUPERVISED BY AN OFF-SITE CERTIFIED BY THE CITY OF PORTLAND THIRD PARTY.
- INTEGRATE NEW EQUIPMENT INTO EXISTING BUILDING FIRE ALARM SYSTEM

WALL LEGEND

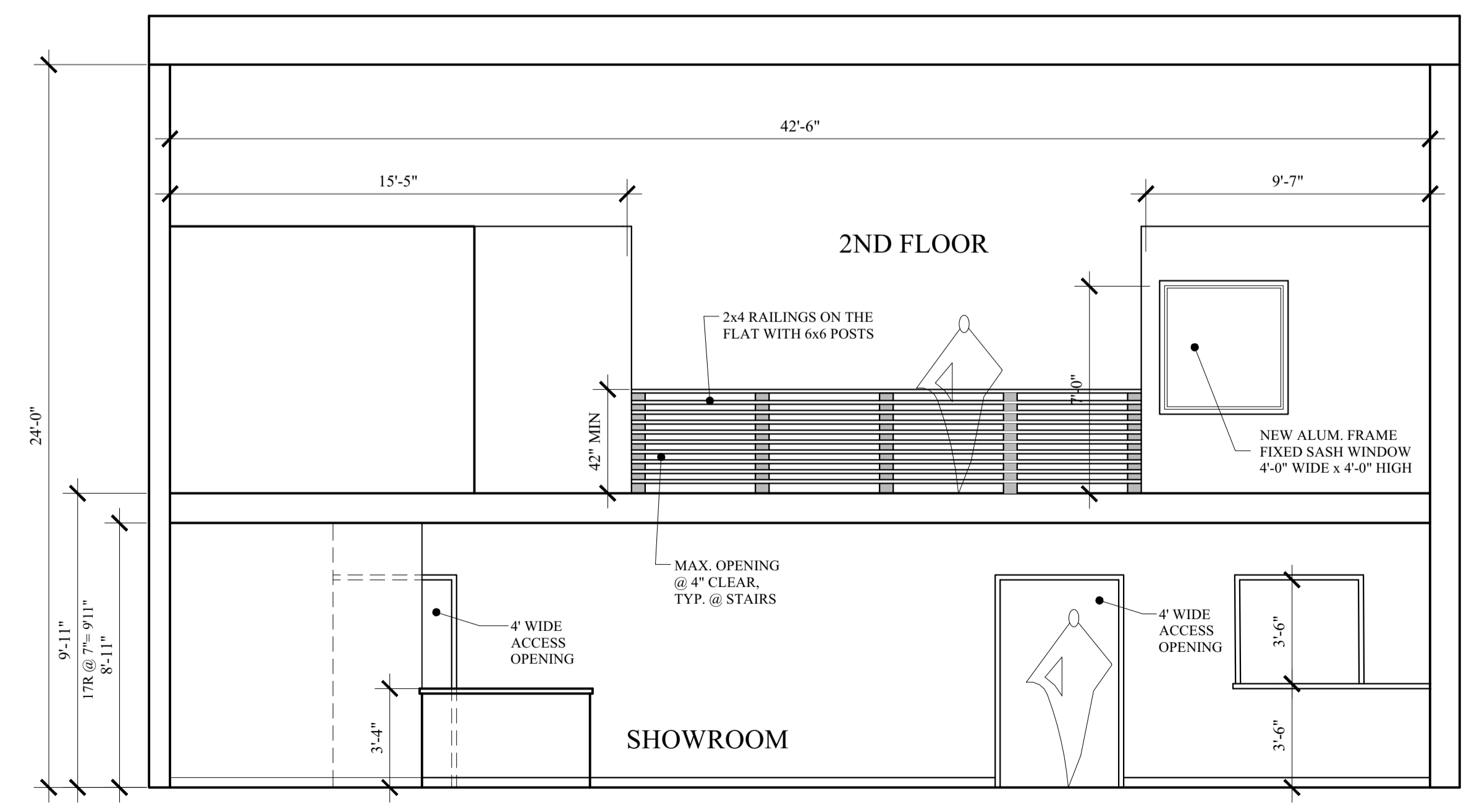
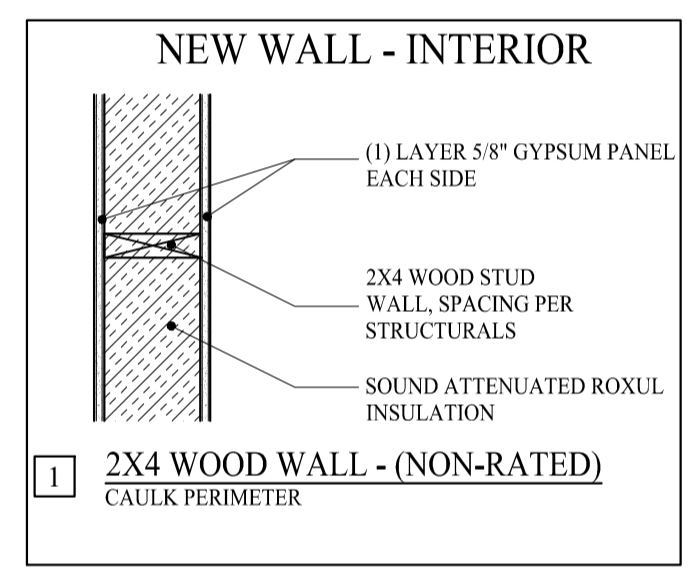
- EXISTING CMU WALL TO REMAIN
- EXISTING WALL TO REMAIN
- NEW WALL
- EXISTING WALL TO BE REMOVED



