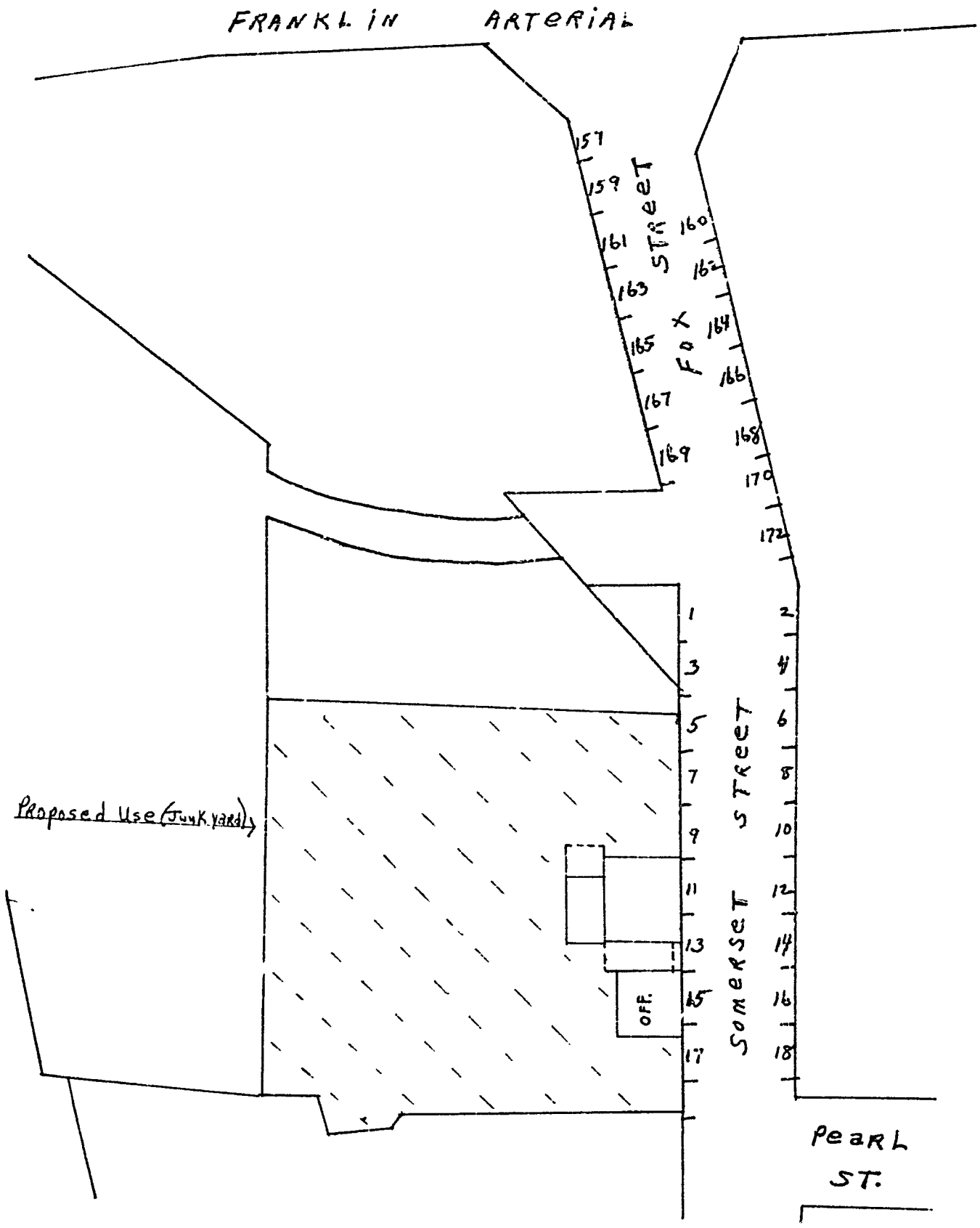

5-17 SOMERSET STREET


FRANKLIN ARTERIAL
FOX STREET
SOMERSET STREET
PEARL ST.
Proposed Use (Junk yard)
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May 7, 1980

E. Perry Iron & Metal Company
115 Lancaster Street
Portland, Maine

cc to: David Hirshon
85 Exchange Street
Portland, Maine

Dear Sirs:

Following is the decision of the Board of Appeals regarding your petition to continue the use (storage of scrap metal) at the above named location. Please note that your appeal was denied.

Very truly yours,

Malcolm G. Ward
Building Inspection
Supervisor

MGW/t

April 14, 1980

5-17 Somerset Street

E. Perry Iron & Metal Co.
115 Lancaster St.
Portland, Me.

c.c. David Hirshon, Attorney
85 Exchange St.
Portland, Me.

Dear Sir:

Building permit and certificate of occupancy to continue the use (storage of scrap metal) at the above named location, are not issuable under the Zoning Ordinance because such a use is not permitted under Sec. 602.12.A 3 of the Ordinance applying to the I-2 Industrial Zone in which this property is located.

As per our file, the use, junk yard, was terminated on November 14, 1962, permit number 01519, therefore, this use is not grandfathered.

We understand that you would like to exercise your appeal rights in this matter. Accordingly, you or your authorized representative should come to this office, room 317, City Hall, to file the appeal on forms which are available here. A fee of $25. for a Use Variance Appeal shall be paid at this office at the time the appeal is filed. If fee has been paid, and appeal filed prior to this letter, then consider this letter as a matter of formality, Sec. 602.24.C.3.b.3

Very truly yours,

Malcolm G. Ward
Building Inspection Supervisor

MGW:k

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION .....

ZONING LOCATION _____ PORTLAND, MAINE, April 10, 1980

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 5-17 Somerset Street ..... Fire District #1 ☐, #2 ☐

1. Owner's name and address E. Perry Iron & Metal Co-115 Lancaster St. Telephone 775-3181
2. Lessee's name and adddress ..... Telephone .....
3. Contractor's name and address ..... Telephone .....
4. Architect ..... Specifications ..... Plans ..... No. of sheets .....

Proposed use of building & Land storage of scrap metal ..... No. families .....

Last use ..... No. families .....

Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....

Other buildings on same lot .....

Estimated contractural cost $..... Fee $.....

FIELD INSPECTOR—Mr. ..... GENERAL DESCRIPTION 25.00 appeal fee pd. 1-17-80

This application is for: @ 775-5451

Dwelling ..... Ext. 234

Garage .....

Masonry Bldg. .....

Metal Bldg. .....

Alterations .....

Demolitions .....

Change of Use .....

Other .....

1 Storage of scrap metal
(Use Variance)

Appeal Denied 5-1-80

Stamp of Special Conditions

This application is preliminary to not solved the question of zoning appeal. In the event appeal is successful the applicant will furnish complete information, estimated cost and pay fee.

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 ☐ 2 ☐ 3 ☐ 4 ☐

Other: .....

DETAILS OF NEW WORK

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ..... bottom ..... cellar .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor ....., 2nd ....., 3rd ....., roof .....

On centers: 1st floor ....., 2nd ....., 3rd ....., roof .....

Maximum span: 1st floor ....., 2nd ....., 3rd ....., roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

IF A GARAGE

No. cars now accommodated on same lot ...., to be accommodated ... number commercial cars to be accommodated ...

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY:	*DATE*	MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER		Will work require disturbing of any tree on a public street? ..
ZONING:		
BUILDING CODE:		Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .....
Fire Dept.:		
Health Dept.:		
Others:		

Signature of Applicant David Hunter ..... Phone # same .....

Type Name of above E. Perry Iron & Metal Co. ..... 1 ☒ 2 ☐ 3 ☐ 4 ☐

Other .....

and Address .....

FIELD INSPECTOR'S COPY

May 7, 1980

E. Perry Iron & Metal Company
115 Lancaster Street
Portland, Maine

cc to: David Hirshon
85 Exchange Street
Portland, Maine

Following is the decision of the Board of Appeals regarding your petition to establish the use (pre-packaged scrap metal) at the above named location. Please note that your appeal was denied.

Very truly yours,

Malcolm G. Ward
Building Inspections
Supervisor

MGW/t

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION .....

ZONING LOCATION _____ PORTLAND, MAINE, April 10, 1980

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION .....5-17 Somerset Street..... Fire District #1 ☐, #2 ☐

1. Owner's name and address .....E.Perry Iron & Metal Co.115 Lancaster St. Telephone ..775-3181
2. Lessee's name and adddress ..... Telephone .....
3. Contractor's name and address ..... Telephone .....
4. Architect ..... Specifications ..... Plans ..... No. of sheets .....

Proposed use of building .storage of pre-packaged scrap metal..... No. families .....

Last use ..... No. families .....

Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....

Other buildings on same lot .....

Estimated contractural cost $..... Fee $.....

FIELD INSPECTOR—Mr. ..... @ 775-5451 Ext. 234

This application is for:

Dwelling .....

Garage .....

Masonry Bldg. .....

Metal Bldg. .....

Alterations .....

Demolitions .....

Change of Use .....

Other .....

GENERAL DESCRIPTION

25.00 appeal fee
pd. 1-17-80

Storage of pre-packaged scrap metal
(Interpetaion Appeal)

Appeal Denied 5-1-80

Stamp of Special Conditions

This applicant's appeal is ... [illegible] the question of zoning appeal ... [illegible] complete information, ... [illegible] fee.

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1☐ 2☐ 3☐ 4☐

Other: .....

DETAILS OF NEW WORK

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ..... bottom ..... cellar .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor ....., 2nd ....., 3rd ....., roof .....

On centers: 1st floor ....., 2nd ....., 3rd ....., roof .....

Maximum span: 1st floor ....., 2nd ....., 3rd ....., roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

IF A GARAGE

No. cars now accommodated on same lot ...., to be accommodated ... number commercial cars to be accommodated ...

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY: *DATE*

BUILDING INSPECTION—PLAN EXAMINER .....

ZONING: .....

BUILDING CODE: .....

Fire Dept.: .....

Health Dept.: .....

Others: .....

MISCELLANEOUS

Will work require disturbing of any tree on a public street? ..

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .....

Signature of Applicant David Hale ..... Phone # ....same.....

Type Name of above ..E. Perry Iron & Metal Co. .... 1☐ 2☐ 3☐ 4☐

Other .....

and Address .....

FIELD INSPECTOR'S COPY

Al- 9 Somerset Street

Feb. 11, 1963

Mr. King Hutland
163 Maine Avenue

cc to: Raymond Harmon
9 Somerset Street

Dear Mr. Hutland:

Permit to change out two existing 8 foot doors and change to 18 foot door and to strengthen roof as per plan received with application is being issued subject to compliance with the following:

1. At your request the knees to strengthen the roof framing may be notched over a 2x8 inch rib band securely lagged screwed to the wall frame rather than to set on headers cut between the studs.

2. It is understood as per the discussion with Mr. Harmon today that there is to be no storage or other loads supported on the 4x10 inch ties at the second floor level except the heater which was recently installed.

