



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND



BUILDING

PERMIT



This is to certify that COMPANY THE CARBO

Located At 3 SOMERSET

Job ID: 2011-01-196-ALTCOMM

CBL: 024 - - C - 004 - 001 - - - -

has permission to Do Interior & Exterior Alterations including bathrooms for Tenant Fit-up for Verizon Wireless Store

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.

PENALTY FOR REMOVING THIS CAR

City of Portland, Maine - Building or Use Permit Application

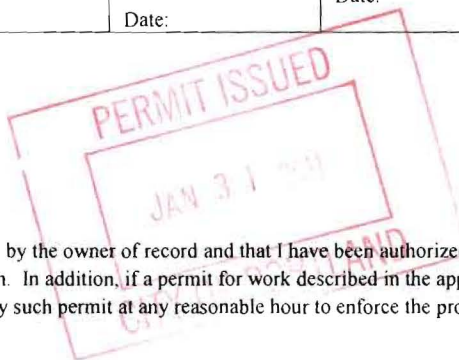
389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Permit No: 2011-01-196	Issue Date: 1/31/2011	CBL: 024 C004001
----------------------------------	---------------------------------	----------------------------

Location of Construction: 3 Somerset St.	Owner Name: The Carbo Company	Owner Address: 1 Canal Plaza, Portland, ME	Phone:
Business Name:	Contractor Name: Brayton Construction, INC	Contractor Address: 265 Osborne Rd, Loudonville, NY 12211	Phone: 518-453-9560
Lessee/Buyer's Name:	Phone:	Permit Type: Interior/Ext Alterations	Zone: B-7
Past Use: Retail Sales (Rent-A-Center)	Proposed Use: Retail Sales (Verizon Wireless)	Cost of Work: 198,100.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/cond. <input type="checkbox"/> Denied	Inspection: Use Group: M Type: 2B IRC 2009
		Signature: <i>JMB for BW</i>	Signature: JMB 1/31/11
Proposed Project Description: Do Int/Ext Alterations including bathrooms for new tenant fit up		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Ld	Date Applied For: 1/3/11	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building Permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work. 		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Min <input type="checkbox"/> MM <input type="checkbox"/> Date: MES	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in Dist or Landmark <input checked="" type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:

CERTIFICATION



I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE	

2-11-11 DWM contact Ken 773-9525 under slab plumbing OK
to cover.

2-22-11 DWM contact Kevin 518-956-1681 Plumbing incomplete
Framing OK See Urban notes,



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>3 Somerset Street, Portland, Maine 04101</u>		
Total Square Footage of Proposed Structure/Area <u>Existing Structure = 4490 sqft</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>24</u> Block# <u>C</u> Lot# <u>4</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Brett Haven</u> Address <u>Cellular Sales 109 Circle Lane</u> City, State & Zip <u>Knoxville, TN 37919</u>	Telephone: <u>603-566-4500</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>198,100.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>2,000.00</u>
Current legal use (i.e. single family) <u>Vacant</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>mercantile</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Tenant improvements, new exterior finishes, new windows, new walls in sales area, new ADA bathroom, new interior finishes</u>		
Contractor's name: <u>BRAYTON CONSTRUCTION INC</u> Address: <u>265 OSBORNE ROAD</u> City, State & Zip <u>LOUDONVILLE N.Y. 12211</u> Telephone: <u>5184539560</u> Who should we contact when the permit is ready: <u>WILLIAM BRAYTON</u> Telephone: <u>5184698221</u> Mailing address: <u>SAME</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 12/28/10

RECEIVED

This is not a permit; you may not commence ANY work until the permit is issued - 3 2011

Dept. of Building Inspections
City of Portland Maine



Certificate of Design Application

From Designer: The Crissey Architectural Group
 Date: December 28, 2010
 Job Name: Cellular Sales
 Address of Construction: 3 Somerset Street, Portland, Maine 04101

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 Use Group Classification (s) (m) mercantile

Type of Construction 2B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC NO

Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) -

Supervisory alarm System? NO Geotechnical/Soils report required? (See Section 1802.2) N/A

Structural Design Calculations

N/A Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>N/A</u>	<u>N/A</u>

Wind loads (1603.1.4, 1609)

N/A Design option utilized (1609.1.1, 1609.6)
 Basic wind speed (1809.3)
 Building category and wind importance Factor, w , table 1604.5, 1609.5)
 Wind exposure category (1609.4)
 Internal pressure coefficient (ASCE 7)
 Component and cladding pressures (1609.1.1, 1609.6.2.2)
 Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

N/A Design option utilized (1614.1)
 Seismic use group ("Category")
 Spectral response coefficients, S_D s & S_{D1} (1615.1)
 Site class (1615.1.5)

N/A Live load reduction
 Roof live loads (1603.1.2, 1607.11)
 Roof snow loads (1603.7.3, 1608)
 Ground snow load, P_g (1608.2)
 If $P_g > 10$ psf, flat-roof snow load P_f
 If $P_g > 10$ psf, snow exposure factor, C_e
 If $P_g > 10$ psf, snow load importance factor, I_s
 Roof thermal factor, C_t (1608.4)
 Sloped roof snowload, P_s (1608.4)
 Seismic design category (1616.3)
 Basic seismic force resisting system (1617.6.2)
 Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)
 Analysis procedure (1616.6, 1617.5)
 Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)
N/A Elevation of structure

Other loads

N/A Concentrated loads (1607.4)
 Partition loads (1607.5)
 Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review *(Reuse Existing)*
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Existing 4490 sq. ft.

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
 - a) Suppression system **N/A**
 - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher. **N/A**

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

RECEIVED

JAN - 3 2011

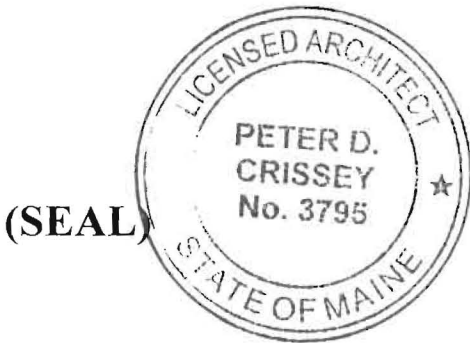
Dept. of Building Inspections
City of Portland Maine



Accessibility Building Code Certificate

Designer: The Crissey Architectural Group
Address of Project: 3 Somerset Street Portland
Nature of Project: Existing Building Renovation

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: *Peter D. Crissey*
Title: ARCHITECT
Firm: CRISSEY ARCH'L GROUP
Address: 995 NORTH AVENUE
SYRACUSE NY 13206
Phone: 315 437 0844

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date: December 28, 2010

From: The Crissey Architectural Group

These plans and / or specifications covering construction work on:

Cellular Sales @ 3 Somerset Street
Portland, Maine 04101

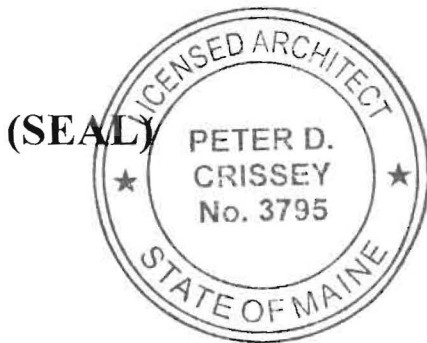
Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.

Signature: 
Title: ARCHITECT

Firm: CRISSEY ARCH'L GROUP

Address: 995 NORTH AVENUE
SYRACUSE, NY 13206

Phone: 315 437 0844



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

PROJECT

Cellular Sales
3 Somerset Street
Portland, ME 04101

CONTACTS

Architect

The Crissey Architectural Group
995 North Avenue
Syracuse, NY 13206
(315) 437-0844
(315) 463-7619 Fax

Tim Posecznick
tposecznick@crisseygroup.com

Tenant

Cellular Sales
Steve Reding (Project Manager)
109 Circle Lane
Knoxville, TN 37918
(585) 410-1545

Signage

Sign-A-Rama
3125 Spring Garden St.
Greensboro, NC 27407
(336) 545-1124 ext 109
jenn@signsgso.com
Vince Cvijadvic
(336) 545-1124 ext 110

Fixtures Design

Perper Design
Art Perper
7105 Lake Henson Drive
Summerfield, NC 27358
(336) 643-1279
www.perperdesign.com

REQUIRED CODE

Maine State Building Code

<u>Code Type</u>	<u>Code Model</u>	<u>Amendment Contact</u>
Building/Dwelling Code	IBC 2003	N/A
Structural Code	IBC 2003	N/A
Plumbing Code	Maine State International Plumbing Code (UPC 2000)	Online through IAPMO
Electrical Code	NEC 2002 NFPA #70	Online for Download
Fire/Lifesafety Code	NFPA 101, 1997	No Amendments
Accessibility Code	ADAAG	No Amendments
Elevator Code	ASHE A-17.1, 2000 Addenda A17.1.A, 2002	No Amendments
Gas Code	NFPA 54, 2002 (Code of Maine Rules 02-582)	Online for Download
Boiler Code	ASME BPC, Section 1-11 (1998, 1999) Power Piping, B31.1, 1998, 1999 ADDS., NBIC, 1998, 1999	

PROJECT DESCRIPTION

Existing structure remodeled for new tenant.

RECEIVED

JAN - 3 2011

Dept of Building Inspections
City of Portland Maine

CODE REVIEW

Project Name: Cellular Sales – Tenant Improvements
Address: 3 Somerset Street, Portland, Maine 04101

USE GROUP CLASSIFICATION:

Section 304 and 309 M (Mercantile) and B (Business)

CONSTRUCTION CLASSIFICATION:

Table 601 Types of Construction:
Type 2B Construction

ALLOWABLE HEIGHT:

Table 503, Section 504.2
Actual Height: 18'-8 1/2" +/-

FIRE PROTECTION:

Section: Not Required
402.8, Table 903.2.13

INTERIOR FINISH FLAME SPREAD (TABLE 803.4):

Typical Interior Walls and Ceilings – Class C
Walls and Ceilings at Exit Access – Class C

OCCUPANT LOAD:

Table 104.1.2	Sales Area = 2485 sq ft/30	= 82 Occupants
	Back Office = 2005 sq ft/100	= 20 Occupants
	Total sq ft = 4490 sq ft	= 102 Occupants

REQUIRED EXITS:

2 Exits Required
2 Provided

PLUMBING FIXTURE REQUIREMENTS:

Water Closet:	1/500 Required = 102/500 = 1 Required	1 Provided
Lavatory:	1/750 Required = 102/500 = 1 Required	1 Provided
Drinking Fountain:	1 Required	2 Provided
Service Sink:	1 Required	1 Provided

LEASABLE SQ. FT.

Sales Area = 2485 sq ft
Back Office = 2005 sq ft
Total Sq. Ft. = 4490 sq ft

ADDITIONAL ITEMS

- Fire resistance ratings of all means of egress. (See Code Review & A-2 Drawing)
- Travel distance from most remote point to exit discharge. (See Code Review & Plan on Sheet CS-2)
- Location of any required fire extinguishers. (See General Notes & Plan on Sheet CS-2)
- Location of emergency lighting (See Electrical Drawings & Plan on Sheet CS-2)
- Location of exit signs (See Electrical Drawings & Plan on Sheet CS-2)
- NFPA 101 code summary (Existing Building/See Code Review & Plan on Sheet CS-2)

Elevators shall be sized to fit 80"x24" stretcher. (N/A)

Brayton Construction Inc.
265 Osborne Road
Loudonville, NY 12211
P: 518-453-9560 F: 518-453-3586

December 29, 2010

Building Inspections Division
389 Congress Street
Portland, ME 04101

To Whom It May Concern:

Please find the following enclosed for the Cellular Sales project at 3 Somerset Street,
Portland, ME 04101.

- 2 sets of construction drawings
- 1 set of 11x17 construction drawings
- Permit fee check for \$ 2,000.00
- Building Permit Application

If you have any questions or require anything else please contact our office.

Sincerely

Chris Brayton
Brayton Construction

RECEIVED

JAN - 3 2011

Dept. of Building Inspections
City of Portland, Maine



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Tender Details:

Tender Information: Check , Check Number: 19896

Tender Type: CK

Tender Amount: 2000.00

Receipt Header:

Cashier Id: ldobson

Receipt Date: 1/3/2011 12:00:00 AM

Receipt Number: 549

Receipt Details:

Reference ID:	219	Fee Code Version:	
Originator Receipt Number:	0	Originator Payment Date:	
Payment Type:	PP	Is Waiver in Percentage:	True
Waiver Amount:	0		
Transaction Amount:	2000.00	Charge Amount:	2000.00
Additional Comments:			

Thank You for your Payment!

Walter C Haycock
10 Madeline Dr.
Brunswick Me. 04011

March 16, 2011

Code Enforcement
Inspections Division
City Of Portland, Me.

RE: 3 Sommer Set St.
Portland, Me.

To Whom it may concern:

I Walter Haycock, License # MS60004066. Do state, that to the best of my knowledge, the wiring I installed at the above address, as per the PERMITS issued to me, is up to date, and meets the present standards of the: Local, State, and National Electrical Codes. I further state, that the existing wiring, appears to be in good shape, and I understand that I am responsible for that as well.

Just for the record, I do carry insurance: MMG Insurance Company. P.O. Box 15011
Lewiston, Me. 04243-9561 Policy # SC 0118691
Agent # 564 18
Foy Insurance- Westbrook
506 Main St. Suite 14
Westbrook, Me. 04092
207-854-3634
Contact: Mike Boisvert

During the first walk-through with Brian LaFlamm,(The Electrical Inspector,) I explained to him, that I WAS using the existing circuits AS per the electrical plans, given to me. Most important, I pointed out the existing Breaker Panel, and Electrical Room, which was a disaster. I noted the changes he insisted: Add a second ground bar to remove doubled up Neutrals, Remove non-compatible breakers, neaten up as best I could, make sure bonding was complete. Of which I complied.
I received 3 punch lists with numerous items. And I corrected them.

Sincerely
Walter Haycock
207-837-8873

3/11/11

I Walter Haycock Lic. # MS60004066
did wire the building at:
3 Sommerset st. Portland Me.
Used existing Circuits as Per
Plans. Recept, switches, Exit,
Emer, 2 Roof Top units ETC.
changed Breakers To compatible
Bryant breakers.

Walter Haycock

3/11/11

Nicholas Adams - FW: verison wireless

From: chris wessels <ckventures@hotmail.com>
To: <nadams@portlandmaine.gov>, <tmunson@portlandmaine.gov>, <steve.reding@c...>
Date: 3/11/2011 2:04 PM
Subject: FW: verison wireless

From: ckventures@hotmail.com
To: nadams@portlandmaine.com; tmunson@portlandmaine.com; steve.reding@cellularsales01.com
Subject: verison wireless
Date: Fri, 11 Mar 2011 13:50:33 -0500

Hello Nick,

C K Ventures has inspected the HVAC installation at the Verison Wireless Store. The new Carrier rooftop units are installed and operating correctly and there is a service disconnect on the units as required by code. The ductwork is sized correctly and insulated as necessary. The gas valves have been converted from natural to propane as required by the Maine State Gas code. We feel confident that the installation correct. The existing furnace did not have the filters installed but Brayton Construction Inc. will rectify the problem today

Sincerely,

C K Ventures
Kathryn Mooney
Project Manger
POB 837
243 Post Road
Moody, Maine 04054-9998
207.641.3411
ckventures@hotmail.com
license # PNT434



STATE OF MAINE
DEPT OF PROFESSIONAL & FINANCIAL REGULATION
ELECTRICIANS' EXAMINING BOARD

LICENSE # MS60004066

**WALTER C. HAYCOCK, III
MASTER ELECTRICIAN**

ISSUED Jun 01, 2010 EXPIRES May 31, 2012

Walter C. Haycock
10 Madeline Dr.
Brunswick, Me. 04011

March 13, 2011

Code Enforcement
Electrical/ Building Division
City Of Portland, Me.

To Whom it may concern:

I Walter Haycock, License No. MS60004066 Did wire a building located at:
3 Sommer St. Portland, Me.

I gave NO one permission, or authorization to wire Anything of 110 volts or higher. I was informed by Kevin, the acting Supervisor that an inspection was scheduled for Wednesday, 3/9/11. I told him I could be there, and would finish the Outside AC unit, and anything else if needed. I was then informed that the inspection would be on Thursday. I made it PERFECTLY clear, that Thursday was out of the question, as I was doing other projects of which I could not leave. He said they should be all set and I should not have to be there. I told him , There could be an issue with the disconnect not being installed. I then was informed that some one had removed the panel cover. I Told Kevin, That NO one should be inside that panel, and if ANYONE on site was doing electrical work, he was to throw them out ! I was then informed on Friday, that a permit was needed for the 2 HVAC units on the roof. I had no problem with that as I had wired them. When I arrived at the City Hall, I introduced myself to Nick Adams, a Building Inspector. He asked me many questions pertaining to the HVAC units, including the disconnect for the outside AC unit. I informed him, that it was not installed. He also asked me if I installed a light, which I understood to be a pigtailed temp from his description, in the electrical room. I told him no, there was a 2 tube T12 that I had installed tube guards as per Brian, during the first inspection.

Who did I wire and what

I understand that I am fully responsible for all the electrical wiring in that building.

Sincerely

Walter Haycock
10 Madeline Dr.
Brunswick, Me. 04011
207-837-8873

C K Ventures LLC

March 12, 2011

Nick Adams
Code Enforcement Officer
389 Congress Street
Portland, Maine 04101

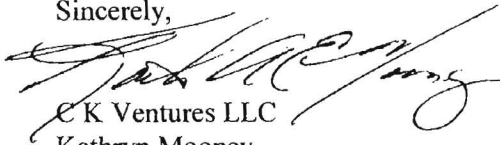
POB 837
243 Post Road
Moody, Maine 04054-9998
Phone (207) 641-3411
CKVentures@hotmail.com

Re: Verizon Wireless

Hello Nick,

C K Ventures has inspected the HVAC installation at the Verizon Wireless store. The new Carrier rooftop units are installed and operating properly and there is a service disconnect at the units as required by code. The ductwork is sized correctly and insulated as necessary. The gas valves have been converted from natural to propane as required by the Maine State Gas code. We feel confident that the installation is correct. The existing furnace did not have the filters installed but Brayton Construction will rectify the problem today.

