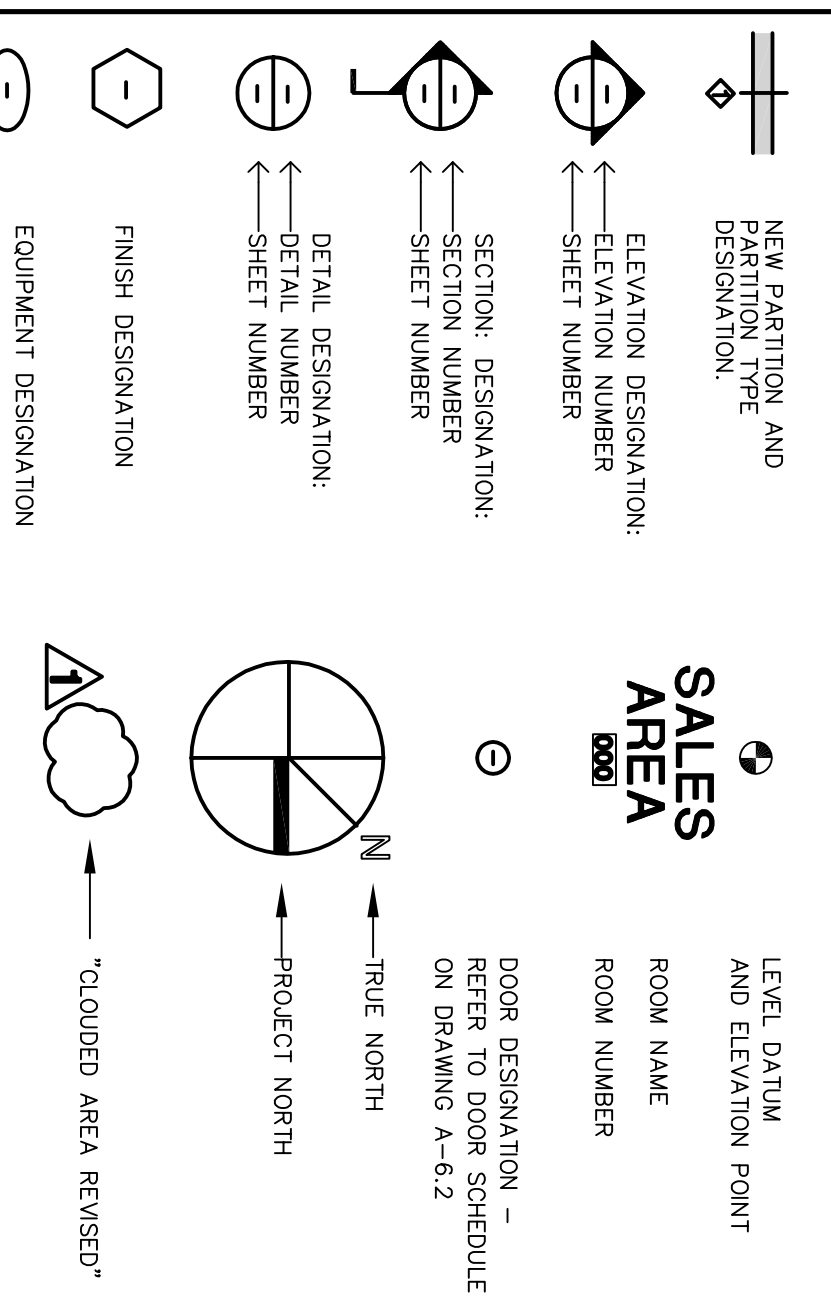


RESPONSIBILITY SCHEDULE

ITEM	FURNISHED & INSTALLED BY LL	FURNISHED & INSTALLED BY SON CONTRACTOR	FURNISHED & INSTALLED BY TENANT CONTRACTOR	EXISTING	PROVIDED AND INSTALLED BY TENANT VENDOR	PURCHASED FROM FUTURE CONTRACTOR	PATCH AND REPAIR (BY TENANT CONTRACTOR)	REPAIR & RE-USE AS NECESS. (BY TENANT CONTRACTOR)	NOT APPLICABLE
GENERAL REQUIREMENTS									
RELOCATION									
ASBESTOS REMOVAL									
PERMITS/FEE/INSURANCE									
TEMPORARY UTILITIES									
RASH REMOVAL									
CERTIFICATE OF OCCUPANCY									
PROFESSIONAL CLEANING									
STOREFRONT GLAZING AND FRAME									
STOREFRONT SECURITY GRILLE									
CONCRETE / STEEL									
CONCRETE SLAB									
CONCRETE TOPPING									
MECHANICAL									
HVAC DUCTWORK									
HVAC UNIT(S)									
HERMISTATS & CONTROL WIRE									
SPRINKLER SYSTEM									
PLUMBING									
TOILET R/L FIXTURES									
UNERSLAB ROUGH-IN									
WATER COLUMN									
WATER CLOSING & VENTS									
ELECTRICAL									
METERS									
PANELS									
EXIT AND EMERGENCY LIGHTING									
JUNCTION BOXES									
TELEPHONE									
REGISTER P.O.S.									
SECURITY SYSTEM									
STERO SYSTEM									
PRE-PAID SYSTEM									
EXPOSED WALL / STUCCO / BRICKWALL									
INTERIOR PARTITIONS (STUCCO/BRICKWALL)									
SALES AREA FIXTURES									
BACK-OFF-HOUSE FIXTURES									
MANAGER'S OFFICE FURNITURE									
MALL STOREFRONT									
DOORS									
STOREFRONT ENTRANCE DOORS AND HARDWARE									