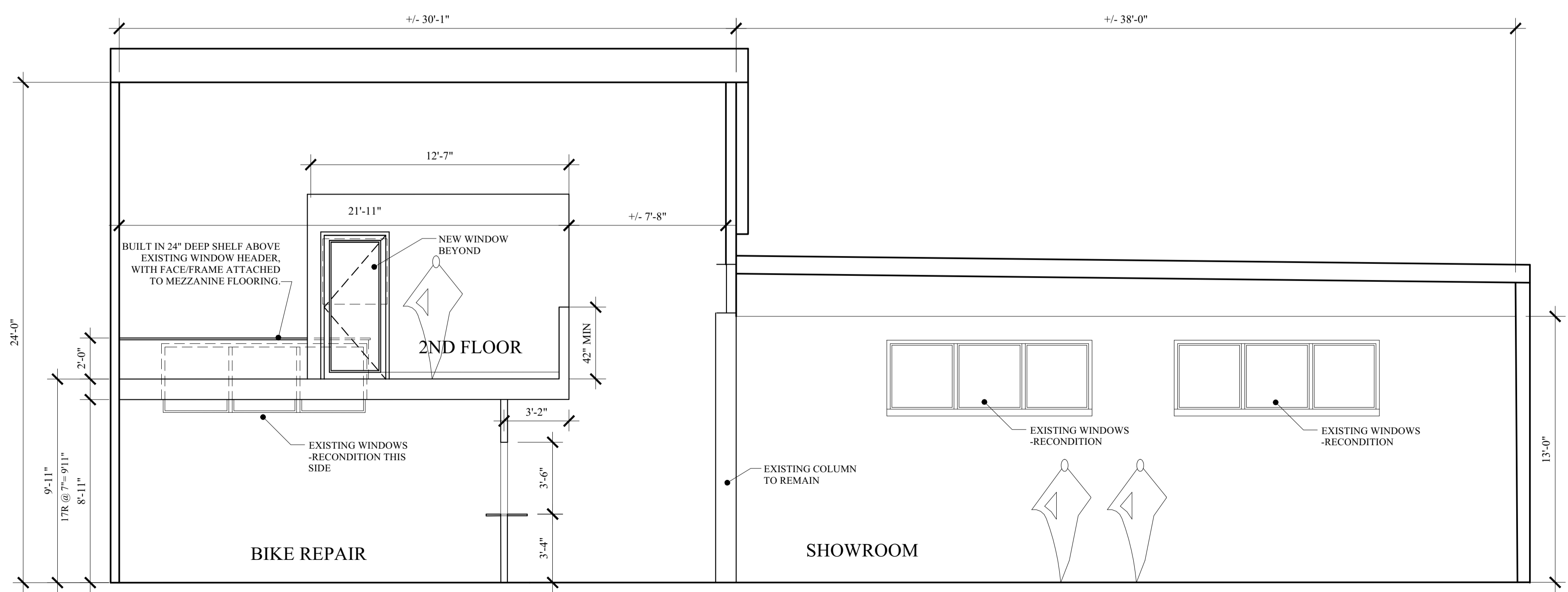
SOUTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"



INTERIOR SECTION-SOUTH
1/4" = 1'-0"



INTERIOR SECTION-WEST
1/4" = 1'-0"

REVISED: FEBRUARY 06, 2015
PERMIT SET : DECEMBER 9, 2014

IBC 2009 CODE DATA	
USE GROUP CLASSIFICATION	MERCANTILE
TYPE OF CONSTRUCTION	5B
EXISTING BUILDING AREA	6,500 SF +/-
PROPOSED BUILDING AREA	6,500 SF +/-
TOTAL AREA OF WORK	3,727 SF (2,096 @ 1ST FLOOR)
BUILDING HEIGHT (STORES/ FEET)	1 STORY (TENANT SPACE)
BUILDING AREA LIMITATION - SQ FT (TABLE 503)	9,000 SF
BUILDING HEIGHT LIMITATION - STORES (TABLE 503)	1 STORY
INCREASE: STREET FRONTAGE (BOX AREA) - SQ FT	N/A
INCREASE: AUTOMATIC SPRINKLER SYSTEM AREA (200% AREA) - SQ FT	YES
INCREASE: AUTOMATIC SPRINKLER SYSTEM HEIGHT (3 STORY)	YES
TRAVEL: COMMON PATH LIMIT (ALLOWABLE/ ACTUAL)	75/75'-0"
TRAVEL: DEAD-END LIMIT (ALLOWABLE/ ACTUAL)	50/NONE
TRAVEL: EXIT ACCESS TRAVEL DISTANCE LIMIT (ALLOWABLE/ ACTUAL)	250/72'-2"
FIRE SUPPRESSION SYSTEM	YES PER NFPA 88
NUMBER OF REQUIRED EXITS	2 @ 1ST FLOOR - 1 @ 2ND FLOOR
EXIT ACCESS FIRE RATINGS	
FIRE WALLS/ BARRIERS	
OCCUPANCY SEPARATION	ETK
PARTY WALLS	ETK
STAR ENCLOSURES	1 HR/ ETK
SHAFTS	1 HR/ ETK
EXIT ACCESS CORRIDORS	ETK
FIRE PROTECTION OF STRUCTURE	
PRIMARY STRUCTURAL FRAME	ETK
SECONDARY STRUCTURAL FRAME	ETK
LOAD BEARING WALLS - EXTERIOR	ETK
LOAD BEARING WALLS - INTERIOR	ETK
NONLOAD BEARING WALLS - EXTERIOR	ETK
NONLOAD BEARING WALLS - INTERIOR	ETK
FLOOR CONSTRUCTION	ETK
ROOF CONSTRUCTION	ETK
OCCUPANT LOAD	
FIRST FLOOR - MERCANTILE	2,096 SF 30 SF/ PERSON = 69
FIRST FLOOR - MERCANTILE (BICYCLE/ SO TUNING SHOP)	770 SF 300 SF/ PERSON = 3
SECOND FLOOR - MERCANTILE STOCK & SHIPPING	72 SF 300 SF/ PERSON = 2
SECOND FLOOR - MERCANTILE OFFICE	300 SF 100 SF/ PERSON = 2
GENERAL NOTES	

