

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND BUILDING PERMIT

This is to certify that Earl W Noyes & Sons

Located At 191 MARGINAL WAY

Job ID: 2012-10-5273-ALTCOMM

CBL: 024- C-021-001

has permission to Interior alterations of waiting area

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY

PENALTY FOR REMOVING THIS CARD

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Jeff Levine

Job ID: 2012-10-5273-ALTCOMM    Located At: 191 MARGINAL WAY    CBL: 024- C-021-001

## **Conditions of Approval:**

### Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. 713.3 Fire-resistance-rated walls. Penetrations into or through fire walls, fire barriers, smoke barrier walls and fire partitions shall comply with Sections 713.3.1 through 713.3.3. Penetrations in smoke barrier walls shall also comply with Section 713.5.
3. Note: Contractor stated that the modifications are for nonbearing (wall which does not support vertical loads other than its own weight) non-fire resistance rated walls only. The proposed construction "will not" effect egress during renovations.



2012 10 5273



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>54 Address 191 Marginal Way</u> <u>68 Marginal Way PO Box 3544, Portland, ME 04104</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>024 A A 002-4</u> <u>024 - C - 021</u>	Applicant * <b>must</b> be owner, Lessee or Buyer* Name <u>Tom Anthony (AAA)</u> Address <u>68 Marginal Wy PO Box 3544</u> City, State & Zip <u>Portland ME 04104</u>	Telephone:
Lessee/DBA (If Applicable) <b>RECEIVED</b> <b>OCT 25 2012</b> Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name <u>Earl Noyes, Sr</u> Address <u>PO Box 938</u> City, State & Zip <u>Portland 04104</u>	Cost Of Work: \$ <u>18,646</u> C of O Fee: \$ _____ Total Fee: \$ <u>20.00</u>
Current legal use (i.e. single family) <u>Service center</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Same</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>ADA Bath remodel of bathroom</u>		
Contractor's name: <u>S.E. Flynn Company Inc</u> Address: <u>9 PO Box 2353 West Scarborough, 04076-2353</u> City, State & Zip <u>West Scarborough, Maine 04076-2353</u> Telephone: _____ Who should we contact when the permit is ready: <u>Steve Flynn 415-6073</u> Telephone: _____ Mailing address: <u>Same</u> <u>will pick up</u>		