Sincerely,

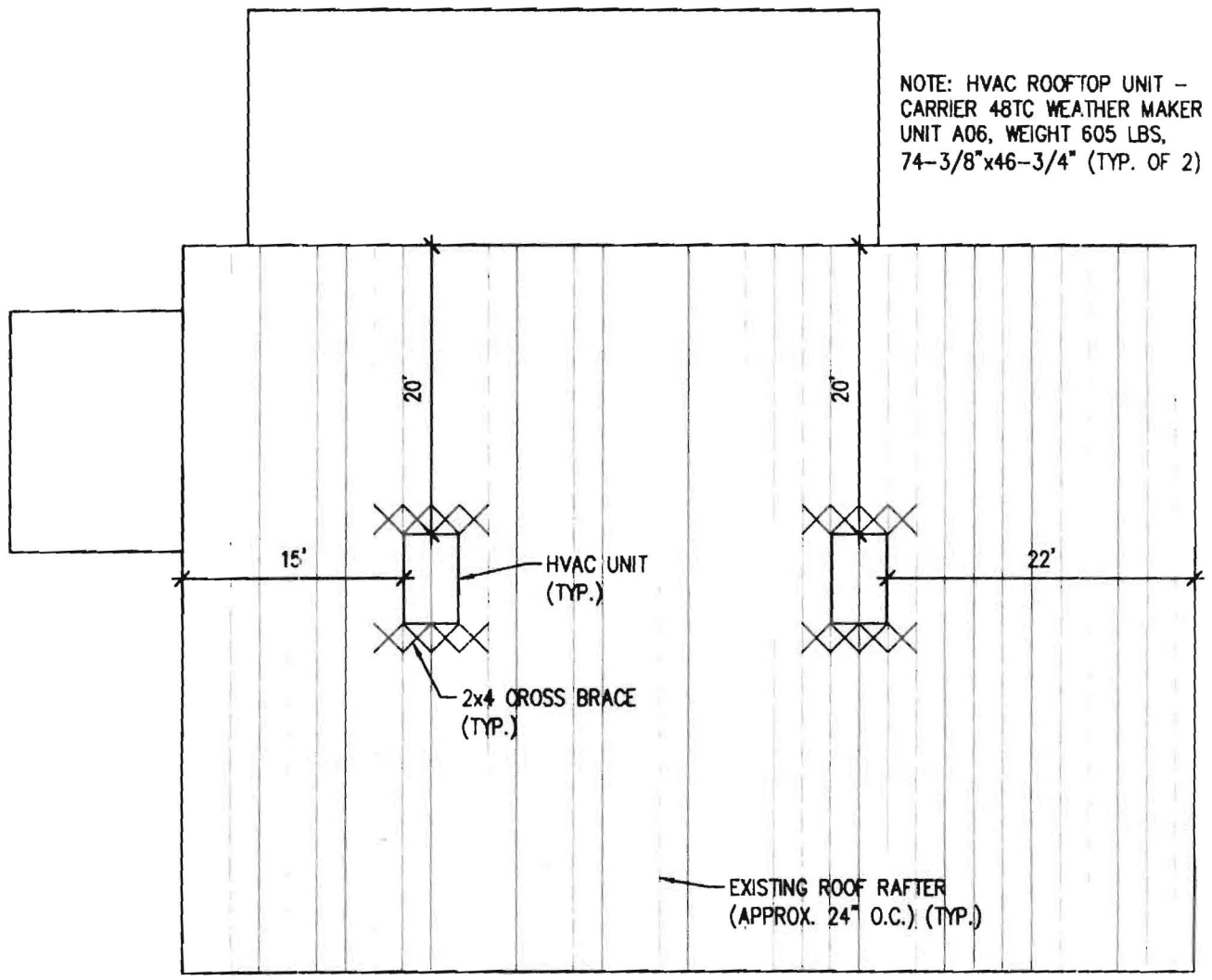


C K Ventures LLC
Kathryn Mooney
Project Manager
POB 837
245 Post Road
Moody, Maine 04054-9998
207.641,3411
Ckventures@hotmail.com
License #PNY433

PROJECT NAME: CELLULAR SALES SOMERSET STREET PORTLAND, ME

PROJECT NUMBER: 10173

NOTE: HVAC ROOFTOP UNIT - CARRIER 48TC WEATHER MAKER UNIT A06, WEIGHT 605 LBS, 74-3/8"x46-3/4" (TYP. OF 2)



1 ROOF PLAN SCALE: NOT TO SCALE



THE CRISSEY ARCHITECTURAL GROUP
 995 North Ave.
 Syracuse NY 13206
 Phone: 315-437-0844
 Fax: 315-463-7619
 Email: info@crisseygroup.com
 Web: www.crisseygroup.com

TITLE ROOF PLAN & HVAC UNITS			DWG #
DRAWN BY SLC	DATE 02/28/2011	SCALE NOT TO SCALE	JD-A1



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis Littell

Job ID: 2011-01-196-ALTCOMM

Located At 3 SOMERSET

CBL024 - - C - 004 - 001 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. All signs shall conform to the conditions placed upon the separate permit issued.

Fire

1. All construction shall comply with City Code Chapter 10.
2. Fire extinguishers are required. Installation per NFPA 10.
3. The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
4. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model.
5. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads.
6. Installation of a sprinkler or fire alarm system requires a Knox Box to be installed per city ordinance.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Close In Elec/Plmb/Framing prior to insulation, drywall or covering
 2. Final Inspection prior to occupancy.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PROJECT NAME: CELLULAR SALES SOMERSET STREET
PORTLAND, ME

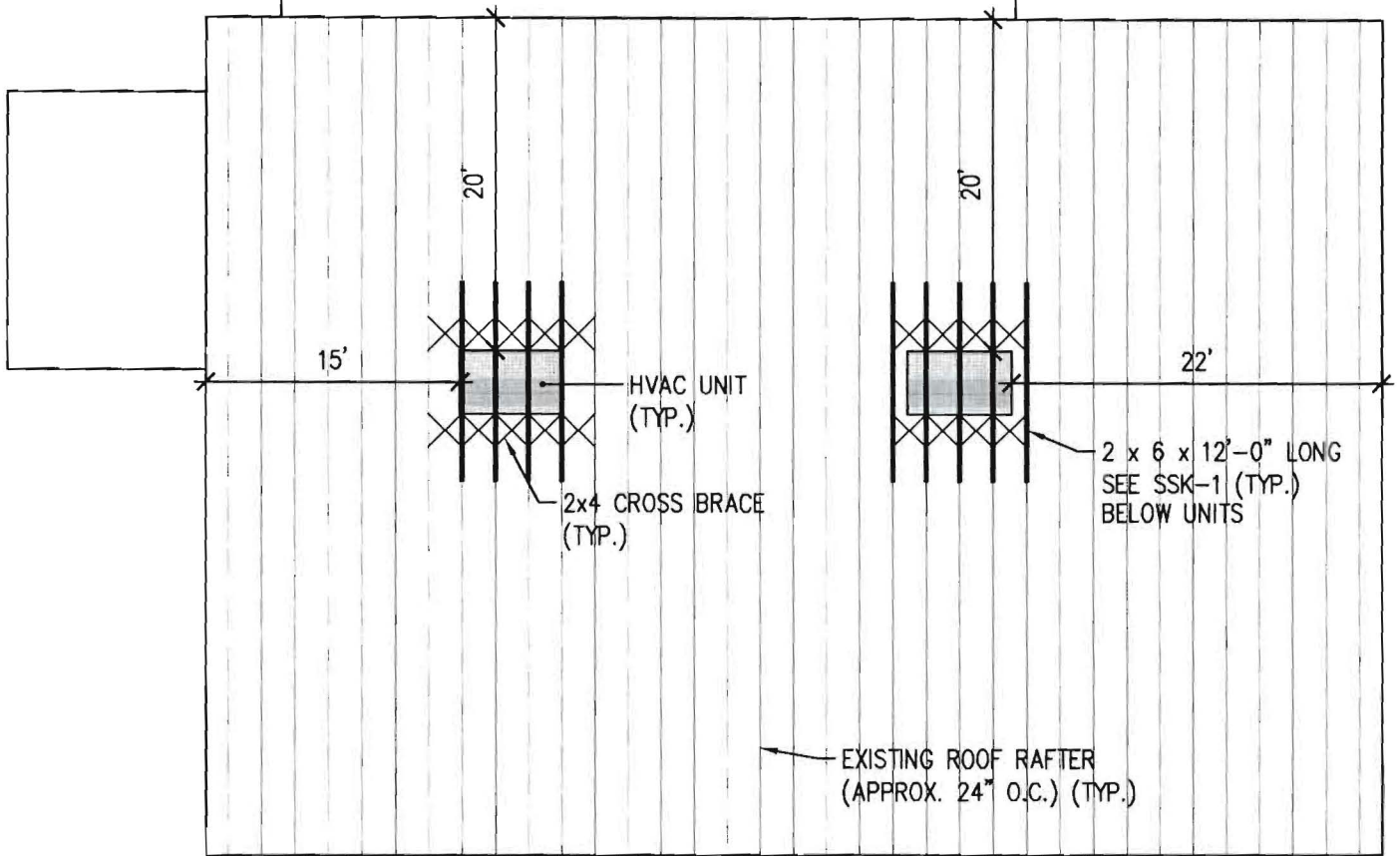
PROJECT NUMBER: 10173

RECEIVED

MAR - 8 2011

Dept. of Building Inspections
City of Portland Maine

NOTE: HVAC ROOFTOP UNIT -
CARRIER 48TC WEATHER MAKER
UNIT A06, WEIGHT 605 LBS,
74-3/8"x46-3/4" (TYP. OF 2)

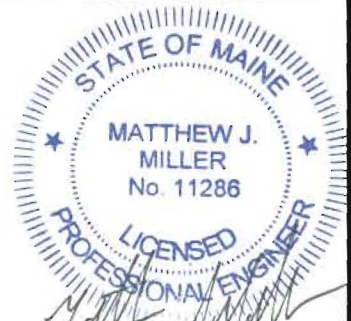


M² Structural Engineering
23 Thornbury Way, Windham, ME 04062
(207) 892-0983



995 North Ave.
Syracuse NY 13206
Phone: 315-437-0844
Fax: 315-463-7619
Email: info@crisseygroup.com
Web: www.crisseygroup.com

1 ROOF PLAN
SCALE: NOT TO SCALE



TITLE ROOF PLAN & HVAC UNITS

DWG #

DRAWN BY SLC

DATE 02/28/2011

SCALE NOT TO SCALE

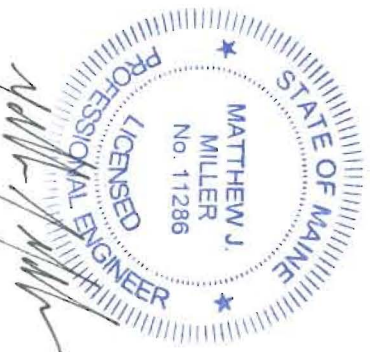
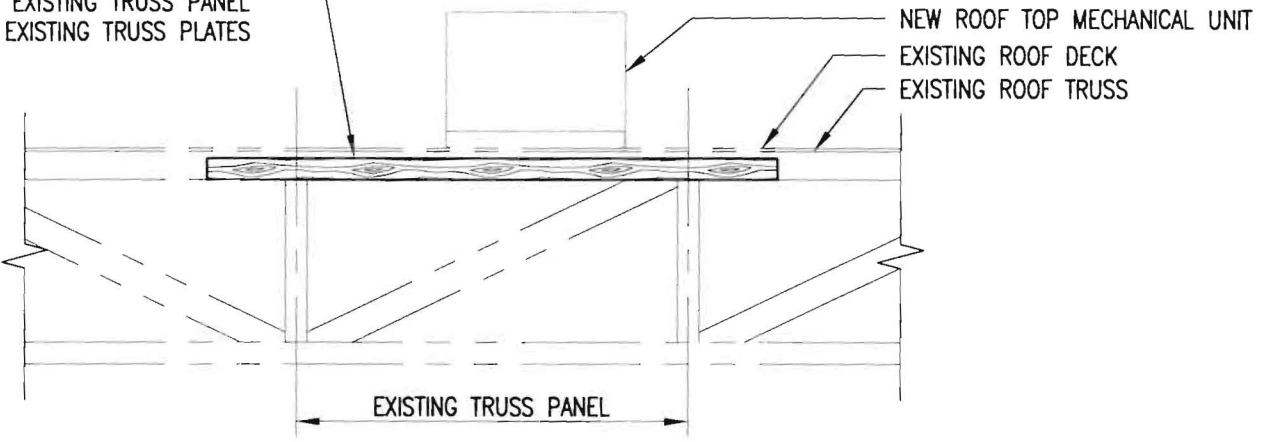
JD-A1

RECEIVED

MAR - 8 2011

Dept. of Building Inspections
City of Portland Maine

2x6 SPF NO.1/NO.2 x 12'-0" LONG EA. TRUSS
BELOW ROOF TOP UNIT. FASTEN TO EX. TRUSS
TOP CHORD w/ (2) 1/4"x2 1/2" LONG SDS SCREWS
AT 1'-6" oc AND CONSTRUCTION ADHESIVE
CENTER 2x6 ON EXISTING TRUSS PANEL
DO NOT SCREW THROUGH EXISTING TRUSS PLATES



ROOF TRUSS REINFORCING AT MECHANICAL UNIT

THE CRISSEY ARCHITECTURAL GROUP
CELLULAR SALES - SOMMERSET ST. PORTLAND, ME

M² Structural Engineering
23 Thornbury Way
Windham, ME 04062
(207) 892-0983

DRAWN:	MJM	SCALE:	1/4"=1'-0"
CHECKED:	MJM	PROJECT NO.:	11024
DATE:	03/08/2011	DRAWING NO.:	SSK-1

PROJECT NAME: CELLULAR SALES SOMERSET STREET
PORTLAND, ME

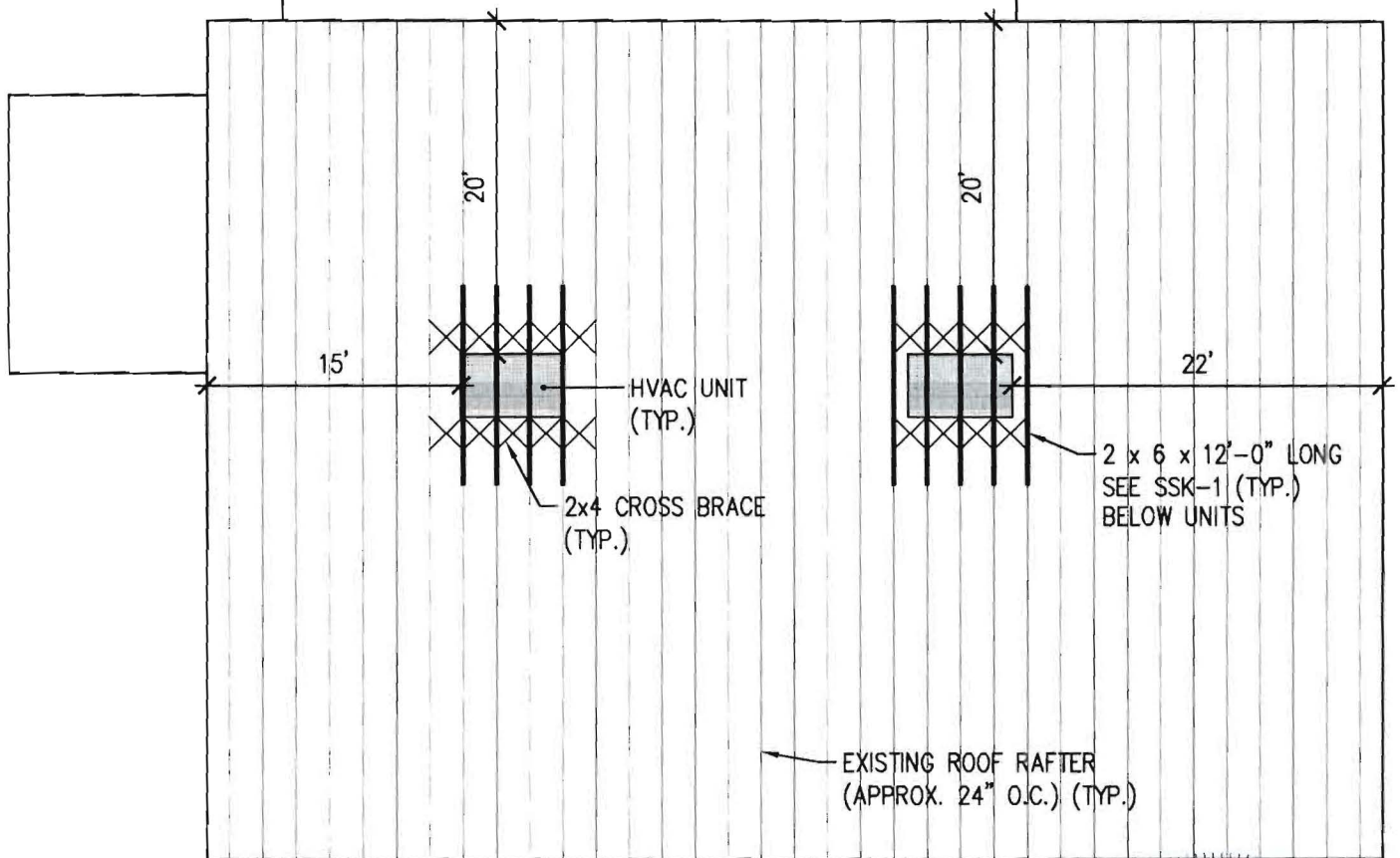
PROJECT NUMBER: 10173

RECEIVED

MAR - 8 2011

Dept. of Building Inspections
City of Portland, Maine

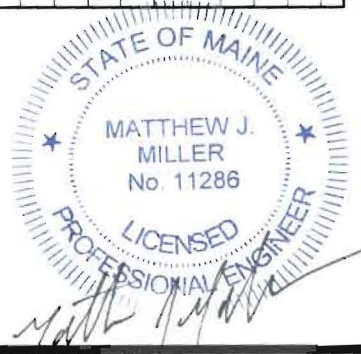
NOTE: HVAC ROOFTOP UNIT -
CARRIER 48TC WEATHER MAKER
UNIT A06, WEIGHT 605 LBS,
74-3/8"x46-3/4" (TYP. OF 2)