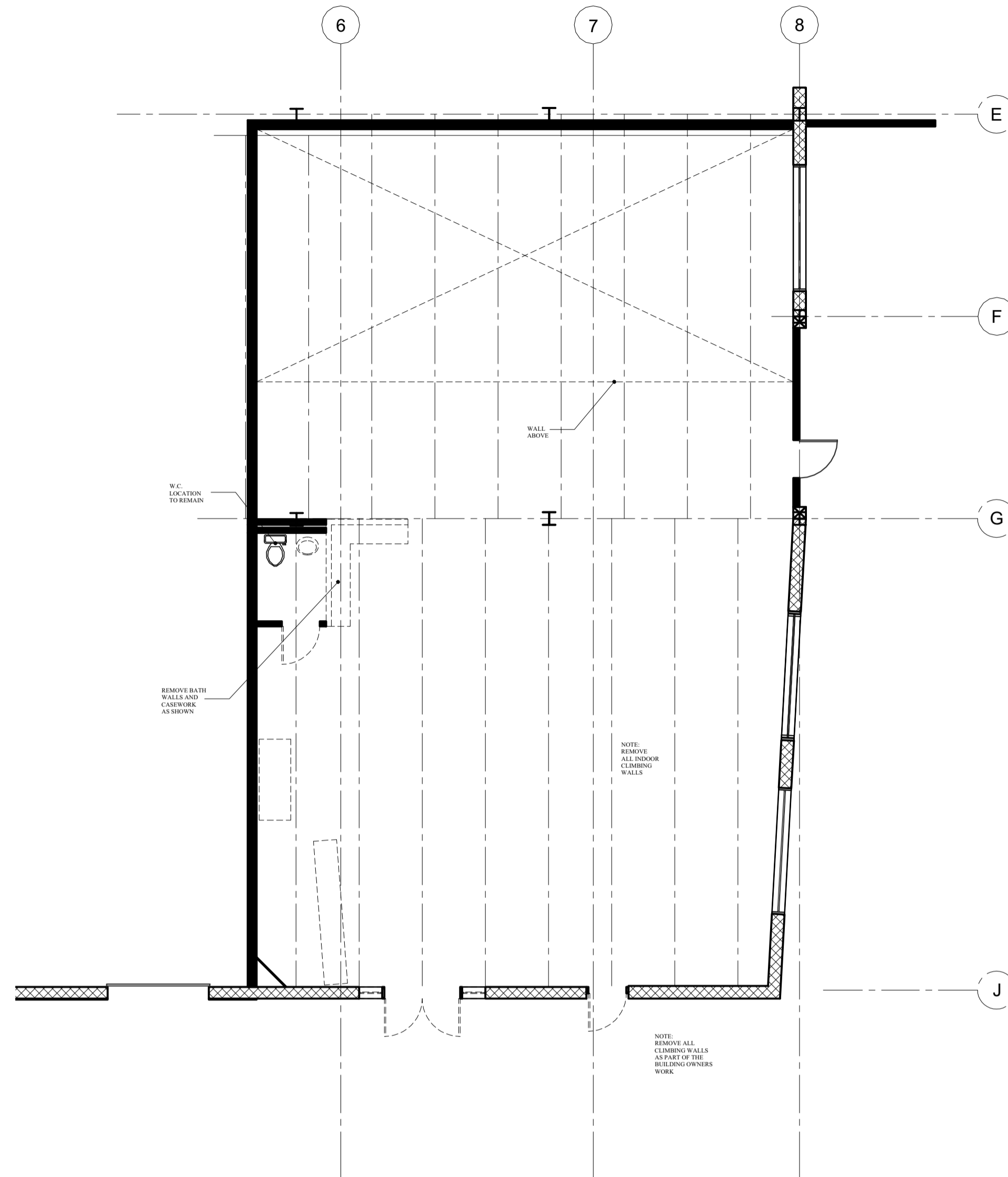
GENERAL NOTES

1. THE BUILDING SHALL BE CONSTRUCTED TO CONFORM WITH ALL CURRENT APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF IBC, IECC, NFPA 101, ANSI, UFAS, HUD/AG, ADA/AG, MPS.
2. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED WITH PRESSURE PRESERVATIVE.
3. CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE THE DRAWINGS.
4. INSTALL BLOCKING FOR SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS, AND GRAB BARS WHEN MOUNTED ON STUD WALLS, INCLUDING ALL FUTURE INSTALLATIONS.
5. ALL GRAB BARS SHALL BE ABLE TO SUPPORT A DEAD WEIGHT OF 250 LBS AT ANY POINT.
6. INSTALL MOISTURE RESISTANT GYPSUM BOARD IN HOUSEKEEPING, UTILITY, STORAGE, SPRINKLER AND ALL OTHER HIGH HUMIDITY AREAS, INCLUDING UNIT BATHROOMS. MOISTURE RESISTANT FIRECODE G.W.B. @ ALL FIRE RATED WALLS COMMON WITH HOUSE UTILITY AND UNIT BATH ROOMS. IF APPLICABLE TO THIS PROJECT, SHOWERS TO HAVE DURAROCK BACKING ALL SIDES. ALL CAULKING AROUND WINDOWS SHALL BE NON-HARDENING TYPE SEALANT.
7. INSTALL U.L. SLEEVE FIRE-STOPPING SYSTEM & FIRE RATED SEALANTS EQUAL TO THE FIRE RATED FLOOR, CEILING AND WALL ASSEMBLY.
8. FIRESTOP VERTICAL MECHANICAL CHASES @ FLOOR & CEILING U.L. RATED PENETRATIONS. CAULK JOINTS. COORDINATE AND FLASH ALL ROOF/WALL PENETRATIONS WITH THE SUB-TRADES.
9. CONTINUE SEPARATION WALLS TO UNDERSIDE OF FLOOR/CEILING ABOVE. UNIT TO UNIT, UNIT TO CORRIDOR, CORRIDOR WALLS, STORAGE WALLS, ELEVATOR, STAIRWELL WALLS, ETC.
10. PROJECT ASSUMES ALL EXISTING HAZARDOUS MATERIALS HAVE BEEN REMOVED PRIOR TO THE COMMENCEMENT OF WORK. ALL HAZARDOUS MATERIAL REMOVAL IS THE RESPONSIBILITY OF THE OWNER.
11. WINDOW SAFETY GLAZING SHALL BE LOCATED AS FOLLOWS, BUT NOT LIMITED TO:
 - ALL WINDOWS WITHIN 60" HORIZ. & VERT. DIMENSION OF STAIRS MUST BE TEMPERED.
 - ALL WINDOWS WITHIN 24" OF A DOOR SWING MUST BE TEMPERED.
 - ALL WINDOWS WITHIN A SHOWER ENCLOSURE MUST BE TEMPERED.
12. BEAM, JOIST OR OTHER STRUCTURAL MEMBER PENETRATIONS NOT SHOWN OR INDICATED ON DRAWINGS MUST BE CONSULTED WITH THE ARCHITECT & OR ENGINEER PRIOR TO WORK.
13. ANY CHANGE DURING CONSTRUCTION OF USE, OCCUPANCY OR CONSTRUCTION TYPE MUST BE DISCUSSED WITH ARCHITECT PRIOR TO ANY WORK PERFORMED AND SUBSTANTIAL TIME ALLOWED FOR REQUIRED CODE RESEARCH AND DRAWING MODIFICATIONS OR ADDITIONS.
14. REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