Very truly yours,

Gerald E. Bayberry
Deputy Building Inspection Director

GEB:m

INDUSTRIAL ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

Class of Building or Type of Structure Third Class

Portland, Maine, February 5, 1963

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 9 Somerset Street Within Fire Limits? _____ Dist. No. _____

Owner's name and address Raymond Harmon, 9 Somerset St. Telephone _____

Lessee's name and address _____ Telephone _____

Contractor's name and address King Butland, 163 Maine Ave. Telephone _____

Architect _____ Specifications _____ Plans yes No. of sheets 1

Proposed use of building Storage garage No. families _____

Last use " No. families _____

Material frame No. stories 1 Heat _____ Style of roof flat Roofing _____

Other buildings on same lot _____

Estimated cost $ 1500. Fee $ 6.00

General Description of New Work

To change out two existing 8' doors to 18' door as per plan

To Strengthen roof as per plan.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Butland

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____

Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED: G.E. Ge. w/ letter

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Raymond Harmon

CS 301

INSPECTION COPY

Signature of owner By: King Butland

Pt

Permit No. 63/125

Location 9 Somerset St

Owner Raymond Hanson

Date of permit 27/11/63

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

27/11/63 Permit issued - [illegible]

MEMORANDUM FROM DEPARTMENT OF BUILDING INSPECTION, PORTLAND, MAINE

Location: 9 Somerset St.

Before tanks and piping are covered from view, installer is required to notify the Fire Dept. Headquarters of readiness for inspection and to refrain from covering up until approved by the Fire Dept. Headquarters

These tanks of (2) 1000 gallons capacity are required to be of steel or wrought iron no less in thickness than #7 gauge; and before installation are required to be protected against corrosion, even though galvanized, by two coats of tar, asphaltum, or other suitable rust-resisting paint, and special protection wherein corrosive soil such as cinders or the like.

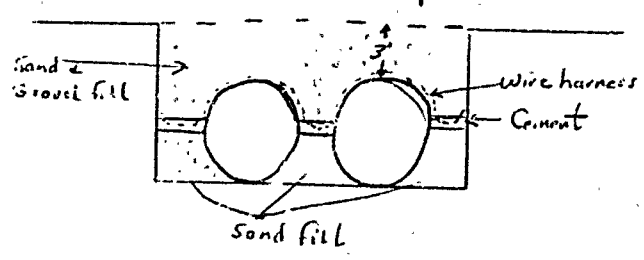
Pipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double swing joints arranged to permit the tank to settle without impairing the efficiency of the pipe connections.

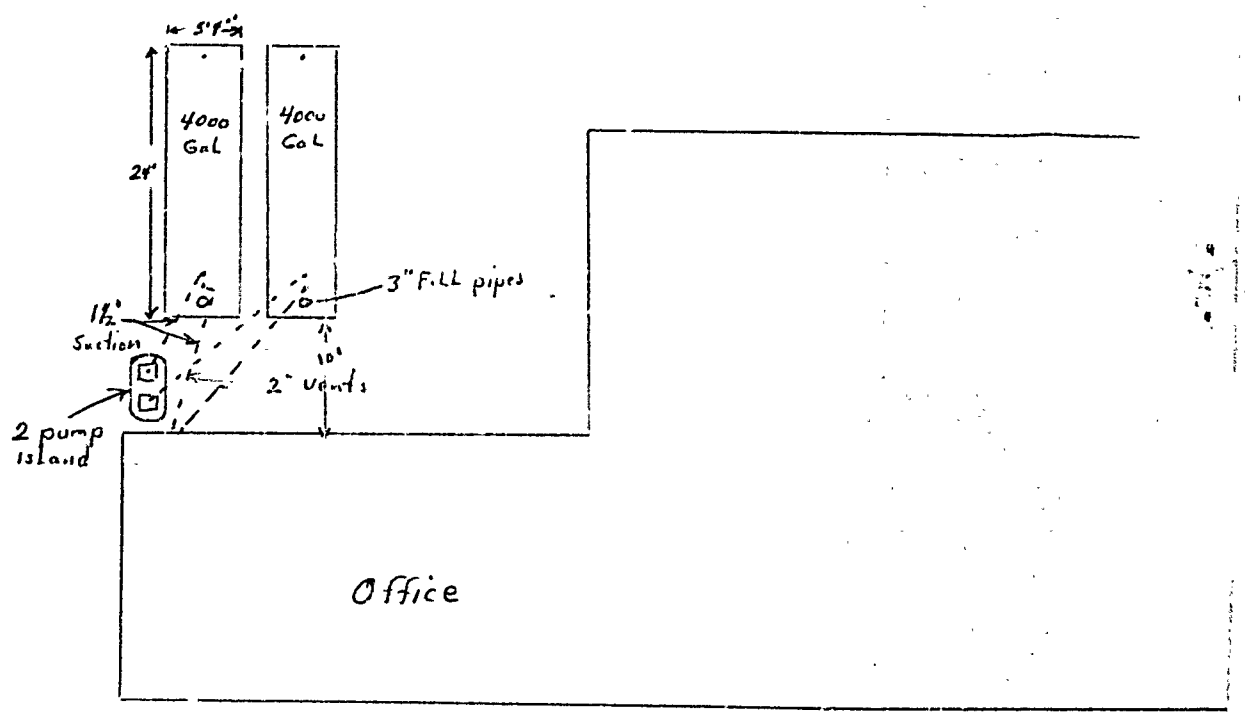
Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

If tank will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.

Owner
Sun Oil Co.
Contractor
Les Wilson & Sons

Method of Anchoring Tanks





No 9 Somerset St.

I-2 INDUSTRIAL ZONE

PERMIT ISSUED
FEB 4 1963
CITY of PORTLAND

APPLICATION FOR PERMIT

Class of Building or Type of Structure Installation

Portland, Maine, January 31, 1963

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 9 Somerset St. Within Fire Limits? ..... Dist. No. .....

Owner's name and address Sun Oil Co. 93 Kensington St. Telephone .....

Lessee's name and address Raymond A Harmon 121 Jeanne St. Telephone .....

Contractor's name and address Les Wilson & Sons, 360 Cumberland St. Westbrook Telephone UL-4-4583

Architect ..... Specifications ..... Plans yes No. of sheets 1

Proposed use of building ..... No. families .....

Last use ..... No. families .....

Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....

Other buildings on same lot .....

Estimated cost $ ..... Fee $ 2.00

General Description of New Work

To install (2) -4000 gallon fuel and diesel outside underground storage tanks.
Size of piping from tank to pump-1½" (for private use.)
" vent pipe 2"

Tanks bear Underwriters Label.
Tank will be buried 3' underground and covered with asphaltum.

Sent to Fire Dept. 1/31/63
Rec'd from Fire Dept. 2/4/63

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO***

Details of New Work

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ..... bottom ..... cellar .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor ....., 2nd ....., 3rd ....., roof .....

On centers: 1st floor ....., 2nd ....., 3rd ....., roof .....

Maximum span: 1st floor ....., 2nd ....., 3rd ....., roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

If a Garage

No. cars now accommodated on same lot ....., to be accommodated ..... number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVED:

Carl F. Johnson
CHIEF OF FIRE DEPT.

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Les Wilson & Sons

by: L. Wilson

CS 301

INSPECTION COPY *Signature of owner* .....

7M

Permit No. 63/1037

Location 9 Emerald Dr.

Owner Thomas A. Hannen

Date of permit 7/4/63

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

2/19/63 - Not yet installed
Allen

3/15/63 - Same - Allen

4/16/63 - All installed -
Allen

I-2 INDUSTRIAL ZONE

PERMIT ISSUED
01519
NOV 14 1962
CITY of PORTLAND

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third C lass

Portland, Maine, November 13, 1962

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 9 Somerset St. Within Fire Limits? ..... Dist. No. .....

Owner's name and address R A Harmon Trucking Company 9 Somerset St. Telephone 7-7691

Lessee's name and address ..... Telephone .....

Contractor's name and address B G Pride Oil Co.543 Main St.Westbrook Me. Telephone .....

Architect ..... Specifications ..... Plans no ..... No. of sheets .....

Proposed use of building ~~Storage Garage~~ Office of Trucking Co. No. families .....

Last use Garage for Junk Yard No. families .....

Material frame No. stories 1 Heat ..... Style of roof ..... Roofing .....

Other buildings on same lot .....

Estimated cost $ 100.00 Fee $ 2.00

General Description of New Work

To erect "prefab chimney"

Type of heat and fuel-forced warm air-oil
Make-Van Packer 10"-type M
Supported on frame of building.
No clean out fitting to be used.

11/14/62- Mr. Harmon says that he is to use only area previously used for garage by Sontar Co. to house and grease trucks, operations which formerly were carried on there. EJ

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ..... bottom ..... cellar .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor ....., 2nd ....., 3rd ....., roof .....

On centers: 1st floor ....., 2nd ....., 3rd ....., roof .....

Maximum span: 1st floor ....., 2nd ....., 3rd ....., roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

If a Garage

No. cars now accommodated on same lot ....., to be accommodated ..... number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVED:
11/14/62-OK-AGS

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

B G Pride Oil Company

CS 301

INSPECTION COPY

Signature of owner by: E H Stuling

714

14/13

Permit No. 62/1519

Location 9 Somerset St.

Owner R. A. Harman Heating Co.

Date of permit 11/14/62

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

12/17/62 - All installed - Allen

FILL IN AND SIGN WITH INK

PERMIT No. 01520
NOV 14 1962
CITY of PORTLAND

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, November 13, 1962

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 9 Somerset St. Use of Building ~~Storage Garage~~ Hdqtrs. of trucking company No. Stories 1 New Building Existing "

Name and address of owner of appliance R A Harmon - Trucking Company, 9 Somerset St.

Installer's name and address B G Pride Oil Co. 543 Main St. Westbrook Maine Telephone U1*4-2595

General Description of Work

To install Forced warm air heating system and oil burning equipment (replacement)

IF HEATER, OR POWER BOILER

Location of appliance ~~under 1st floor ceiling~~ Any burnable material in floor surface or beneath? dirt

If so, how protected? Kind of fuel? oil

Minimum distance to burnable material, from top of appliance or casing top of furnace 3'

From top of smoke pipe 2' From front of appliance over 4' From sides or back of appliance over 3'

Size of chimney flue 10" prefab chimney Other connections to same flue none

If gas fired, how vented? Rated maximum demand per hour

Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner Lennox-guntype Labelled by underwriters' laboratories? yes

Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom

Type of floor beneath burner dirt Size of vent pipe 1½"

Location of oil storage first floor-existing Number and capacity of tanks 275 existing

Low water shut off Make No.

Will all tanks be more than five feet from any flame? yes How many tanks enclosed?

Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?

If so, how protected? Height of Legs, if any

Skirting at bottom of appliance? Distance to combustible material from top of appliance?

From front of appliance From sides and back From top of smokepipe

Size of chimney flue Other connections to same flue

Is hood to be provided? If so, how vented? Forced or gravity?