M² Structural
Engineering

23 Thornbury Way, Windham, ME 04062
(207) 892-0983

1 ROOF PLAN
SCALE: NOT TO SCALE



995 North Ave.
Syracuse NY 13206
Phone: 315-437-0844
Fax: 315-463-7619
Email: info@crisseygroup.com
Web: www.crisseygroup.com

TITLE ROOF PLAN & HVAC UNITS

DWG #

JD-A1

DRAWN BY SLC

DATE 02/28/2011

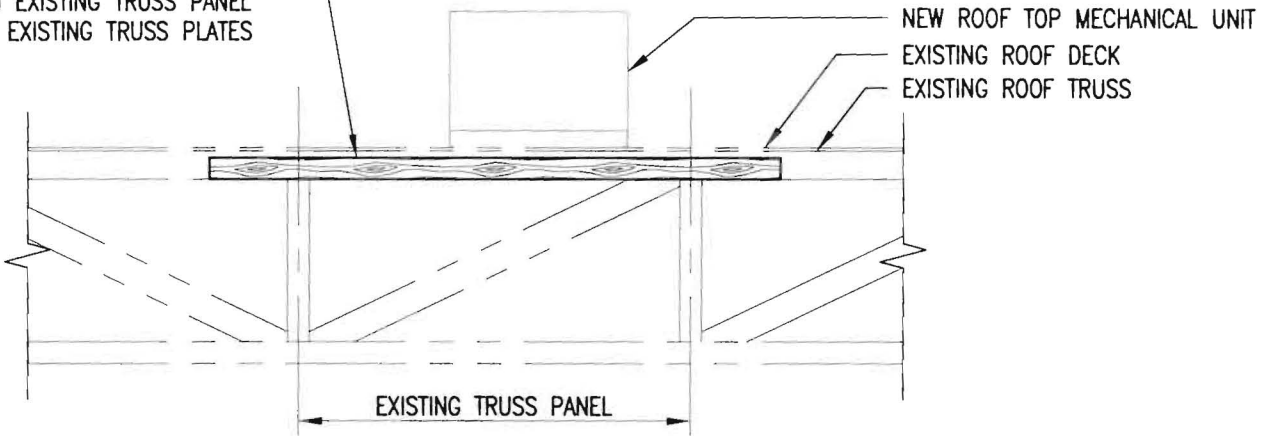
SCALE NOT TO SCALE

RECEIVED

MAR - 8 2011

Dept. of Building Inspections
City of Portland Maine

2x6 SPF NO.1/NO.2 x 12'-0" LONG EA. TRUSS
BELOW ROOF TOP UNIT. FASTEN TO EX. TRUSS
TOP CHORD w/ (2) 1/4"x2 1/2" LONG SDS SCREWS
AT 1'-6" oc AND CONSTRUCTION ADHESIVE
CENTER 2x6 ON EXISTING TRUSS PANEL
DO NOT SCREW THROUGH EXISTING TRUSS PLATES



ROOF TRUSS REINFORCING AT MECHANICAL UNIT

THE CRISSEY ARCHITECTURAL GROUP
CELLULAR SALES - SOMMERSSET ST. PORTLAND, ME

M² Structural
Engineering, Inc.

23 Thorndbury Way
Windham, ME 04062
(207) 892-0983

DRAWN:

MJM

SCALE:
1/4"=1'-0"

CHECKED:

MJM

PROJECT NO.:

11024

DATE:

03/08/2011

DRAWING NO.:

SSK-1

FREE IE 04101

Drawing List

Sheet #	Title	Issue Date	Latest Rev.
CS-1	COVER SHEET	12/16/2010	12/28/2010
CS-2	EGRESS ANALYSIS PLAN	12/28/2010	
D-1	DEMOLITION PLAN	12/16/2010	
D-2	DEMOLITION ELEVATIONS	12/16/2010	
A-1	FLOOR PLAN	12/16/2010	12/28/2010
A-2	FIXTURE PLAN	12/16/2010	
A-3	FINISH & REF. CEILING PLAN	12/16/2010	
A-4	ELEVATIONS	12/16/2010	
A-5	SPECIFICATIONS & SECTIONS	12/16/2010	
H-1	HVAC PLAN	12/16/2010	12/28/2010
P-1	UNDER SLAB PLAN	12/16/2010	12/28/2010
P-2	ABOVE SLAB PLAN	12/16/2010	
E-1	ELECTRICAL PLAN	12/16/2010	
E-2	FIRE ALARM PLAN	12/28/2010	
E-3	CIRCUITING PLANS	12/28/2010	

Contractors

UNAPED

Site Location



PROJECT:

CELLULAR SALES
3 SOMERSET STREET
PORTLAND, MAINE 04101

OWNER:

CELLULAR SALES
109 CIRCLE LANE, KNOXVILLE TN 37919



THE CRISSEY
ARCHITECTURAL
GROUP

995 North Ave.
Syracuse NY 13206
Phone: 315-437-0844
Fax: 315-463-7818
Email: info@crisseygroup.com
Web: www.crisseygroup.com

JOB NUM:	10173
DRAWN BY:	BJG
CHECKED:	TAP
ISSUED:	12/16/2010
REVISIONS:	12/28/2010

DRAWING TITLE

2. N/A
3. LAYOUT ALL UNDERGROUND PIPING PRIOR TO FOUNDATION TRENCHING AND BRING ANY CONFLICTS TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION. NO PIPES OF ANY TYPE ARE TO PASS BELOW, OR WITHIN THE BEARING AREA OF ANY.
4. ALL WORK AND MATERIAL SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES AS ADAPTED AND AMENDED BY THE INSPECTING AUTHORITIES. NOTHING IN THESE DRAWINGS IS TO BE CONSIDERED TO PERMIT WORK NOT CONFORMING TO THE APPLICABLE CODES. IN THE EVENT OF CONFLICT BETWEEN THE CODE REQUIREMENTS AND DRAWINGS OR SPECIFICATIONS, THE MOST STRINGENT SHALL PREVAIL.
5. ALL PLUMBING WORK SHALL BE INSTALLED SO AS TO AVOID INTERFERENCE WITH ALL ELECTRICAL WORK, MECHANICAL WORK AND STRUCTURAL MEMBERS.
6. ALL CLEAN OUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE. THE CONTRACTOR SHALL COORDINATE ALL CLEAN OUT LOCATIONS WITH EQUIPMENT, CABINETS, ETC. AND THE ARCHITECT PRIOR TO INSTALLATION. DUE TO THE SCALE OF THE CONSTRUCTION DOCUMENTS ALL CLEAN OUTS NECESSARY MAY NOT BE INDICATED. CLEANOUTS ARE TO BE INSTALLED IN ACCORDANCE WITH ALL CODE REQUIREMENTS.
7. N/A
8. UNIONS SHALL BE PROVIDED AND INSTALLED AFTER EACH SCREW TYPE VALVE AND AT EQUIPMENT CONNECTIONS. PROVIDE AND INSTALL ISOLATION UNIONS ON ALL CONNECTIONS BETWEEN DISSIMILAR METALS.
9. ALL PLUMBING VENTS SHALL TERMINATE A MINIMUM OF 1'-0" AWAY FROM ANY VERTICAL SURFACE AND 10'-0" FROM ANY OUTSIDE AIR INTAKES.
10. ALL VALVES, UNIONS, ETC. ARE TO BE THE SAME SIZE AS PIPE UNLESS INDICATED ON THE DRAWINGS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIRING ALL AREAS WHICH ARE DAMAGED BY HIS OPERATIONS.
12. ALL CUTTING OF ALL EXISTING CONCRETE FLOORS SHALL BE BY MACHINE SAW CUTTING. HOLES FOR PIPES IN CONCRETE WALL OR FLOORS SHALL BE MADE WITH CORE DRILLING EQUIPMENT AND WITH PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER.

SPECIFICATIONS

1. SCOPE OF WORK
 - A. FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE INSTALLATION OF THE WORK OF THIS SECTION AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN, INCLUDING ALL INCIDENTAL WORK NECESSARY TO MAKE IT COMPLETE, SATISFACTORY AND READY FOR OPERATION AND USE.
 - B. INSTALLATION OF ALL EQUIPMENT SHALL COMPLY WITH THE APPLICABLE DIVISIONS OF THE LOCAL BUILDING AND SAFETY DEPARTMENT CODES.
2. WATER PIPE
 - A. DOMESTIC (POTABLE) COLD AND HOT WATER PIPING SHALL BE AS FOLLOWS:
 - BELOW GROUND - TYPE "K" SOFT DRAWN COPPER TUBING CONFORMING TO ASTM B88 WITH WROUGHT COPPER SOLDER JOINT FITTINGS AND SILVER SOLDERED JOINTS.
 - ABOVE GROUND - TYPE "L" HARD TEMPER COPPER TUBING CONFORMING TO ASTM B88 WITH WROUGHT COPPER SOLDER JOINT FITTINGS AND ZN LEAD SOLDER.
 - B. GATE VALVE SHALL BE BRONZE WITH ENDS TO SUITE PIPE, NON-RISING STEM FOR 150 PSI WORKING PRESSURE.
3. ROOF DRAINAGE

ROOF DRAINAGE SYSTEM SHALL BE SERVICE-WEIGHT CAST IRON WITH NO-HUB FITTINGS, OR APPROVED EQUAL. ALL HORIZONTAL ROOF DRAINAGE SHALL BE FLASHED AND COUNTERFLASHED. SCHEDULE 40 P.V.C. DRY PIPING MAY BE USED IF APPROVED BY LOCAL AUTHORITIES HAVING JURISDICTION. PLASTIC IS PREFERRED BY OWNER IF ALLOWED BY AUTHORITIES. PLASTIC PIPING, IF PERMITTED SHALL NOT BE FOAM CORE P.V.C.
4. CONDENSATE DRAINS

CONDENSATE DRAINS FROM HVAC UNITS SHALL BE TYPE "M" SOFT DRAWN COPPER TUBING, SUPPORT PIPING AND PROTECT FROM DAMAGE. ALL HORIZONTAL CONDENSATE DRAINS SHALL BE SLOPED 1/8" PER FOOT MINIMUM.
5. WASTE AND VENT
 - A. ALL HORIZONTAL SOIL AND WASTE PIPE SHALL BE SET TO A GRADE OF 2% PER FOOT.
 - B. INSIDE BUILDING WASTE PIPE ABOVE GROUND AND ALL PIPING BELOW GROUND UP TO 5'-0" FROM BUILDING SHALL BE STANDARD WEIGHT CAST IRON AND/OR APPROVED BY LOCAL AUTHORITIES AND NO-HUB FITTINGS. FROM 5'-0" OUTSIDE BUILDING TO CONNECTION WITH CITY STREET SEWER MAIN, PIPE SHALL BE, AS PER GOVERNING CODE.
 - C. ALL VENT PIPING SHALL BE GALVANIZED STEEL PIPE WITH GALVANIZED STEEL VENT FITTING.
 - D. CLEANOUT SHALL BE INSTALLED AS PER GOVERNING CODE.
 - E. SCHEDULE 40 P.V.C. DRY PIPING MAY BE USED IF APPROVED BY LOCAL AUTHORITIES HAVING JURISDICTION. PLASTIC IS PREFERRED BY OWNER IF ALLOWED BY AUTHORITIES. PLASTIC PIPING, IF PERMITTED SHALL NOT BE FOAM CORE P.V.C.
6. NATURAL GAS PIPING
 - A. PIPE SHALL BE NEW SCHEDULE 40 BLACK STEEL, CONFORMING TO ASTM A53, GRADE A & B, WITH 150 LB. BLACK WALLEABLE IRON SCREWED FITTINGS AND COUPLINGS.
 - B. GAS VALVES: ONE INCH AND SMALLER SHALL BE LEVER HANDLE TYPE WITH CHECK. ALL BRONZE, SCREWED, CRANE NO. 298 OR EQUAL. 1 1/4" AND LARGER VALVES SHALL BE IRON BODY WITH BRONZE SQUARE HEAD PLUS, CRANE NO. 324 OR EQUAL. PROVIDE OPERATING WRENCH WHERE REQUIRED FOR EACH VALVE. PROVIDE APPROVED GAS PRESSURE REGULATORS.
 - C. NATURAL GAS RIGHT AND LEFT HAND NIPPLES AND COUPLINGS SHALL BE NEW BLACK IRON. UNIONS SHALL NOT BE USED EXCEPT AT FITTINGS, UNIONS AND VALVES.
7. CLEANOUTS

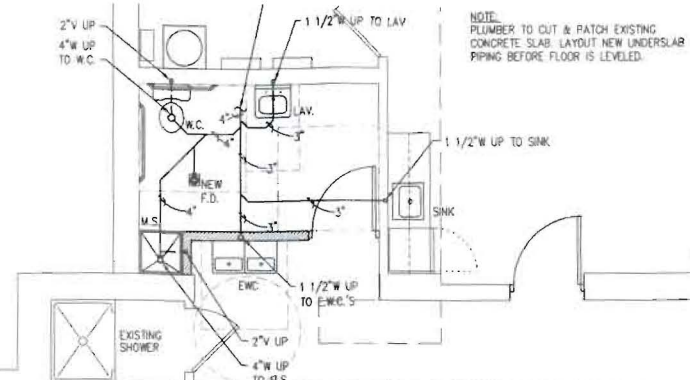
PROVIDE CLEANOUTS WITH BRASS SCREW PLUG AT ALL CHANGES OF DIRECTION TO PERMIT ROUTING OF ALL SEWERS.
8. VALVES

EVERY PLUMBING FIXTURE SHALL BE INDEPENDENTLY VALVED.
9. TESTING

ALL SEWERS AND WATER PIPING SHALL BE PROPERLY TESTED TO THE SATISFACTION OF THE ARCHITECT AND THE LOCAL BUILDING INSPECTOR.
10. EXCAVATION AND BACK FILLING

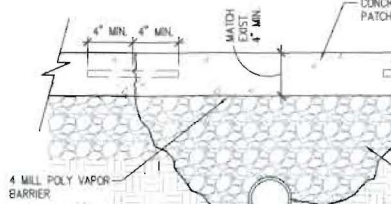
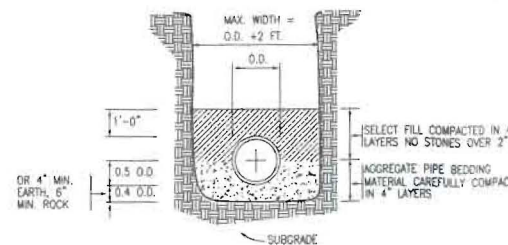
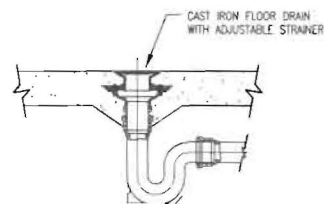
TRENCHES SHALL BE BACK FILLED AND SETTLED BY PLUDDING. NO PIPE SHALL BE LESS THAN 12" BELOW FINISH GRADE.

15. ALL HORIZONTAL PIPING LINES EXTENDED AND CONNECTED TO EQUIPMENT SHALL BE RUN AT THE HIGHEST POSSIBLE ELEVATIONS AND NOT LESS THAN 8" ABOVE THE FLOOR TO PROVIDE CLEARANCE FOR CLEANING.
16. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL CEILING ACCESS PANELS WITH THE ARCHITECTURAL REFLECTED CEILING PLAN, ELECTRICAL LIGHTING PLAN AND MECHANICAL PLANS.
17. ALL EQUIPMENT SHALL BE Laterally SUPPORTED IN ALL DIRECTIONS TO RESIST A MINIMUM OF 20% OF THE EQUIPMENT'S OPERATING WEIGHT.
18. THE CONTRACTOR SHALL COORDINATE THE PLACEMENT OF ALL UNDERGROUND PIPING WITH THE STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
19. CONDENSATE LINES - IF ANY CONDENSATE LINE ARE REQUIRED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ), AND THEY CAN BE INSTALLED ON THE ROOF, THEN THE LANDLORD SHALL PROVIDE A FULLY OPERATIONS CONDENSATE SYSTEM. IF THE CONDENSATE LINES ARE PROVIDED BELOW THE ROOF DECK, THEN THE LINES ARE TO BE INSULATED PER GENERAL NOTE 28 AND BROUGHT TO A SINGLE POINT OF CONNECTION TO THE SANITARY LINE. CONDENSATE CAN DRAIN TO SPLASH BLOCK IF ALLOWED BY AUTHORITY HAVING JURISDICTION.
20. PROVIDE GAS PIPING AND ALL ASSOCIATED WORK REQUIRED TO ALL MECHANICAL UNITS.
21. INSULATION SHALL BE PROVIDED OVER ALL HOT AND COLD WATER, STORM, AND CONDENSATE PIPING. ALL STORM PIPING INSULATION SHALL BE 1/2" THICK, 1" THICK FOR HOT WATER, 1/2" THICK FOR COLD WATER AND CONDENSATE PIPING, FIBERGLASS WRAP WITH UNIVERSAL VAPOR BARRIER JACKET. ALL JOINTS AND SEAMS IN FIBERGLASS WRAP INSULATION SHALL BE SEALED WITH "VAPOR BARRIER LAP" ADHESIVE. INSULATING MATERIALS SHALL BE OFF FIRE-RESISTANT TYPE AS RECOMMENDED BY THE NATIONAL FIRE SUPPRESSION ASSOCIATION.
22. LABEL ALL PIPING PER ANSI STANDARDS.

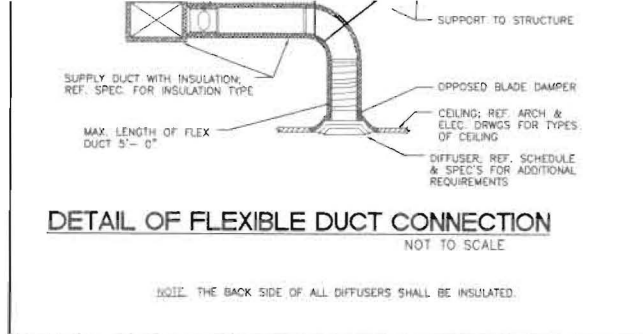


NOTE: PLUMBER TO CUT & PATCH EXISTING CONCRETE SLAB. LAYOUT NEW UNDERSLAB PIPING BEFORE FLOOR IS LEVELLED.