NFPA 101 2009 & 220 2006 CODE DATA	
USE GROUP CLASSIFICATION	MERCANTILE CLASS C
TYPE OF CONSTRUCTION	V (0,0,0)
EXISTING BUILDING AREA	6,500 SF +/-
PROPOSED BUILDING AREA	6,500 SF +/-
TOTAL AREA OF WORK	3,727 SF (2,096 @ 1ST FLOOR)
BUILDING HEIGHT (STORES/ FEET)	1 STORY
BUILDING AREA LIMITATION - SQ FT	3,000 SF (PER CLASS C)
BUILDING HEIGHT LIMITATION - STORES	NONE
TRAVEL: COMMON PATH LIMIT (ALLOWABLE/ ACTUAL)	75/75'-0"
TRAVEL: DEAD-END LIMIT (ALLOWABLE/ ACTUAL)	50/NONE
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FIRE WALLS/ BARRIERS	
OCCUPANCY SEPARATION	ETK
PARTY WALLS	ETK
STAR ENCLOSURES	1 HR/ ETK
SHAFTS	1 HR/ ETK
EXIT ACCESS CORRIDORS	ETK
FIRE PROTECTION OF STRUCTURE	
COLUMNS	ETK
BEAMS, GIRDERS, TRUSSES & ARCHES	ETK
LOAD BEARING WALLS - EXTERIOR	ETK
LOAD BEARING WALLS - INTERIOR	ETK
NONLOAD BEARING WALLS - EXTERIOR	ETK
NONLOAD BEARING WALLS - INTERIOR	ETK
FLOOR CONSTRUCTION	ETK
ROOF CONSTRUCTION	ETK
OCCUPANT LOAD	
FIRST FLOOR - MERCANTILE	2,096 SF 30 SF/ PERSON = 69
FIRST FLOOR - MERCANTILE (REPAIR SHOP)	770 SF 300 SF/ PERSON = 3
SECOND FLOOR - MERCANTILE STOCK & SHIPPING	72 SF 300 SF/ PERSON = 2
SECOND FLOOR - MERCANTILE OFFICE	300 SF 100 SF/ PERSON = 2
GENERAL NOTES	

PROJECT NOTES

1. SCOPE OF WORK SHALL INCLUDE INTERIOR TENANT FIT-UP FOR: ALLSPEED CYCLERY & SNOW. NEW WORK BY THE TENANT SHALL INCLUDE THE NEW MEZZANINE FLOOR.
2. ALL INTERIOR DEMOLITION, INCLUDING THE CLIMBING WALLS AND TEMPORARY TERMINATION OF UTILITIES SHALL BE THE RESPONSIBILITY OF THE BUILDING OWNER.
3. EXTERIOR SIGNAGE IS NOT PART OF THIS PERMIT AND SHALL BE APPLIED FOR UNDER SEPARATE COVER.
4. ALL NEW WORK SHALL CONFORM TO THE CITY OF PORTLAND BUILDING INSPECTION, FIRE AND ZONING REQUIREMENTS.
5. THE GENERAL CONTRACTOR (GC) SHALL BE RESPONSIBLE FOR ALL INTERIOR WORK. GC TO OBTAIN ALL NECESSARY PERMITS FOR THE CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, STREET CLOSINGS, ELECTRICAL, MECHANICAL AND SPRINKLER SYSTEMS AS REQUIRED.
6. THE BUILDING AND TENANT SPACE CONTAIN A SPRINKLER SYSTEM.



EXISTING CONDITIONS PLAN
1/4" = 1'-0"

allspeed CYCLERY & SNOW

127 Marginal Way
Portland, Maine

PROJECT DIRECTORY

TENANT ALLSPEED CYCLERY & SNOW LLC
72 ALBURN STREET
PORTLAND MAINE 04103

BUILDING OWNER BACK COVE COMPANY
5 MILK STREET
PO BOX 7525
PORTLAND MAINE 04112

GENERAL CONTRACTOR MONAGHAN WOODWORKS INC
100 COMMERCIAL STREET
SUITE 212
PORTLAND MAINE 04101

ARCHITECT MARK MUELLER ARCHITECTS
100 COMMERCIAL STREET
SUITE 207
PORTLAND MAINE 04101

A NEW PORTLAND LOCATION

MARK MUELLER ARCHITECTS A.I.A.
 100 Commercial Street
 Suite 205
 Portland, Maine 04101
 Phone: 207.774.9057
 Email: rfm@muellerarchitects.com