If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Model OSH 6490
8' above floor
11-14-62 Installer says unit is labelled and carries Underwriters Label. VTHA

Amount of fee enclosed? 2.00 ($2.00 for one heater, etc., $1.00 additional for each additional heater, etc., in same building at same time.)

APPROVED: OK. 11-13-62 VTHA

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

B. G. Pride Oil Company

by: E. F. Stubing

Signature of Installer

CS 300

INSPECTION COPY

11-20

Permit No. 04/1520

Location Gilmanton Rd.

Owner P.O. Northeast Trucking Co

Date of permit 11/14/62

Approved 11-28-62

NOTES

11-28-62 This is a transmitter unit, supplied in different size wooden housing unit to this location with one and found the one which was more than large enough to carry the 1035 lb. load.

RMW

I-2 INDUSTRIAL ZONE

PERMIT ISSUED
01581
OCT 11 1957
CITY OF PORTLAND

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, Oct. 8, 1957

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect alter repair demolish install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 9 Somerset St. Within Fire Limits? ..... Dist. No. .....

Owner's name and address Joseph Soutar Company, 9 Somerset St. Telephone .....

Lessee's name and address ..... Telephone .....

Contractor's name and address Henry Norden, 50 Lambert Ave. Telephone 2-8908

Architect ..... Specifications ..... Plans ..... No. of sheets .....

Proposed use of building Storage Shed, Office & Scale House No. families .....

Last use " " " " " No. families .....

Material frame No. stories 1 Heat ..... Style of roof flat Roofing Asphalt

Other building on same lot .....

Estimated cost $ 500.00 Fee $ 2.00

General Description of New Work

To take out existing sliding door 12' high.
To put in overhead door 16' high. with 6x8 header underneath roof timbers.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** contractor

Details of New Work

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ..... bottom ..... cellar .....

Material of underpinning ..... Height ..... Thickness .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Kind and thickness of outside sheathing of exterior walls? .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor ....., 2nd ....., 3rd ....., roof .....

On centers: 1st floor ....., 2nd ....., 3rd ....., roof .....

Maximum span: 1st floor ....., 2nd ....., 3rd ....., roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

If a Garage

No. cars now accommodated on same lot....., to be accommodated.....number commercial cars to be accommodated.....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVED:
O.K.-10/11/57-A.J.S.

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Jos. Soutar Company
Henry Norden.

Signature of owner by: Henry Norden

INSPECTION COPY

Permit No. 57/1581

Location 9 Somerset St.

Owner Joseph Sautar Company

Date of permit 10/11/57

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

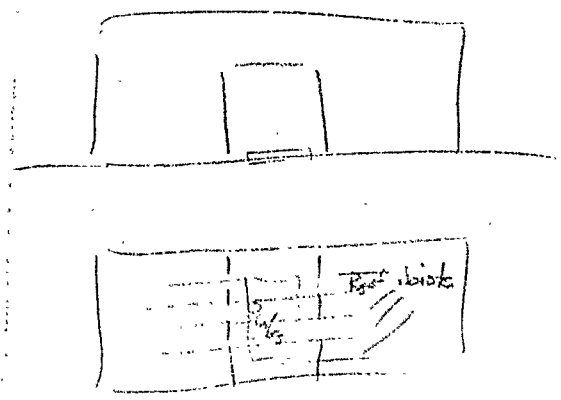
10/21/57 - Called

9 Somerset 10/11/57

6x8 Dr. Hem 13' span

4x13x15 = 780
2908 X 1/100

Fire Dist 1 A



PERMIT ISSUED
MAY 1953
CITY of PORTLAND

APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1

Portland, Maine, May 6, 1953

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 53/542 *pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:*

Location 9 Somerset St. Within Fire Limits? no Dist. No.

Owner's name and address Joseph Souter, 9 Somerset St. Telephone

Lessee's name and address Telephone

Contractor's name and address ~~xxxxx~~ C. DiBiase Co., 551 Congress St. Telephone

Architect Telephone

Proposed use of building To house cutting shears Plans filed ~~yes~~ No. of sheets 1

Last use No. families

Increased cost of work 300. No. families

Additional fee 1.00

Description of Proposed Work

To provide ~~concrete~~ cinder block/walls and roof (wooden) over existing foundation, 12' x ~~24'~~ 18', as per plans ~~Concrete block walls 8" thick 6' high and using 8" cinder~~

Permit Issued with Letter

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation existing Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof flat Rise per foot Roof covering Asphalt and stone

No. of chimneys Material of chimneys

Framing lumber—Kind Dressed or full size? of lining

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor existing, 2nd, 3rd, roof 2x6

On centers: 1st floor, 2nd, 3rd, roof 24"

Maximum span: 1st floor, 2nd, 3rd, roof 6' 4x6 through Joseph Soutar center

Approved:
with letter of 5/8/53

Signature of Owner by: Charles A. LaCombe

INSPECTION COPY

Approved: 5/8/53

Inspector of Buildings

AP 9 Somerset St.

May 25, 1953

C. DiBiase Company,
551 Congress St.,
Portland, Maine

Copy to: Joseph Soutar Co.,
9 Somerset St.

Gentlemen:

Building permit for constructing a concrete block building 12 feet by 18 feet on the existing foundation for cutting shears at 9 Somerset Street is issued herewith based on the revised plan filed May 22, 1953, but subject to the following conditions:

1. The parapet wall on the end of the building close to the lot line is to project at least but not more than 32 inches above the surface of the roof since the 32 inch height is the maximum allowable for an 8 inch masonry wall unless reinforcement is provided.

2. Strap iron anchors at least 1½ inches by 3/8 inches by 16 inches long are to be provided on the bottoms of the roof timbers at intervals of not over eight feet. Where the roof timbers run parallel to the walls, the anchors are required to be long enough to fasten into three timbers.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/H

Joseph Soutar Co.,

Gentlemen:

The permit issued to C. DiBiase Co., is issued without knowledge as to what kind of an operation the cutting shears may be as regards any adverse defects upon the neighborhood. The permit is issued, however, without prejudice as to whether or not the operation of the cutting shears may prove, in the terms of the Zoning Ordinance, injurious, noxious or offensive to a neighborhood by reason of the emission of odor, fumes, dust, smoke, vibration or noise or other cause. Though the property is located in an Industrial Zone, the Zoning Ordinance forbids any operation so injurious, noxious or offensive.

It is my impression that you have had those cutting shears in operation for some time, but in case of complaint of injury or offense to the neighbor... the question would arise whether or not you had the cutting shears in operation in the same location in 1938, when the Zoning Ordinance was adopted.

Very truly yours,

Amendment #1
9 Somerset St.

May 8, 1953

Joseph Soutar Co.
9 Somerset St.

Gentlemen:-

We are unable to issue amendment #1 to Permit #53/542 for construction of a concrete block building on the foundation for cutting shears at 9 Somerset St. because the information furnished with the application for amendment is insufficient to show compliance with Building Code requirements. It is necessary that a plan be furnished showing information to indicate compliance with such requirements, the plan to be in the form of a blueprint with all of the information thereon printed from the original and bearing the name of the maker.

Some of details which need to be shown are as follows:-

1. Any wall which is to be closer than five feet to a lot line is required to extend 32 inches above the surface of the roof and any windows in such a wall are required to be metal sash and wire glass.

2. Windows and doors in any wall of the building which will be closer than 30 feet to openings in any other building are required to be fire windows and doors.

3. Size and anchorage of wood plate on top of walls need to be shown and, where rafters are to extend into the wall, fire cuts and anchors on bottom of roof timbers must be indicated.

4. Plan of roof framing is needed. If a 4x6 girder through center of roof is to be used, size, number, and location of supporting posts must be indicated.

5. Size and material of lintels over any openings in the walls need to be indicated and, if any of these openings are to be over four feet wide, the plan will need to bear the statement of design of the person responsible for determining the size of lintels required.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/G

0314

(4) INDUSTRIAL ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
00522
APR 16 1953
CITY OF PORTLAND

Class of Building or Type of Structure _____

Portland, Maine, April 15, 1953

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~alter repair demolish~~ install the following building ~~structure equipment~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 9 Somerset St. Within Fire Limits? yes Dist. No. _____

Owner's name and address Joseph Soutar, 9 Somerset St. Telephone _____

Lessee's name and address _____ Telephone _____

Contractor's name and address DiMillo Construction Co., 78 Read St. Telephone 4-6432

Architect _____ Specifications _____ Plans yes No. of sheets 1

Proposed use of building _____ No. families _____

Last use _____ No. families _____

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost $ 750. Fee $ ~~2.00~~ 4.00

General Description of New Work

To remove existing foundation for cutting shears and construct new reinforced concrete foundation for cutting shears as per plan.

Permit Issued with Letter

CERTIFICATE OF OCCUPANCY REQUIREMENT IN W. B. ST.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** DiMillo Construction Co.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Joseph Soutar
DiMillo Construction Co.

Signature of owner by: [signature]

INSPECTION COPY

Permit No. 53/542
Location 9 Pinewood Ave.
Owner Pinewood Circle
Date of permit 4/16/53
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 6-17-53
Cert. of Occupancy issued

NOTES

6-3-53 General condition of the [illegible] is good. [illegible] 7/2/53 - [illegible] about anchors. - [illegible]
7-16-53. Work called in - letter not done. Left work for Mr. Bisso to call. [illegible]
7-17-53 Mr. Bisso called again to have written in letter. July 30th taken care of by Aug. 3rd. [illegible]
8-5-53 Not done. Mr. Bisso again to do it this week. Nails to be removed from all anchors and replaced by screws. Do same better & do this and get a well anchored job as it then serves anchors for correct size. [illegible]
8-19-53. Anchors have been removed O.K. [illegible]

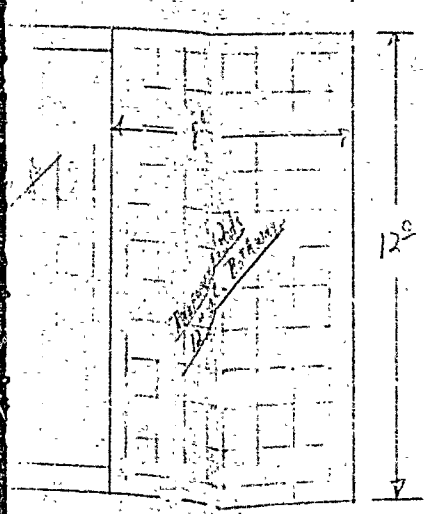
5/22/53 - ACTUALLY CONSTRUCTED IN THIS POSITION - [illegible]

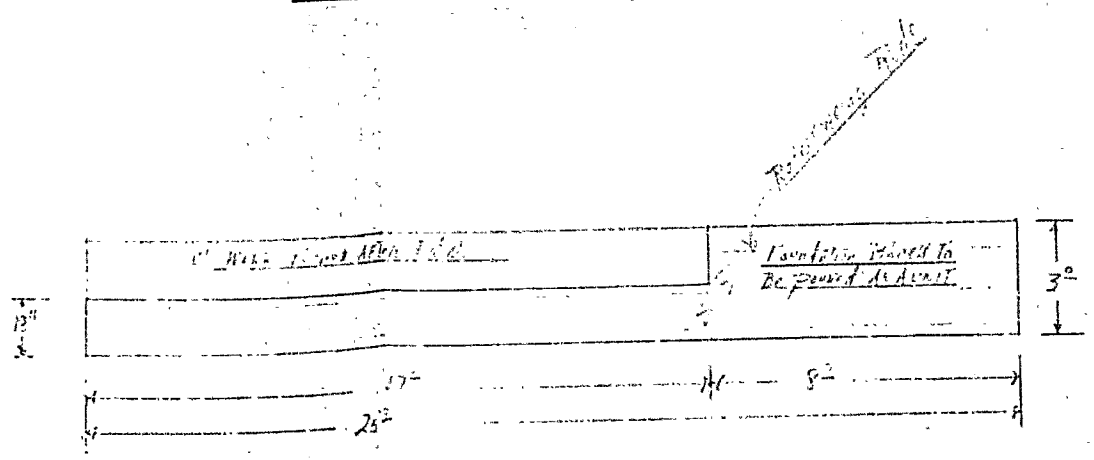
These plans (- sheets) and the specifications accompanying the same, covering construction work on [illegible] have been designed and drawn up by the undersigned according to the latest rules of engineering practice and to comply with the allowable working stresses, floor loads, etc. required by the Building Code of the City of Portland.