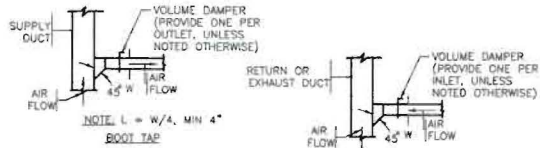
PLUMBING SYMBOLS LIST			
SYMBOL	ABBREV	DESCRIPTION	REMARKS
---	C	COLD WATER PIPING	
----	H	HOT WATER PIPING	
----	HWR	HOT WATER RETURN	
---	G	GAS PIPING	
----	ST	STORM WATER PIPING	ABOVE FLR
----	S or W	SANITARY/WASTE PIPING	ABOVE FLR
----	S or W	SANITARY/WASTE PIPING	BELOW FLR
---	V	VENT PIPING	
●	BV	BALL VALVE	
∩	CV	CHECK VALVE	
→	DPCO	DECK PLATE CLEANOUT	
↑	-	PIPE RISE	
↓	-	PIPE DROP	
→	-	BRANCH OFF TOP	
←	-	BRANCH OFF BOTTOM	
⊥	CO	END PIPE CLEANOUT	
— —	-	UNION	
⊥	VTR	VENT THRU ROOF	
⊥	-	GAS COCK	
⊥	-	BALANCE COCK	
— —	A	AIR PIPING	



NOTE:



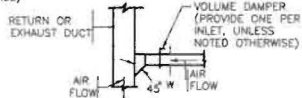
DETAIL OF FLEXIBLE DUCT CONNECTION
NOT TO SCALE



NOTE: L = W/4, MIN 4"

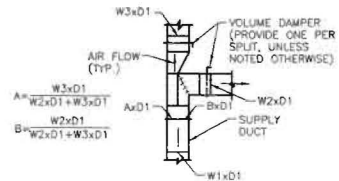
BRANCHES

(USE WHEN > 50% AIR CONTINUES IN MAIN)



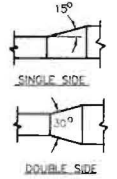
NOTE: L = W/4, MIN 4"

TRANSITIONS



MAINS & SUBMAINS

(USE WHEN < 50% AIR CONTINUES STRAIGHT)



TRANSITIONS

DUCTWORK CONNECTION DETAIL
NOT TO SCALE

NOTE: SEE SPECIFICATIONS FOR ELBOWS AND OTHER CONNECTIONS. PROVIDE VOLUME DAMPERS IN MAINS ONLY AS SHOWN ON PLANS.

DUCTWORK SCHEDULE

A. SQUARE /RECTANGULAR DUCTWORK SHALL BE CONSTRUCTED OF NEW GALVANIZED PRIME GRADE SHEET STEEL OF THE FOLLOWING GAUGES:

DUCT SIZE	GAUGE
12" AND LESS	NO. 26 U.S. GAUGE
13" TO 30"	NO. 24 U.S. GAUGE

ALL EXHAUST AND RELIEF AIR DUCTS SHALL BE GALVANIZED STEEL.

B. SQUARE AND RECTANGULAR DUCTWORK SHALL BE CONSTRUCTED AS FOLLOWS:

SIZE	METHOD
12" AND LESS	5/8" AND DRIVE CLEATS
18" TO 30"	1" STANDING SEAMS ON 3'-0" CENTERS

ROUND DUCTWORK SHALL BE CONSTRUCTED OF NEW GALVANIZED PRIME GRADE SHEET STEEL OF THE FOLLOWING GAUGES:

DUCT SIZE (DIAMETER)	DUCTS	SPIRAL	FITTINGS
8" AND LESS	24	28	22
9" TO 18"	22	24	20
19" TO 30"	20	22	18

ALL 90 DEGREE ELBOWS FOR ROUND DUCTWORK SHALL BE FIVE (5) PIECE. ALL LONGITUDINAL SEAMS SHALL BE FORMED BY PITTSBURGH LOCKS. JOINTS SHALL BE SWAGGED WITH ONE-HALF INCH (1/2") OVERLAP.

C. ALL SUPPLY AIR DUCTS, RETURN AIR DUCTS, AND EXHAUST AIR DUCTS SHALL BE GALVANIZED STEEL.

DUCT INSULATION

INSULATION SHALL BE APPLIED BY EXPERIENCED PERSONNEL IN ACCORDANCE WITH BEST TRADE PRACTICES AND GUIDED BY MANUFACTURER'S PRINTED INSTALLATION DIRECTIONS.

ALL INSULATION, JACKETS, OR FACINGS, AND ADHESIVES USED TO ADHERE JACKET OR FACING TO THE INSULATION, INCLUDING FITTINGS AND BUTT STRIPS, SHALL HAVE NON-COMBUSTIBLE FIRE AND SMOKE HAZARD SYSTEM RATING AND LABEL AS TESTED BY ASTM E-84, NFPA 255 AND UL 723 NOT EXCEEDING FLAME SPREAD 25, SMOKE DEVELOPED 50. ALL PRODUCTS SHALL BE AS MANUFACTURED BY JOHNS MANVILLE OR EQUAL.

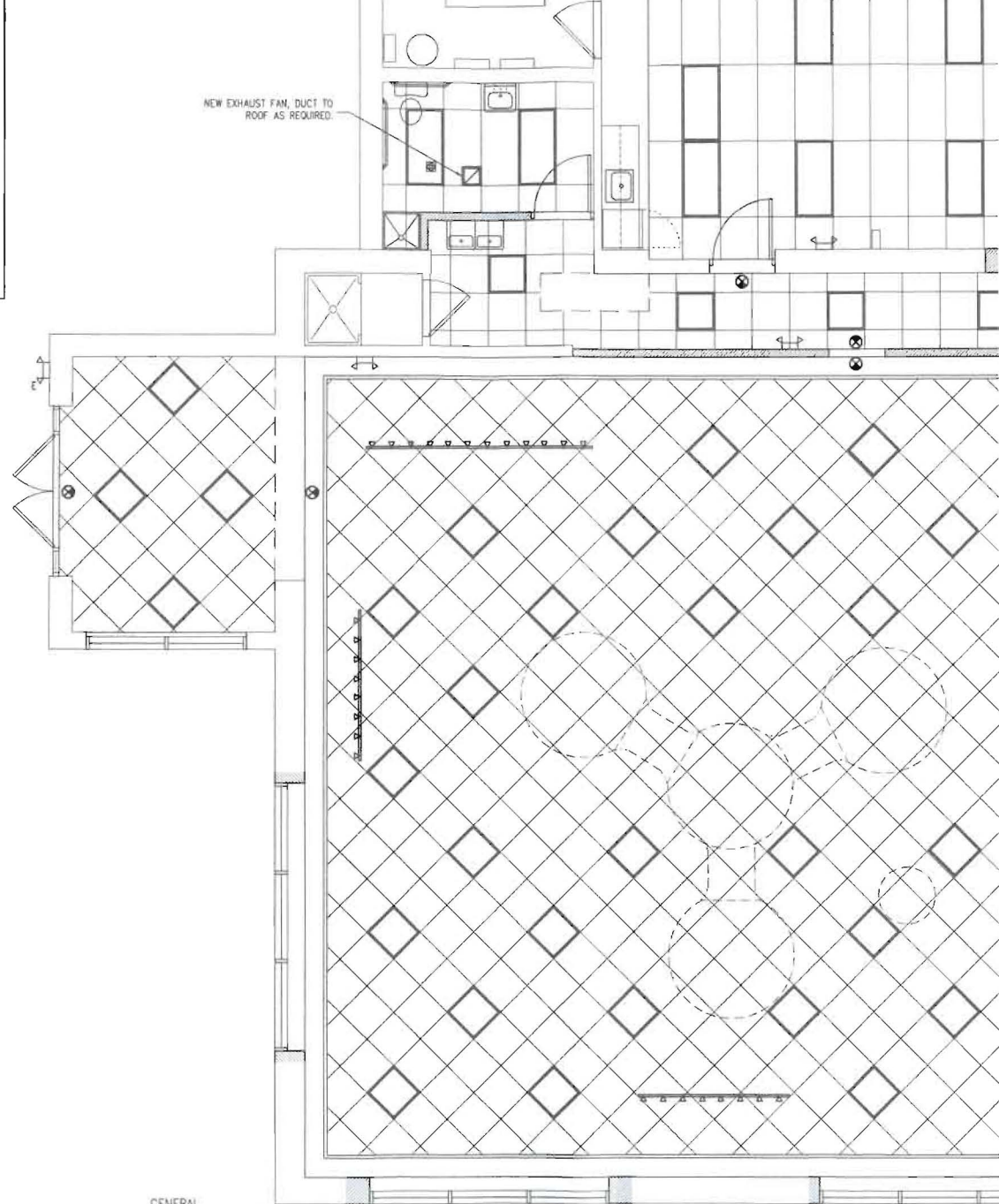
MINIMUM R VALUE SHALL BE R-11.

FLEXIBLE BLANKET TYPE: LONG GLASS FIBER BLANKET, 1 LB. MINIMUM DENSITY.

EXHIBITS FOR DUCT INSULATION MATERIALS SHALL BE AS FOLLOWS:

DUCT INSULATION MATERIALS.

SERVICE	INSULATION MATERIAL	THICKNESS	REMARKS
---------	---------------------	-----------	---------



GENERAL

PERFORM ALL WORK IN ACCORDANCE WITH THE LATEST STATE CODES, THE TOWNSHIP CODES, O.S.H.A. AND NFPA CODES, AND THE RULES AND REGULATIONS OF ALL CITY, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION. PROVIDE OWNER WITH CERTIFICATES OF INSPECTION.

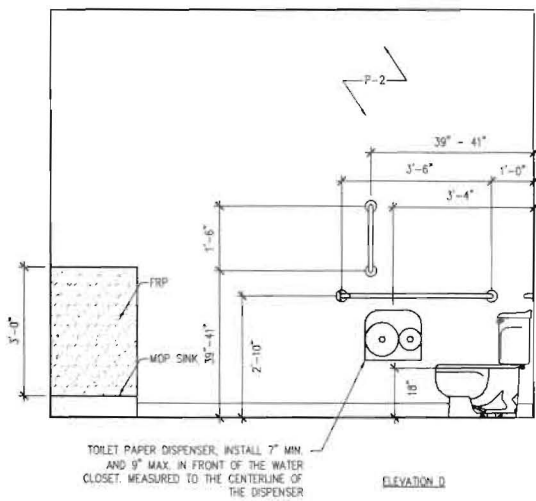
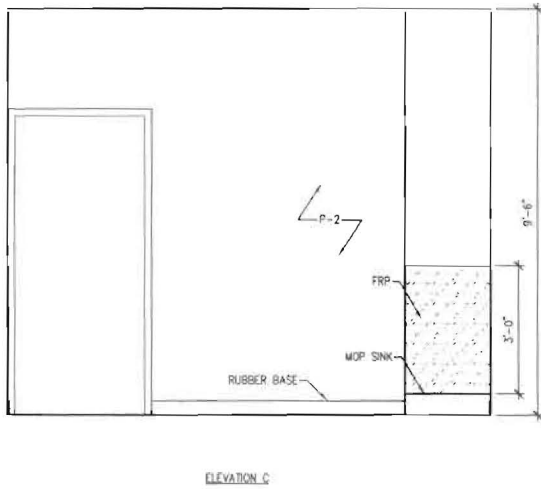
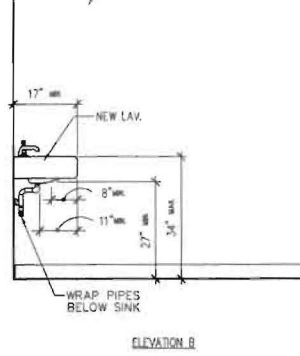
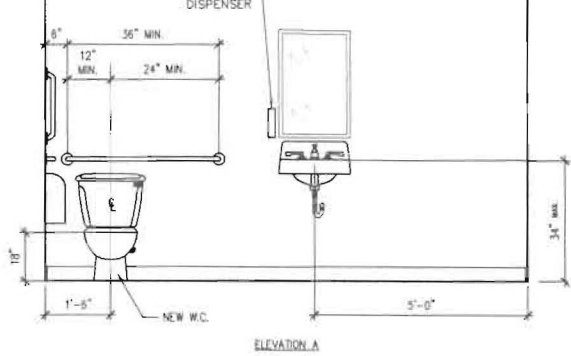
ALL EQUIPMENT SHALL BE EQUAL TO OR EXCEED THE MINIMUM REQUIREMENTS OF N.E.M.A., I.E.E.E. AND U.L. THESE DRAWINGS INDICATE THE SIZE AND GENERAL LOCATION OF WORK. SCALED DIMENSIONS SHALL NOT BE USED. ANY DIMENSIONS NOT SHOWN SHALL BE OBTAINED FROM THE ARCHITECTURAL DRAWINGS. FOR EXACT LOCATIONS, HEIGHT, DOOR SWINGS, MOUNTING HEIGHTS, ETC., REFER TO ARCHITECTURAL DRAWINGS AND DETAILS.

PRIOR TO STARTING ANY WORK, PURCHASE OF EQUIPMENT, ETC., COORDINATE THE WORK WITH OTHER TRADES. CONFER WITH OTHER CONTRACTORS WHOSE WORK MIGHT AFFECT THIS INSTALLATION AND ARRANGE ALL PARTS OF THIS WORK AND EQUIPMENT OF OTHERS, WITH THE BUILDING CONSTRUCTION AND WITH ARCHITECTURAL FINISH. ALL WORK INVOLVING ROOF PENETRATIONS AND FLASHING SHALL BE COORDINATED AND PERFORMED BY THE OWNER'S DESIGNATED ROOFING CONTRACTOR. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE INSTALLATION AND ANY PORTIONS OF THE WORK WHICH DEVELOP DEFECTS DURING THAT TIME SHALL BE REPLACED OR REPAIRED IN A MANNER SATISFACTORY TO THE ARCHITECT AND OWNER.

FURNISH ADEQUATE LIABILITY INSURANCE AND ALL FEES, PERMITS AND INSPECTIONS REQUIRED.

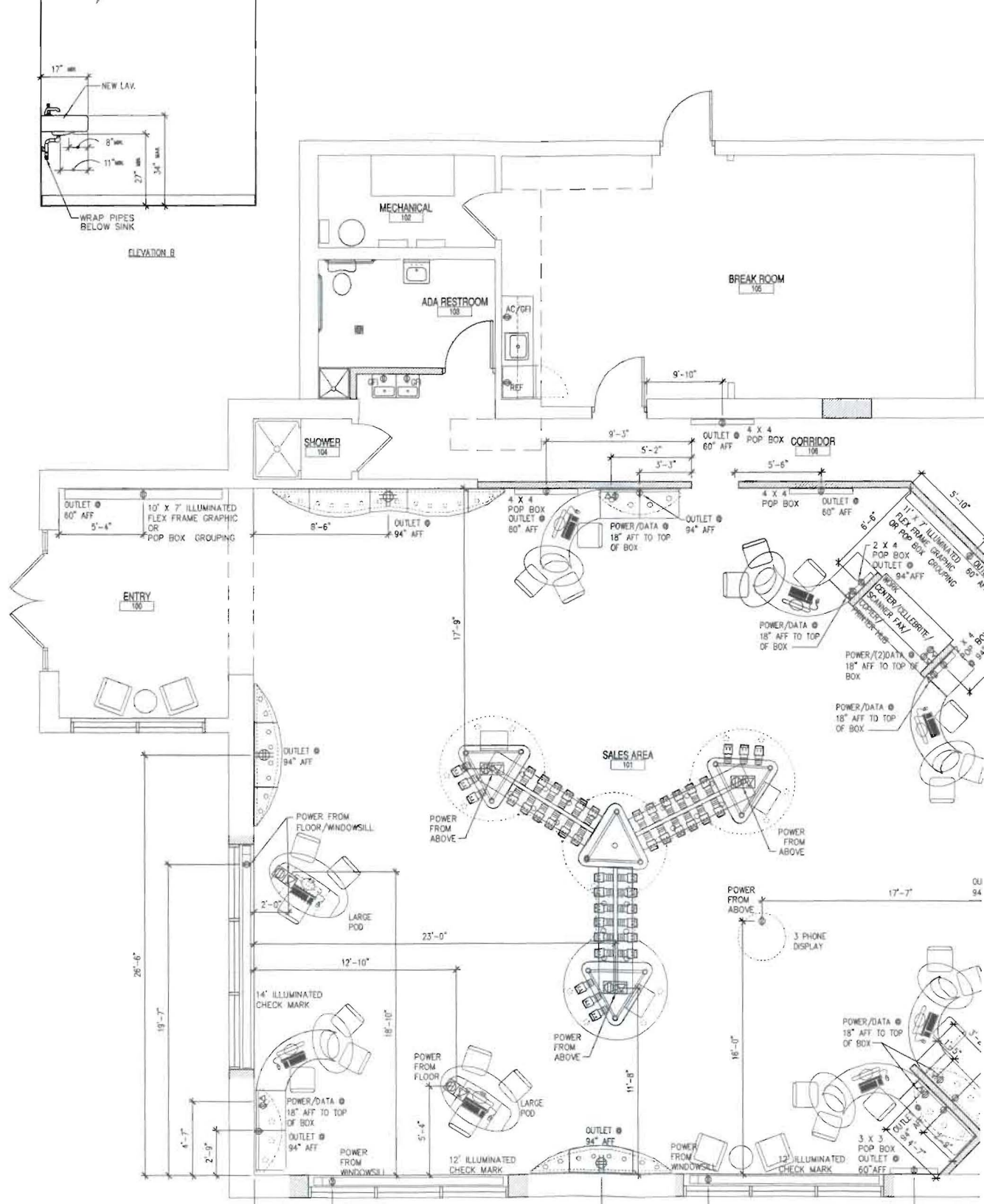
BASIC MATERIALS AND METHODS

HANGERS AND SUPPORTS: PROVIDE ALL HANGERS AND SUPPORT REGULATIONS PERTAINING TO PRODUCT MATERIALS AND INSTALLATION. HANGERS, HANGER RODS AND HANGER SHIELD INSERTS ALONG SADDLES AND OTHER ACCESSORIES. PROVIDE ALL STRUCTURAL HANGER ATTACHMENT.



