

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

DEPT. OF BUILDING PERMITS	
Permit No: CITY	Issue Date: JUN - 9 2006
06-0667	024 D001001

<b>Location of Construction:</b> 160 FOX ST	<b>Owner Name:</b> PORMAN ONE 2004 LP	<b>Owner Address:</b> 600 CONGRESS AVE STE 400	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> CM & B Construction Mgmt & Buil	<b>Contractor Address:</b> 6 Kimball Lane Lynnfield	<b>Phone:</b> 7812469400
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Commercial	<b>Zone:</b> BS

<b>Past Use:</b> Vacant Land	<b>Proposed Use:</b> Commercial Construct a 56,059 sf Super Market (Whole Food Market)	<b>Permit Fee:</b> \$47,976.00	<b>Cost of Work:</b> \$5,319,325.00	<b>CEO District:</b> 1
<b>Proposed Project Description:</b> Construct a 56,059 sf Super Market ( Whole Food Market)		<b>FIRE DEPT:</b> <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See conditions</i>	<b>INSPECTION:</b> Use Group: <i>M</i> Type: <i>2B</i> <i>6/8/06</i>	
		<b>Signature:</b> <i>Craig Cozz</i>	<b>Signature:</b> <i>Ally Henge</i>	
<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
		<b>Signature:</b>	<b>Date:</b>	

<b>Permit Taken By:</b> dmartin	<b>Date Applied For:</b> 05/05/2006	<b>Zoning Approval</b>		
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, electric or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland <i>N/A</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone <i>Paveletz Zone C</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan <i># 2004-0225</i></p> <p>Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>ok with conditions</i></p> <p>Date: <i>5/10/06</i></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 06-0667	<b>Date Applied For:</b> 05/05/2006	<b>CBL:</b> 024 D001001
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<b>Location of Construction:</b> 160FOX ST	<b>Owner Name:</b> PORMAN ONE 2004 LP	<b>Owner Address:</b> 600 CONGRESS AVE STE 400	<b>Phone:</b>
<b>Business Name:</b>	<b>(ContractorName:</b> CM & B Construction Mgmt & Buil	<b>Contractor Address:</b> 6 Kimball Lane Lynnfield	<b>Phone</b> (781) 246-9400
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>		

<b>Proposed Use:</b> Commercial Construct a 56,059 sf Super Market (Whole Food Market)	<b>Propo:</b> Construct a 56,059 sf Super Market ( Whole Food Market)
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<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Marge Schmuckal	<b>Approval Date:</b> 05/10/2006
<b>Note:</b> 5/10/06 - demo permit of existing bldgs #06-0027 foundation permit under #06-0026			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) All prior conditions of approval(s) are still in force. 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 3) Separate permits shall be required for any new signage.			

<b>Dept:</b> Building	<b>Status:</b> Pending	<b>Reviewer:</b> Mike Nugent	<b>Approval Date:</b>
<b>Note:</b>			<b>Ok to Issue:</b> <input type="checkbox"/>

<b>Dept:</b> Fire	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Cptn Greg Cass	<b>Approval Date:</b> 05/10/2006
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) Seperate Sprinkler plans shall be submitted to the Portland Fire Dept. for approval 2) State Fire Marshall approval required 3) Fire alarm system requires a Master <b>Box</b> connection			

<b>Dept:</b> Fire	<b>Status:</b> Pending	<b>Reviewer:</b> Cptn Greg Cass	<b>Approval Date:</b>
<b>Note:</b>			<b>Ok to Issue:</b> <input type="checkbox"/>
1) A fire protection plan needs to be submitted. Showing All access and egress. All fire hydrants within 1500 feet. A Life safety plan will be required building permit approval			

<b>Dept:</b> DRC	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Rick Knowland	<b>Approval Date:</b> 01/08/2005
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) 1. See Planning Division conditions of approval.			

<b>Dept:</b> Planning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Rick Knowland	<b>Approval Date:</b> 02/08/2005
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>



<b>Location of Construction:</b> 160 FOX ST	<b>Owner Name:</b> PORMAN ONE 2004 LP	<b>Owner Address:</b> 600 CONGRESS AVE STE 400	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> CM & B Construction Mgmt & Buil	<b>Contractor Address:</b> 6 Kimball Lane Lynnfield	<b>Phone:</b> (781) 246-9400
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Commercial	

2. That all exterior signs shall be reviewed and approved by Planning Staff.
3. That a sewer capacity letter substantiating the ability to serve this project shall be obtained from Public Works.
4. That the design plans for all roadway and intersection improvements including the median barrier at the right-in right-out entrance on Somerset Street and the on-site raised island barrier at the Somerset Street driveway shall be reviewed and approved by City Staff.
5. Developer shall contribute \$50,000 toward the cost of Marginal Way improvements and construct a median barrier at the right-in right-out entrance on Somerset Street.
6. Site plan shall be revised for planning staff review and approval reflecting a sidewalk along Franklin Street (within the public street right-of-way) that has a straight alignment rather than the curvilinear alignment shown on the plan. Brick sidewalks shall be installed along Franklin Street unless the City's sidewalk policy is changed to allow a different sidewalk material.
7. That a drainage maintenance agreement in the name of the new developer shall be submitted for City staff review and approval.
8. Prior to ordering and installation of the Holophane street light fixtures, Developer shall contact the the Planning Office (Rick Knowland, tel. No. 874-8725) to confirm the appropriate color of the light fixture and pole.
9. Trees within the public sidewalk along Somerset Street and Pearl Street shall be be planted in granite framed planters as proposed on the approved plan rather than tree grates.
10. That the public sidewalk along Fox/Somerset Street abutting the outside cafe shall be a minimum seven (7) feet wide at its closest point to the cafe unless otherwise approved in writing by the Planning Division to a lesser width.
11. Unless otherwise approved in writing by the City, the proposed building shall not be located within the City of Portland sewer easement adjacent to Franklin Street. In addition the proposed transformer shall not be located in the City street right-of-way nor the City sewer easement.
12. Applicant shall address all review comments of the Engineering Review Consultant which shall be submitted to Stephen Bushey for review and approval.
13. The footprint area of the phase 2 retail/office building shall be reserved for that purpose and shall not be used for parking.
14. An easement shall be reserved to the City for the storm drain that runs through the old rail easement on the site. Said easement shall be submitted for review and approval by Public Works. Contact Eric Labelle.

**Comments:**

5/24/2006-mjn: The follow was emailed to the design professional:

- 1) Need UL listing w/ ratings and specs for your fire separation assemblies
- 2) On page M7.01, detail 9, that is not to scale, make sure that all food service related exhaust fans terminate 40 inches above the roof surface (506.3.12.1 2003 IMC).
- 3) Please provide information establishing compliance with Section 1008.1.3.3 Horizontal Sliding Doors
- 4) I spoke with the State Plumbing Inspector and we discussed the total number of Toilets and Lavs. Can you provide a 2000 UPC justification for the number of toilets proposed?
- 5) The statement of Special Inspections is incomplete as it omits a Seismic Q/A plan and the contracotr's statement of responsibility. Also please review the remainder of Chapter 17, there are a number of additional things that are subject to S/I as this is a "D" seismic project.
- 5) Looking for documentation that the Steel will conform to ASCI 341 part I or II as this is a "D" Seismic project.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or **user charges** on any property within the City, payment arrangements must be made before permits of any kind are accepted.

nd 4		
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#	Owner: Whole Foods Market 125 Cambridge Park Drive Cambridge MASS	Telephone: 617 492-5500
	Applicant Cm 35 6 Kimball Lane Lynnfield, MA 01940 (781) 246 9400	Fee: \$47,901 C of O Fee \$7500
Current Specific use: <u>Commercial / Industrial</u> Proposed Specific use: <u>Retail Market</u>		
Project description: Construct 56,051 SF Super market & develop site parking, landscape & off site improvements		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>John Chatfield</u>		
Mailing address:      Phone: <u>978 771 4499</u> (cell)		

**Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

DEPT. OF BUILDING INSPECTION CITY Signature of applicant: <u>[Signature]</u>	Date: <u>5/2/06</u>
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3 2006  
RECEIVED

This is not a permit; you may not commence ANY work until the permit is issued.

# 40655





# Transmittal

DATE: January 9, 2006

ATTENTION: Lannie Dodson

COMPANY: City of Portland Inspections Division

ADDRESS: Portland City Hall  
389 Congress Street  
Portland, ME 04101

DISTRIBUTION: \_\_\_\_\_

FROM: Alan H. Rice, R.A., NCARB

PROJECT NAME: Whole Foods - Portland, ME PROJECT NUMBER: 04C0829

SUBJECT: Permit Certificates

☺ ☺ ☺

WE ARE SENDING YOU:

- Attached  Under separate cover via the following items:
- Shop Drawings  Prints  Plans  Samples  Specifications
- Copy of letter  Change order  Other: Certificates and Statements

COPIES	DATE	NO.	DESCRIPTION
1	1/9/06		Certificate of Design
1	1/9/06		2003 IBC Compliance Form
1	1/9/06		Accessibility Certificate
1	1/9/06		Envelope Compliance Certificate - 2003 IECC

ARCHITECTURE  
ENGINEERING  
PLANNING  
LANDSCAPE  
ARCHITECTURE  
LAND SURVEYING  
ENVIRONMENTAL  
SCIENCES

355 Research Parkway  
Meriden, Connecticut  
06450

800.301.3077 T  
203.630.1404 T  
203.630.2615 F

blcompanies.com

THESE ARE TRANSMITTED as checked below:

- For approval  No exceptions taken  Resubmit  For approval
- For your use  Furnish as corrected  Submit  For distribution
- As requested  Revise and resubmit  Return  Corrected prints
- For review & comment  Rejected  Prints returned after loan to us
- For bids due .200  Resubmit for record

REMARKS:

The attached information is forwarded to you for the Demolition and Foundation Permit Applications for the Whole Foods Market project at Franklin St., Fox/Somerset St. and Pearl St. The Statement of Special Inspections will be sent on 1/10/06. Please advise if additional information is required to complete this application.