REAR SERVICE DOOR AND HARDWARE									
INTERIOR DOORS AND HARDWARE									
TOILET ROOM DOOR AND HARDWARE									
SHOPS									
STORAGE									
STORAGE									
JUNCTION BOX @ SIGN LOCATIONS									
WALL FINISHES									
PAINT									
PREP PANELS									
CEILING									
LAY-IN ACOUSTIC CEILINGS									
GYP. BD. SPRINTS									
GYP. BD. CEILING									
FLOORING									
CARPET COMPART									
TRANSITION STRIP									
MISCELLANEOUS EQUIPMENT									
SAFE									
FIRE EXTINGUISHERS									
EMERGENCY LOCKERS									
MICROWAVE									
REFRIGERATOR									
DESK CHAIRS / MACHINE									
CONCRETE SERVICE KIOSK									
TOILET ROOM ACCESSORIES									
TOILET ROOM EQUIPMENT									

GRAPHIC LEGEND



CONTACTS

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 AT&T
 500 COUCHILLATE ROAD
 FRAMINGHAM, MA 01701
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 FAX: 508-271-8502
 CONTACT: GRAND LOVETT

LANDLORD
 BAYSIDE EAST - MARGINAL WAY
 PROPERTIES INC. - STREET (#5)
 450 SPRINGWOOD 02482
 WILMINGTON, MA 01897
 PHONE: 781-237-3877
 MOBILE: 781-856-0000
 FAX: 781-237-7657
 CONTACT: JOEL TRANIUM

ARCHITECT
 CORTLAND MORGAN AIA
 771 N. FELDER RD.
 ARLINGTON, TX 76012
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 FAX: 817-635-5699

PROJECT COORDINATOR
 RICHARD M. COLE AND ASSOCIATES
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M-E-P ENGINEER
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 CONTACT: MARVIN WAXMAN