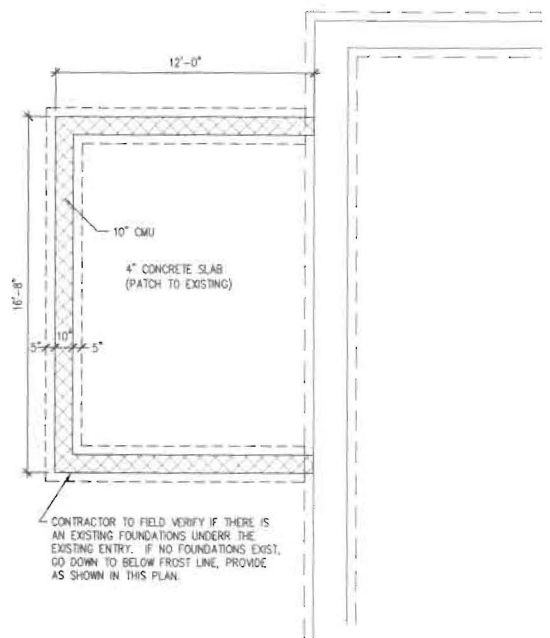
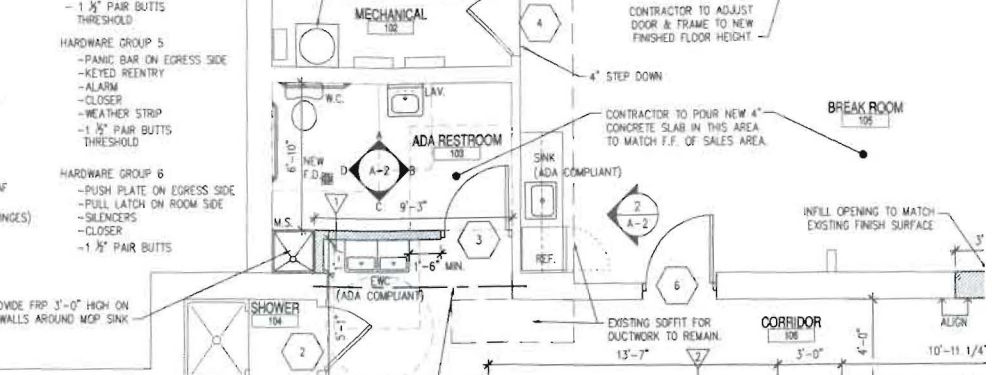
TOILET PAPER DISPENSER. INSTALL 7" MIN AND 9" MAX. IN FRONT OF THE WATER CLOSET. MEASURED TO THE CENTERLINE OF THE DISPENSER

4 INTERIOR ELEVATIONS
SCALE: 1/2" = 1'-0"

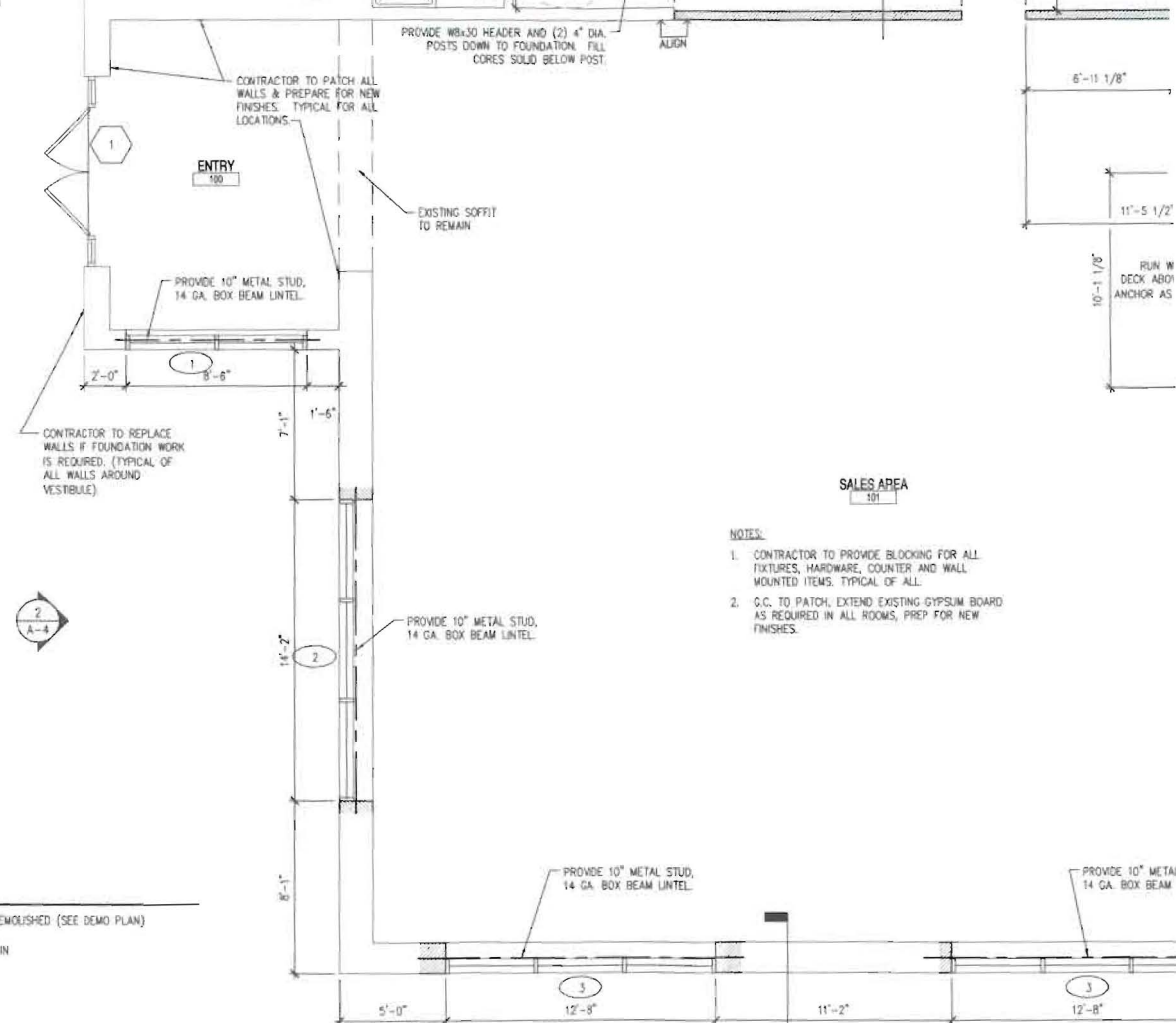


3	3'-0" x 7'-0"	A	-	S.C. WD	P-3	H.M.	P-4	2	
4	EXISTING 3'-0" x 7'-0"	-	-	S.C. WD	P-3	H.M.	P-4	1	
5	EXISTING 3'-0" x 7'-0"	-	-	INSUL. ST.	P-3	H.M.	P-4	5	ADJUST DOOR/FRAME TO NEW FLOOR ELEVATION, PROVIDE WEATHERSTRIPS
6	3'-0" x 7'-0"	-	-	S.C. WD	P-3	H.M.	P-4	6	
7	EXISTING 3'-0" x 7'-0"	-	-	-	P-3	-	P-4	1	REUSE EXISTING DOOR & HARDWARE REPLACE AS REQUIRED.
8	EXISTING 3'-0" x 7'-0"	-	-	S.C. WD	P-3	H.M.	P-4	1	REUSE EXISTING DOOR & HARDWARE REPLACE AS REQUIRED.
9	EXISTING 3'-0" x 7'-0"	-	-	S.C. WD	P-3	H.M.	P-4	1	REUSE EXISTING DOOR & HARDWARE REPLACE AS REQUIRED.
10	EXISTING 3'-0" x 7'-0"	-	-	S.C. WD	P-3	-	P-4	1	REUSE EXISTING DOOR & HARDWARE REPLACE AS REQUIRED.
11	3'-0" x 7'-0"	B	-	S.C. WD	P-3	-	P-4	1	REUSE EXISTING DOOR & HARDWARE REPLACE AS REQUIRED.

- HARDWARE GROUP 3
- PANIC BAR ON EGRESS SIDE
 - PULL BARS
 - PUSH BARS
 - THRESHOLD
 - FLUSH BOLTS @ INACTIVE LEAF (TOP AND BOTTOM)
 - CONTINUOUS HINGE (ROTTEN HINGES)
 - CLOSER
 - CYLINDRICAL LOCKSET
 - WEATHER STRIP
- HARDWARE GROUP 5
- 1 1/2" PAIR BUTTS THRESHOLD
 - PANIC BAR ON EGRESS SIDE
 - KEYS REENTRY
 - ALARM
 - CLOSER
 - WEATHER STRIP
 - 1 1/2" PAIR BUTTS THRESHOLD
- HARDWARE GROUP 6
- PUSH PLATE ON EGRESS SIDE
 - PULL LATCH ON ROOM SIDE
 - SILENCERS
 - CLOSER
 - 1 1/2" PAIR BUTTS



2 PARTIAL FOUNDATION PLAN
SCALE: 1/4" 1' = 0"



1 FLOOR PLAN
SCALE: 1/4" 1' = 0"

- NOTES:
- CONTRACTOR TO PROVIDE BLOCKING FOR ALL FIXTURES, HARDWARE, COUNTER AND WALL MOUNTED ITEMS. TYPICAL OF ALL.
 - G.C. TO PATCH, EXTEND EXISTING GYPSUM BOARD AS REQUIRED IN ALL ROOMS, PREP FOR NEW FINISHES.

WALL TYPES

- 3-1/2" METAL STUD 16" O.C. W/ 1/2" GYP. BD. EACH SIDE UP TO ROOF DECK. R-11 SOUND INSULATION. USE WATER RESISTANT IN LAYS. AND MOPSINK.
- 3-1/2" METAL STUD 16" O.C. W/ 1/2" GYPSUM BOARD EACH SIDE, 8" ABOVE FINISHED CEILING. USE WATER RESISTANT IN LAYS. AND MOPSINK.

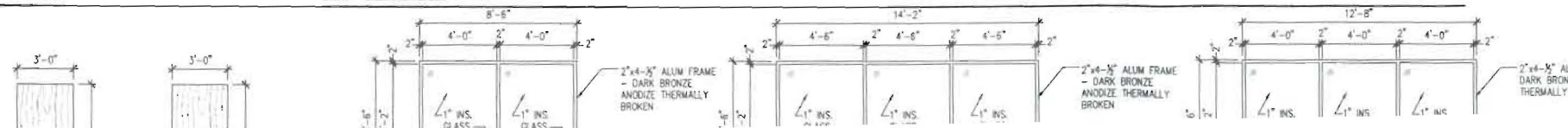
NOTE:
CONTRACTOR TO PROVIDE ALL BLOCKING FOR FIXTURES, CABINETRY, BATHROOM ACCESSORIES, SIGNAGE, AND ITEMS HUNG ON WALL.

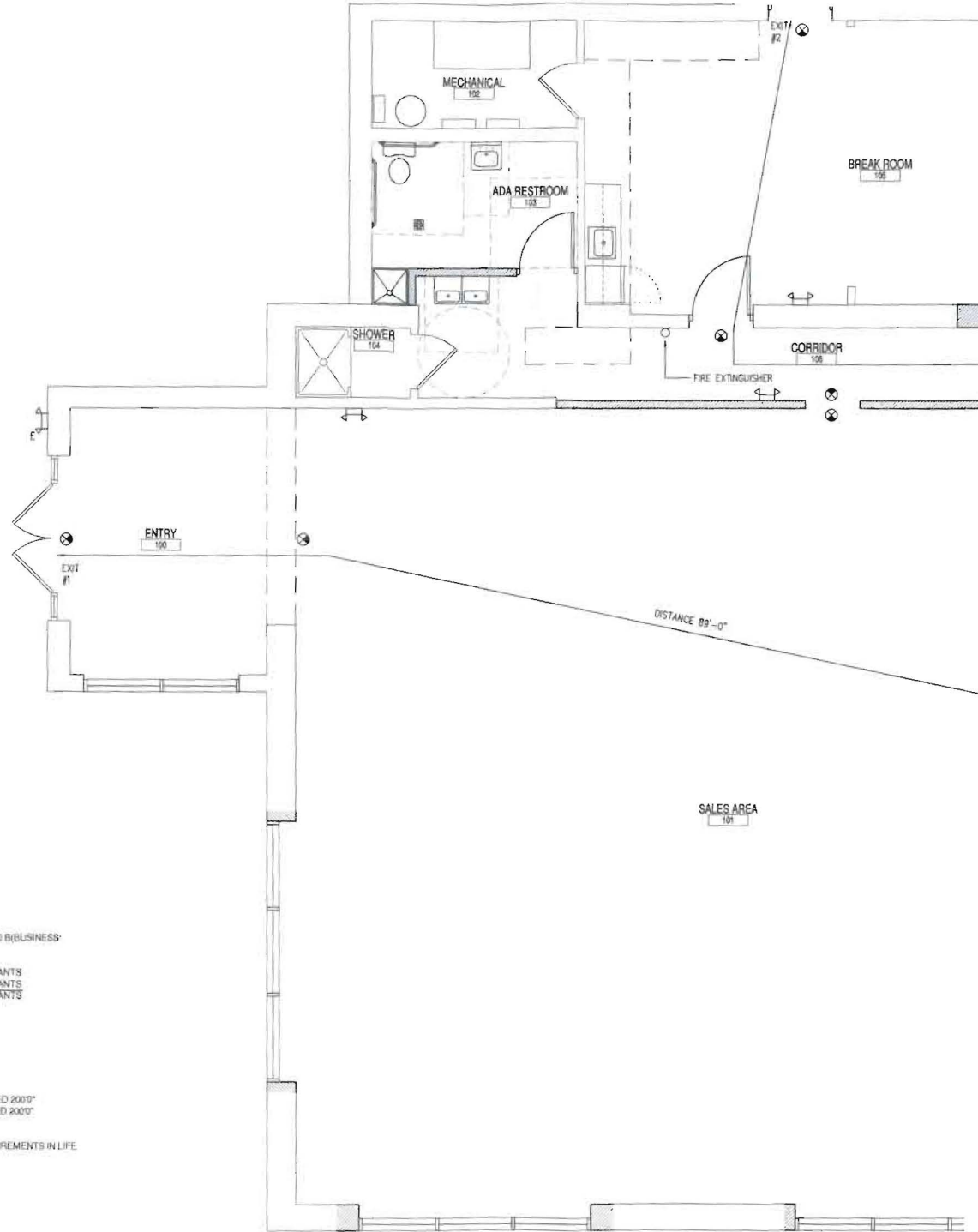
DOOR TYPES

LEGEND

- EXISTING WALLS TO BE DEMOLISHED (SEE DEMO PLAN)
- ==== EXISTING WALLS TO REMAIN
- ==== NEW WALLS

WINDOW TYPES





PROJECT NAME: CELLULAR SALES - TENANT IMPROVEMENTS
 ADDRESS: 3 SOMERSET STREET
 PORTLAND, ME 04101

CODE REVIEW BASED ON IBC 2003
 (USE GROUP CLASSIFICATION SECTION 304 AND 309 MIMERCANTILE) AND B(BUSINESS)

OCCUPANT LOAD:

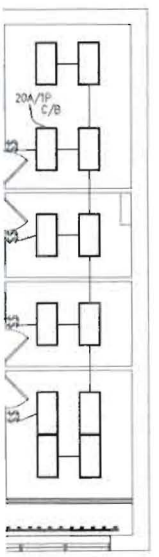
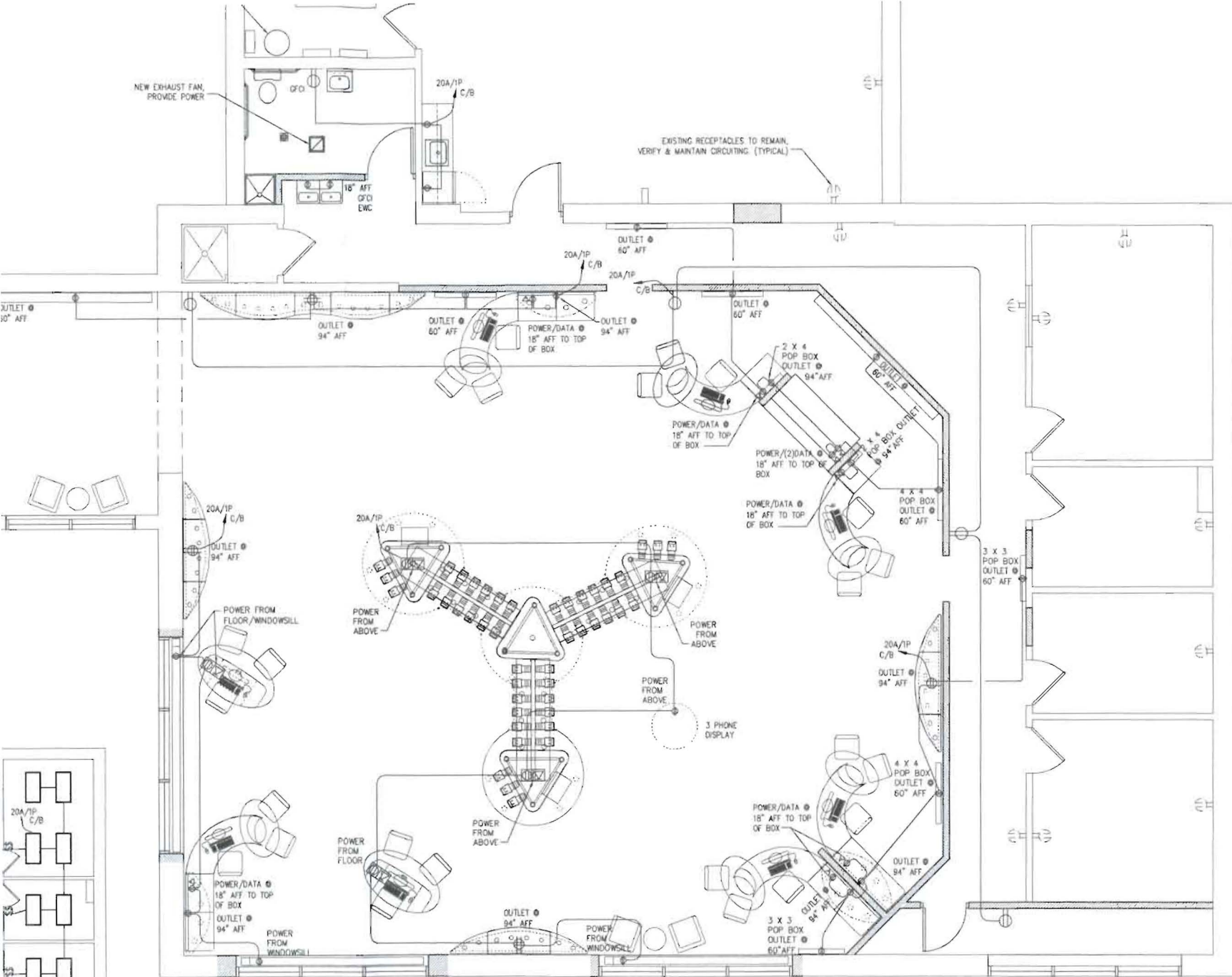
TABLE 1004.1.2	SALES AREA	= 2495 SQ. FT./20	= 42 OCCUPANTS
	BACK OFFICE	= 2005 SQ. FT./100	= 20 OCCUPANTS
	TOTAL SQ. FT.	= 4430 SQ. FT.	= 102 OCCUPANTS