  
Signature: Alan H. Rice, R.A., NCARB / Project Manager



CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 315  
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

FROM: David G. Ball, A.I.A. / President

RE: Certificate of Design

DATE: January 9, 2006

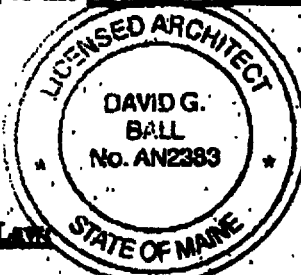
These plans and/ or specifications covering construction work on:

Whole Foods Market proposed Grocery Store

Franklin St., Fox/Somerset St. and Pearl St.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2003 International Building Code and local amendments.

(SEAL)



Signature: *David G. Ball*

Title: President

Firm: BL Companies

As per Maine State Law

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

Address: 355 Research Parkway  
Meriden, CT 06450



FROM DESIGNER: BL Companies  
 DATE: January 9, 2006  
 Job Name: Whole Foods Market Proposed Grocery Store  
 Address of Construction: Franklin St., Fox/Somerset St. and Pearl St.

**2003 International Building Code**

Construction project was designed according to the building code criteria listed below:

Building Code and Year IBC 2003 Use Group Classification(s) 'M' Mercantile  
 Type of Construction II B Non-Combustible  
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC Yes  
 Is the Structure mixed use? No If yes, separated or non separated (see Section 302.3) N/A  
 Supervisory alarm system? Geotechnical/Seismic report required? (See Section 1602.2) Yes

STRUCTURAL DESIGN CALCULATIONS		<u>N/A</u>	Live load reduction (1607.1, 1607.2, 1607.10)
<u>X</u>	Excluded for all structural members (1607.1, 1607.1)	<u>35 PSF</u>	Roof live loads (1609.1.2, 1607.10)
DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1608)			Roof snow loads (1603.7.3, 1608)
Uniformly distributed floor live loads (1603.21, 1607)		<u>50 PSF</u>	Ground snow load, $P_g$ (1608.2)
Floor Area Use	Loads Shown	<u>35 PSF</u>	If $P_g > 10$ psf, flat-roof snow load, $P_f$ (1608.4)
<u>Mezzanine</u>		<u><math>C_e = 1.0</math></u>	If $P_g > 10$ psf, snow exposure factor, $C_e$ (Table 1608.5.1)
<u>Office</u>	<u>100 PSF</u>	<u><math>I_s = 1.0</math></u>	If $P_g > 10$ psf, snow load importance factor, $I_s$ (Table 1608.6)
<u>Mechanical</u>	<u>250 PSF</u>	<u><math>C_d = 1.0</math></u>	Roof lateral factor, $C_d$ (Table 1608.6.2)
		<u>31.5 PSF</u>	Sloped roof snowload, $P_s$ (1608.4)

Wind loads (1609.1.4, 1609) Intermediate Moment Frames  
 ASCE Method 2-Analytical Procedure design option utilized (1609.1.7, 1609.2) R=4.5 Seismic design category (1616A)  
100 MPH Basic wind speed (1609.3)  $C_d = 4$  Basic seismic force-resisting system (Table 1617.5.2)  
 $11/2 I_w = 1-D$  Building category and wind importance factor,  $I_w$  (Table 1604.5, 1609.5) Equivalent Lateral Force Analysis Response modification coefficient,  $R$ , and direction amplification factor,  $C_v$  (Table 1617.5.2)  
B Wind exposure category (1609.4)  $V = 0.12W$  Analysis procedure (1617.5, 1617.6) Design base shear (1617A, 1617B.1)  
0.18 Internal pressure coefficient (ASCE 7)

As per Tables 1609.6.2.1 (2) & (3) Flood loads (1609.1.5, 1612) Flood hazard area (1612B)  
17.6 PSF (Max) Component and cladding pressures (1609.1.1, 1609.4.2.4) Zone 'C' Elevation of structure  
 Minimum wind pressures (1609.1.1, 1609.4.2.1) 12.0

Equivalent Lateral Force Earthquake design data (1609.1.8, 1614-1620) N/A Concentrated loads (1607.4)  
I Design option utilized (1614.1) N/A Partition loads (1607E)  
 $S_{DS} = 0.530$  Seismic use group ("Category") (Table 1604.5, 1616.2) N/A Impact loads (1607.4)  
 $S_{RS} = 0.227$  Spectral response coefficients,  $S_{DS}$  &  $S_{RS}$  (1615.1) N/A Max loads (Table 1607.5, 1607.6, 1607.7, 1607.12, 1607.18, 1607.19, 1607.20)  
E Site class (1615.1.6)

FROM DESIGNER: BL Companies  
 DATE: January 9, 2006  
 Job Name: Whole Foods Market Proposed Grocery Store  
 Address of Construction: Franklin St., Fox/Somerset St. and Pearl St.

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year IBC 2003 Use Group Classification(s) 'M' Mercantile  
 Type of Construction II B Non-Combustible  
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC Yes  
 Is the Structure mixed use? No If yes, separated or non separated (see Section 302.3) N/A  
 Supervisory alarm system? Yes Geotechnical/Soils report required? (See Section 1802.4) Yes

STRUCTURAL DESIGN CALCULATIONS		<u>N/A</u>	Live load reduction (1609.1.1, 1609.2, 1607.14)
<u>X</u>	Summited for all structural members (1601.7, 1601.7.1)	<u>35 PSF</u>	Roof live loads (1608.1.2, 1607.11)
DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1608)			Roof snow loads (702.7.1, 702)
Uniformly distributed floor live loads (703.2.1, 703)		<u>50 PSF</u>	Ground snow load, $P_g$ (1608.2)
Floor Area Use	Loads Shown	<u>35 PSF</u>	$P_g > 30$ psf, flat-roof snow load, $P_f$ (1608.2)
<u>Mezzanine</u>		<u><math>C_e = 1.0</math></u>	If $P_g > 10$ psf, snow exposure factor, $C_e$ (Table 1608.2.1)
<u>Office</u>	<u>100 PSF</u>	<u><math>I_s = 1.0</math></u>	If $P_g > 10$ psf, snow load importance factor, $I_s$ (Table 1608.2.1)
<u>Mechanical</u>	<u>250 PSF</u>	<u><math>C_e = 1.0</math></u>	Roof external factor, $C_e$ (Table 1608.2.2)
		<u>31.5 PSF</u>	Sloped roof snowload, $P_s$ (1608.4)

ASCE: Method 2-Analytical Procedure Description utilized (1609.1.1, 1609.2)  
 Wind loads (1609.1.4, 1609) Intermediate Moment Frames  
100 MPH Basic wind speed (1609.2)  $R = 4.5$  Basic seismic force-resisting system (Table 1617.6.2)  
 $I_s = 1.0$  Building category and wind importance factor,  $I_s$  (Table 1604.5, 1604.6)  $C_d = 4$  Response modification coefficient,  $R$ , and direction amplification factor,  $C_d$  (Table 1617.6.2)  
B Wind exposure category (1609.4)  $V = 0.12W$  Analysis procedure (1617.6, 1617.2)  
0.18 Internal pressure coefficient (ASCE 7) Zone 'C' Design base shear (1617.4, 1617.6.1)

As per Tables 1609.6.2.1 (2) & (3)  
17.6 PSF (Max) Component and cladding pressures (1609.1.1, 1609.6.2.2) Flood loads (1609.1.4, 1612)  
 Flood hazard area (1612.3)  
 Elevation of structure

Equivalent Lateral Force  
 Earthquake design data (1609.1.6, 1614-1620) N/A Concentrated loads (1607.4)  
 Design option utilized (1617.1) N/A Partition loads (1607.5)  
I Seismic use group ("Category") (Table 1604.5, 1616.2) N/A Impact loads (1607.4)  
 $S_{DS} = 0.520$  Spectral response coefficient,  $S_{DS}$  &  $S_{D1}$  (1616.1) N/A Max loads (Table 1607.4, 1607.5, 1607.7, 1607.12, 1607.18, 1610, 1611, 1608.4)  
E Site class (1616.1.2)



CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 315  
Portland, Maine 04101

ACCESSIBILITY CERTIFICATE

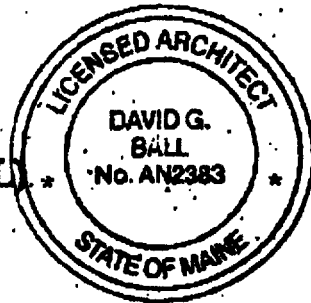
Designer: David G. Ball, A.I.A./ President

Address of Project: Franklin St., for Somerset St. and Pearl St.

Nature of Project: Whole Foods Market

Proposed Grocery Stores

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.