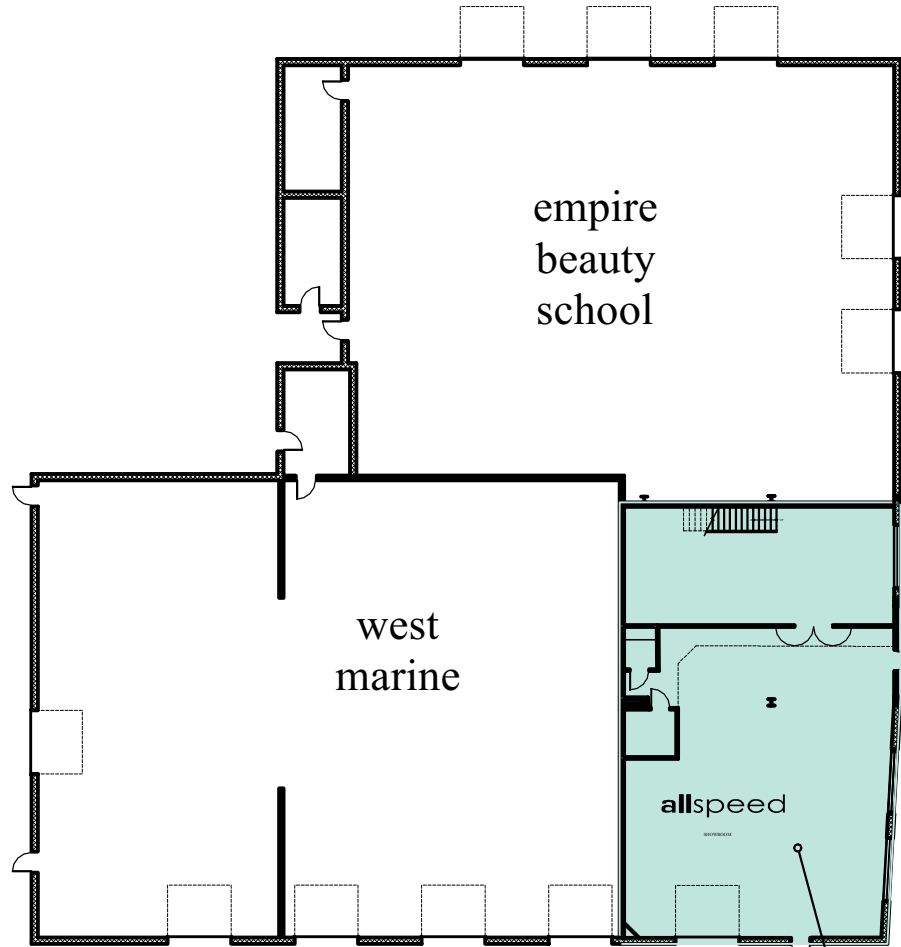
Interior Tenant Renovations:
allspeed
 ALLSPEED CYCLERY & SNOW LLC
 127 MARGINAL WAY
 PORTLAND, MAINE 04101