REQUIRED EXITS:
 2 EXITS REQ'D, TABLE 1019.1
 2 EXITS PROVIDED

TRAVEL DISTANCE:
 SECTION 1016 TABLE 1016.1,
 "M" OCCUPANCY WITHOUT SPRINKLER SYSTEM MAX DISTANCE ALLOWED 200'
 "B" OCCUPANCY WITHOUT SPRINKLER SYSTEM MAX DISTANCE ALLOWED 200'

EXITS:
 EXIT #1, EXIT #2 TO BE PROVIDED WITH HARDWARE MEETING ALL REQUIREMENTS IN LIFE SAFETY 101 AND ICC/ANSI A117.1 2003

INTERIOR FINISH FLAME SPREAD (TABLE 603.4)
 TYPICAL INTERIOR WALLS & CEILING - CLASS C
 WALLS & CEILING AT EXIT ACCESS - CLASS C



SYMBOL LEGEND

1 POWER CIRCUITING PLAN
1/4" = 1' - 0"



NOTE:
1. POWER SHOWN ON THIS PLAN IS FOR COORDINATION WITH NEW FIXTURES ONLY. ALL OTHER LIFE SAFETY POWER AND LIGHTING

PROJECT
CELLULAR SALES
3 SOMERSET STREET
PORTLAND, MAINE 04101

OWNER
CELLULAR SALES
109 CIRCLE LANE, KNOXVILLE TN 37919

 **THE CRISSEY ARCHITECTURAL GROUP**

995 North Ave.
Syosset NY 13206
Phone: 315-437-0844
Fax: 315-463-7819
Email: info@crisseygroup.com
Web: www.crisseygroup.com


JOB NUM:	10173
DRAWN BY:	BJG
CHECKED:	TAP
ISSUED:	12/16/2010
REVISIONS:	ISSUED 12/28/2010



1 FIRE ALARM PLAN
1/4" = 1' - 0"



REVISIONS	ISSUED 12/28/2010
CHECKED	TAP
DRAWN BY	BUG
JOB NUM	10173


THE CRISSEY ARCHITECTURAL GROUP
 855 North Ave.
 Springfield, MA 01104
 Phone: 315-437-0844
 Fax: 315-463-7819
 Email: info@crisseygroup.com
 Web: www.crisseygroup.com

PROJECT: **CELLULAR SALES**
 3 SOMERSET STREET
 PORTLAND, MAINE 04101
 OWNER: **CELLULAR SALES**
 109 CIRCLE LANE, KNOXVILLE TN 37919

NEW 20 GALLON WATER HEATER ON SHELF OR 4" CONCRETE PAD

NOTE:
PLUMBER TO PROVIDE STOPS AT EACH FIXTURE LOCATION, BALL VALVES @ WATER HEATER AND BRANCH LINES TO FIXTURES.

1/2" C.
4" W UP TO WC,
2" V UP
3" V UP,
4" V TR


1/2" C & 1 1/2" W TO EACH EWC, 1 1/2" V UP MOUNT ONE EWC @ ADA HEIGHT.

1/2" H&C,
4" W TO M.S.,
2" V UP

1/2" H&C,
1 1/2" W TO SINK,
1 1/2" V UP

EXISTING SHOWER TO REMAIN OPERABLE

PROJECT
CELLULAR SALES
3 SOMERSET STREET
PORTLAND, MAINE 04101
OWNER:
CELLULAR SALES
109 CIRCLE LANE, KNOXVILLE TN 37919

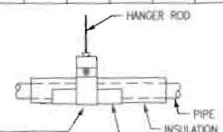

THE CRISSEY ARCHITECTURAL GROUP
995 North Ave.
Syracuse NY 13206
Phone: 315-437-0844
Fax: 315-463-7619
Email: info@crisseygroup.com
Web: www.crisseygroup.com

JOB NUM:	10173
DRAWN BY:	BJG
CHECKED:	TAP
ISSUED:	12/16/2010
REVISIONS:	ISSUED 12/28/2010

HANGER SPACING											
1 3/4"	1 3/4"	2"	2 3/4"	3"	4"	5"	6"	8"	10"	12"	
8 FT.	9 FT.	10 FT.	11 FT.	12 FT.	14 FT.	16 FT.	17 FT.	19 FT.	22 FT.	23 FT.	

1 ABOVE SLAB PIPING PLAN
SCALE: 1/4" = 1'-0"

- PLUMBING NOTES:
1. PLUMBING CONTRACTOR SHALL VERIFY LOCATION OF EXISTING WATER LINES AND UNDER SLAB WASTE.
2. CONNECT ALL NEW FIXTURES AS REQUIRED BY CODE.
3. N/A



The system shall be classified with regard to surface burning characteristics by UL and be listed in UL Building Materials Directory as having a flame spread of less than 25. The adhesive and the finish shall be listed by UL.

The insulation board shall be classified with regard to surface burning characteristics by UL and listed in the UL Building Materials Directory as having a flame spread and smoke development rating of not greater than 25 and 450 respectively.

The system shall be approved by the Factory Mutual Research Corporation as Class 1 as described in the latest edition of the Factory Mutual Approval Guide.

The system shall be approved for use by BOCA, ICBO or SBOCI as applicable.

MAINTENANCE MATERIALS: The following materials shall be delivered at the site:

For each finish and color, one gallon can of finish. One gallon can of adhesive. One hundred square feet of each type of reinforcing mesh. One hundred square feet of insulation board.

SYSTEM PROPERTIES:

Fire Resistance: Flame spread and smoke development when tested in accordance with ASTM E84 shall be not more than 5 and 0.

Moisture Resistance: Federal Test Standard 141A Method 6201; No deleterious effects after 14 days.

Rain Resistance: MIL Standard E-5272; .00 lb. weight gain at 72 hours, .25 lb. weight gain at termination of test.

Absorption Freezer: 60 cycles as follows: Soak at 88 degrees F for two hours; no checking, cracking, or spalling.

Accelerated Weathering: Federal Test Standard 141A Method 6151; 2,000 hours.

Mildew Resistance: MIL Standard 810B; no growth.

Salt Spray Resistance: Federal Test Standard 141A Method 6061; 5% concentration for 300 hours.

Abrasion Resistance: Federal Test Standard 141A Method 6191; no deleterious effects after 114 gallons.

Impact Resistance: ASTM E72; no cracks up to 6'.

Expansion Joints: Continuous expansion joints shall be installed where indicated and as follows:
Where expansion joints occur in the substrate system.
Where the system abuts other materials.
Where the substrate changes.
At changes in roof line, long continuous elevations, and changes in building shape and structural system.

Expansion and contraction of the system and adjacent materials shall be taken into account in the design of expansion joints, with proper consideration given to sealant properties, installation conditions, temperature range, coefficient of expansion of materials, joint width-to-depth ratios, etc.

Details: Except where otherwise indicated, the manufacturer's recommendations shall be followed for standard detail treatments, as shown on the approved shop drawings. Corners shall be reinforced by wrapping high standard reinforcing mesh around the corner from both directions for a minimum of 8". Openings shall be reinforced using a 9-1/2" wide strip of detail reinforcing mesh laid at a 45 degree angle to the opening corner.

PREPARATION OF SUBSTRATE: The substrate surface shall be free of foreign materials such as oil, dust, dirt, form-release agents, paint, wax, glazing, water, moisture, frost, etc. The substrate shall be checked for soundness, such as tightness of connections, crumbling or looseness of surface, voids and projections. The substrate shall be checked for dimensional correctness per this specification. All unsatisfactory conditions shall be corrected prior to application of subsequent materials.

INSTALLATION:

Insulation Board:

Insulation board shall be applied to the substrate starting from the bottom and supported as required. The insulation board shall be applied with the long edge oriented horizontally, with joints offset with respect to the substrate joints, and using a running bond pattern. Pre-cut boards to fit openings, corners and projections prior to application of the adhesive mixture. Insulation board joints shall be staggered and interlocked at corners. Insulation board pieces smaller than 2' by 4' may be used only at corners and other conditions precluding the use of full size boards.

Adhesive Mixture: Apply as recommended by manufacturer. Not less than 32% of the insulation board surface shall be in contact with the adhesive mixture.

The prepared insulation board shall be immediately applied to the substrate, pressed down and laid diagonally until edges of the adjacent boards are in contact. The entire outside surface of the insulation board shall be tamped with even pressure to insure complete contact of the adhesive mixture to the substrate and pinlessness of the adjacent insulation boards. A straight edge at least 6' long shall be used for this purpose.

Allow the adhesive mixture to set for 24 hours to form a positive bond. The insulation board shall not be moved nor the substrate flexed while the adhesive mixture is curing. The edges of the insulation board which are out of plane shall be sanded until flush. Low areas shall not be filled with adhesive mixture to produce a level surface. Grooves and other features shall be routed into the outside surface of the insulation board, if required, using a high-speed wood router and proper bit. The minimum thickness of the insulation board at any point in the routed groove or feature shall not be less than 3/4". Foam shapes of insulation board, if used, shall be applied directly to the substrate or surface of the insulation board.

Base Coat: Correct all deficiencies on surface of insulation, by sanding, filling and other appropriate means. Trowel the adhesive mixture over the surface of the insulation board to a uniform thickness of 3/32". Embed one layer of heavy duty reinforcing mesh into the wet adhesive mixture. The surface of the adhesive mixture shall be smoothed until the heavy reinforcing mesh is fully embedded.

The pattern of the heavy reinforcing mesh shall not be visible beneath the surface of the adhesive mixture. Ends of adjacent pieces of mesh shall be lightly abraded, not lapped. Mesh pieces shall be worked into the adhesive mixture from the center to the edges while smoothing out wrinkles. A period of 24 hours shall lapse to allow the first layer of the base coat to form a positive bond. After curing, examine the surface for projections, loose strands of heavy reinforcing mesh, and correct to produce a flat surface. A second layer consisting of adhesive mixture and standard reinforcing mesh shall be applied over the heavy reinforcing mesh layer. Trowel a second layer of adhesive mixture over the surface to a uniform thickness of 1/16". Embed one layer of mesh into the wet adhesive mixture, with edges and ends lapped a minimum of 2-1/2". The surface of the adhesive mixture shall

be smooth. Overlap adjacent sheets not less than 3 inches at edges and ends.

MEMBRANE SPLICING: Clean the dry splice area (minimum 2-1/2 inches wide) of both membrane sheets by scrubbing with primer. Apply splice tape to bottom sheet. Press tape onto the sheet. Overlap tape roll onto a minimum of 1 inch. Remove the release paper and press the top sheet onto the tape using hand pressure. Roll the seam toward the splice edge with a 2 inch wide steel roller and apply lap sealant in accordance with the manufacturer's requirements. Apply lap sealant along all membrane splices.

FLASHING: Wall and curb flashing shall be cured membrane. Continue the deck membrane as wall flashing where practicable. Flash each condition as indicated on approved submittals.

WALKWAYS: Install walkways where indicated and wherever required for maintenance of roof-mounted items, whether indicated or not. Adhere walkways to the membrane in accordance with the manufacturer's recommendations.

DAILY SEAL: When the completion of flashings and terminations is not achieved by the end of the work day, a daily seal shall be performed to temporarily close the membrane to prevent water infiltration.

07600 - FLASHING AND SHEET METAL

QUALITY ASSURANCE: Drawings and requirements specified govern. Conform to the current "Architectural Sheet Metal Manual" published by Sheet Metal and Air Conditioning Contractors National Association, Inc. (SMACNA), 1611 North Kent Street, Arlington, VA 22209 for conditions not indicated or specified and for general fabrication of sheet metal items.

MATERIALS:

Galvanized steel: ASTM A525, coating G90, mill phosphated for paint adhesion, 24 gauge unless otherwise shown or specified.

Lead: Type L50049 soft common lead or L51121 soft copper bearing lead, weighing not less than 4 pounds per square foot, conforming to ASTM B749.

Solder: ASTM B32, B284.

Solder flux: Standard brand non-corrosive acid-base type.

Fasteners: Zinc or cadmium coated steel or stainless steel.

Felt: ASTM D225, 15-pound type.

Primer: Approved brand of zinc-dust zinc-oxide primer per Section 09900 with manufacturer's pretreatment material.

Sealant: Single component nonsag polyurethane.

Building Paper: Fed. Spec. UU-8-790, Style 4, Grade B.

Reglets and Counterflashings: Fry Reglet Corp. flashing systems complete with unions and preformed corners of necessary types for particular locations, of 24 gauge galvanized steel, or approved equals by Metco Metal Products Co., Pacific Laxite Flashing Co., National Cornice Works, Redco, Lane-Air, or equal. Use a single manufacturer's products, equivalent to Type CO at concrete, Type MA at masonry, Type ST at plaster, or Type SM, as detailed.

GENERAL FABRICATION REQUIREMENTS: Fabricate items to avoid distortion and overstretching of fastenings due to expansion and contraction. Provide expansion joints where necessary in continuous runs of sheet metal, constructed watertight and spaced 50-foot apart maximum. Lock and solder corners and blind hem exposed edges. Make joints with 4" lap and solder unless otherwise shown or specified. Fill single lock seams with sealant where soldering is infeasible. Run flanges 4" minimum onto roof and wall surfaces. Fabricate sheet metal items in nominal 8-foot lengths unless otherwise shown or specified.

Soldering: Do soldering slowly, immediately after application of flux, seams showing evenly flowed solder. Clean and neutralize finished soldering.

Shop Priming: Clean completed items, apply pretreatment, and prime all exposed surfaces with specified primer.

FABRICATED ITEMS: Of 24 gauge galvanized steel unless otherwise indicated or specified.

Counterflashing: Except where indicated or specified otherwise, insert counterflashing in reglets and extend down vertical surfaces over upturned vertical leg of base flashings not less than 3 inches. Fold the exposed edges of counterflashings 1/2 inch. Provide and laps in counterflashings not less than 3 inches and make watertight with plastic cement. Lengths of metal counterflashings shall not exceed 10 feet. Form the flashings to the required shapes before installation. Factory-form the corners not less than 12 inches from the angle. Secure the flashings in the reglets with lead wedges and space not more than 18 inches apart; short runs, piece wedges closer together. Fill caulked-type reglets or raked joints which receive counterflashing with caulking compound as covered in Section 07920. Turn up the concealed edge of counterflashings built into masonry or concrete walls not less than 1/4 inch and extend not less than 2 inches into the walls. Install counterflashing to provide a spring action against base flashing.

Coping Caps: Corner units having maximum 18" long legs and joints locked and soldered watertight, intermediate joints spaced at maximum 8-foot centers and equally spaced. Make intermediate joints of the flush butted type, edges spaced about 1/4" apart and centered over an 8" long backing plate of the same profile and gauge as the cap, set in a 1/2" wide bead of sealant. Secure both edges of caps with 1-1/2" wide 20 gauge galvanized steel cleats spaced at maximum 32" centers and locked into drip hem.

Drip Flashings: Provide at heads of windows and doors. Use material compatible with window and frame materials. Coordinate installation of flashing with that of windows and doors. Provide hemmed exposed edges, 1-piece lengths.

Fitch Pockets: Of 20 gauge galvanized steel, fully flanged, hemmed and soldered. Pitch pockets shall be not less than 4" high.

INSTALLATION: Install metal items as indicated, according to approved submittals, and as required to complete the entire work. Securely fasten and assemble, and make watertight and weathertight.

Coordination: Coordinate sheet metal items in connection with roofing for proper installation, and furnish in sufficient time to avoid delay in roofing construction. Install roofing sheet metal simultaneously with roofing.

Protection from Contact with Dissimilar Materials:

Metal Surfaces: Paint surfaces in contact with mortar, concrete, or other masonry materials with alkali-resistant coatings such as heavy-bodied titanium paint.

For joints in concrete, concrete masonry, plaster and EIFS walls and other vertical surfaces. Conform to ASTM C920, silicone based, single component, non-sag, one of the following:

DE Silicons Silpruf Dow Corning 790 Tremco Spectrum 1 or Spectrum 3.

For joints in horizontal surfaces, including floor slabs and paving, subjected to foot traffic: Two component, polyurethane based, self-leveling type, conforming to Fed. Spec. TT-5-00227(3), one of the following:

Sonnebom SL 2 Wulkem 245 Tremco THG 900/901.