(SEAL)

Signature: *David G. Ball*

Title: President

Firm: BL Companies

Address: 355 Research Parkway  
Meriden, CT 06450

Phone: (800) 301 - 3077

**NOTE:** If this project is a new Multi Family Structure of 4 units or more, this project must also be designed in compliance with the Federal Fair Housing Act. On a separate submission, please explain in narrative form the method of compliance.

Permit Number

**Envelope Compliance Certificate  
2003 IECC**

Checked By/Date

COMcheck-EZ Software Version 3.0 Release 2b  
Data filename: K:\Jobs\04\04C0829\Docs\WFM-Portland COMcheck.ock

**Section 1: Project Information**

**Project Name:** WFM - Portland  
**Designer/Contractor:** Architect:  
 BL Companies  
 355 Research Parkway  
 Meriden, CT 06450  
 (203) 630-1406

**Construction Manager:**  
 Construction Management and Builders, Inc.  
 6 Kimball Lane  
 Lynnfield, MA 01940  
 (781) 246-9400

**Document Author:** Steven Iovanna (BL Companies)

**Section 2: General Information**

**Building Location (for weather data):** Portland, Maine  
**Climate Zone:** 15  
**Heating Degree Days (base 65 degrees F):** 7378  
**Cooling Degree Days (base 65 degrees F):** 268  
**Project Type:** New Construction  
**Window / Wall Ratio:** 0.37

<u>Building Type</u>	<u>Floor Area</u>
Grocery Store	56059

**Section 3: Requirements Checklist**

- | <u>Bldg.</u> | <u>Dept.</u> | <u>Use</u>   |
|--------------|--------------|--|
|              |              | <b>Air Leakage, Component Certification, and Vapor Retarder Requirements</b>   |
| [ ]          | ]            | 1. All joints and penetrations are caulked, gasketed, weather-stripped, or otherwise sealed.                             |
| [ ]          | ]            | 2. Windows, doors, and skylights certified as meeting leakage requirements.  |
| [ ]          | ]            | 3. Component R-values & U-factors labeled as certified.  |
| [ ]          | ]            | 4. Stair, elevator shaft vents, and other dampers integral to the building envelope are equipped with motorized dampers. |
| [ ]          | ]            | 5. Cargo doors and loading dock doors are weather sealed.  |

- [ ] | 6. Recessed lighting fixtures are: (i) Type IC rated and sealed or gasketed; or (ii) installed inside an appropriate air-tight assembly with a 0.5 inch clearance from combustible materials and with 3 inches clearance from insulation material.
- [ ] | 7. Building entrance doors have a vestibule and equipped with closing devices.  
| Exceptions:  
| Building entrances with revolving doors.  
| Doors that open directly from a space less than 3000 sq. ft. in area.



**Fabrication and Availability**  
 60 glass can be heat-strengthened, tempered and laminated and is readily available as a standard product. Like other high-performance PPG architectural glasses, Solarban 60 is available through more than 35 locations of the PPG Certified Fabricator, PPG Certified Commercial Window Fabricator and PPG Certified laminator Networks. All PPG Certified Partners are equipped to meet tight construction deadlines and can accelerate the delivery of replacement glass during and after construction.

**Additional Resource**  
 Solarban 60 glass is just one of the **ecological** EcoLogical Building Solutions from PPG. For more information, or to obtain samples of Solarban 60 glass, call 1-888-PPG-IDEA, or visit [www.ppgglazing.com](http://www.ppgglazing.com).

PPG and  
 to **IdeaScapes™** integrated products, people



**Solarban® 60 Glass Performance — Commercial Insulating Glass Unit Comparisons Using 1/4" (6mm) Glass**

Glass Type	Transmittance			Reflectance		U-Value (Imperial)		R-Value (Metric)		Shading Coefficient	Solar Heat Gain Coefficient	Light to Solar Gain (LSG)
	Ultra-violet %	Visible %	Total Solar Energy %	Visible Light %	Total Solar Energy %	Winter Night-time	Summer Day-time	Winter Night-time	Summer Day-time			
SOLARBAN 60 (2) STARPHIRE 1	18	73	36	12	40	0.29	0.28	1.64	1.97	0.47	0.41	1.78
SOLARBAN 60 (2) SOLIDIA	8	60	25	11	11	0.29	0.28	1.68	1.55	0.42	0.37	1.62
SOLARBAN 60 (2) ATLANTICA	4	52	20	10	8	0.29	0.28	1.65	1.55	0.35	0.31	1.68
SOLARBAN 60 (2) CARIBIA	8	54	20	9	7	0.29	0.28	1.65	1.55	0.36	0.31	1.74
SOLARBAN 60 (2) AZURIA	10	54	21	9	7	0.29	0.28	1.65	1.56	0.36	0.31	1.74
SOLARBAN 60 (2) BRYAN	8	41	20	8	17	0.29	0.28	1.65	1.55	0.37	0.32	1.95
SOLARBAN 60 (2) GRAY	8	35	18	7	13	0.29	0.28	1.65	1.68	0.39	0.29	1.25
SOLARBAN 60 (2) OPTIGRAY 23	3	18	9	5	6	0.29	0.28	1.65	1.66	0.22	0.19	1.00
SOLARBAN 60 (2) GRAYLITE	2	11	8	5	10	0.29	0.28	1.65	1.65	0.21	0.18	0.65
SOLARCOOL (2) SOLIDIA + Low-E	8	24	10	24	15	0.29	0.28	1.65	1.55	0.22	0.19	1.26
SOLARCOOL (2) CARIBIA + Low-E	2	20	8	19	10	0.29	0.28	1.65	1.55	0.19	0.17	1.31
SOLARCOOL (2) AZURIA + Low-E	4	21	8	19	10	0.29	0.28	1.65	1.55	0.19	0.17	1.31
SOLARCOOL (2) BRYAN + Low-E	3	17	9	14	18	0.29	0.28	1.65	1.55	0.21	0.18	0.94
SOLARCOOL (2) GRAY + Low-E	2	14	7	11	14	0.29	0.28	1.65	1.55	0.20	0.17	0.88
SOLARCOOL (2) GRAYLITE + Low-E	1	4	4	5	10	0.29	0.28	1.65	1.65	0.15	0.13	0.33

Performance data simulated using LBL Window 5.2. For detailed information on the methodologies used to calculate the aesthetic and performance values in this table, please visit [www.ppgglazing.com](http://www.ppgglazing.com) or request our Architectural Glass Catalog. †Data based on using Starphire glass for both interior and exterior face.

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**Climate-Specific Requirements**

<u>Component Name/Description</u>	Gross		Cont.	Proposed	Budget
	Area or Perimeter	Cavity R-Value			
Roof - Main flat roof: Non-Wood Joist/Rafter/Truss	25602	0.0	15.0	0.063	0.053
Roof - Gable standing seam roof:					
Non-Wood Joist/Rafter/Truss	14631	0.0	15.0	0.063	0.053
Rotunda Roof Non-Wood Joist/Rafter/Truss	2327	0.0	15.0	0.063	0.053
Mezzanine Flat Roof Non-Wood Joist/Rafter/Truss	2495	0.0	15.0	0.063	0.453
Elevator shaft roof Non-Wood Joist/Rafter/Truss	214	0.0	15.0	0.063	0.053
Brick and block walls: CMU <=8" with Empty Cells					
Furring: Metal	7609	0.0	10.0	0.079	0.075
Brick low hardiplank upper walls: Metal Frame, 16" o.c.	9109	19.0	0.0	0.114	0.075
Typical window:					
Metal Frame with Thermal Break: Double Pane with Low-E Reflective, SHGC 0.38	2478	—	—	0.290	0.526
Typical window with canopy:					
Metal Frame with Thermal Break: Double Pane with Low-E Reflective, SHGC 0.38, PF 0.25	729	—	—	0.290	0.526
Windows under steel canopy frame:					
Metal Frame with Thermal Break: Double Pane with Low-E Reflective, SHGC 0.38, PF 1.00	750	—	—	0.290	0.526
Clerestorey glazing at main gable:					
Metal Frame with Thermal Break: Double Pane with Low-E Reflective, SHGC 0.38	1995	—	—	0.290	0.526
Full hardiplank walls: Metal Frame, 16" o.c.	3024	19.0	0.0	0.114	0.075
Main vestibule entry doors: Glass					
Tinted, SHGC 0.60, PF 0.75	350	—	—	0.920	0.526
Rotunda walls: Other, HC 1.0	2336	—	—	0.050	0.075
Rotunda glazing:					
Metal Frame with Thermal Break: Double Pane with Low-E Reflective, SHGC 0.45, PF 0.12	1800	—	—	0.540	0.526
Slab on grade: Slab-On-Grade: Unheated, Vertical 3 ft.	1200	—	10.0	—	—

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.

**Envelope PASSES:** Design 3% better than code

**Section 4: Compliance Statement**

The proposed envelope design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed envelope system has been designed to meet the 2003 IECC requirements in COMcheck-EZ Version 3.0 Release 2b and to comply with the mandatory requirements in the Requirements Checklist.

STEVEN IOVANNA  
Principal Envelope Designer-Name

John J. Wacziarg  
Signature

9 JAN 2006  
Date



# Facsimile Transmittal

DATE: May 26, 21006

ATTENTION: Mr. Michael Nugent

COMPANY: Inspection Division Director, City of Portland

FAX NUMBER: (207) 756-8090

DISTRIBUTION: \_\_\_\_\_

FROM: Erich Baumgartner T: (203) 630-1406 EXT: 4305

EMAIL: ebaumgartner@blcompanies.com

SENDER: \_\_\_\_\_

PROJECT NAME: Whole Foods Market PROJECT NUMBER: 0400829

SUBJECT: Structural Steel Seismic Compliance

NUMBER OF PAGES INCLUDING COVER: 2 If you do not receive all pages, please notify sender

- Hard Copy To Follow Via:       US Mail       FedEx       Other
- No Other Copy Will Be Sent.