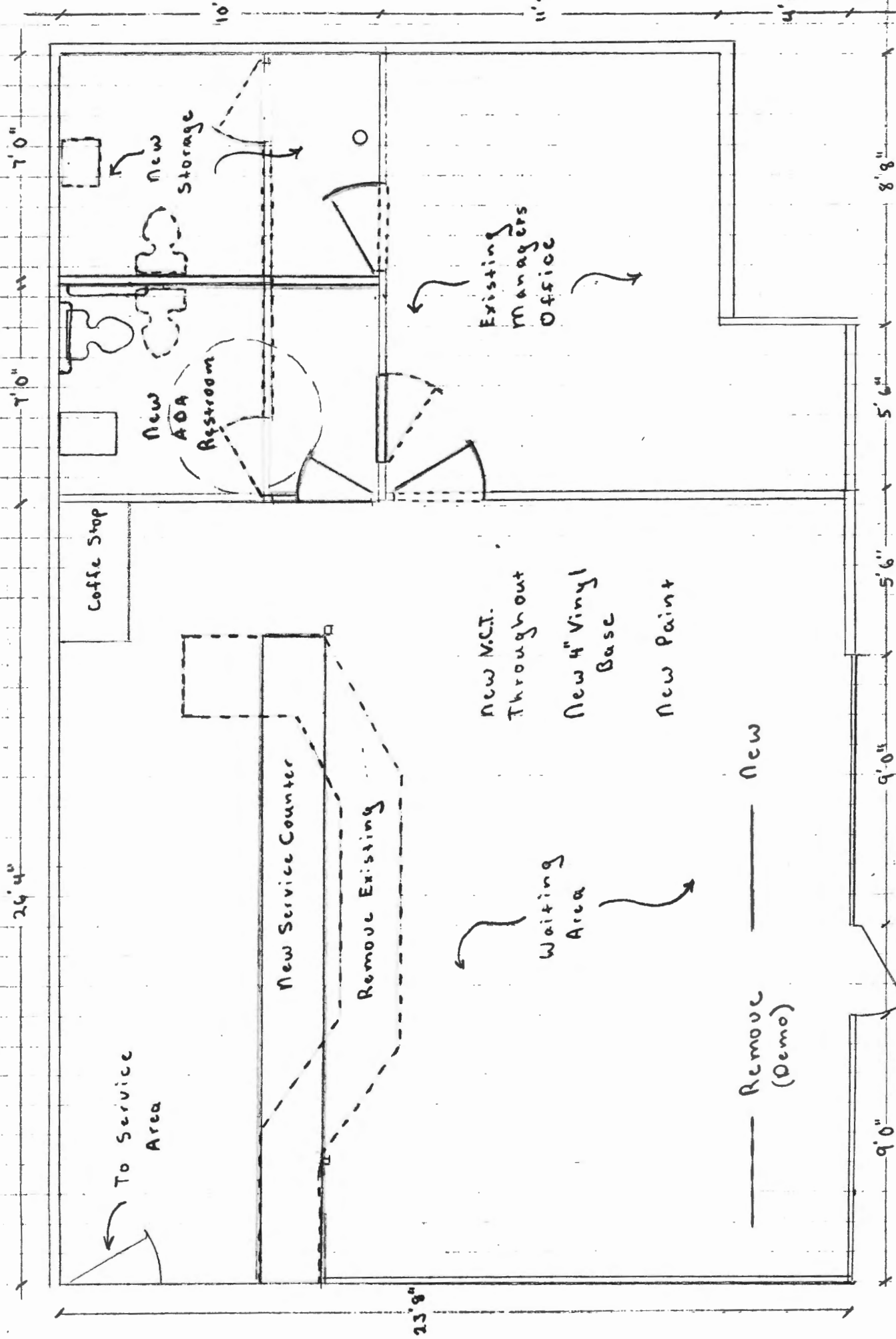
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 10/19/12

This is not a permit; you may not commence ANY work until the permit is issue





# PORTLAND MAINE

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Receipts Details:

**Tender Information:** Check , BusinessName: mastercard, Check Number: 25102  
**Tender Amount:** 210.00

Receipt Header:

**Cashier Id:** gguertin  
**Receipt Date:** 10/25/2012  
**Receipt Number:** 49651

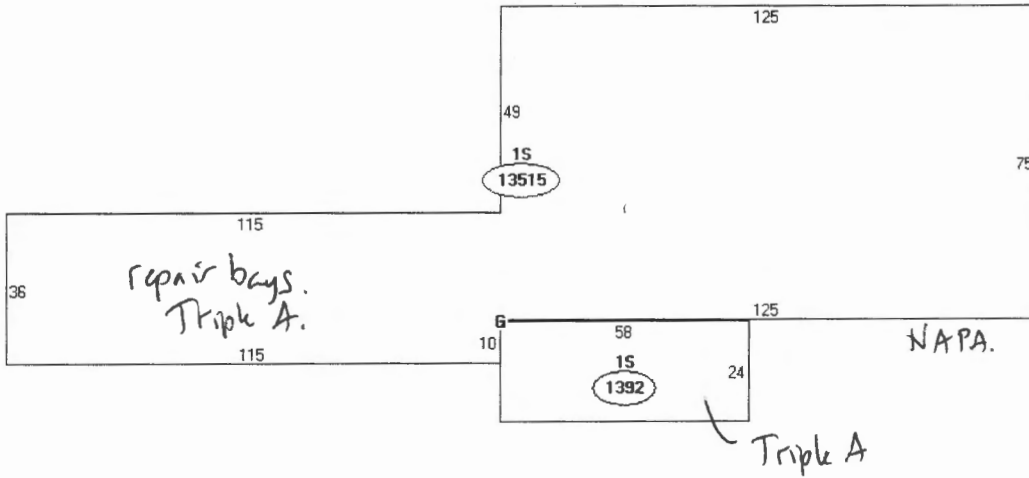
Receipt Details:

Referance ID:	8536	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	210.00	Charge Amount:	210.00
Job ID: Job ID: 2012-10-5273-ALTCOMM - ADA bath remodel of bathroom			
Additional Comments: 54 Marginal Way			

Thank You for your Payment!