TITLE SHEET
 OCT 14, 2014
 PROJECT ALLSPEED
 DRAWN BY MAM
 CHECK BY MAM

REVISED: FEBRUARY 06, 2015
PERMIT SET : DECEMBER 9, 2014

T1.1

m a r g i n a l w a y



parking lot

green space

area of
new
work

allspeed

abuttors

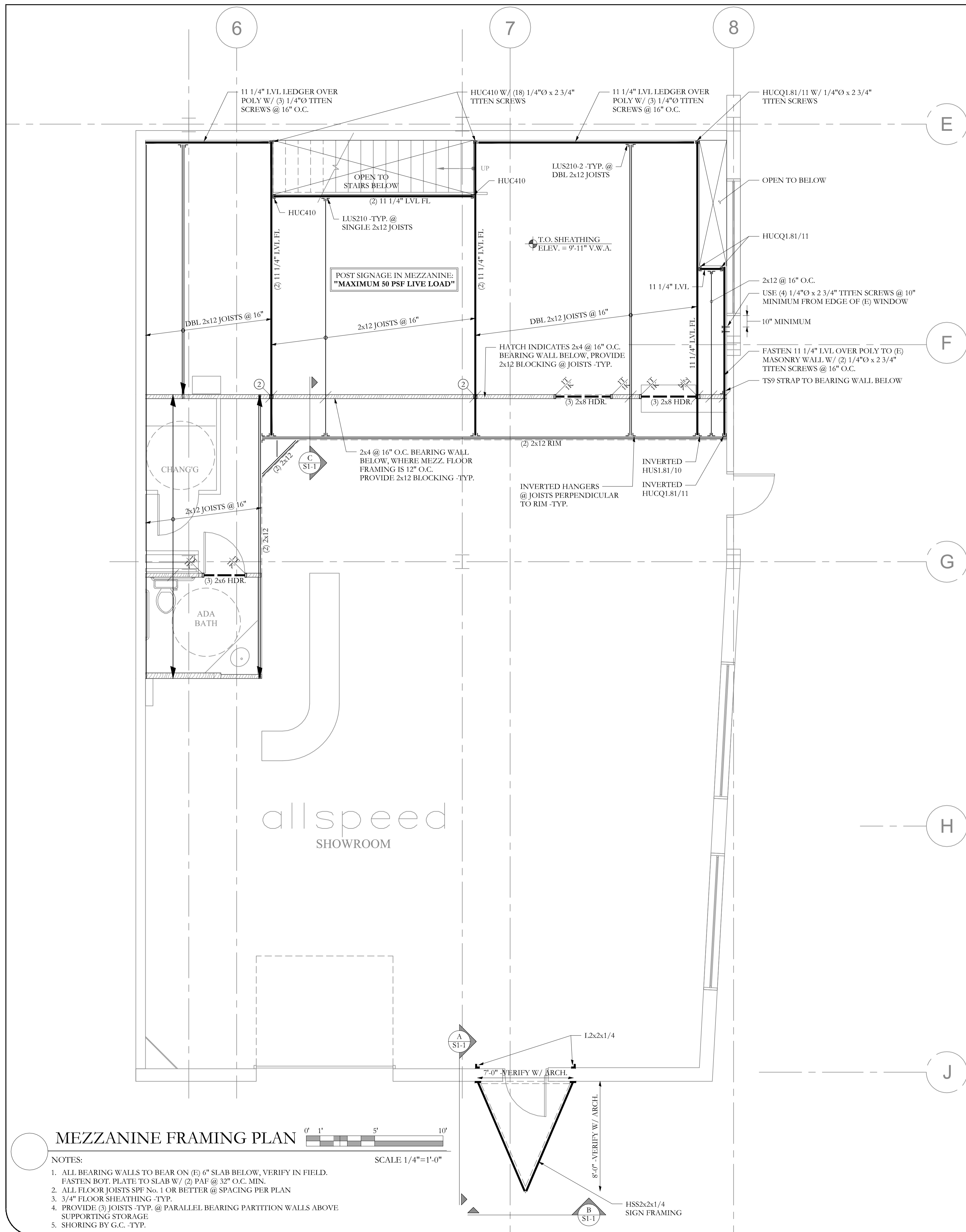
diagram

jan. 22, 2015



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MEZZANINE FRAMING PLAN

- NOTES:
1. ALL BEARING WALLS TO BEAR ON (E) 6" SLAB BELOW, VERIFY IN FIELD. FASTEN BOT. PLATE TO SLAB W/ (2) PAF @ 32" O.C. MIN.
 2. ALL FLOOR JOISTS SPF No. 1 OR BETTER @ SPACING PER PLAN
 3. 3/4" FLOOR SHEATHING -TYP.
 4. PROVIDE (3) JOISTS -TYP. @ PARALLEL BEARING PARTITION WALLS ABOVE SUPPORTING STORAGE
 5. SHORING BY G.C. -TYP.

GENERAL STRUCTURAL NOTES

DESIGN LIVE LOADS: 2009 IBC, MUEBC
 * Floor 50 psf

FOUNDATION:

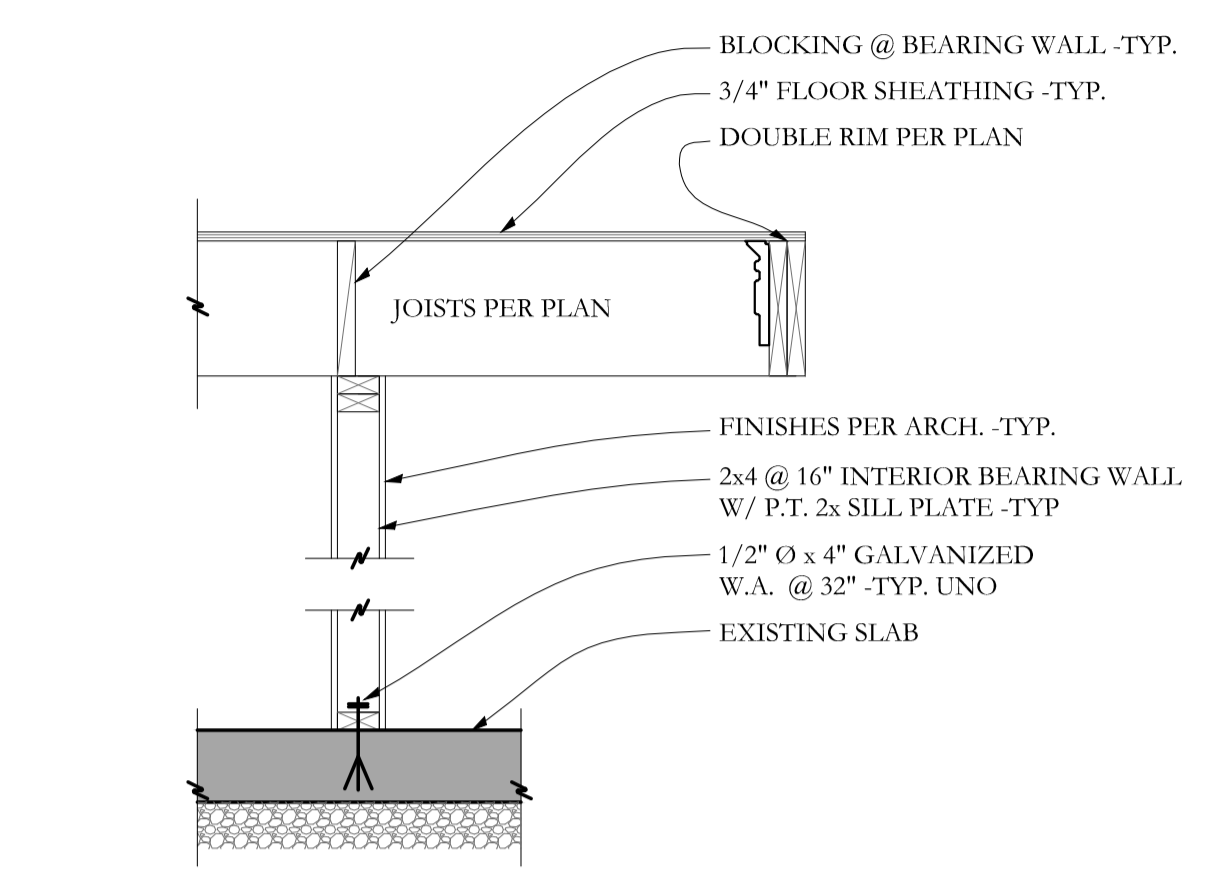
- * Foundations are designed without an engineer's soil investigation. Foundation design criteria was assumed for purpose of foundation design and shall be confirmed by a soils engineer, at owner's expense, prior to construction. (This procedure may require revisions to foundation design, at additional expense to the owner, if soils engineer determines that such design criteria are inappropriate for this building site.)
- * Footings shall be placed on undisturbed natural soil or compacted fill tested and approved by soils engineer.
- * Allowable bearing pressure = 1,500 psf. Bear on soil approved by the Soils Engineer. -TYP
- * Existing foundation walls are assumed acceptable for existing soil retention and new building loads

WOOD FRAMING:

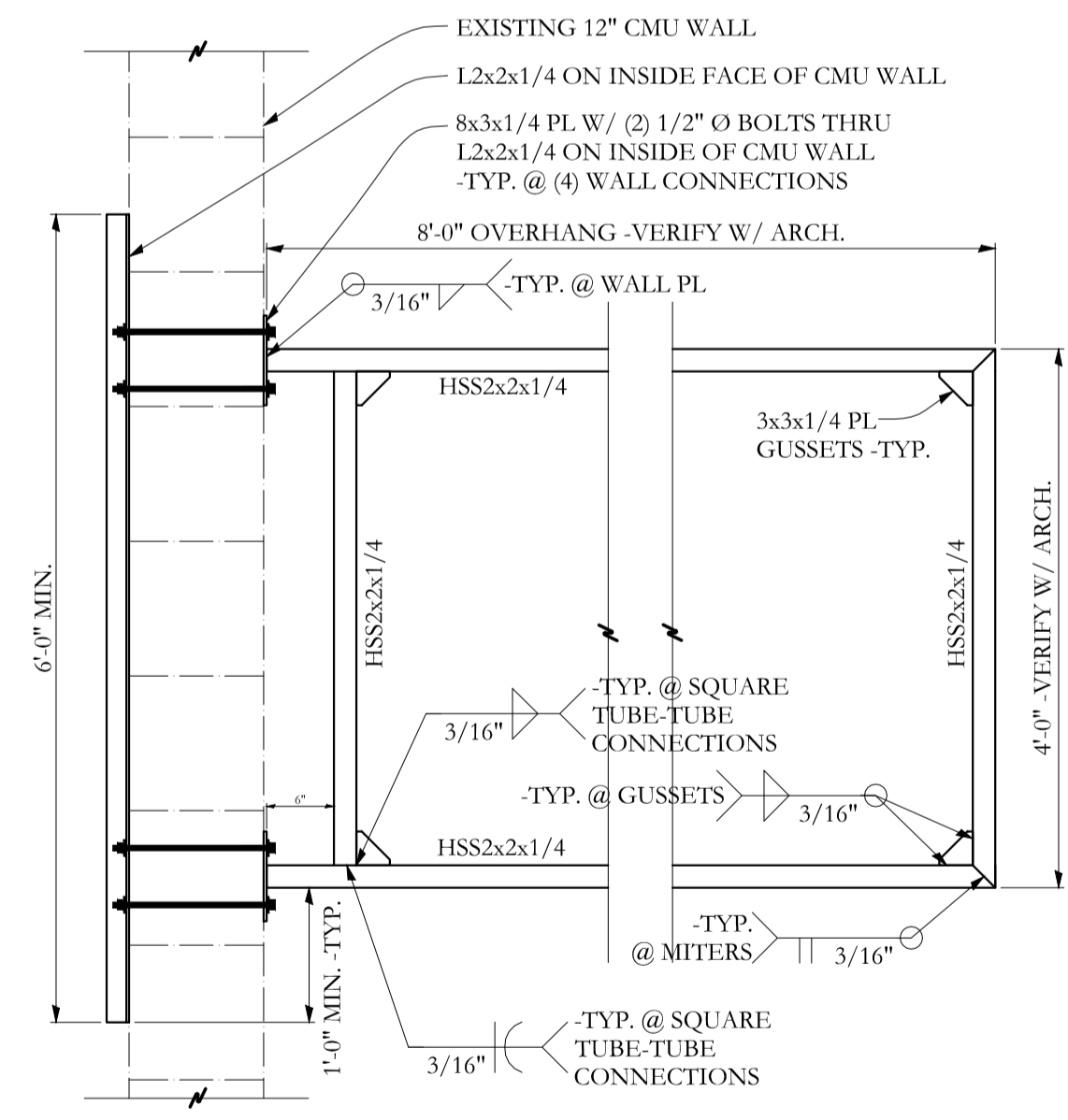
- * Dimension Lumber is designed and shall be supplied using BASE VALUES Design Criteria.
- * SPF #2 and better (Maximum Moisture Content 19%) U.O.N.
- * Plates: Sill plates: Pressure Treated SPF or Southern Pine;
- * Laminated Veneer Lumber (LVL): Manufactured 1 3/4" wide Microlams (ML) by Ilevel/Trus Joist or equivalent.
- * Fb=2,600 psi, E=1,900,000 psi, Fv=285 psi, depth noted on plans.
- * All plywood and oriented strand board (OSB) sheathing shall be engineered grades with APA grade stamp indicating appropriate maximum spacing of supports.
- * Floor sheathing: nominal 3/4", APA Sturd-I-Floor "24" tongue & groove glued and nailed.
- * Wall sheathing: 7/16" OSB nail base insulated panel (Zap "R" or equal) (exterior walls)
- * Roof sheathing: 19/32" OSB base insulated panel, fastened w/ #10x4" wood screw @ 12" OR 16ds at 4" max
- * Nail wall sheathing with 10d commons at 6" o.c. at panel edges, and 12" o.c. intermediate framing U.N.O. BLOCK AND NAIL ALL EDGES BETWEEN STUDS. Sheathing shall be continuous from bottom plate to top plate. Cut in "L" and "T" shapes around openings. Lap sheathing over rim joists min. 4" at all floors to tie upper and lower stud walls together. Minimum height of sheathing panels shall be 16" to assure that plates are tied to studs. Use minimum 3-8d per stud and nail plates with edge nail spacing.
- * Sole plate at all perimeter walls and at designated shear walls shall be nailed as for braced panels with 3-16d x 3 1/2" long box nails (coated or deformed shank) per 16". 12d nails are not acceptable.
- * Minimum nailing shall comply with IBC Table 2304.9.1 except where more or larger nailing shown on drawings.
- * All roof rafters, joists, beams shall be anchored to supports with metal framing anchors.
- * Double joists under partitions where joists are parallel to partitions.
- * Provide continuous wall studs each side of wall openings equal to one half or greater of number of studs interrupted by openings.
- * All wall studs shall be continuous from floor to floor or from floor to roof.
- * Cross bridge all dimension lumber roof and floor joists at midspan and provide solid blocking or rim joists at all joist supports and joist ends.
- * Metal connectors: Simpson Strong Tie unless otherwise noted, installed with number and type of nails to achieve maximum rated capacity. Note that heavy duty and skewed hangers may require special order.
- * All beams shall be braced against rotation at points of bearing.
- * Drypack grout all beam pockets full after beams are set.
- * Unless otherwise indicated, install two lengths of solid blocking x joist depth x 12 inches long in floor framing under column loads. Columns must have a continuous load path to foundation.
- * Lead holes for lag bolts shall be 60% to 70% of lag shank diameter in compliance with AITC criteria.