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 Meriden, Connecticut  
 06450

800.301.3077 T  
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# Transmittal

DATE: February 9, 2006

ATTENTION: Michael Nugent, Inspections Division Director

COMPANY: City of Portland Inspections Division

ADDRESS: Portland City Hall  
389 Congress Street  
Portland, ME 04101

DISTRIBUTION:

FROM: Alan H. Rice, R.A., NCARB

PROJECT NAME: Whole Foods – Portland, ME PROJECT NUMBER: 04C0829

SUBJECT: Statement of Special Inspections – Amended

**WE ARE SENDING YOU:**

- Attached  Under separate cover via the following items:
- Shop Drawings  Prints  Plans  Samples  Specifications
- 

COPIES	DATE	NO.	DESCRIPTION
1	2/8/06		Statement of Special Inspections – Amended

ARCHITECTURE  
ENGINEERING  
PLANNING

LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ENVIRONMENTAL SCIENCES

- |  |   |   |   |
|--|---|---|---|
| <input type="checkbox"/> For approval            | <input type="checkbox"/> No exceptions taken  | <input type="checkbox"/> Resubmit                         | <input type="checkbox"/> For approval     |
| <input checked="" type="checkbox"/> For your use | <input type="checkbox"/> Furnish as corrected | <input type="checkbox"/> Submit                           | <input type="checkbox"/> For distribution |
| <input type="checkbox"/> As requested            | <input type="checkbox"/> Revise and resubmit  | <input type="checkbox"/> Return                           | <input type="checkbox"/> Corrected prints |
| <input type="checkbox"/> For review & comment    | <input type="checkbox"/> Rejected             | <input type="checkbox"/> Prints returned after loan to us |   |
| <input type="checkbox"/> For bids due , 200      | <input type="checkbox"/> Resubmit for record  | <input type="checkbox"/>                                  |   |

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**REMARKS:**

The attached Statement of Special Inspections has been amended to include the name of the Special Inspector and the Testing Lab as requested. Please advise if additional information is required.

Signature: Alan H. Rice, R. A., NCARB / Project Manager

# Statement of Special Inspections

Project: Whole Foods Market Proposed Grocery Store  
Location: Franklin Street, Fox/Somerset Street, and Pearl Street  
Owner: Whole Foods Market  
Owner's Address: 125 Cambridge Park Drive  
Cambridge, MA  
Architect of Record: BL Companies  
Structural Engineer of Record: BL Companies

This *Statement of Special Inspections* is submitted as a condition for permit issuance in accordance with the Special Inspection requirements of the International Building Code, 2003. It includes a Schedule of Special Inspection Services applicable to this project as well as the name of the Special Inspector and the identity of other approved agencies intended to be retained for conducting these inspections.

The Special Inspector shall keep records of all inspections and shall furnish inspection reports to the Building Official, Structural Engineer and Architect of Record. Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official, Structural Engineer and Architect of Record. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official, Owner, Structural Engineer and Architect of Record.

A *Final Report of Special Inspections* documenting completion of all required Special Inspections and correction of any discrepancies noted in the inspections shall be submitted prior to issuance of a Certificate of Use and Occupancy.

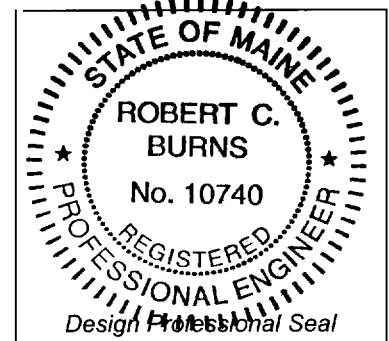
Job site safety and means and methods of construction are solely the responsibility of the Contractor.


Interim Report Frequency: *Bi-Weekly*

or  per attached schedule.

Prepared by:

Robert Burns. PE  
(type or print name)

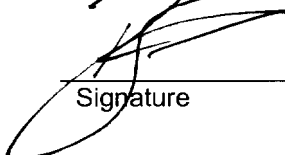


  
\_\_\_\_\_  
Signature

2/8/2006  
Date

Owner's Authorization:

Building Official's Acceptance:

  
\_\_\_\_\_  
Signature

4/20/06  
Date

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

## Schedule of Special Inspection Services

The following sheets comprise the required schedule of special inspections for this project. The construction divisions which require special inspections for this project are as follows:

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Soils and Foundations  | <input checked="" type="checkbox"/> Cold-Formed Steel Framing             |
| <input checked="" type="checkbox"/> Cast-in-Place Concrete | <input type="checkbox"/> Spray Fire Resistant Material                    |
| <input type="checkbox"/> Precast Concrete                  | <input type="checkbox"/> Wood Construction                                |
| <input checked="" type="checkbox"/> Masonry                | <input checked="" type="checkbox"/> Exterior Insulation and Finish System |
| <input checked="" type="checkbox"/> Structural Steel       | <input type="checkbox"/> Special Cases                                    |

Inspection Agents	Firm	Address
1. Special Inspector	<i>JGI Eastern, Inc.</i>	<i>77 Sundial Avenue, Suite 401 W Manchester, NH 03103</i>
2. Testing Laboratory	<i>JGI Eastern, Inc.</i>	<i>77 Sundial Avenue, Suite 401 W Manchester. NH03103</i>
3. Other		
4. Other		

Note: The qualifications of all personnel performing Special Inspection activities are subject to the approval of the Building Official.

The inspection and testing agent shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

The credentials of all Inspectors and testing technicians shall be provided if requested.

PE	Professional Engineer
EIT	Engineering in Training
ACI	American Concrete Institute Certified Concrete Field Testing Technician
AWS	American Welding Society Certified Welding Inspector
ASNT	American Society of Non-Destructive Testing - Level II or III

Item	Agent No. (Qualif.)	Scope
1. Shallow Foundations	1 (PE)  2 (EIT)	Review Field Reports  Visual confirmation of soil quality below footings
2. Controlled Structural Fill 1705.7	1 (PE)  2 (EIT)	Review field reports.  Verify compaction operations for raise-in-grade fill within building perimeter. Perform compaction tests for lifts beneath slab-on-grade and footings on fill.
3. Deep Foundations 1705.8; 1705.9; 1816.13		Not applicable
4. Other		

**Cast-in-Place Concrete**

Project: Whole Foods Market – Portland, ME

Item	Agent No. (Qualif.)	Scope
1. Mix Design' <i>1705.4.1</i>	1 (PE)	Review submittals for all structural concrete.
2. Material Certification' <i>1705.4.1</i>	1 (PE)	Review material certificates for all structural concrete, including admixtures.
3. Reinforcement Installation <sup>2</sup> <i>1705.4.2</i>	1 (PE) 2 (EIT)	Review field reports Inspect placement of reinforcement for footings, foundations, slab-on-grade.
4. Post-Tensioning Operations <sup>3</sup> <i>1705.4.5</i>		Not applicable
5. Batching Plant <sup>4</sup> <i>1705.4.4</i>		Not applicable
6. Formwork Geometry <i>CT 1705.4.3</i>	1 (PE) 2 (EIT)	Review field reports Verify during pre-placement inspections for footings and foundations
7. Concrete Placement' <i>1705.4.4</i>	1 (PE) 2 (ACI)	Review concreting operations with contractor. Review field reports. Verify proper placement techniques.
8. Evaluation of Concrete Strength' <i>1705.4.4</i>	1 (PE) 2 (ACI)	Review test results. Test all structural concrete per specification.
9. Curing and Protection' <i>1705.4.4</i>	1 (PE) 2 (ACI)	Review curing operations with contractor. Review field reports. Verify proper curing methods and times are used.
10. Other		Not Applicable

**Masonry**

Project: Whole Foods Market – Portland, ME

Item	Agent No. (Qualif.)	Scope
1. Material Certification <sup>8</sup> 1705.5	1 (PE)	Review all submittals required by Specification.
2. Mixing of Mortar and Grout <sup>9</sup> 1705.5	1 (PE) 2 (EIT)	Review field reports. Review field operations per Specification.
3. Installation of Masonry <sup>10</sup> 1705.5	1 (PE) 2 (EIT)	Review field reports Inspect per Specifications for proper installation methods and procedures.
4. Reinforcement Installation <sup>11</sup> 1705.5	1 (PE) 2 (EIT)	Review field reports Inspect for proper placement, ensure sizes and spacing are per plans.
5. Grouting Operations <sup>12</sup> 1705.5	1 (PE) 2 (EIT)	Review field reports Verify operations and procedures are per specifications.
6. Weather Protection <sup>13</sup> 1705.5	1 (PE) 2 (EIT)	Review field reports Ensure adequate protection is being provided as per Specifications.
7. Evaluation of Masonry Strength <sup>14</sup> 1705.5	1 (PE) 2 (EIT)	Review field reports Provide testing as per Specifications.
8. Anchors and Ties <sup>15</sup> 1705.5	1 (PE) 2 (EIT)	Review field reports. Inspect for proper placement, ensure types and spacing are per plans.
9. Other		Not applicable