(Signature) [illegible]

By [illegible]

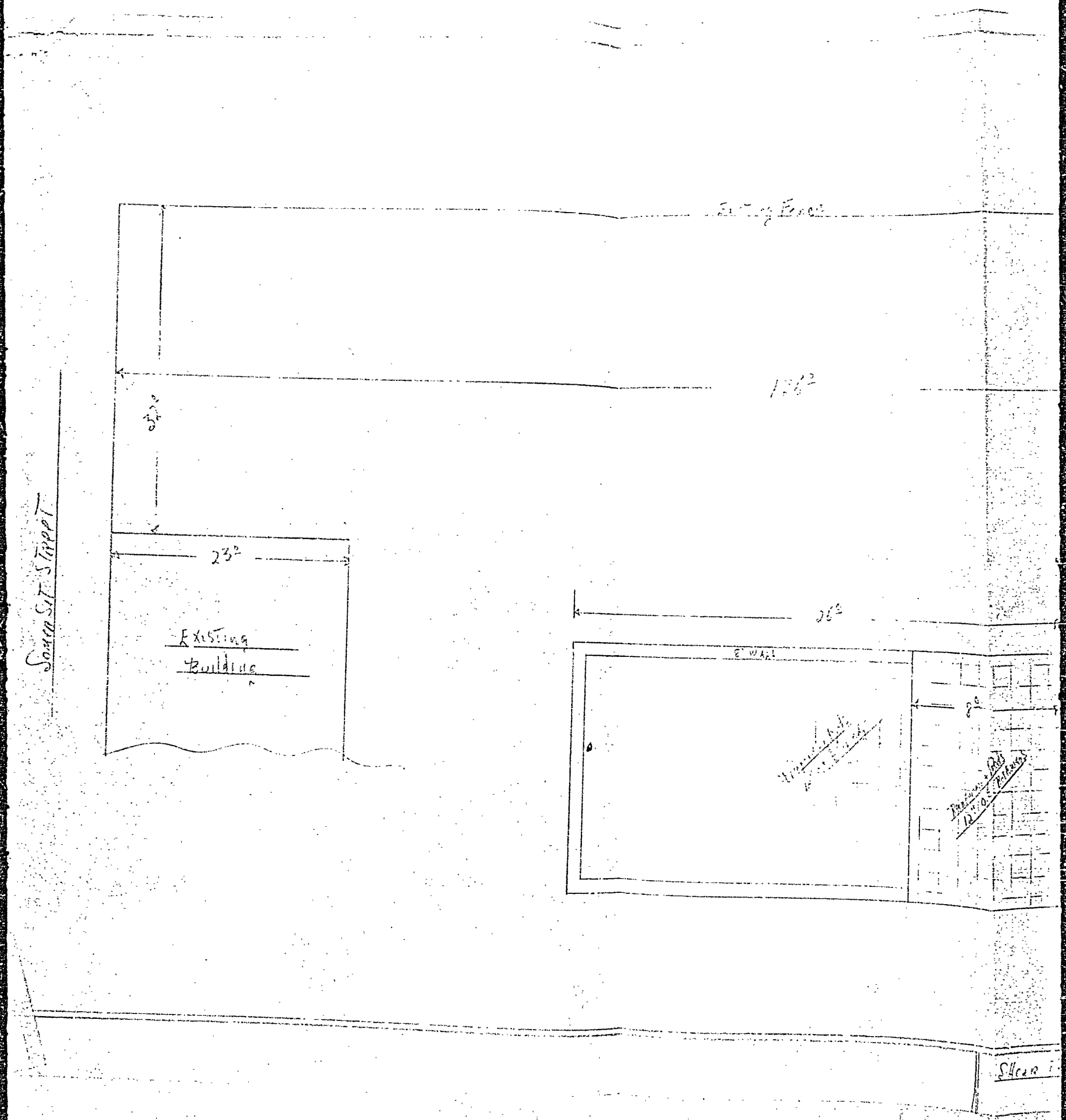
(This statement is to be signed by the individual responsible for the design, and he should indicate in the blank provided the particular work to which the statement applies.)





Steam Foundation

Detail - Front Section - Foundation
Joseph Scott Company


Existing Fence
126'
35'
23'
South St. Street
Existing
Building
26'
E wall
8'
Shear

9 Somerset St.,

April 16, 1953

DiPillo Construction Co.,
78 Read St.,
Joseph Soutar Co.,
9 Somerset St.,

Gentlemen:

Building permit for construction of a new reinforced concrete foundation for cutting shears in the location and manner shown on the plan filed with the application for permit is issued herewith subject to the following conditions:

1. Although the plan shows the foundation extending only three feet below the finished grade of the ground, Mr. DiPillo has indicated that he plans to extend the concrete 12 inches deeper than this for a thickness of 12 inches around the entire perimeter of the foundation, thus in effect providing a concrete trench wall four feet deep around the edges of the foundation. The permit is issued on the basis that this is to be done.

2. We understand that construction of a building to shelter a portion of the foundation is planned at a later date. Since the property is located in Fire District #1, there are limitations upon the type of construction which may be used. Because a building of metal frame construction would not be allowable unless situated at least 10 feet from any lot line, while the new foundation is to be located only about one foot from the lot line, any enclosing walls of such a building will need to be of masonry. Either a separate permit or an amendment to the permit now being issued, if the building is to be erected before such permit becomes void, will be needed to cover its construction.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/B

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

ISSUED
02534
SEP 26 1947

Portland, Maine Sept. 25, 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 9 Somerset St. Use of Building Commercial No. Stories ~~new building~~ Existing "

Name and address of owner of appliance Joseph Soulas, 9 Somerset St.

Installer's name and address Faulk Farmer Co, 704 Fore St. Telephone 3-8187

General Description of Work

To install Oil burner in gravity hot water system

IF HEATER, OR POWER BOILER

Location of appliance or source of heat Ground floor - no basement Type of floor beneath appliance Concrete

If wood, how protected? Kind of fuel Oil

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace

From top of smoke pipe From front of appliance From sides or back of appliance

Size of chimney flue Other connections to same flue

If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Name and type of burner Scott Newcomb EMZ Labelled by underwriter's laboratories? Yes

Will operator be always in attendance? No Does oil supply line feed from top or bottom of tank Bottom

Type of floor beneath burner Concrete

Location of oil storage Ground Floor (Dirt) Number and capacity of tanks One 275 tank

If two 275-gallon tanks, will three-way valve be provided?

Will all tanks be more than five feet from any flame? Yes How many tanks fire proofed? None

Total capacity of any existing storage tanks for furnace burners None

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance

If wood, how protected?

Minimum distance to wood or combustible material from top of appliance

From front of appliance From sides and back From top of smokepipe

Size of chimney flue Other connections to same flue

Is hood to be provided? If so, how vented?

If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 1.00 ($1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED: OK 9-26-47 Pond

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes.

INSPECTION COPY

Signature of Installer Faulk Farmer Co. By E. L. Allen

B

Permit No. 47/2531

Location 9 Somerset St

Owner Joseph Sourtan

Date of permit 9/27/47

Approved WORK NOT COMPLETED

NOTES 4-6-49 [illegible]

1 Fill Pipe

2 Vent Pipe

3 Kind of Heat

4 Furnace Rest Supports

5 Name & Label

6 Stack Connections

7 Leak Test Certificate

8 [illegible]

9 Back Vent & Connections

10 Valves in Service Lines

11 Capacity of Tanks

12 Tank Bed Supports

13 Tank Location

14 Oil Gauge

15 Inlet Connection

4.6.49. Tank [illegible]
for [illegible]
[illegible]

Original Permit No. 39/2228 PERMIT ISSUED

Amendment No. 1

DEC 26 1939

AMENDMENT TO APPLICATION FOR PERMIT

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, December 26, 1939

The undersigned hereby applies for an amendment to Permit No. 39/2228 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 9 Somerset Street Ward 3 Within Fire Limits? yes Dist. No. 1

Owner's or Lessee's name and address Joseph Soutar Co., 9 Somerset St.

Contractor's name and address Porter-Barnhem Co., 131 Preble St. 4-3216

Plans filed as part of this Amendment no No. of Sheets

Increased cost of work 35. Additional fee .25

Description of Proposed Work

To provide new outside open stairway from ground (yard) to second floor tool room, cutting in new door at second floor level (in jog of building)

To extend present partitions of this tool room, second floor to new ceiling level, cutting in new door to this room

Joseph Soutar Co.