Descriptor/Area	
A: 047	9375 sqft
B: 047	4140 sqft
C: 082	1392 sqft
D: SPRINKLER SYS WET	14907 sqft
E: 1S	13515 sqft
F: 1S	1392 sqft
G: PA1	55300 sqft



P.O. Box 2353  
West Scarborough, Maine 04070-2353

Phone 207-883-0306

August 27, 2012

AAA Northern New England  
68 Marginal Way  
PO Box 3544  
Portland, ME 04104  
Attn: Tom Anthony – General Manager

**Reference:** Interior Remodel

Enclosed is an estimate for budgeting purposes only to provide labor and materials to complete an interior remodel at the above named location per customer request. This estimate is based upon verbal conversations with the customer and a site visit to review the proposed scope of work. A line item allowance breakdown is as follows:

**Construction:**

- \* Remove vinyl accent stripe and misc markings from wall
- \* Patch and prep walls at salesroom, waiting area and existing manager's office
- \* Manager's office door to be reused for new restroom
- \* New door to space will be solid core/paint grade with wood jambs – door to receive commercial grade hinges and 4"x10" window with existing lockset installed
- \* Patch existing manager's office door location to match existing wall construction
- \* Demo existing restroom wall and patch as required
- \* Construct (2) walls approx 3'6" wide across hallway – (1) to have 3'x6'8" opening for ADA restroom
- \* Remove existing tile from wall in customer restroom only
- \* Install blocking for grab bars as required
- \* Install 5/8" drywall
- \* Tape, mud and sand between coats to paint ready
- \* Install existing door from manager's office
- \* Supply and install new ADA lever privacy lockset/grab bars/ADA mirror
- \* All new construction and existing walls to receive (1) coat primer and (2) coats finish
- \* Replace water stained ceiling tile with existing tile from manager's office at waiting area
- \* Supply and install new ceiling tile in manager's office as required
- \* Create opening in existing manager's office to accommodate access to proposed storage area

**Millwork:**

- \* Supply and install alone base cabinet and counter top to the left side of the main counter behind existing column – Base cabinet to be white melamine open with adjustable shelves
- \* Re-laminate existing checkout counter, end walls and face of desk
- \* Re-laminate stand alone coffee work station countertop – to match main counter
- \*\* Note: Excludes existing base cabinets

**Plumbing:**

- \* Remove existing plumbing fixtures in customer restroom
- \* Rework supply and drain lines as required to meet ADA codes using CPVC or Pex Armflex insulation/schedule 40 pvc pipe and fittings

October 19, 2012

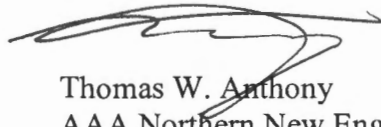
To Whom It May Concern:

I, Thomas W. Anthony, as General Manager for AAA Northern New England's Maine Fleet Operations and Car Care Center hereby give my permission for Flynn-Z Construction to do the agreed upon construction in the waiting area of our Car Care Center at 191B, Marginal Way in Portland, ME.

The general scope of the construction project is as follows:

Reconstruct the current bathroom areas and manager's office area to create one larger ADA compliant bathroom and a small storage closet off the manager's office, to replace the existing entrance door with one of similar design and size, to replace the existing service counter with one of similar size and style, and to replace the existing flooring with new flooring of similar material.