Item	Agent No. (Qualif.)	Scope
1. Fabricator Certification/ Quality Control Procedures <i>1705.2;1705.3.1</i>	1 (PE)	Verify fabricator's quality control program, if not AISC certified.
2. Material Certification <sup>16, 17, 18, 19,</sup> <i>1705.3.2</i>	1 (PE) 2 (EIT)	Review all submittals required by specifications. Field review markings.
3. Open Web Steel Joists	1 (PE) 2 (EIT)	Review manufacturer's submittals. Review field reports. Field review bridging and support attachments.
4. Bolting" <i>1705.3.3.1</i>	1 (PE) 2 (EIT)	Review field reports. All bolts to be visually evaluated. Test per Specifications when visual discrepancies are observed.
5. Welding" <i>1705.3.3.2</i>	1 (PE) 2 (AWS)	Review welding certificates. Review field reports. All welds to be visually evaluated. Test per specifications when visual discrepancies are observed. Ultrasonically test all full-penetration welds.
6. Shear Connectors"	1 (PE) 2 (EIT)	Review field reports. Field test shear connectors using ring test or bend test.
7. Structural Details <i>1705.3.3.3</i>	1 (PE) 2 (EIT)	Review field reports. Field review all framing for quality and conformance to AISC erection and fabrication standards.
8. Metal Deck	1 (PE) 2 (EIT)	Review manufacturers submittals. Review field reports. Field review deck placement, visually inspect deck attachments.
9. Other		Not applicable.

Item	Agent No. (Qualif.)	Scope
1. Member Sizes	1 (PE) 2 (EIT)	Review field reports.  Verify that sizes and spacing of joists, studs, posts, or strapping correspond to drawings.
2. Material Thickness	1 (PE) 2 (EIT)	Review field reports.  Verify that gauge (thickness) of joists, studs, posts, or strapping correspond to drawings.
3. Material Properties	1 (PE) 2 (EIT)	Review manufacturers product data to ensure conformance with ASTM standards cited in Specifications.  Field verify that correct ASTM designations are being used.
4. Mechanical Connections	1 (PE) 2 (EIT)	Review field reports.  Field verify size, type, and number of screws at critical connections.
5. Welding		Not applicable.
6. Framing Details	1 (PE) 2 (EIT)	Review field reports  Field review all framing for quality and conformance to AISC erection and fabrication standards.
7. Other		



**Exterior Insulation & Finish Systems (EIFS)**

Project: Whole Foods Market – Portland, ME

Item	Agent No. (Qualif.)	Scope
1. Material Submittals	1 (PE)	Review all submittals.
2. Condition of Substrate 1705.13	1 (PE)  2 (EIT)	Review field reports.  Verify substrate conforms with drawings. Verify substrate complies with tolerances per specifications.
3. Application of Foam Plastic Board 1705.13	1 (PE)  2 (EIT)	Review Field reports.  Verify application procedures conform with drawings. Verify materials conform with specifications.
4. Application of Coatings 1705.13	1 (PE)  2 (EIT)	Review field reports.  Verify materials and application procedures conform with specifications.
5. Application of Mesh 1705.13	1 (PE)  2 (EIT)	Review field reports  Verify application procedures comply with specifications. Inspect mesh installation at corners and high impact areas. Verify back-wrapping at all insulation start/stop points.
6. Ambient Condition and Curing 1705.13	1 (PE)  2 (EIT)	Review field reports.  Verify conditions are appropriate for application. Verify surfaces are not damp or frozen. Insure curing procedures conform with specifications. Verify finishes are not installed in direct sunlight.
7. Flashing and Joint Details 1705.13	1 (PE)  2 (EIT)	Review field reports  Verify isolation/ expansion/ aesthetic joints conform with drawings. Verify flashing is installed according to drawings.
8. Sealants/Caulks 1705.13	1 (PE)  2 (EIT)	Review field reports  Insure materials conform with specifications. Inspect sealant installation, verify backer –rod installation.
9. Other		Not applicable

**References**

Project: Whole Foods Market – Portland, ME

1. ACI 318-02, *Building Code Requirements for Structural Concrete, Chapter 3.*
2. ACI 318-02, *Building Code Requirements for Structural Concrete, § 7.4, 7.5, 7.6 and 7.7.*
3. ACI 318-02, *Building Code Requirements for Structural Concrete, § 18.18.*
4. ACI 318-02, *Building Code Requirements for Structural Concrete, Chapter 4 and § 5.2, 5.3, 5.4 and 5.8.*
5. ACI 318-02, *Building Code Requirements for Structural Concrete, § 5.9 and 5.10.*
6. ACI 318-02, *Building Code Requirements for Structural Concrete, § 5.6.*
7. ACI 318-02, *Building Code Requirements for Structural Concrete, § 5.11, 5.12 and 5.13.*
8. ACI 530.1 / ASCE 6 / TMS 602 – 02, *Specifications for Masonry Structures, § 2.3.*
9. ACI 530.1 / ASCE 6 / TMS 602 – 02, *Specifications for Masonry Structures, § 2.6.*
10. ACI 530.1 / ASCE 6 / TMS 602 – 02, *Specifications for Masonry Structures, § 3.2.*
11. ACI 530 / ASCE 5 / TMS 402 – 02, *Building Code Requirements for Masonry Structures, Chapter 8*
12. ACI 530.1 / ASCE 6 / TMS 602 – 02, *Specifications for Masonry Structures, § 3.5.*
13. ACI 530.1 / ASCE 6 / TMS 602 – 02, *Specifications for Masonry Structures, § 1.8.*
14. ACI 530.1 / ASCE 6 / TMS 602 – 02, *Specifications for Masonry Structures, § 1.4.*
15. ACI 530 / ASCE 5 / TMS 402 – 02, *Building Code Requirements for Masonry Structures, § 4.2 and 5.14.*
16. AISC ASD – 89, *Specification for Structural Steel Buildings – Allowable Stress Design and Plastic Design, § A3.4 and A3.6.*
17. AISC LRFD – 99, *Load and Resistance Factor Design Specification for Structural Steel Buildings, § A3.3 and A3.5.*
18. ASTM A6 – 01b, *Specification for General Requirements for Rolled Steel Plates, Shapes, Sheet Piling, and Bars for Structural Use.*
19. ASTM A568 – 01, *Specification for Steel Sheet, Carbon and High-Strength, Low-Alloy, Hot-Rolled and Cold Rolled, General Requirements For.*
20. RCSC - 85 (88), *Specification for Structural Joints Using A325 or A490 Bolts, § 9.*
21. AWS D1.1 – 00, *Structural Welding Code – Steel, § 6.*
22. AWS D1.1 – 00, *Structural Welding Code – Steel, § 7.8.*

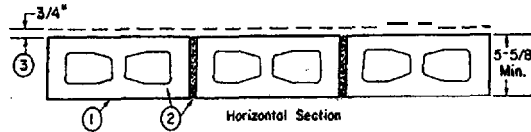
ELEVATOR [156]

WALL ASSEMBLY TYPE M12

SEE DRAWINGS:

A0.03  
A4.02

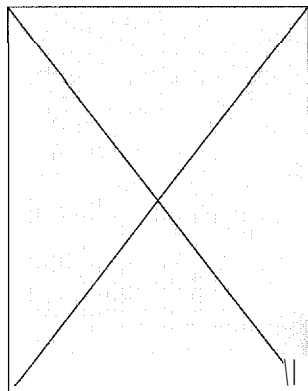
Design No. U906  
Bearing Wall Rating—2 HR.  
Nonbearing Wall Rating—2 HR



FIRE RESISTANCE DIRECTORY (BXRH)

FIRE RESISTANCE RATINGS - ANSI/UL263 (BXUV)—Continued

1. Concrete Blocks—Nominal 6 by 8 by 16 in, hollow or solid.  
Classification D-2 (2 hr).  
Anchor Concrete Products, Inc.  
Florida Rock Industries, Inc.  
Pike Industries Inc., d/b/a Tilcon Whitcomb.  
Westbrook Concrete Block Co. Inc.
2. Mortar—Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
3. Portland Cement Stucco or Gypsum Plaster—Add 1/2 hr to Classification if fused. Attached to concrete blocks (Item 1).
4. Foamed Plastic\*—(Optional-Not Shown)—1-1/2 in. thick max, 4 ft wide sheathing attached to concrete blocks (Item 1).  
Celotex Corp—Type Themax  
Bearing the UL Classification Marking



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a



FIRE RESISTANCE DIRECTORY (BXRH)

FIRE RESISTANCE RATINGS - ANSI/UL263 (BXUV)—Continued

Design No. U465

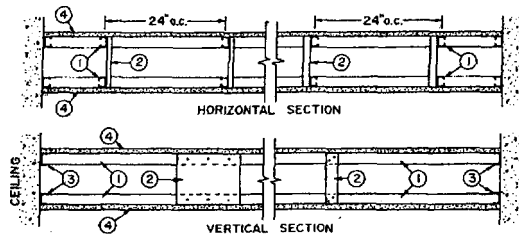
Nonbearing Wall Rating—1 HR.



STAIR #1 [128]

WALL ASSEMBLY TYPE C1

SEE DRAWINGS:

A0.03  
A4.03Design No. U420  
Nonbearing Wall Rating—1 or 2 HR.