Signature of Owner Carl E. Porter

Approved:

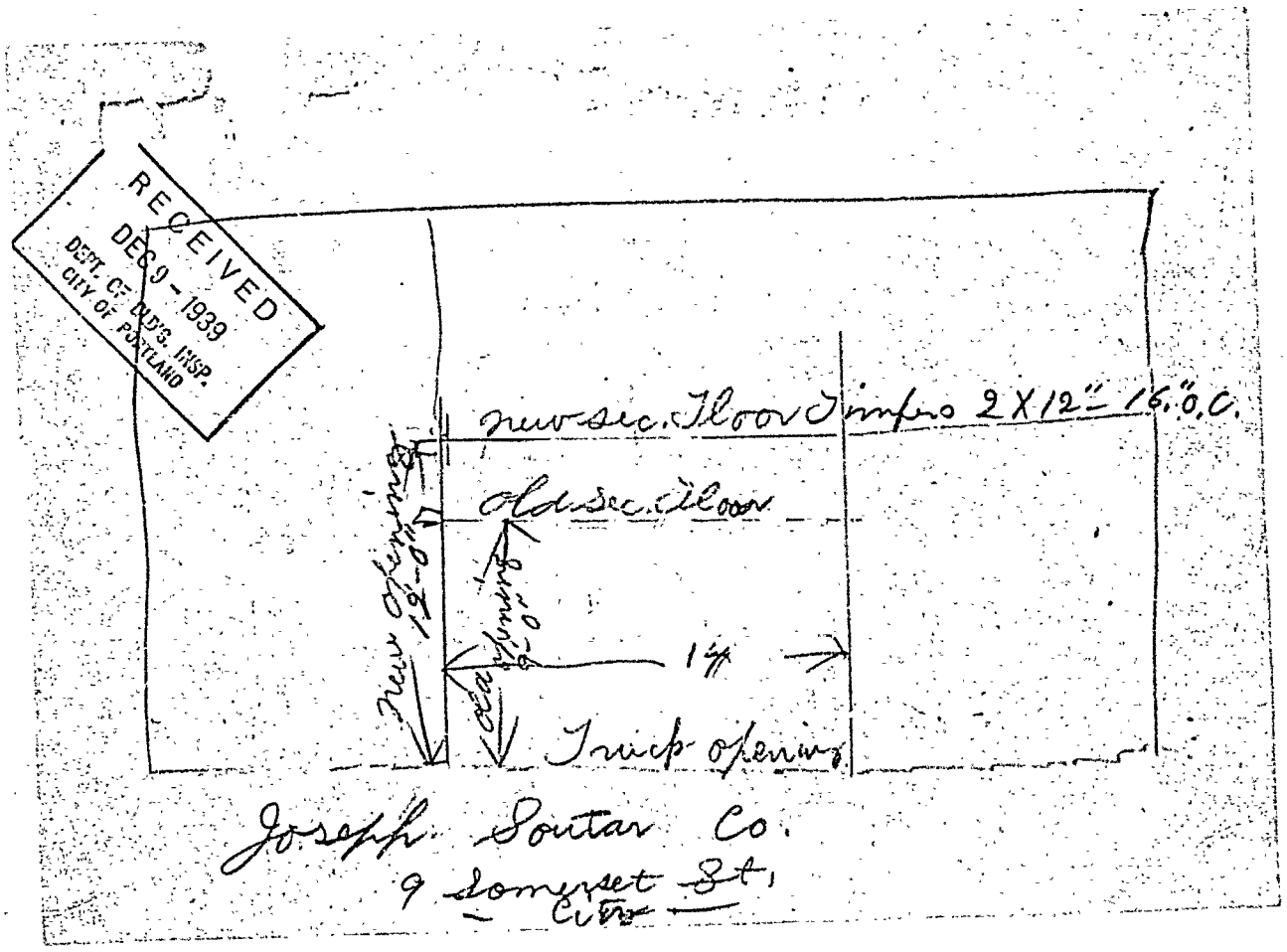
Chief of Fire Department

Approved: 12/26/39

Commissioner of Public Works

Inspector of Buildings

INSPECTION COPY



(J) INDUSTRIAL ZONE

APPLICATION FOR PERMIT

Permit No. 2228

PERMIT ISSUED

Class of Building or Type of Structure Third Class

Portland, Maine, December 9, 1938 DEC 11 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect, alter, install the following building, structure, equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 9 Somerset Street Within Fire Limits? yes Dist. No. 1

Owner's ~~or Lessee's~~ name and address Joseph Soutar Co., 9 Somerset St. Telephone

Contractor's name and address Porter-Burnham Co., 131 Preble St. Telephone 4-3206

Architect Plans filed yes No. of sheets 1

Proposed use of building Office, scales, and garage No. families

Other buildings on same lot

Estimated cost $ 150. Fee $ .75

Description of Present Building to be Altered

Material wood No. stories 2 Heat steam Style of roof flat Roofing T&G

Last use Office, scales and garage No. families

General Description of New Work

To make openings on each side of building (of center building) 3' higher, setting existing 6x8 header up to new level

The side walls of this passageway (outside walls of building on either side) are to be built up by putting in new 2-2x4 plate at present level, putting in new studs 2x4 16" OC with new 2-2x4 plate, at new second floor level in this section and new 2x12 floor joists, second floor, 16" OC, 14' span

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY ISSUED

Is any plumbing work involved in this work? no

Is any electrical work involved in this work? no Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of Roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Framing Lumber—Kind Dressed or Full Size?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Joseph Soutar Co.
By Porter-Burnham Co.
By Carl E. Porter

INSTRUCTION COPY

Permit No. 39/2228

Location 9 Somerset St.

Owner Joseph Sintas Co

Date c. permit 12/11/39.

Notif. ...ng-in

Inspn. closing-in

Final ...

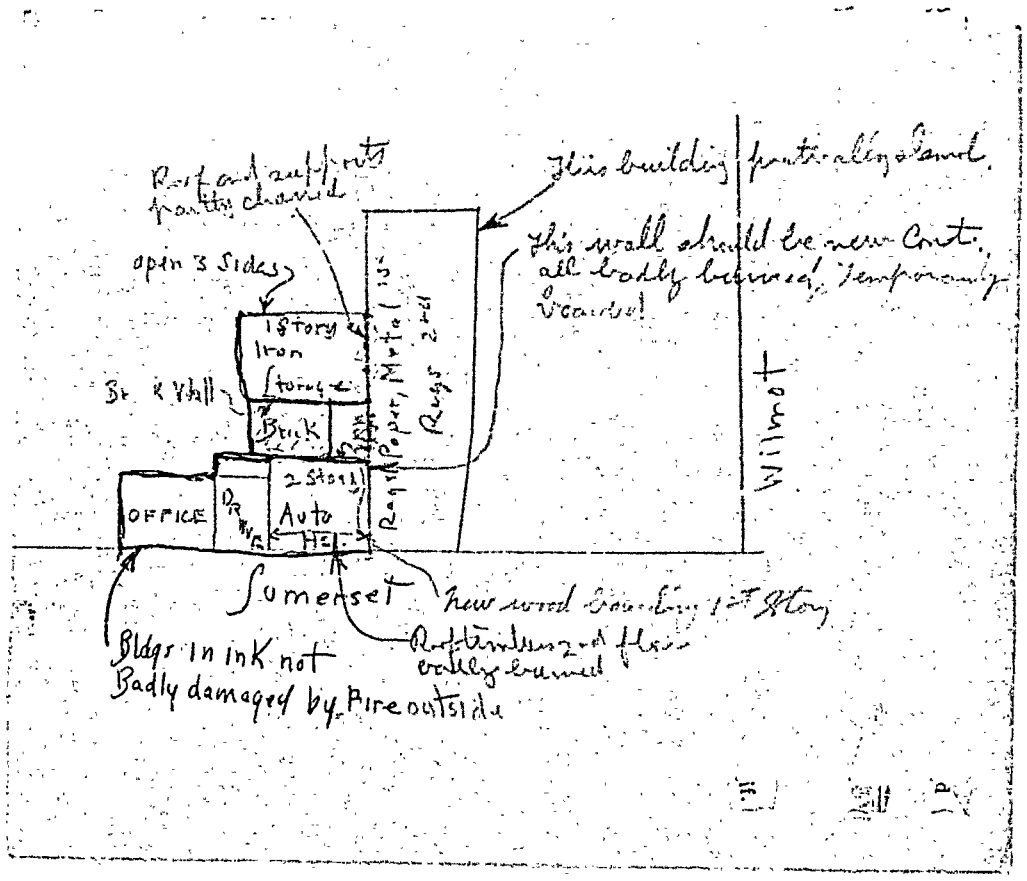
Final Inspn. 12/28/39

Cert. of Occupancy issued None

NOTES

12/11/39 - Ck. as Pulls O.K.

12/15/39 Work started O.K.


Roof and supports partly charred
This building practically saved.
This wall should be new Const. all badly burned, Temporarily braced
open 3 Sides
1 Story Iron Storage
St. & Hall
Brick
2 Story
OFFICE
Auto
Rugs
Rugs, Paper, Matting
Willmot
Somerset
new wood flooring 1st Story
Roof timbers 2nd floor badly burned
Bldgs in ink not Badly damaged by Fire outside

(1) INDUSTRIAL ZONE

Permit No. 8286

APPLICATION FOR PERMIT TO REPAIR BUILDING

PERMIT ISSUED DEC 10 1928

Third Class Building

Portland, Maine, December 4, 1928

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to repair the following described building in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 9 Somerset Street Ward 3 Within fire limits? Yes Dist. No. 1

Owner's name and address Gutterson & Gould, Inc. 9 Somerset St Telephone F 43

Contractor's name and address Vance Porter, 175 Kennebec St. Telephone F 3572

Use of building Storage of Junk

No. stories 2 Height ft., Gross area sq. ft., Style of roof Flat

Type of present roof covering T. & G.

General Description of New Work

To Repair after Fire to former condition. No alterations

(toolose end of building left open after fire in adjoining section)
(corner posts 4x6 - sills 8x8 - roof timbers 3x10 - 2' 00 - max span 18')
outside wall to be covered with metal.

garage and shed
Roof
side of bldg
windows

If Roof Covering is to be Repaired or Renewed

When last repaired? , Area then repaired sq. ft.

Are repairs or renewal due to damage by fire? Yes If so, what area damaged? sq. ft.

Area of roof to be repaired now? sq. ft.

Type of roofing to be used T & G. gravel No. plies

Trade name and grade of roof covering to be used

Estimated cost $ 500. Fee $ .75

INSPECTION COPY

Signature of owner Gutterson & Gould, Inc. By Joseph Soucia Mgr.

8286

Permit No. 28/2640

Location 9 Somerset St

Owner Gutterson + Gould

Date of permit 12/10/28

Not. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 2/7/29 ok to

Cert. of Occupancy issued

NOTES

Come and face boards not metal covered 1/19/29 ok to

Talked with Mr Porter will cover face & corner boards with metal 1/19/29 ok to

Call Mon Jan 28, 29

BUILDING INSPECTOR

It Must Cover Work to be Inspected

Inspector of Buildings

EMERGENCY CODE

(1) INDUSTRIAL ZONE

Permit No. 1510

PERMIT ISSUED

AUG 30 1927

APPLICATION FOR PERMIT

Class of Building or Type of Structure First Class

Portland, Maine, August 29, 1927

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter install~~ the following ~~building~~ structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 9 Somerset Street Ward 3 Within Fire Limits? Yes Dist. No. 1

Owner's ~~or Lessee's~~ name and address Gutterson & Gould, 9 Somerset Street Telephone

Contractor's name and address Owner Telephone

Architect's name and address

Proposed use of building Shed for storage of shear No. families

Other buildings on same lot Store and office building

Description of Present Building to be Altered

Material No. stories Heat Style of roof Roofing

Last use No. families

General Description of New Work

To erect shed, steel and corrugated iron, open on one side

NOTIFICATION BY ... OF CLOSING-IN IS WANTED

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED.