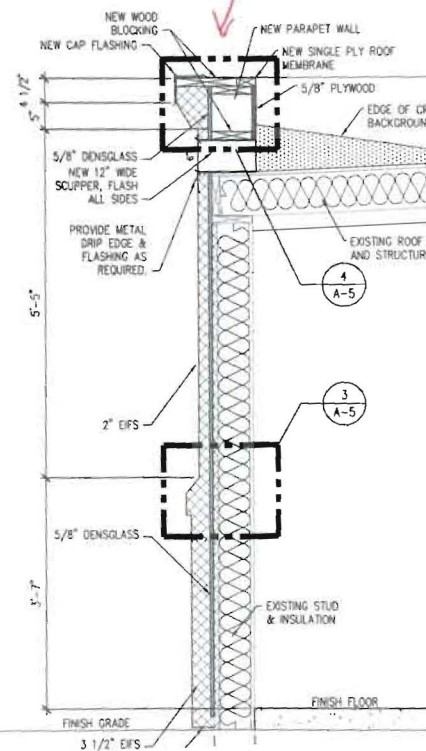
For joints in aluminum and galvanized steel: single component nonsag urethane sealant, Type S, Grade NS, Class 25, one of the following:

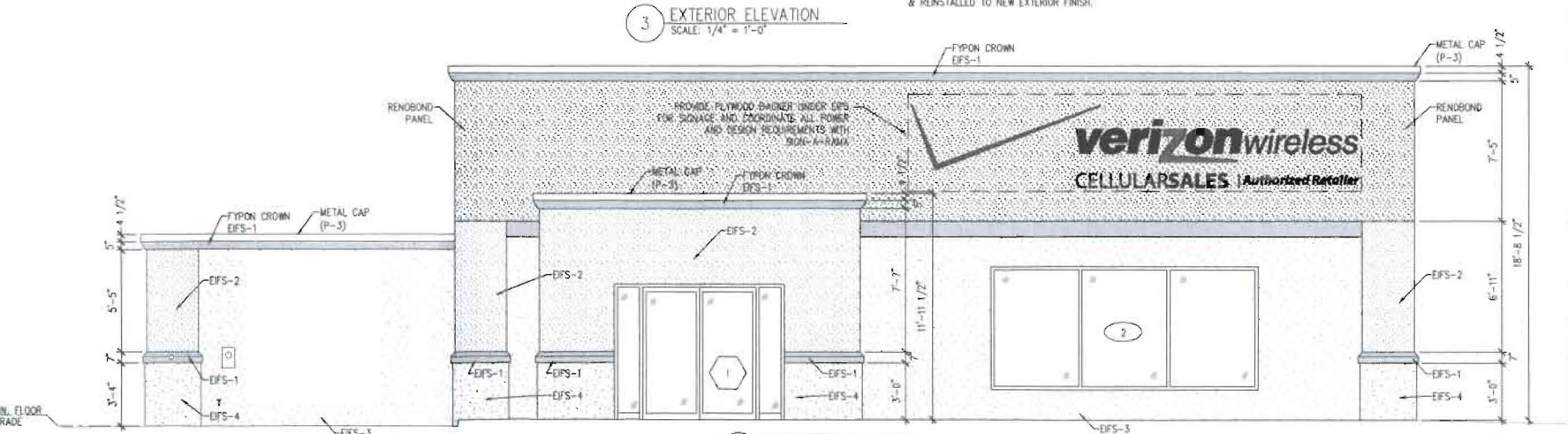
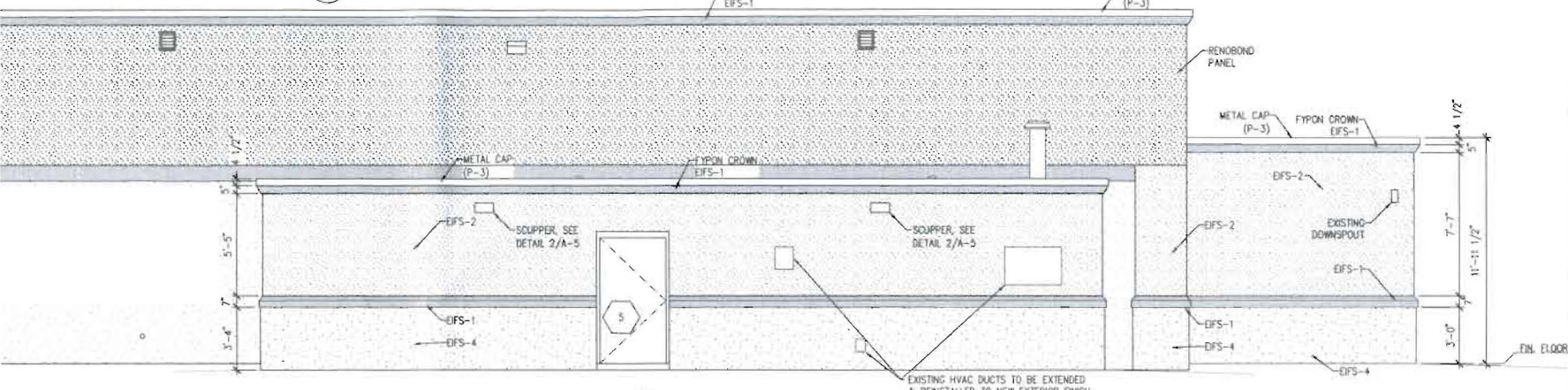
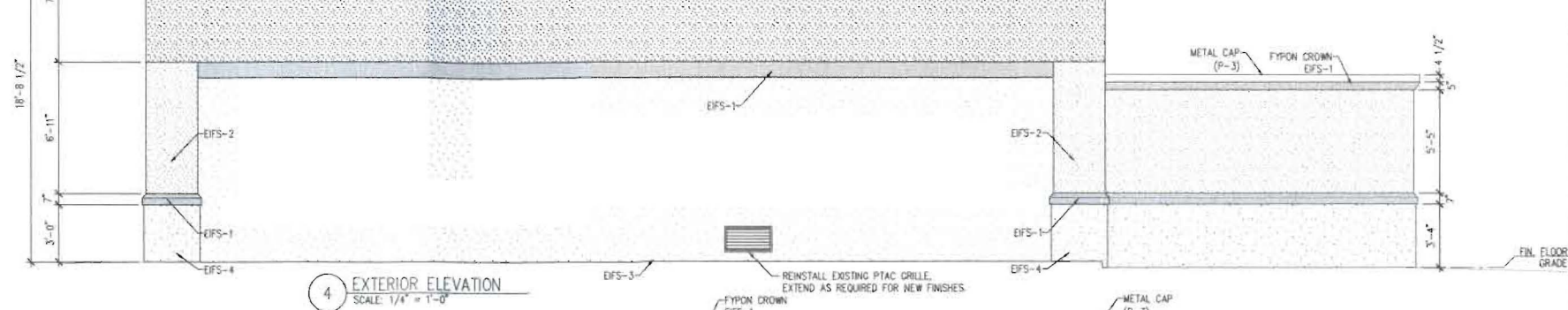
Wulkem 116, Momeco International Sikaflex - 1q; Sika Corporation NP 1; Sonnebom Building Products Div., ChemRex Inc.

Primers: As recommended by sealant manufacturer for each condition of application.

Joint Backing: Closed cell polyolefin, neoprene, polypropylene, or polyethylene, conforming to ASTM C 1330, Type B or ASTM D 5249, Type 3, permanently elastic, mildew resistant, nonmigratory, nonstaining and compatible with joint substrates and sealants. Joint backing shall be "SofoRod" manufactured by Womaco, Inc., 501 NMC Drive, Zebulon, NC 27597 (800) 345-7279, Dow "Ethafoam" or Sonnebom "Sonofoam", types recommended by sealant manufacturer for each type substrate and sealant.

Bond breaker: Polyethylene tape recommended by sealant manufacturer.





PROJECT: **CELLULAR SALES**
3 SOMERSET STREET
PORTLAND, MAINE 04101
OWNER: **CELLULAR SALES**
109 CIRCLE LANE, KNOXVILLE TN 37919

THE CRISSEY ARCHITECTURAL GROUP

995 North Ave.
Syracuse NY 13206
Phone: 315-437-0844
Fax: 315-463-7818
Email: info@crisseygroup.com
Web: www.crisseygroup.com

JOB NUM	10173
DRAWN BY	BJG
CHECKED	TAP
ISSUED	12/16/2010
REVISIONS	

DRAWING TITLE

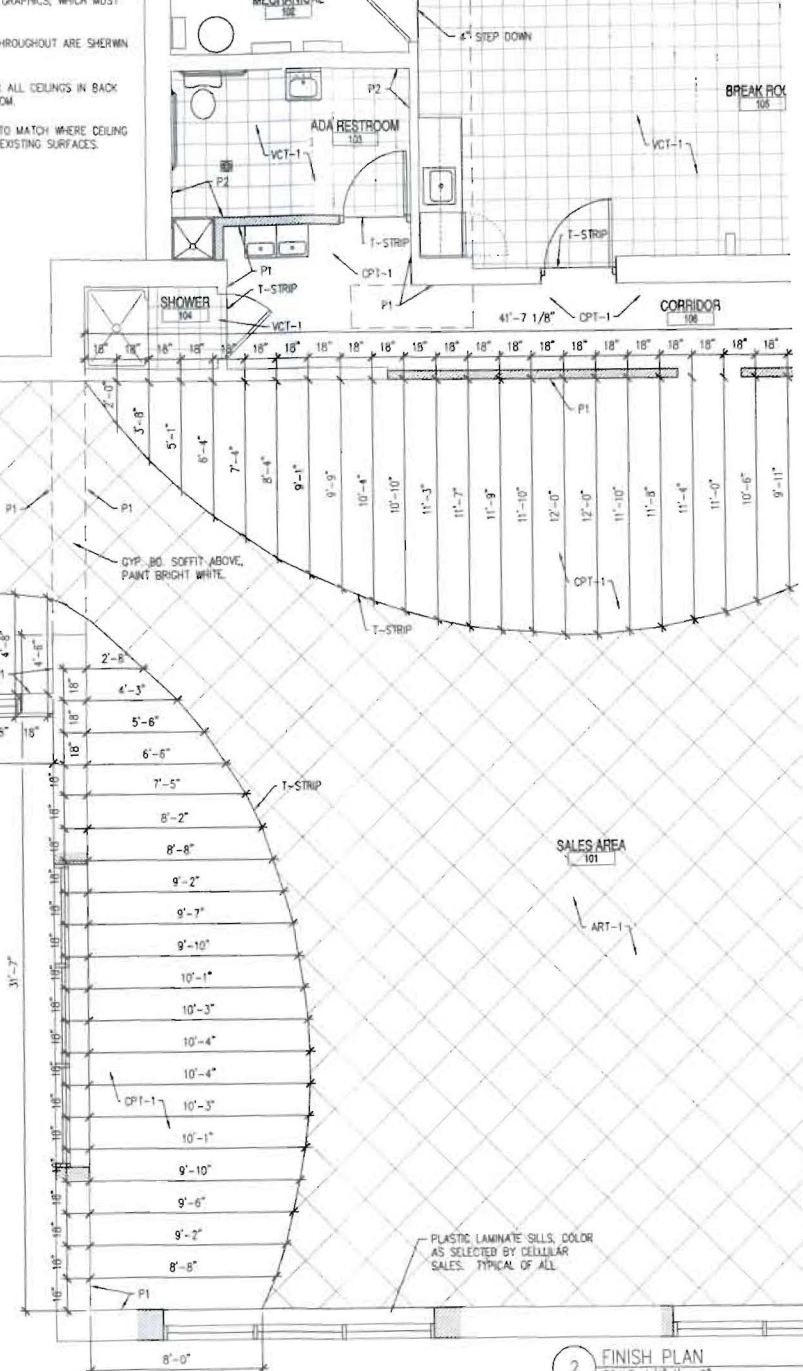
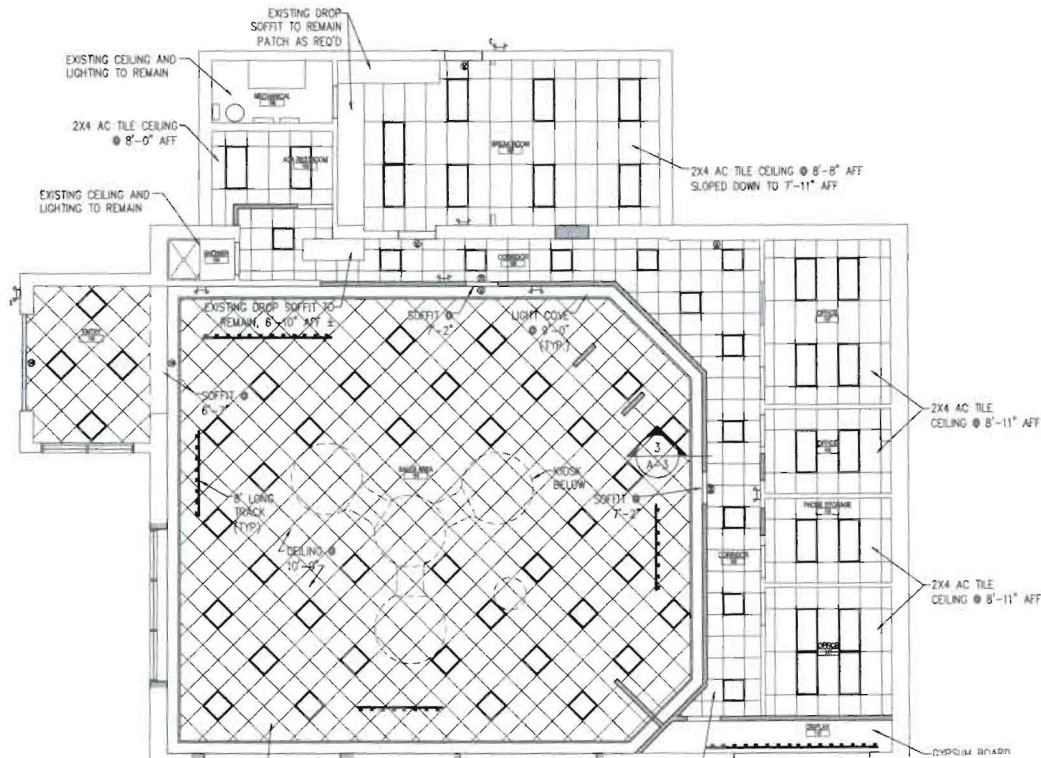
103	ADA RESTROOM	VCT-1	RB-1	P-2	ACT-2	REUSE EXISTING CEILING, REPAINT (FLAT WHITE)
104	SHOWER	VCT-1	RB-1	P-2	-	REUSE EXISTING CEILING, REPAINT (FLAT WHITE)
105	BREAK ROOM	VCT-1	RB-1	P-2	ACT-2	
106	CORRIDOR	ART-1	RB-1	P-2	ACT-2	
107	OFFICE	VCT-1	RB-1	P-2	ACT-2	
108	OFFICE	-	-	P-2	ACT-2	
109	CORRIDOR	ART-1	RB-1	P-2	ACT-2	
110	LOCKED PHONE STORAGE	VCT-1	RB-1	P-2	ACT-2	
111	OFFICE	VCT-1	RB-1	P-2	ACT-2	
112	DISPLAY	VCT-1	RB-1	P-2	OYP, BD.	

4. ALL INTERIOR DOORS AND TRIM THROUGHOUT ARE SHERWIN WILLIAMS SEMI/GLOSS FINISH.
5. PROVIDE SOUND INSULATION OVER ALL CEILINGS IN BACK ROOMS, BATHROOMS, & BREAKROOM.
6. WHERE REQUIRED, PATCH WALLS TO MATCH WHERE CEILING HEIGHT IS BEING RAISED. MATCH EXISTING SURFACES.

SYMBOL LEGEND	
	2X4 FLUORESCENT LIGHT FIXTURE
	2X2 FLUORESCENT PARABOLIC LIGHT FIXTURE
	1X4 FLUORESCENT LIGHT FIXTURE
	TRACK LIGHTING
	SURFACE MOUNTED LED LIGHTING
	EMERGENCY LIGHT WITH BATTERY BACKUP E = EXTERIOR
	EXIT LIGHT W/ BATTERY BACKUP
	EXHAUST FAN

NOTES:

1. NEW GYPSUM BOARD CONSTRUCTION ADJOINING EXISTING CONSTRUCTION IN THE SAME PLANE SHALL BE FLUSH WITH NO VISIBLE JOINTS, UNLESS OTHERWISE NOTED.
2. EXPOSED GYP. BD. EDGES SHALL HAVE METAL TRIM. PROVIDE CORNER BEADS ALONG FULL LENGTH OF OUTSIDE CORNERS AND J BEADS ALONG ENDS OF GYP. BD. UNLESS OTHERWISE NOTED. TAPE, SPACKLE AND SAND JOINTS. PARTITIONS SHALL HAVE A SMOOTH FINISHED CONDITION READY FOR PAINT AND FINISH MATERIAL APPLICATION, UNLESS NOTED OTHERWISE.
3. PENETRATIONS IN GYP. BD. CONSTRUCTION ABOVE FINISHED CEILING SHALL BE EFFECTIVELY SEALED TO PREVENT SOUND LEAKAGE AT ACOUSTICAL PARTITIONS AND DEMISING PARTITIONS, UNLESS OTHERWISE NOTED.
4. CONTRACTOR TO INSTALL ALL CEILING MATERIALS FINISHES AND FIXTURES IN ACCORDANCE WITH SEISMIC REQUIREMENTS BY THE CURRENT CODE OF THE JURISDICTION.