1. Studs—Channel—shaped 1 5/8 in. wide with 1 3/8 in. legs and 3/4 in. stiffening flanges, fabricated from No. 25 MSG galv steel. Studs to be cut 1/4 in. less than assembly height.
2. Bracing—Of two types. Type 1—Cut from thh steel runners, 9 1/2 in. long. Fastened to the studs with two No. 8 by 1/2 in. self-drilling, self-lapping steel screws in each stud. Type 2—Cut from the gypsum wallboard 9 1/2 in. Long and 12 in. wide. Fastened to the studs with three Type S wallboardscrews at each end. Vertical spacing of bracing not to exceed 48 in. OC.
3. Floor and Ceiling Runners—Channel—shaped 1 5/8 in. wide with 1 in. legs, fabricated from No. 25 MSG galv steel. Attached to floor and ceiling with fasteners spaced 24 in. OC.
4. Wallboard, Gypsum\*—Any 5/8 in. thick wallboard for fire resistance Classified with beveled, square, or tapered edges.  
For 1 Hr Rating—One layer of wallboard to be used. Applied vertically with joints centered over studs. Fastened to studs with 1 in. long, Type S wallboard screws spaced 8 in. OC at the joints, located 3/8 in. from the edges, and 12 in. OC in the field. fasteners to be spaced 8 in. OC at the runners.  
For 2 Hr Rating—Two layers of wallboard to be used. The inner layer to be applied in the same manner as for the 1 Hr Rating. The outer layer to be fastened to the studs (thru h the inner layer) using 1 5/8 in. long, Type S, wallboard screws spaced 8 in. OC at the joints, located 3/8 in.

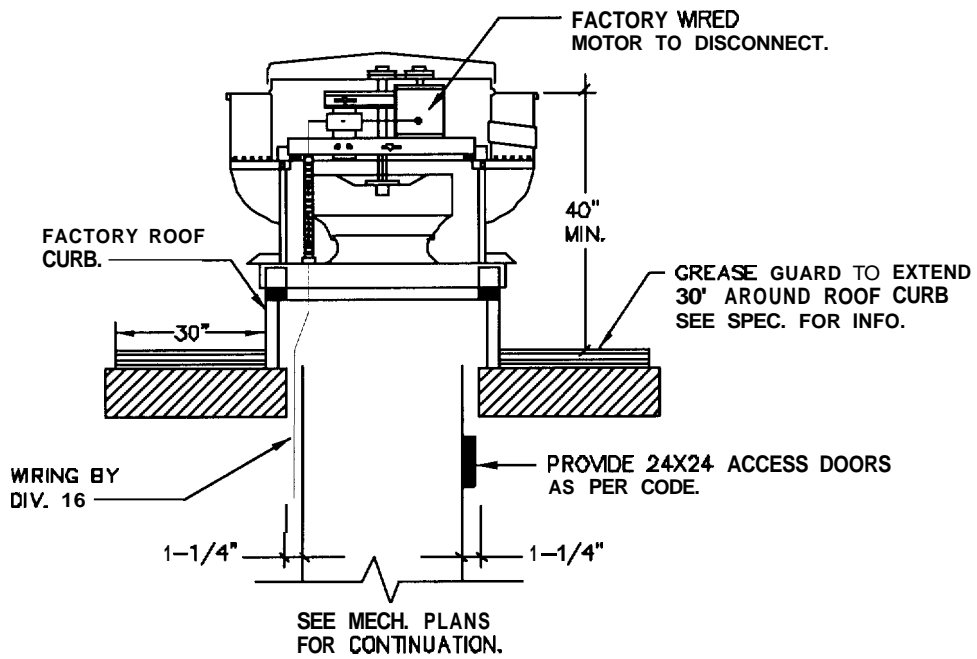
## FIRE RESISTANCE RATINGS \* ANSI/UL263 (BXUV)—Continued

from the edges and 12 in. OC in the field.  
Fasteners to be spaced 8 in. OC at the runners. Joints to be staggered 24 in. from the inner Layer.

See Wallboard, Gypsum (CKN) category for names of manufacturers.

- 4A. Wallboard, Gypsum\*—(As an alternate to Item 4)—Nom 3/4 in. thick, installed as Ascribed in Item 4 with 1-1/4 in. long Type S screws for single (or inner) layer and 2-1/4 in. long Type S screws for outer layer  
Canadian Gypsum Company—Type AR.  
United States Gypsum Co.—Type AR.  
Yeso Panamericano SA de CV—Type AR.
- 4B. Wallboard, Gypsum\*—(k an alternate to Items 4 and 4A)—5/8 in. thick installed as described in Item 4. Joint covering (Item 5) not required for single layer system.  
Canadian Gypsum Company—Type WSX  
United States Gypsum Co.—Type WSX  
Yeso Panamericano SA de CV—Type WSX.
5. Joint Tape and Compound—Vinyl or casein, dry or premixed joint compound applied in two coats to joints and screw heads. Paper tape, 2 in. wide, embedded in first layer of compound over all joints.
6. Batts and Blankets\*—(Optional, not shown) Glass fiber batts may be installed in the interior or wall cavity. The max thickness of the batt shall be 2 1/2 in. for the walls with 2 Hr assembly ratings and 3 1/2 in. for the walls with 1 Hr assembly ratings. Attached to wallboard with wire staples spaced horizontally 12 in. OC and vertically 24 in. OC.  
Certaineed Corp.  
Johns Manville International Inc.  
Owens-Corning Fiberglas Corp.

\*Bearing the UL Classification Marking



**14** **TYPICAL GREASE EXHAUST FAN DETAIL**  
SCALE: N.T.S.

2006 13:12 8005948352  
BY: LINDA MCENIYHE HORTON ;

DOOR CONTROL INC  
361 887 6821 ; MAY-25-06 2:04AM ;

PAGE 02/02  
PAGE 1/2



May 25, 2006

Mark Bickmore  
Door Control, Inc.  
8 Delta Drive Unit D  
Londonderry, NH 03053

Re: Whole Foods Market

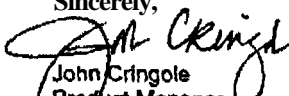
Dear Mr. Bickmore:

This letter shall serve to confirm that Horton Automatics Series 2001 Automatic Sliding Door system is designed and manufactured for compliance with 2003 International Building Code section 1008.1.3.2 Power-operated doors.

Additionally this door system is designed and manufactured for compliance to ANSI A156.10-2006 American National Standard for Power Operated Pedestrian Doors and is approved by Underwriters Laboratories as an Exit Door. See UL file E35294 attached.

If I can be of further assistance please contact me at any time.

Sincerely,

  
John Cringole  
Product Manager



June 8, 2006

Mr. Michael Nugent, Inspections Division Director  
Planning and Development Department, Inspections Division  
389 Congress Street  
Portland, ME 04101

**RE: Plumbing Fixture Count  
Whole Foods Market  
2 Somerset Street  
Portland, Maine  
BL p/n: 04C0829-D**

Dear Mr. Nugent:

In response to your questions regarding the Plumbing Fixture Count, received by e-mail dated May 24, 2006, we offer the following:

Per the Building Code information on Drawing A0.02, the Facility has been classified as a Mercantile Use. The total occupancy for the Facility is calculated to be 1,296 occupants, broken out as follows:

Sales Floor - 1,090 (545/545)  
Seating Area - 145 (73/73)  
Mezzanine Employee Areas - 61 (31/31)

(The numbers in parentheses represent the male/female split.)

Determining the precise number of plumbing fixtures for this Facility is problematic as the Building Use or Occupancy is not specifically listed in Table 4-1, thus requiring some judgment on the part of the Design Professional and separate consideration by the Administrative Authority, as indicated by paragraph 413.4.3 and note #2 of Table 4-1.

If we are to classify the occupancy based on Table 4-1, the closest similar use would be Office or Public Building for the Sales and Employee Areas and Restaurant for the Seating Area. We should be clear that the Seating Area is not a restaurant, as the word is commonly understood, as there is no wait staff, however this is the most appropriate classification for this accessory area that is used for consuming food purchased on the premises based on note #11 to Table 4-1. We



Mr. Michael Nugent  
 Plumbing Fixture Count  
 June 8, 2006  
 Page 2



should also note that the use of this area is typically by customers of the store who have just completed their shopping, and is not necessarily an increase in the overall occupancy of the building. If we use these classifications to calculate fixture requirements from Table 4-1, we get the following:

Area	Water Closets Male/Female	Lavatories Male/Female	Drinking Fountains
Sales Floor	4 WC, 1U / 12 WC	3 / 3	5
Seating Area (143 Occ. 73/73)	2 WC, 1U / 2 WC	1 / 1	0
Mezzanine Employee Area (61 Occ. 31/31)	2 WC, 1U / 3 WC	1 / 1	0

Based on the nature of this type of Mercantile Use, where the occupant's stay in the Facility is generally for a short duration in order to purchase their goods and then return to their place of business or residence, the requirement for plumbing fixtures based on other Public Facilities or Offices where longer duration stays may occur appears excessive. Although the Maine Plumbing Code supercedes Chapter 29 of the International Building Code (2003), the IBC provides what may be a more realistic scenario for this type of Use. By Table 2902.1, the following fixture requirements are obtained:

Area	Water Closets	Lavatories	Drinking
Sales Floor (1090 occ. 545/545)	2 WC, 1U / 2 WC	1 / 1	2
Seating Area (143 Occ. 73/73)	1 wc, 1U / 1 WC	1 / 1	0
Mezzanine Employee Area (61 Occ. 31/31)	2 WC, 1U / 2 WC	1 / 1	0

Area	Water Closets Male/Female	Lavatories Male/Female	Drinking Fountains
Sales Floor (incl. Seating)	2 WC, 1U / 3 WC	2 / 2	2
Mezzanine Employee Area	2 WC, 1U / 3 WC	2 / 2	0

Mr. Michael Nugent  
Plumbing Fixture Count  
June 8, 2006  
Page 3



We trust that this explanation of how we **arrived** at this fixture count is acceptable to both you and the State Plumbing Inspector. Should you have any **further** questions or concerns, or should you feel further discussion regarding this item **is** required, please feel free to contact me **at** any time.