Details of New Work

Size, front 16' depth 15' No. stories 1 Height average grade to highest point of roof 7'

To be erected on solid or filled land? filled earth or rock? earth

Material of foundation corners on iron posts filled with concrete Thickness, top bottom

Material of underpinning Height Thickness

Kind of roof pitch Roof covering Corrugated iron

No. of chimneys no Material of chimneys of lining

Kind of heat no Type of fuel Distance, heater to chimney

If oil burner, name and model

Capacity and location of oil tanks

Is gas fitting involved? no Size of service

Corner posts 4x4 angle Sills 6x8 wood Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof 2x6

On centers: 1st floor, 2nd, 3rd, roof 12"

Maximum span: 1st floor, 2nd, 3rd, roof 3'

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Plans filed as part of this application? Yes No. sheets 1

Estimated cost $ 150. Fee $ .75

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of owner Gutterson & Gould By

INSPECTION COPY

4462

Ward 3 Permit No. 27/1510 H

Location 9 Somerset Street

Owner Gitterson & Guild

Date of permit Aug. 30 1927

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 2/1/28 H6

Cert. of Occupancy issued

NOTES

Not shown 2/1/28

August 25, 1927

Gutterson & Gould
9 Somerset Street
Portland, Maine

Gentlemen:

Referring your application for a building permit to erect a one story wooden shed at 9 Somerset Street, I have carefully examined the situation and visited the premises.

It is necessary to deny your permit under the application as it now reads for the reason that you already have quite a number of large wooden buildings on the premises.

If you will change the construction so that the entire frame, except that of the roof, and the entire outside walls of the building will be of incombustible material, the permit may be issued in compliance with the Ordinance.

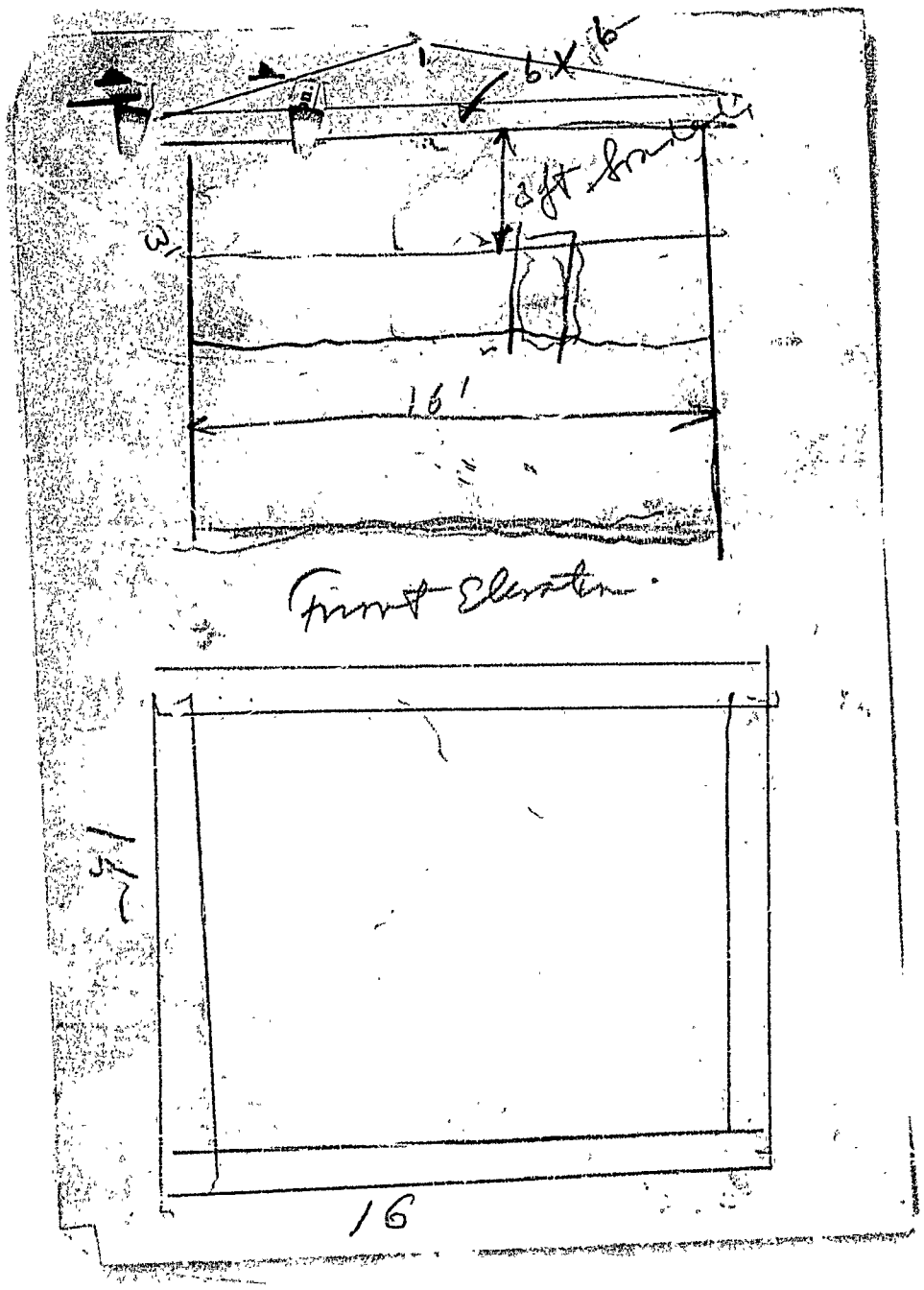
If you conclude that you will abandon the work, and will return the receipt for the fee paid to this office on or before August 30th, 1927, your money will be refunded.

Yours truly,

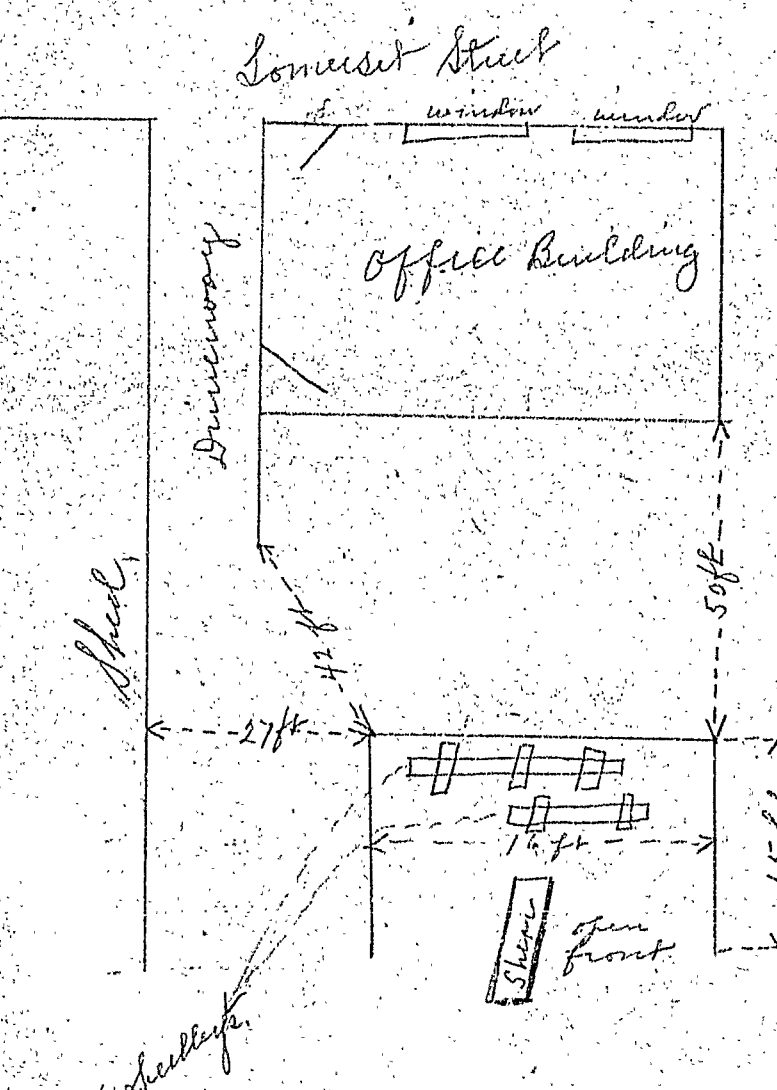
Inspector of Buildings

WM/P

4393
maps


6 X 6
8ft from
16'
Front Elevation
16

(1) INDUSTRIAL ZONE



Showing location of shear shed proposed with reference to other buildings.

(1) INDUSTRIAL ZONE

Permit No. _____

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, August 23, 1927

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersignd hereby applies for a permit to erect ~~alter install~~ the following building ~~structure equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 9 Somerset Street Ward 3 Within Fire Limits? Yes Dist. No. 1

Owner's ~~or Lessee's~~ name and address Cutterson & Gould, 9 Somerset St. Telephone _____

Contractor's name and address Owner Telephone _____

Architect's name and address _____

Proposed use of building Shed No. families _____

Other buildings on same lot Store and office building

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use _____ No. families _____

General Description of New Work

To erect wood shed

Details of New Work

Size, front 16' depth 16' No. stories 1 Height average grade to highest point of roof 8'

To be erected on solid or filled land? filled earth or rock? earth

Material of foundation Concrete piers Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof Flat Roof covering asphalt roll, Class C

No. of chimneys no Material of chimneys _____ of lining _____

Kind of heat no Type of fuel _____ Distance, heater to chimney _____

If oil burner, name and model _____

Capacity and location of oil tanks _____

Is gas fitting involved? no Size of service _____

Corner posts 6x6 Sills 6x10 Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor Girder, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Plans filed as part of this application? _____ No. sheets _____

Estimated cost $ 100. Fee $ .50

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining to it are observed? Yes

Signature of owner By Cutterson & Gould

Signed by Joseph Souter

INSPECTION COPY

Ward 3 Permit No.

Location 9 Sawyer St.

Owner Gittens & Gould

Date of permit

Notif. closing-in

Closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

Location, ownership and detail must be correct, complete and legible. Separate application required for every building. Plans must be filed with this application.

Application for Permit to Build

(3d CLASS BUILDING)

Portland, Me., September 13, 1917. *19*

TO THE
INSPECTOR OF BUILDINGS:

The undersigned hereby applies for a permit to build, according to the following Specifications:—

Location, 9 Somerset St. ..... Wd. 3

Name of owner is? Gutterson & Gould ..... Address, 9 Somerset St.

Name of mechanic is? Snowthill & Iceton ..... " 18 Madison St.

Name of architect is? ..... " .....

Proposed occupancy of building (purpose)? Off'ce Building

If a dwelling or tenement house, for how many families? none

Are there to be stores in lower story? none ..... No.

Size of lot, No. of feet front? 165 ft. No. of feet rear? 165 ft. ; No. of feet deep?