STRUCTURAL ERECTION AND BRACING REQUIREMENTS

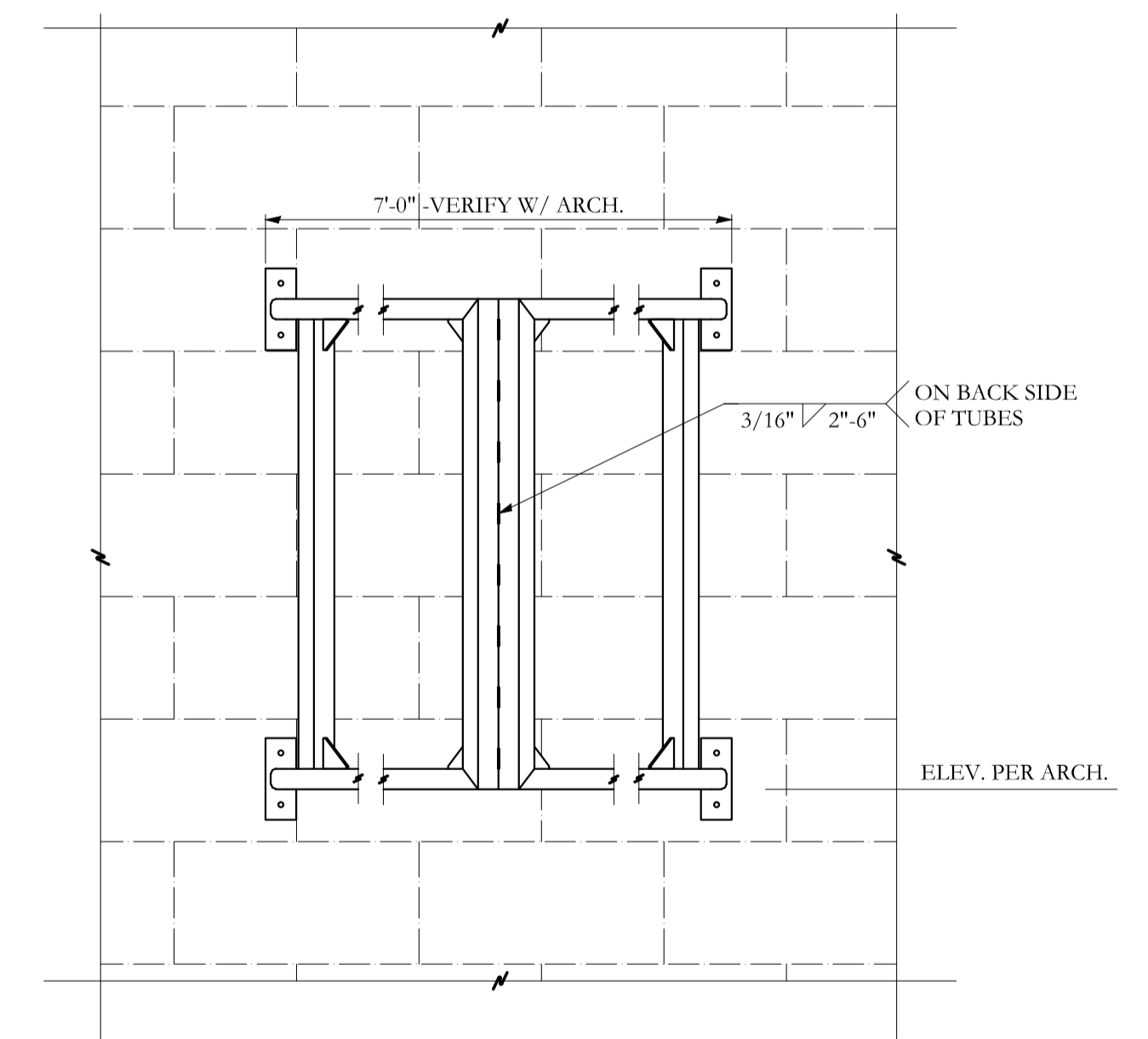
- * The structural drawings illustrate the completed structure with all elements in their final positions, properly supported and braced. The contractor, in the proper sequence, shall provide proper shoring and bracing as may be required to achieve the final completed structure.



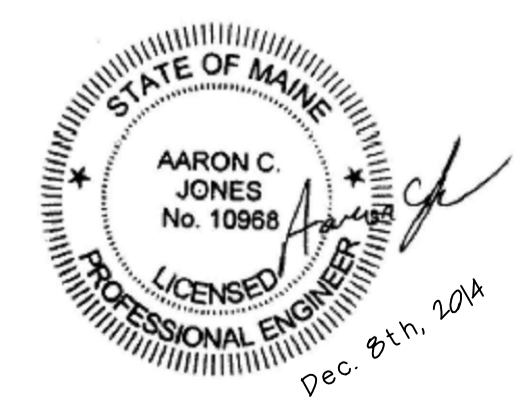
SECTION C-ST-1 3/4"=1'-0




SECTION A-ST-1 3/4"=1'-0



SECTION B-ST-1 3/4"=1'-0




 PROJECT NO. **14-0154**
 PROJECT NAME **All Speed Portland, Maine**
 ISSUE DATE **12.08.14**
 DRAWN BY **BDH**
 SHEET TITLE **FRAMING PLAN & SIGN DETAILS**
 SHEET NO. **S1-1**