Sincerely,  
**BL COMPANIES**

A handwritten signature in black ink, appearing to read 'Alan H. Rice'.

Alan H. Rice, R.A., NCARB  
Project Manager

Cc: Robert Donnelly, WFM  
Jeff Anderson, **cm&b**  
File

Applicant: **FORMAN ONE 2004 LP** Date: 1/19/06

Address: 160 Fox St

C-B-L: 024-D-001-2

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing Bldgs on site to Be Demolished <sup>see permit #06-0027</sup>

Zone Location - **BS** #06-0026

Interior or corner lot -

Proposed Use/Work - Foundation only for Whole Foods Grocery Store

Sewage Disposal - City

Lot Street Frontage - No min req

Front Yard -

Rear Yard - None req

Side Yard -

Separate permits required for the separate retail/office building

Projections -

Width of Lot - N/A

Height - 65' max - 40' scaled

Lot Area - None req - No min

Lot Coverage/ Impervious Surface - 100% Allowed

Area per Family - N/A

Off-street Parking - None required per zone

Loading Bays - <sup>2 required</sup> 46,000 retail - 3 loading Bays shown

Site Plan - Major # 2004-0225

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 13 Zone C

Note: project approved prior to changes in zoning requiring parking to be 35' from St. lines - (went into effect 03/05)

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 06-0026	<b>Date Applied For:</b> 01/06/2006	<b>CBL:</b> 024 D001001
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<b>Location of Construction:</b> 160 FOX ST	<b>Owner Name:</b> PORMAN <b>ONE</b> 2004 LP	<b>Owner Address:</b> 600 CONGRESS AVE STE 400	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> CM & B Construction Mgmt & Bui	<b>Contractor Address:</b> 6 Kimball Lane Lynnfield	<b>Phone</b> (781) 246-9400
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Foundation Only/Commercial	

<b>Proposed Use:</b> Commercial/ FOUNDATION ONLY -Whole Foods Market Connected w/ Permit #06-0027	<b>Proposed Project Description:</b> FOUNDATION ONLY -Whole Foods Market
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<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Marge Schmuckal	<b>Approval Date:</b> 01/19/2006
<b>Note:</b> demo permit under 06-0027			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> <li>1) This permit is for a FOUNDATION ONLY for the Whole Foods grocery store. Separate permits shall be required for the construction work PRIOR to the commencement of that work.</li> <li>2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</li> <li>3) Separate permits shall be required for any new signage.</li> <li>4) Separate permits are required for the 2nd smaller building to be placed on the site for retail/office space.</li> </ol>			

<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Mike Nugent	<b>Approval Date:</b> 02/07/2006
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> <li>1) Prior to the commencement of construction the fully executed license for the Sewer easement encroachment must do provided to the City.</li> <li>2) Prior to the commencement of construction the persons providing the special inspections must be identified in an amended Statement of Special Inspections.</li> </ol>			

<b>Dept:</b> Fire	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Cptn Greg Cass	<b>Approval Date:</b> 01/16/2006
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> <li>1) Fire Alarm system to comply with NFPA 72</li> <li>2) All building construction top comply with NFPA 101</li> <li>3) Sprinkler system to comply with NFPA 13</li> <li>4) Project requires State Fire Marshals approval.</li> </ol>			

<b>Dept:</b> Fire	<b>Status:</b> Pending	<b>Reviewer:</b> Cptn Greg Cass	<b>Approval Date:</b>
<b>Note:</b>			<b>Ok to Issue:</b> <input type="checkbox"/>
<ol style="list-style-type: none"> <li>1) A fire protection plan needs to be submitted. Showing All access and egress. All fire hydrants within 1500 feet. A Life safety plan will be required building permit approval</li> </ol>			

<b>Dept:</b> DRC	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Rick Knowland	<b>Approval Date:</b> 01/08/2005
<b>Note:</b>			<b>Ok to Issue:</b> <input type="checkbox"/>
<ol style="list-style-type: none"> <li>1) 1. See Planning Division conditions of approval.</li> </ol>			

<b>Dept:</b> Planning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Rick Knowland	<b>Approval Date:</b> 02/08/2005
<b>Note:</b>			<b>Ok to Issue:</b> <input type="checkbox"/>

<b>Location of Construction:</b> 160 FOX ST	<b>Owner Name:</b> PORMAN <b>ONE</b> 2004 LP	<b>Owner Address:</b> 600 CONGRESS AVE <b>STE</b> 400	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> CM & B Construction Mgmt & Bui	<b>Contractor Address:</b> 6 Kimball Lane Lynnfield	<b>Phone</b> (781) 246-9400
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Foundation Only/Commercial	

2. That all exterior signs shall be reviewed and approved by Planning Staff.
3. That a sewer capacity letter substantiating the ability to serve this project shall be obtained from Public Works.
4. That the design plans for all roadway and interesection improvements including the median barrier at the right-in right-out entrance on Somerset Street and the on-site raised island barrier at the Somerset Street driveway shall be reviewed and approved by City Staff.
5. Developer shall contribute \$50,000 toward the cost of Marginal Way improvements and construct a median barrier at the right-in right-out entrance on Somerset Street.
6. Site plan shall be revised for planning **staff** review and approval reflecting a sidewalk along Franklin Street (within the public street right-of-way) that has a straight alignment rather than the curvilinear alignment shown on the plan. Brick sidewalks shall be installed along Franklin Street unless the City's sidewalk policy is changed to allow a different sidewalk material.
7. That a drainage maintenance agreement in the name of the new developer shall be submitted for City staff review and approval.
8. Prior to ordering and installation of the Holophane street light fixtures, Developer shall contact the the Planning Office (Rick Knowland, tel. No. 874-8725) to confirm the appropriate color of the light fixture and pole.
9. Trees within the public sidewalk along Somerset Street and Pearl Street shall be be planted in granite **framed** planters as proposed on the approved plan rather than tree grates.
10. That the public sidewalk along Fox/Somerset Street abutting the outside cafe shall be a minimum seven (7) feet wide at its closest point to the cafe unless otherwise approved in writing by the Planning Division to a lesser width.
11. Unless otherwise approved in writing by the City, the proposed building shall not be located within the City of Portland sewer easement adjacent to Franklin Street. In addition the proposed transformer shall not be located in the City street right-of-way nor the City sewer easerment.
12. Applicant shall address all review comments of ~~the~~ Engineering Review Consultant which shall be submitted to Stephen Bushey for review and approval.
13. The footprint area of the phase 2 retail/office building shall be reserved for that purpose and shall not be used for parking.
14. **An** easement shall be reserved to the City for the **storm** drain that runs through the old rail easement on the site. Said easement shall be submitted for review and approval by public Works. Contact Eric Labelle.

**Comments:**

1/6/2006-ldobson; Per Mike permit taken without funds. Lannie

# City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 06-0667	<b>Date Applied For:</b> 05/05/2006	<b>CBL:</b> 024 D001001
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<b>Location of Construction:</b> 160 FOX ST	<b>Owner Name:</b> PORMAN ONE 2004 LP	<b>Owner Address:</b> 600 CONGRESS AVE STE 400	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> CM & B Construction Mgmt & Buil	<b>Contractor Address:</b> 6 Kimball Lane Lynnfield	<b>Phone</b> (781) 246-9400
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Commercial	

<b>Proposed Use:</b> Commercial Construct a 56,059 sf Super Market (Whole Food Market)	<b>Proposed Project Description:</b> Construct a 56,059 sf Super Market ( Whole Food Market)
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 05/10/2006  
**Note:** 5/10/06 - demo permit of existing bldgs #06-0027 foundation permit under #06-0026      **Ok to Issue:**

- 1) All prior conditions of approval(s) are still in force.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) Separate permits shall be required for any new signage.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Mike Nugent      **Approval Date:** 06/08/2006  
**Note:**      **Ok to Issue:**

- 1) Must provide an amended statement of Statement of Special Inspections that includes a seismic Q/A plan and contractor's statement of responsibility. Prior to covering or closing in.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Cptn Greg Cass      **Approval Date:** 05/10/2006  
**Note:**      **Ok to Issue:**

- 1) Seperate Sprinkler plans shall be submitted to the Portland Fire Dept. for approval
- 2) State Fire Marshall approval required
- 3) Fire alarm system requires a Master Box connection

**Dept:** Fire      **Status:** Pending      **Reviewer:** Cptn Greg Cass      **Approval Date:**      **Ok to Issue:**

**Note:**

- 1) A fire protection plan needs to be submitted.  
 Showing All access and egress.  
 All fire hydrants within 1500 feet.  
 A Life safety plan will be required building permit approval

**Dept:** DRC      **Status:** Approved with Conditions      **Reviewer:** Rick Knowland      **Approval Date:** 01/08/2005  
**Note:**      **Ok to Issue:**

- 1) 1. See Planning Division conditions of approval.