Sincerely,



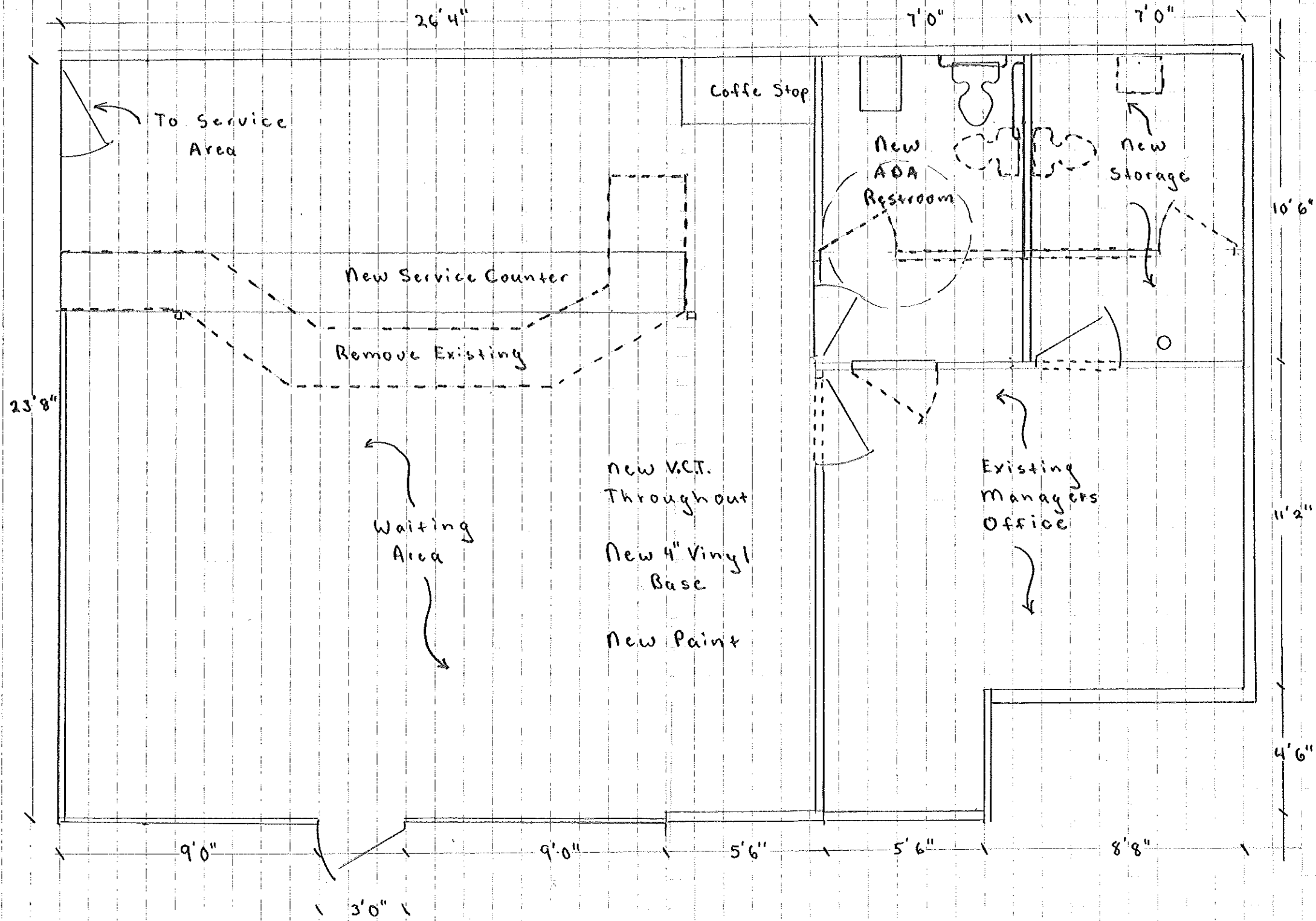
Thomas W. Anthony  
AAA Northern New England  
General Manager  
Maine Fleet Operations and Car Care Center  
207-791-8536