Size of building, No. of feet front? 24 ft. No. of feet rear? 24 ft. ; No. of feet deep? 30 ft.

No. of stories, front? two ; rear?

No. of feet in height from the mean grade of street to the highest part of the roof? 20 ft.

Distance from lot lines, front? on street feet; side? 20 ft. feet; side? 140 ft. feet; rear? 141 ft. feet

Firestop to be used? yes

Will the building be erected on solid or filled land? filled

Will the foundation be laid on earth, rock, or piles? earth

If on piles, No. of rows? ..... distance on centres? ..... length of?

Diameter, top of? ..... diameter, bottom of?

Size of posts? concrete footings 30x30 Sills 6x8 Studding 2x6 16" O. C.

" girts? 6x6 Girder 6x8 Roof rafters 2x8 20" O. C.

" floor timbers? 1st floor 3x8 , 2d , 3d , 4th

O. C. " " " " 16" O. C. , " , " , "

Span " " " " , " , " , "

Braces, how put in?

Building, how framed?

Material of foundation? concrete thickness of? laid with mortar?

Underpinning, material of? concrete height of? thickness of?

Will the roof be flat, pitch, mansard, or hip? a flat Material of roofing? tar and gravel

Will the building be heated by steam, furnaces, stoves or grates? gas Will the flues be lined? yes

Will the building conform to the requirements of the law? yes

No. of brick walls? and where placed?

Means of egress? two outside doors one stairway

If the building is to be occupied as a Tenement House, give the following particulars:

What is the height of cellar or basement?

What will be the clear height of first story? second? third?

State what means of egress is to be provided?

Scuttle and stepladder to roof?

Estimated Cost,

$ 500

Signature of owner or authorized representative, J H Snowthill & Iceton

Address, 18 Madison St

Plans submitted? Received by?

Plans must be submitted in duplicate, one set to be filed with the Department and the duplicate set thereof (bearing the approval of the Inspector of Buildings) shall be kept on the work and exhibited on demand

PERMIT MUST BE RECEIVED BEFORE BEGINNING WORK.

1917 .

No. 5182

APPLICATION FOR PERMIT TO BUILD 3d CLASS BUILDING

LOCATION

No. 9 Somerset St.

5-17

Ward 3

Inspector

CONDITIONS

PERMIT GRANTED

September 14, 1917 191

Permit filled out by

Permit number

Plan number

FINAL REPORT

191

Has the work been completed in accordance with this application and plans filed and approved?

Law been violated?

Nature of violation?

Violation removed when? 191

Estimated cost of building, etc., $

Building Inspector.

APPROVAL OF PLANS

Supervisor of Plans.

Location, ownership and detail must be correct, complete and legible. Separate application required for every building. Plans must be filed with this application.

Application for Permit to Build

(3d CLASS BUILDING)

Portland, Me., June 9, 1917 *19*

TO THE
INSPECTOR OF BUILDINGS:

The undersigned hereby applies for a permit to build, according to the following Specifications:—

Location, 9 Somerset Street Wd. 3

Name of owner is? Guterson & Gould Address, 9 Somerset St.

Name of mechanic is? Shortill & Iceton " 18 Madison St.

Name of architect is? "

Proposed occupancy of building (purpose)? covering for hay scales, stable and portion for garage

If a dwelling or tenement house, for how many families?

Are there to be stores in lower story? No.

Size of lot, No. of feet front? 5-- ; No. of feet rear? ; No. of feet deep?

Size of building, No. of feet front? 35 ; No. of feet rear? ; No. of feet deep? 55

No. of stories, front? two ; rear?

No. of feet in height from the mean grade of street to the highest part of the roof? 20 ft.

Distance from lot lines, front? feet; side? feet; side? feet; rear? feet

Firestop to be used? Yes (Wood)

Will the building be erected on solid or filled land? filled

Will the foundation be laid on earth, rock, or piles?

If on piles, No. of rows? distance on centres? length of?

Diameter, top of? diameter, bottom of?

Size of posts? cement Studding 2 x 4 16" O.C. Roof rafters 2 x 10 24" O.C.

" girts? 4 x 4

" floor timbers? 1st floor 3 x 10 2d 3d 4th
and concrete in garage part

O. C. " " " " " " "

Span " " " " 16 ft. " " "

Braces, how put in?

Building, how framed?

Material of foundation? cement piers thickness of? laid with mortar?

Underpinning, material of? height of? thickness of?

Will the roof be flat, pitch, mansard, or hip? flat Material of roofing? tar & gravel

Will the building be heated by steam, furnaces, stoves or grates? None Will the flues be lined?

Will the building conform to the requirements of the law? Yes

No. of brick walls? and where placed?

Means of egress?

Portion used for garage to be entirely covered inside with iron and concrete floor

If the building is to be occupied as a Tenement House, give the following particulars:

What is the height of cellar or basement?

What will be the clear height of first story? second? third?

State what means of egress is to be provided?

Scuttle and stepladder to roof?

Estimated Cost, $ 1200.00

Signature of owner or authorized representative, Shortill & Iceton

Address, 18 Madison St City

Plans submitted? Received by?

PERMIT MUST BE RECEIVED BEFORE BEGINNING WORK

Plans must be submitted in duplicate, one set to be filed with the Department and the duplicate set thereof (bearing the approval of the Inspector of Buildings) shall be kept on the work and exhibited on demand

1917.

No. 5125

APPLICATION FOR
PERMIT TO BUILD 3d CLASS BUILDING

LOCATION

No. 9 Somerset St.

5-17

Ward 9

Inspector

CONDITIONS

PERMIT GRANTED

June 9, 1917 191

Permit filled out by

Permit number

Plan number

FINAL REPORT

191

Has the work been completed in accordance with this application and plans filed and approved?

Law been violated?

Nature of violation?

Violation removed when? 191

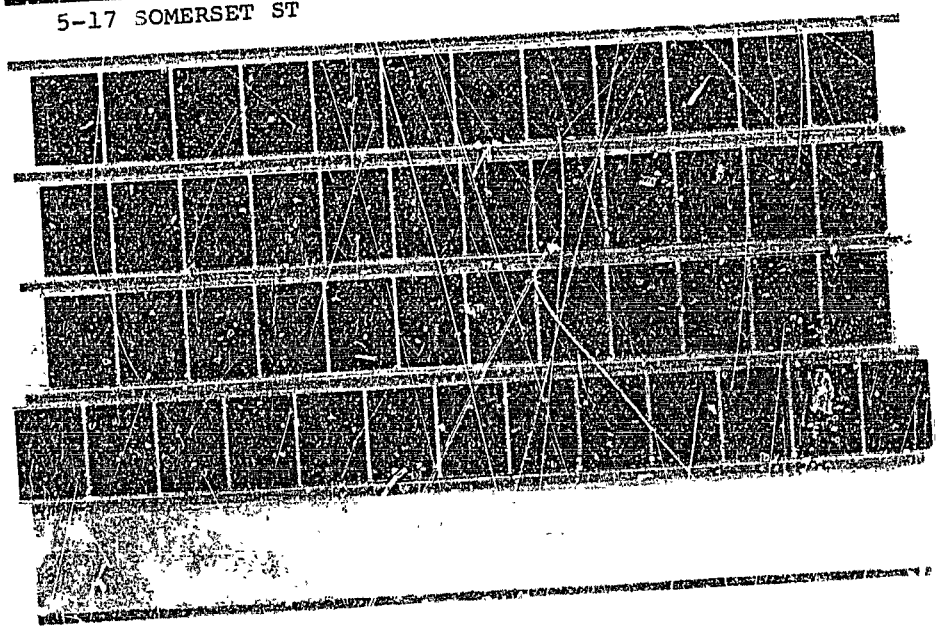
Estimated cost of building, etc., $

Building Inspector.

APPROVAL OF PLANS

Supervisor of Plans.

5-17 SOMERSET ST



APPLICATION FOR PERMIT

PERMIT ISSUED
MAY 2 1984
CITY of PORTLAND

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION .....

ZONING LOCATION ..... PORTLAND, MAINE April 30, 1984

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ..... 9 Somerset Street ..... Fire District 1 ☐ 2 ☐

1. Owner's name and address E. Perry Iron & Metal Co., Inc. 115 Lancaster St. 04101 Telephone 775-3181
2. Lessee's name and address P. O. Box 3404 04104 Telephone
3. Contractor's name and address Main Line Fence Co. 272 Middle Rd. P. O. Box 27A, Camb., Me. 04021 Telephone 207-829-5549

Proposed use of building Storage yard ..... No. of sheets .....

Last use same ..... No. families .....

Material ..... No. stories ..... Heat ..... Style of roof ..... No. families .....

Other buildings on same lot ..... Roofing .....

Estimated contractural cost $ .....

FIELD INSPECTOR—Mr. ..... Appeal Fees $ .....

@ 775-5451 Base Fee .....

To add razor ribbon fence topping to fence after necessary repairs are made. Late Fee .....

TOTAL $ 15.00

ISSUE PERMIT TO ..... List of Special Conditions .....

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ..... bottom ..... cellar .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet: .....

Joists and rafters: 1st floor ..... 2nd ..... 3rd ..... roof .....

On centers: 1st floor ..... 2nd ..... 3rd ..... roof .....

Maximum span: 1st floor ..... 2nd ..... 3rd ..... roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

IF A GARAGE

No. cars now accommodated on same lot ..... to be accommodated ..... number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY: *DATE*

BUILDING INSPECTION—PLAN EXAMINER .....

ZONING: .....

BUILDING CODE: .....

Fire Dept. .....

Health Dept. .....

Others: .....

MISCELLANEOUS

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .....

Signature of Applicant .....

Type Name of above Jay Ketover for E. Perry ..... Phone # .....

1 ☐ 2 ☐ 3 ☐ 4 ☐

Other .....

and Address .....

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

MAIN LINE FENCE CO.

272 MIDDLE RD. PO BOX 27A
CUMBERLAND, MAINE 04021
207-829-5549

April 16, 1984

E. Perry Iron & Metal Co.
115 Lancaster Street
Portland, Maine 04101

RECEIVED
APR 30 1984
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

Attn: Carl

Gentlemen,

We propose to furnish materials and labor to repair approx 400 l.f. of existing chain link fence. Since it is difficult to determine the exact quantities of materials required to repair the fence, we suggest this work be done on a time and materials basis. We estimate the repairs will cost between $500.00 and $1000.00.

To add the razor ribbon fence topping to the fence, after necessary repairs are made, will cost approx $1400.00.

MAIN LINE FENCE CO. assumes no responsibility for any damage to any underground power and utility lines, etc., in the process of installing posts, if this company is not notified of the existence and locations of same.

We are fully insured for Workmen's Compensation, Public Liability and Property Damage with the Hanover Insurance Group. Certificates of our coverage will be forwarded upon request.

If this proposal is not covered by a Purchase Order within thirty days, it may be necessary to renegotiate same.

Sincerely,

MAIN LINE FENCE CO.