**Dept:** Planning      **Status:** Approved with Conditions      **Reviewer:** Rick Knowland      **Approval Date:** 02/08/2005  
**Note:**      **Ok to Issue:**

<b>Location of Construction:</b> 160 FOX ST	<b>Owner Name:</b> PORMAN ONE 2004 LP	<b>Owner Address:</b> 600 CONGRESS AVE STE 400	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> CM & B Construction Mgmt & Buil	<b>Contractor Address:</b> 6 Kimball Lane Lynnfield	<b>Phone</b> (781) 246-9400
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Commercial	

2. That all exterior signs shall be reviewed and approved by Planning Staff.
3. That a sewer capacity letter substantiating the ability to serve this project shall be obtained from Public Works.
4. That the design plans for all roadway and interesection improvements including the median barrier at the right-in right-out entrance on Somerset Street and the on-site raised island barrier at the Somerset Street driveway shall be reviewed and approved by City Staff.
5. Developer shall contribute \$50,000 toward the cost of Marginal Way improvements and construct a median barrier at the right-in right-out entrance on Somerset Street.
6. Site plan shall be revised for planning staff review and approval reflecting a sidewalk along Franklin Street (within the public street right-of-way) that has a straight alignment rather than the curvilinear alignment shown on the plan. Brick sidewalks shall be installed along Franklin Street unless the City's sidewalk policy is changed to allow a different sidewalk material.
7. That a drainage maintenance agreement in the name of the new developer shall be submitted for City staff review and approval.
8. Prior to ordering and installation of the Holophane street light fixtures, Developer shall contact the the Planning Office (Rick Knowland, tel. No. 874-8725) to confirm the appropriate color of the light fixture and pole.
9. Trees within the public sidewalk along Somerset Street and Pearl Street shall be be planted in granite framed planters as proposed on the approved plan rather than tree grates.
10. That the public sidewalk along Fox/Somerset Street abutting the outside cafe shall be a minimum seven (7) feet wide at its closest point to the cafe unless otherwise approved in writing by the Planning Division to a lesser width.
11. Unless otherwise approved in writing by the City, the proposed building shall not be located within the City of Portland sewer easement adjacent to Franklin Street. In addition the proposed transformer shall not be located in the City street right-of-way nor the City sewer easemernt.
12. Applicant shall address all review comments of the Engineering Review Consultant which shall be submitted to Stephen Bushey for review and approval.
13. The footprint area of the phase 2 retail/office building shall be reserved for that purpose and shall not be used for parking.
14. An easement shall be reserved to the City for the storm drain that runs through the old rail easement on the site. Said easement shall be submitted for review and approval by Public Works. Contact Eric Labelle.

**Comments:**

5/24/2006-mjn: The follow was emailed to the design professional:

- 1) Need UL listing w/ ratings and specs for your fire separation assemblies
- 2) On page M7.01, detail 9, that is not to scale, make sure that all food service related exhaust fans terminate 40 inches above the roof surface (506.3.12.1 2003 IMC).
- 3) Please provide information establishing compliance with Section 1008.1.3.3 Horizontal Sliding Doors
  - 1) I spoke with the State Plumbing Inspector and we discussed the total number of Toilets and Lavs. Can you provide a 2000 UPC ustification for the number of toilets proposed?
- 5) The statement of Special Inspections is incomplete as it omits a Seismic Q/A plan and the contracotrs statement of responsibility. Also please review the remainder of Chapter 17, there are a number of additional things that are subject to S/I as this is a "D" seismic project.
- 5) Looking for documentation that the Steel will conform to ASCI 341 part I or II as this is a "D" Seismic project.

<b>Location of Construction:</b> 160 FOX ST	<b>Owner Name:</b> PORMAN ONE 2004 LP	<b>Owner Address:</b> 600 CONGRESS AVE STE 400	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> CM & B Construction Mgmt & Buil	<b>Contractor Address:</b> 6 Kimball Lane Lynnfield	<b>Phone</b> (781) 246-9400
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Commercial	
5/25/2006-l Dobson: PDF received with application			



**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 06-0667	<b>Date Applied For:</b> 05/05/2006	<b>CBL:</b> 024 D001001
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<b>Location of Construction:</b> 160 FOX ST	<b>Owner Name:</b> PORMAN ONE 2004 LP	<b>Owner Address:</b> 600 CONGRESS AVE STE 400	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> CM & B Construction Mgmt & Buil	<b>Contractor Address:</b> 6 Kimball Lane Lynnfield	<b>Phone</b> (781) 246-9400
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Commercial	

<b>Proposed Use:</b> Commercial Construct a 56,059 sf Super Market (Whole Food)	<b>Proposed Project Description:</b> Construct a 56,059 sf Super Market ( Whole Food Market)
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 05/10/2006  
**Note:** 5/10/06 - demo permit of existing bldgs #06-0027 foundation permit under #06-0026      **Ok to Issue:**

- 1) All prior conditions of approval(s) are still in force.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) Separate permits shall be required for any new signage.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Mike Nugent      **Approval Date:** 06/08/2006  
**Note:**      **Ok to Issue:**

- 1) Must provide an amended statement of Statement of Special Inspections that includes a seismic Q/A plan and contractor's statement of responsibility. Prior to covering or closing in.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Cptn Greg Cass      **Approval Date:** 05/10/2006  
**Note:**      **Ok to Issue:**

- 1) Seperate Sprinkler plans shall be submitted to the Portland Fire Dept. for approval
- 2) State Fire Marshall approval required
- 3) Fire alarm system requires a Master Box connection

**Dept:** Fire      **Status:** Pending      **Reviewer:** Cptn Greg Cass      **Approval Date:**      **Ok to Issue:**

**Note:**

- 1) A fire protection plan needs to be submitted.  
Showing All access and egress.  
All fire hydrants within 1500 feet.  
A Life safety plan will be required building permit approval

**Dept:** DRC      **Status:** Approved with Conditions      **Reviewer:** Rick Knowland      **Approval Date:** 01/08/2005  
**Note:**      **Ok to Issue:**

- 1) 1. See Planning Division conditions of approval

**Dept:** Planning      **Status:** Approved with Conditions      **Reviewer:** Rick Knowland      **Approval Date:** 02/08/2005  
**Ok to Issue:**

<b>Location of Construction:</b> 160 FOX ST	<b>Owner Name:</b> PORMAN ONE 2004 LP	<b>Owner Address:</b> 600 CONGRESS AVE STE 400	<b>Phone:</b>
<b>business Name:</b>	<b>Contractor Name:</b> CM & B Construction Mgmt & Buil	<b>Contractor Address:</b> 6 Kimball Lane Lynnfield	<b>Phone</b> (781)246-9400
<b>lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Commercial	

- 1) 1. That deeds for the widening of Somerset Street and easements or conveyance deeds for the sidewalk along Pearl Street and Somerset Street shall be submitted for Corporation Counsel review and approval.
2. That all exterior signs shall be reviewed and approved by Planning Staff.
3. That a sewer capacity letter substantiating the ability to serve this project shall be obtained from Public Works.
4. That the design plans for all roadway and intersection improvements including the median barrier at the right-in right-out entrance on Somerset Street and the on-site raised island barrier at the Somerset Street driveway shall be reviewed and approved by City Staff.
5. Developer shall contribute \$50,000 toward the cost of Marginal Way improvements and construct a median barrier at the right-in right-out entrance on Somerset Street.
6. Site plan shall be revised for planning staff review and approval reflecting a sidewalk along Franklin Street (within the public street right-of-way) that has a straight alignment rather than the curvilinear alignment shown on the plan. Brick sidewalks shall be installed along Franklin Street unless the City's sidewalk policy is changed to allow a different sidewalk material.
7. That a drainage maintenance agreement in the name of the new developer shall be submitted for City staff review and approval.
8. Prior to ordering and installation of the Holophane street light fixtures, Developer shall contact the the Planning Office (Rick Knowland, tel. No. 874-8725) to confirm the appropriate color of the light fixture and pole.
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12. Applicant shall address all review comments of the Engineering Review Consultant which shall be submitted to Stephen Bushey for review and approval.
13. The footprint area of the phase 2 retail/office building shall be reserved for that purpose and shall not be used for parking.
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**Comments:**

5/24/2006-mjn: The follow was emailed to the design professional:

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- 2) On page M7.01, detail 9, that is not to scale, make sure that all food service related exhaust fans terminate 40 inches above the roof surface (506.3.12.1 2003 IMC).
- 3) Please provide information establishing compliance with Section 1008.1.3.3 Horizontal Sliding Doors
- 4) I spoke with the State Plumbing Inspector and we discussed the total number of Toilets and Lavs. Can you provide a 2000 UPC justification for the number of toilets proposed?
- 5) The statement of Special Inspections is incomplete as it omits a Seismic Q/A plan and the contracotrs statement of responsibility. Also please review the remainder of Chapter 17, there are a number of additional things that are subject to S/I as this is a "D" seismic project.
- 6) Looking for documentation that the Steel will conform to ASCI 341 part I or II as this is a "D" Seismic project.

<b>Location of Construction:</b> 160 FOX ST	<b>Owner Name:</b> PORMAN ONE 2004 LP	<b>Owner Address:</b> 600 CONGRESS AVE STE 400	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> CM & B Construction Mgmt & Buil	<b>Contractor Address:</b> 6 Kimball Lane Lynnfield	<b>Phone</b> (781) 246-9400
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Commercial	