68 Marginal Way, P.O. Box 3544, Portland, ME 04101 207.780.6800 800.222.3612

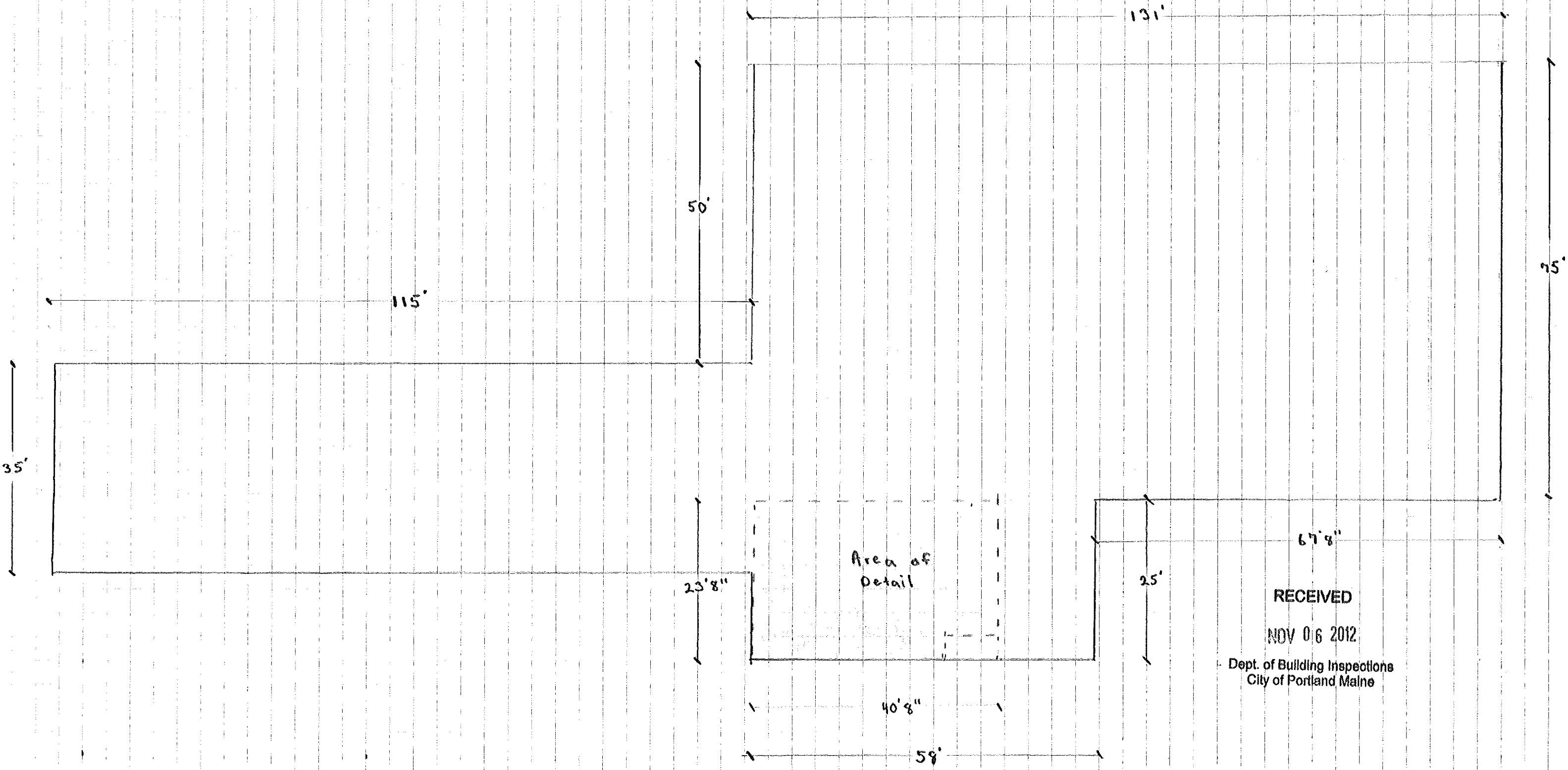
Auto Club Enterprises provides service to more than 13 million members



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191 B Marginal Way, Portland  
AAA Car Care Center



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NOV 06 2012  
Dept. of Building Inspections  
City of Portland Maine