Doug Lloyd

Doug Lloyd

DL/bb

Tel. 775-3181 — 775-3182

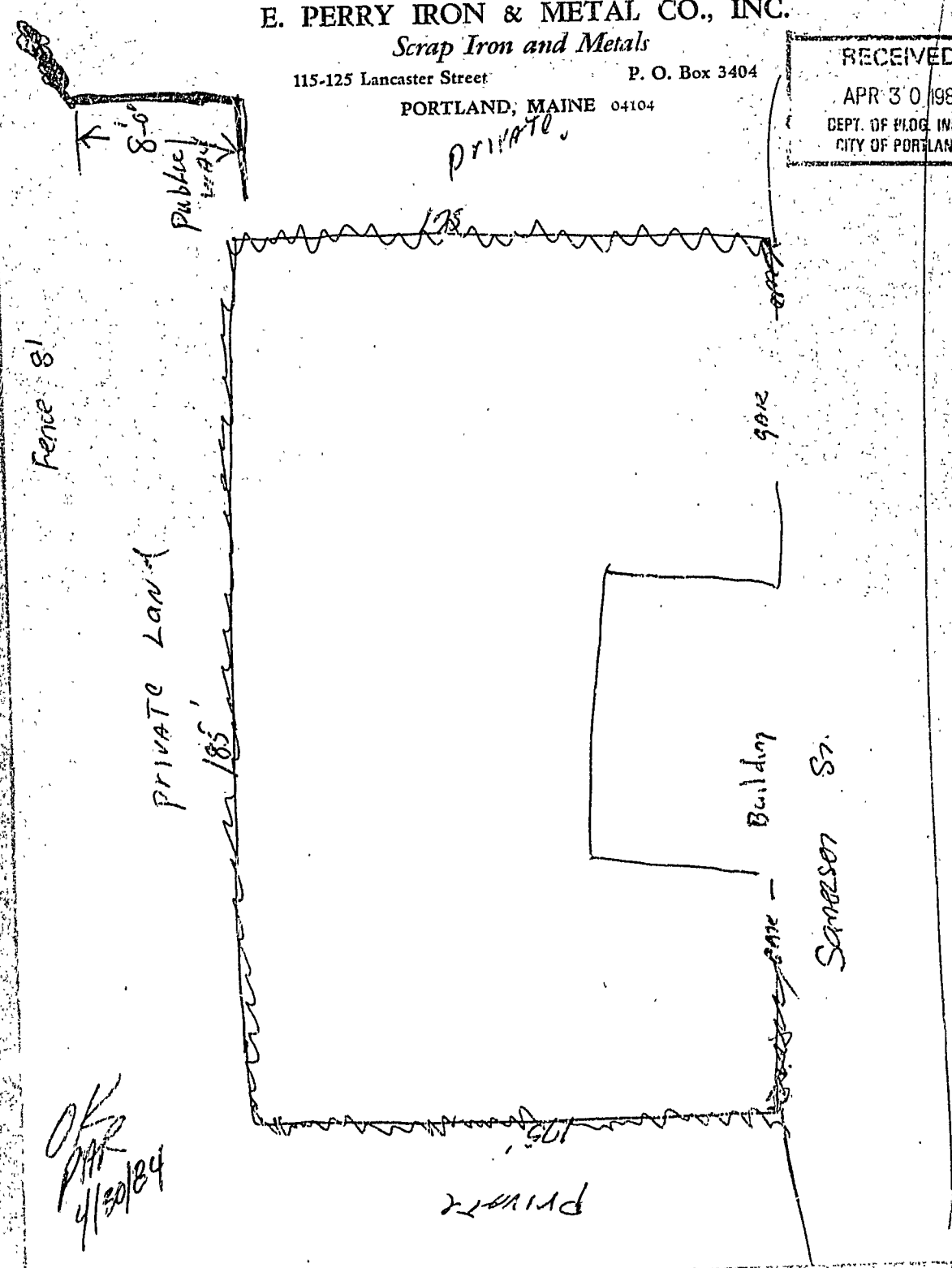
E. PERRY IRON & METAL CO., INC.

Scrap Iron and Metals

115-125 Lancaster Street P. O. Box 3404

PORTLAND, MAINE 04104

RECEIVED
APR 30 1984
DEPT. OF BLDG. INSP.
CITY OF PORTLAND



OK
PAH
4/30/84

PERMIT ISSUED
MAY 2 1984
CITY of PORTLAND

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP 416

B.O.C.A. TYPE OF CONSTRUCTION .....

ZONING LOCATION ..... PORTLAND, MAINE April 30, 1984

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

Fire District #1 ☐ #2 ☐

LOCATION 9 Somerset Street SE 04101

1. Owner's name and address E. Perry Iron & Metal Co., Inc. 115 Lancaster Telephone 775-3181
2. Lessee's name and address P. O. Box 3404 04104 Telephone P. O. Box 27A, Cumb. Me. 04021
3. Contractor's name and address Main Line Fence Co. 272 Middle Rd., Telephone 207-829-5549

No. of sheets .....

Proposed use of building Storage yard No. families .....

Last use same No. families .....

Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....

Other buildings on same lot .....

Estimated contractural cost $ .....

FIELD INSPECTOR—Mr. Add A.T.O. @ 775-5451

To add razor ribbon fence topping to fence after necessary repairs are made.

Appeal Fees	$
Base Fee	
Late Fee	
TOTAL	$ 15.00

Stamp of Special Conditions

ISSUE PERMIT TO #1

NOTE TO APPLICANT: *Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.*

DETAILS OF NEW WORK

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ..... bottom ..... cellar .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters:	1st floor	2nd	3rd	roof .....
On centers:	1st floor	2nd	3rd	roof .....
Maximum span:	1st floor	2nd	3rd	roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

IF A GARAGE

No. cars now accommodated on same lot ..... to be accommodated ..... number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY: *DATE*

BUILDING INSPECTION—PLAN EXAMINER .....

ZONING: .....

BUILDING CODE: .....

Fire Dept.: .....

Health Dept.: .....

Others: Paul Rollins 4/30/84

MISCELLANEOUS

Will work require disturbing of any tree on a public street? no.

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .....

Signature of Applicant ..... Phone # .....

Type Name of above Jay Ketover for E. Perry ..... ☒ 2 ☐ 3 ☐ 4 ☐

Other .....

and Address .....

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

MM Add ATO

Permit No. SF 416-84

Location: 9 Somerset

Owner: E. Perry Thorp & Mital C.

Date of permit: 5/2/84

Approved: [illegible]

Garage:

Alteration:

FENCE

NOTES

5-16-84 Checked NP aa

6-14-84 - W.I.P/OK aa

6-29-84 OK aa

7-2-84 - All work completed as per plan and permit. aa

Department of Human Services
Division of Health Engineering
(207) 289-3826

PLUMBING APPLICATION

PROPERTY ADDRESS

Town Or Plantation	Portland, Maine
Street Subdivision Lot #	8 Somerset Street

PROPERTY OWNERS NAME

Last: Commercial Distributors First:

Applicant Name:	Scribner & Iverson
Mailing Address of Owner/Applicant (If Different)	P.O. Box 8779 Portland, Maine 04104

PORTLAND PERMIT # 3,047 TOWN COPY

Date Permit Issued: 9 6 88 $ 6 FEE ☐ If Double Fee Charged

Local Plumbing Inspector Signature L.P.I. #

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant 8-30-88 Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in conformance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature

SEP 8 - 1988
Date Approved

PERMIT INFORMATION

This Application is for

1. ☐ NEW PLUMBING
2. ☒ RELOCATED PLUMBING

Type Of Structure To Be Served:

1. ☐ SINGLE FAMILY DWELLING
2. ☐ MODULAR OR MOBILE HOME
3. ☐ MULTIPLE FAMILY DWELLING
4. ☒ OTHER - SPECIFY: business

Plumbing To Be Installed By:

1. ☒ MASTER PLUMBER
2. ☐ OIL BURNERMAN
3. ☐ MFG'D. HOUSING DEALER/MECHANIC
4. ☐ PUBLIC UTILITY EMPLOYEE
5. ☐ PROPERTY OWNER

LICENSE # 0 5 5 1 2

Hook-Up & Piping Relocation Maximum of 1 Hook-Up

☐ HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.

OR

☐ HOOK-UP: to an existing subsurface wastewater disposal system.

☐ PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.

Number of Hook-Ups & Relocations

$ Hook-Up & Relocation Fee

Number	Column 2 Type of Fixture	Number	Column 1 Type Of Fixture
	Hosebibb / Sillcock		Bathtub (and Shower)
	Floor Drain		Shower (Separate)
	Urinal		Sink
	Drinking Fountain		Wash Basin
	Indirect Waste		Water Closet (Toilet)
	Water Treatment Softener, Filter, etc.		Clothes Washer
	Grease/Oil Separator		Dish Washer
	Dental Cuspidor		Garbage Disposal
	Bidet		Laundry Tub
	Other:	1	Water Heater
	Fixtures (Subtotal) Column 2	1	Fixtures (Subtotal) Column 1
		0	Fixtures (Subtotal) Column 2
		1	Total Fixtures
		$ 6	Fixture Fee
		$	Hook-Up & Relocation Fee
		$ 6	Total

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

TOWN COPY

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 9 Somerset St	Owner: E. Perry Iron & Metal		Phone:
Owner Address:	Lessee/Buyer's Name:	Phone:	BusinessName:
Contractor Name: Erskine Construction	Address: 24 Bishop Ave So. Portland, ME 04106		Phone: 799-3612
Past Use: Junk Yard	Proposed Use: Same w/o tanks	COST OF WORK: $	PERMIT FEE: $ 20.00
		FIRE DEPT. ☑ Approved ☐ Denied Signature:	INSPECTION: Use Group: BOCA 93 Type: Signature:
Proposed Project Description: Remove 2 underground tank		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved ☐ Approved with Conditions: ☐ Denied ☐ Signature: Date:	
Permit Taken By: Mary Gresik	Date Applied For: 28 Nov 94		

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT George Erskine ADDRESS: DATE: 28 Nov 94 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White–Permit Desk Green–Assessor's Canary–D.P.W. Pink–Public File Ivory Card–Inspector

Permit No: **941275**

Permit Issued: PERMIT ISSUED NOV 29 1994 CITY OF PORTLAND

Zone: CBIE 02-LB-024

Zoning Approval:

Special Zone or Reviews:
- ☐ Shoreland
- ☐ Wetland
- ☐ Flood Zone
- ☐ Subdivision
- ☐ Site Plan maj ☐ minor ☐ mm ☐

Zoning Appeal:
- ☐ Variance
- ☐ Miscellaneous
- ☐ Conditional Use
- ☐ Interpretation
- ☐ Approved
- ☐ Denied

Historic Preservation:
- ☑ Not in District or Landmark
- ☐ Does Not Require Review
- ☐ Requires Review

Action:
- ☐ Appoved
- ☐ Approved with Conditions
- ☐ Denied

Date: 11-28-94

CEO DISTRICT 2

Ms Munson.