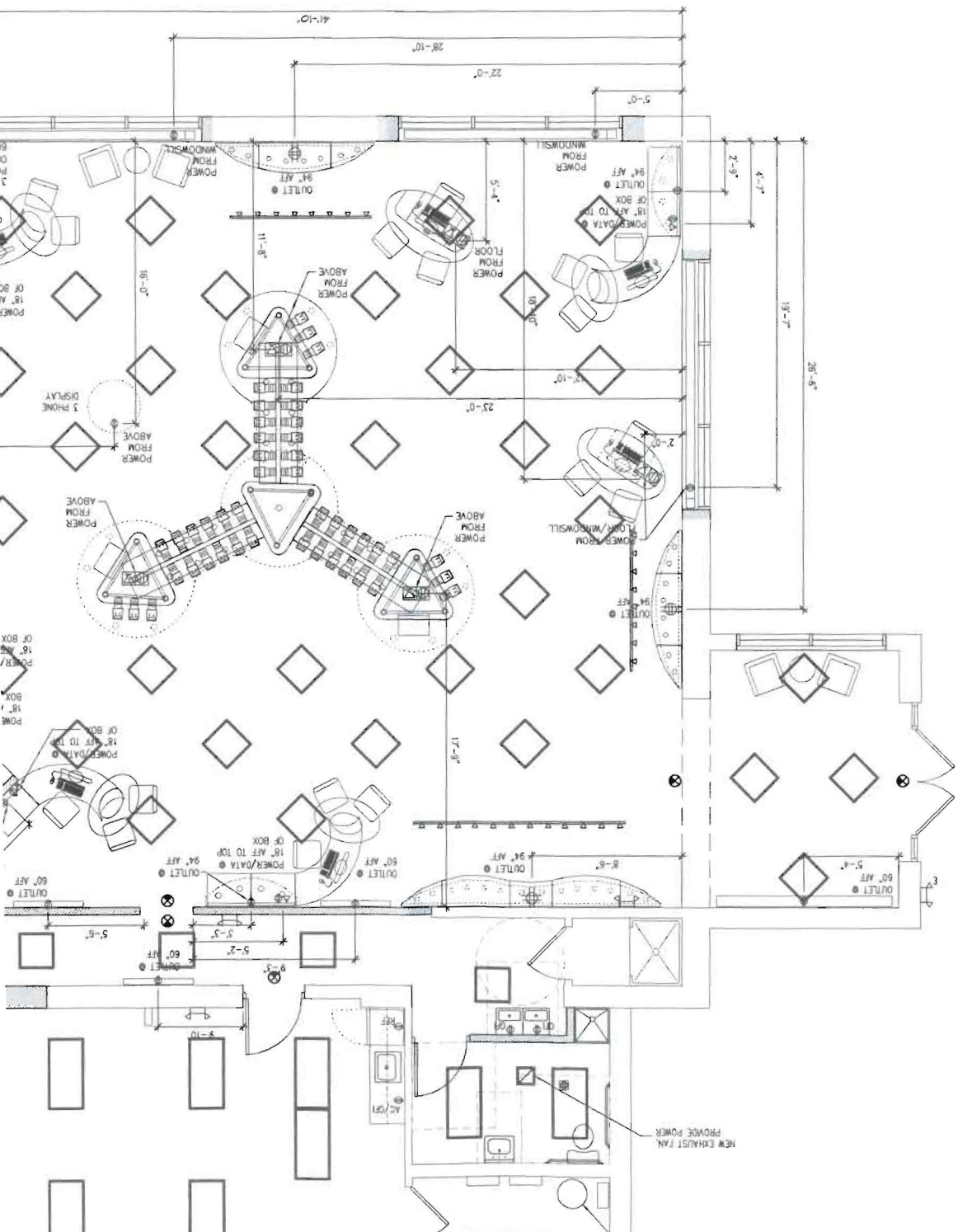
2 FINISH PLAN
SCALE: 1/4" = 1' - 0"

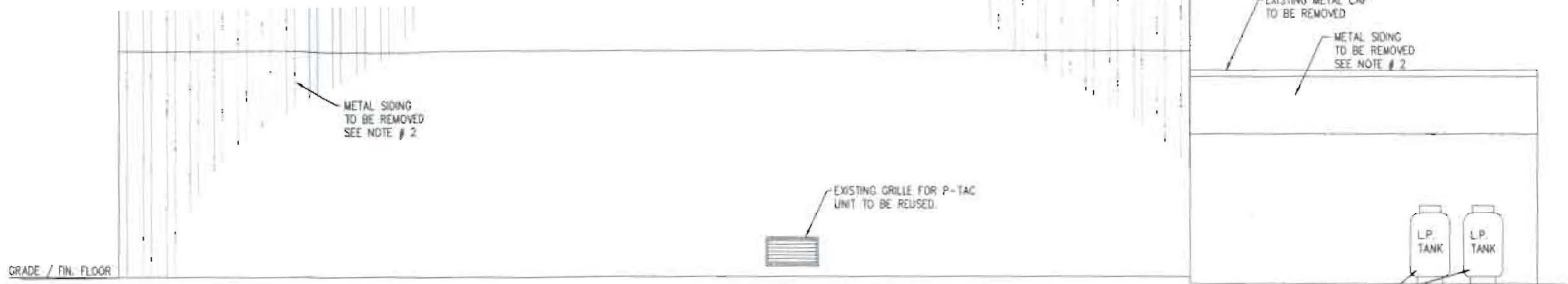
MATERIAL LIST

- CARPET (CPT-1)**
 MANUFACTURER: BOLYO
 PATTERN: ECHOES
 NO. EC564
 COLOR: CARBON COPY
- CARPET (CPT-2)**
 MANUFACTURER: BOLYO

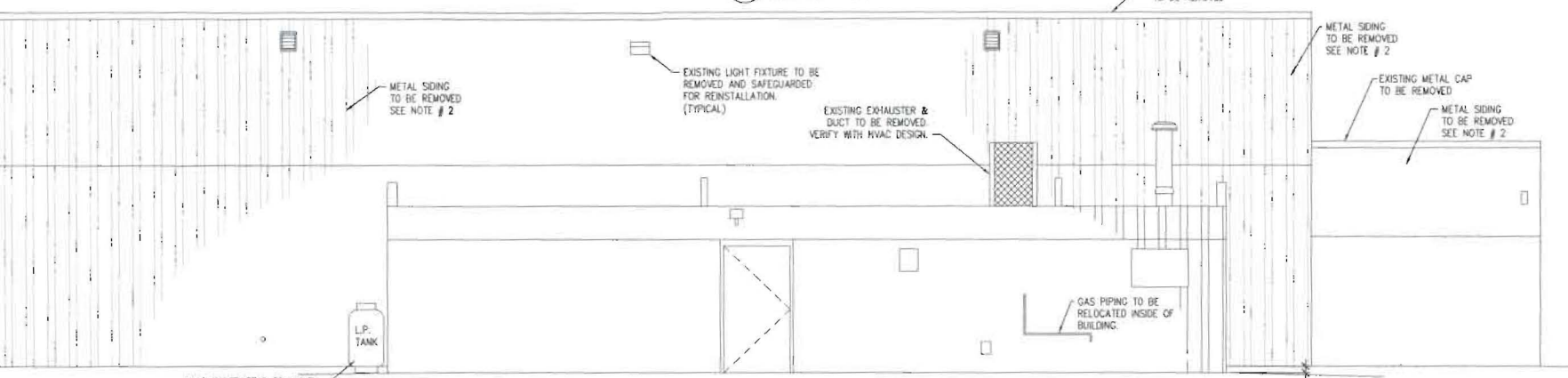
ENERGY CODE / INSULATION NOTE:

1. CONTRACTOR TO FIELD VERIFY EXISTING INSULATION ABOVE CEILING / STRUCTURE.
2. PROVIDE CELLULAR SALES SQ. FT. PRICE FOR R-11, R-19 AND R-30. IF ADDITIONAL INSULATION VALUE IS REQ'D A SQ. FT. AREA WILL BE VERIFIED AND ADDED INSULATION WILL BE ADDED AT THIS SQ. FT. PRICE

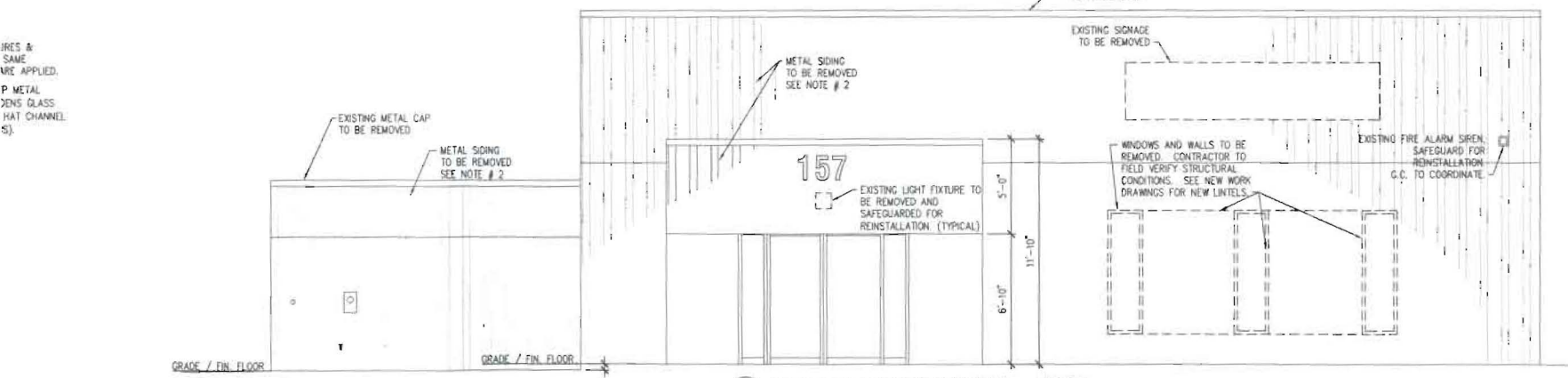




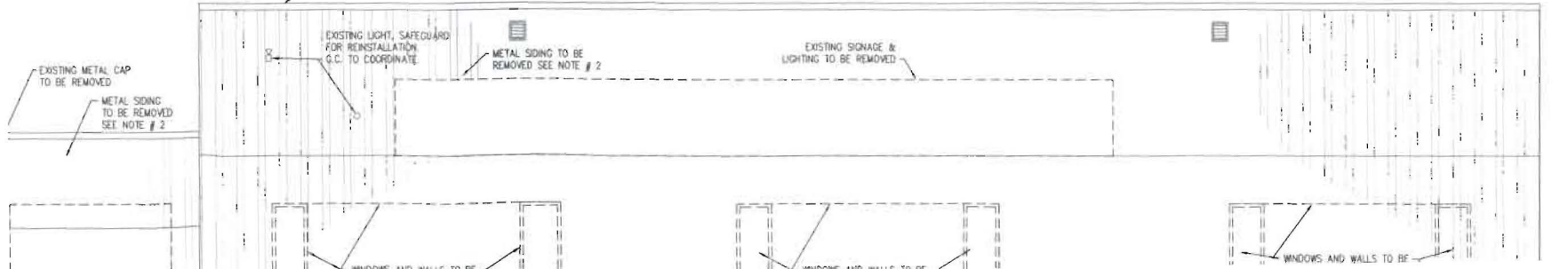
4 DEMOLITION EXTERIOR ELEVATION - NORTH
SCALE: 1/4" = 1'-0"




3 DEMOLITION EXTERIOR ELEVATION - WEST
SCALE: 1/4" = 1'-0"



2 DEMOLITION EXTERIOR ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

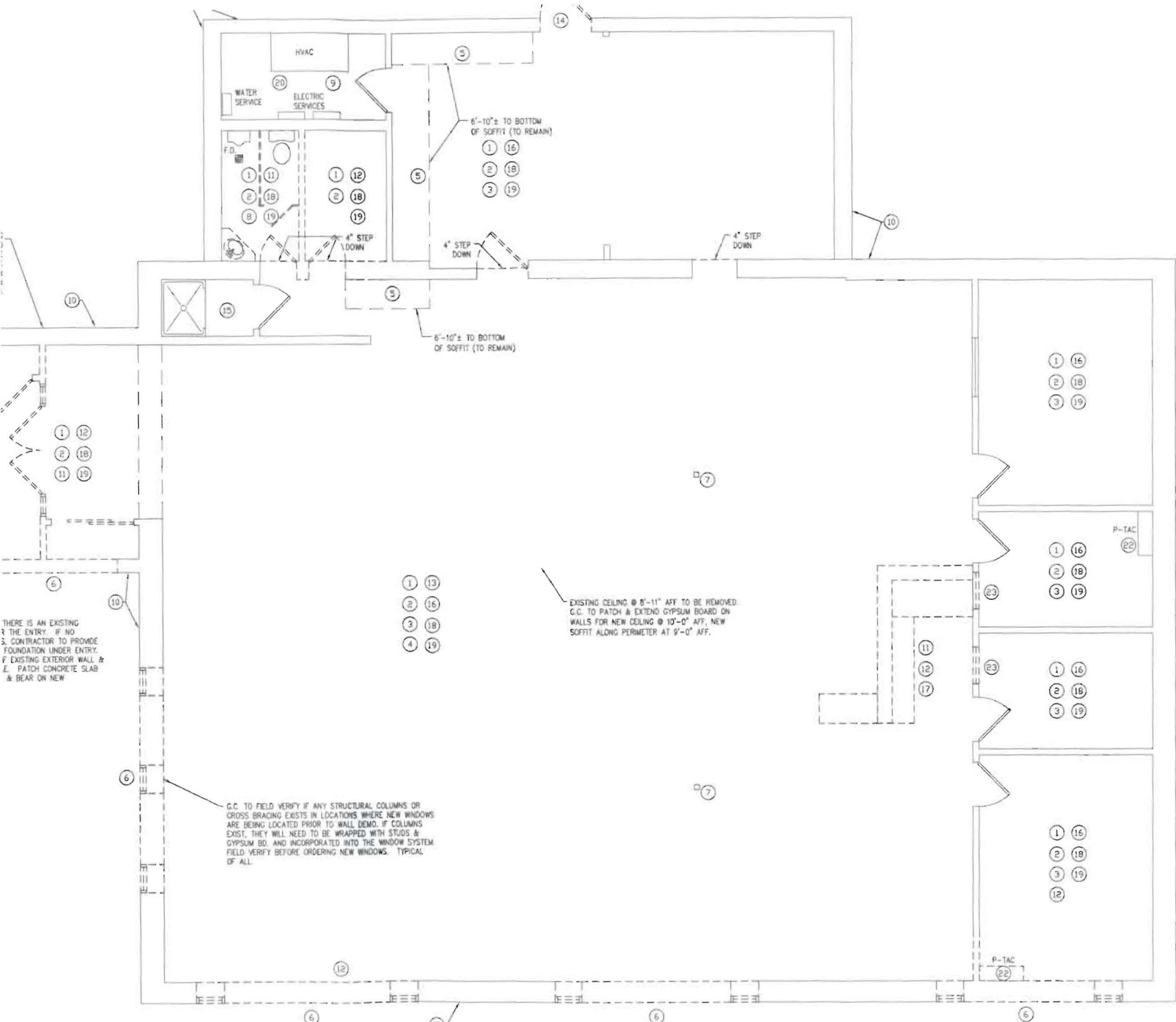


PROJECT
CELLULAR SALES
3 SOMERSET STREET
PORTLAND, MAINE 04101
OWNER
CELLULAR SALES
109 CIRCLE LANE, KNOXVILLE TN 37919

 **THE CRISSEY ARCHITECTURAL GROUP**

995 North Ave.
Syracuse NY 13206
Phone: 315-437-0844
Fax: 315-463-7619
Email: info@crisseygroup.com
Web: www.crisseygroup.com

JOB NUM:	10173
DRAWN BY:	BJG
CHECKED:	TAP
ISSUED:	12/16/2010
REVISIONS:	



ON FLOOR PLAN
1/4" = 1'-0"

- ⑥ REMOVE WINDOW AND WALL AS SHOWN FOR NEW WINDOWS.
- ⑦ REMOVE ALL POWER DROPS FROM CEILING.
- ⑧ REMOVE ALL HANGERS FROM CEILING.
- ⑬ EXISTING 1-STAT AND CONTROL WIRES TO HVAC SYSTEM TO REMAIN. RELOCATE AS REQUIRED.
- ⑭ REMOVE DOOR AND FRAME. ADJUST TO NEW FLOOR ELEVATION. MODIFY EXISTING UNTEL ACCORDINGLY.
- ⑯ SAFEGUARD AND REUSE EXISTING HVAC, ELECTRIC, PLUMBER TO PROVIDE NEW WATER HEATER.
- ⑰ CONTRACTOR TO REMOVE DOOR & FRAME AND SAFEGUARD DURING DEMOLITION. SEE NEW W/REV IN A2.

PROJECT
CELLULAR SALES
 3 SOMERSET STREET
 PORTLAND, MAINE 04101
 OWNER
CELLULAR SALES
 109 CIRCLE LANE, KNOXVILLE TN 37919

THE CRISSEY ARCHITECTURAL GROUP

995 North Ave.
 Syracuse NY 13206
 Phone: 315-437-0844
 Fax: 315-463-7618
 Email: info@crisseygroup.com
 Web: www.crisseygroup.com

JOB NUM:	10173
DRAWN BY:	BJG
CHECKED:	TAP
ISSUED:	12/16/2010
REVISIONS:	



Certificate of Occupancy



CITY OF PORTLAND, MAINE

Department of Planning and Urban Development
Building Inspections Division

Issued to The Carbo Company

Location: 3 Somerset

Date Issued March 11, 2011

CBL: 024-C-001-001

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit NO. 2011-01-196, has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.


PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Retail Sales – Use Group m
Type 2B IBC 2009

Limiting Conditions: TEMPORARY – EXPIRED MARCH 14, 2011



Inspector



Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.



Certificate of Occupancy



CITY OF PORTLAND, MAINE
Department of Planning and Urban Development
Building Inspections Division

Issued to THE CARBO COMPANY
Date Issued 3-21-2011

Location 3 Somerset St.
CBL 024 C004001

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 2011-01-196, has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Verizon Wireless Retail Sales

Use Group M, Type 2B, IBC 2009

Limiting Conditions: NONE

Approved:

3-21-11

Inspector

CAPT. 3-21-11

Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.



Certificate of Occupancy



CITY OF PORTLAND, MAINE
Department of Planning and Urban Development
Building Inspections Division

Issued to THE CARBO COMPANY
Date Issued 3-21-2011

Location 3 Somerset St.
CBL 024 C004001

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 2011-01-196, has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Verizon Wireless Retail Sales

Use Group M, Type 2B, IBC 2009


Limiting Conditions: NONE

Approved:

3-21-11 

Inspector

CAPT. R.  3-21-11


Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.