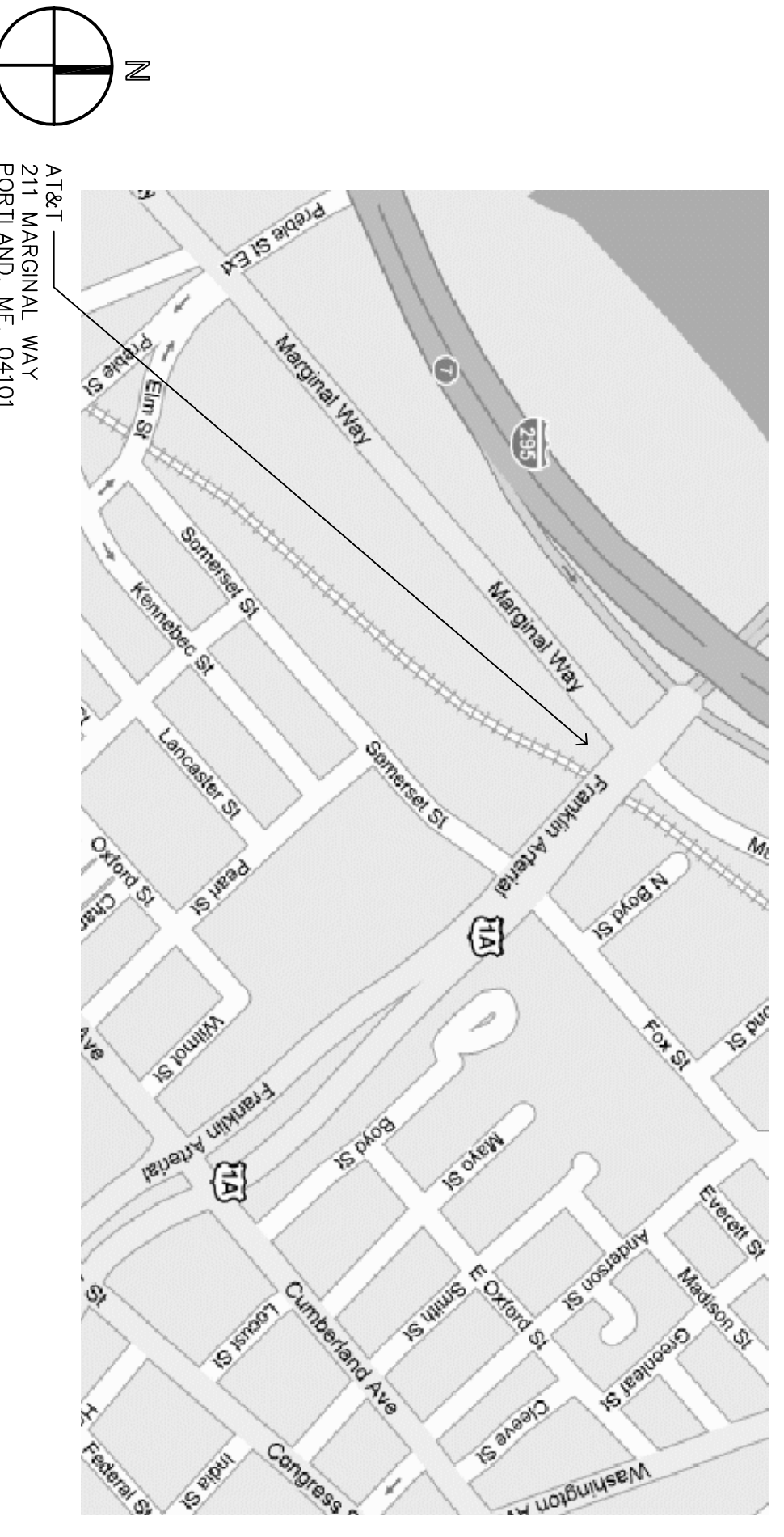
GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
2. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CITY AND STATE CODES AND STANDARDS.
3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES.
4. SHORE AND BRACE ALL EXCAVATIONS IN ACCORDANCE WITH CITY, STATE AND O.S.H.A. REQUIREMENTS.
5. PROVIDE ADEQUATE BLOCKING AS REQUIRED TO SUPPORT ELECTRIC WATER COOLER, FOR BASE AND UPPER CABINETS, LAVATORIES, TOILET FIXTURES, ACCESSORIES ELECTRICAL PANELS, ACCESS ROOF LADDER, ETC.
6. ALL DUCT WORK IS TO BE HELD AS TIGHT AS POSSIBLE TO BOTTOM OF ROOF STRUCTURE. DUCTS TO BE SUPPORTED FROM TOP ROOF JOISTS AND GIRDER CHORDS.

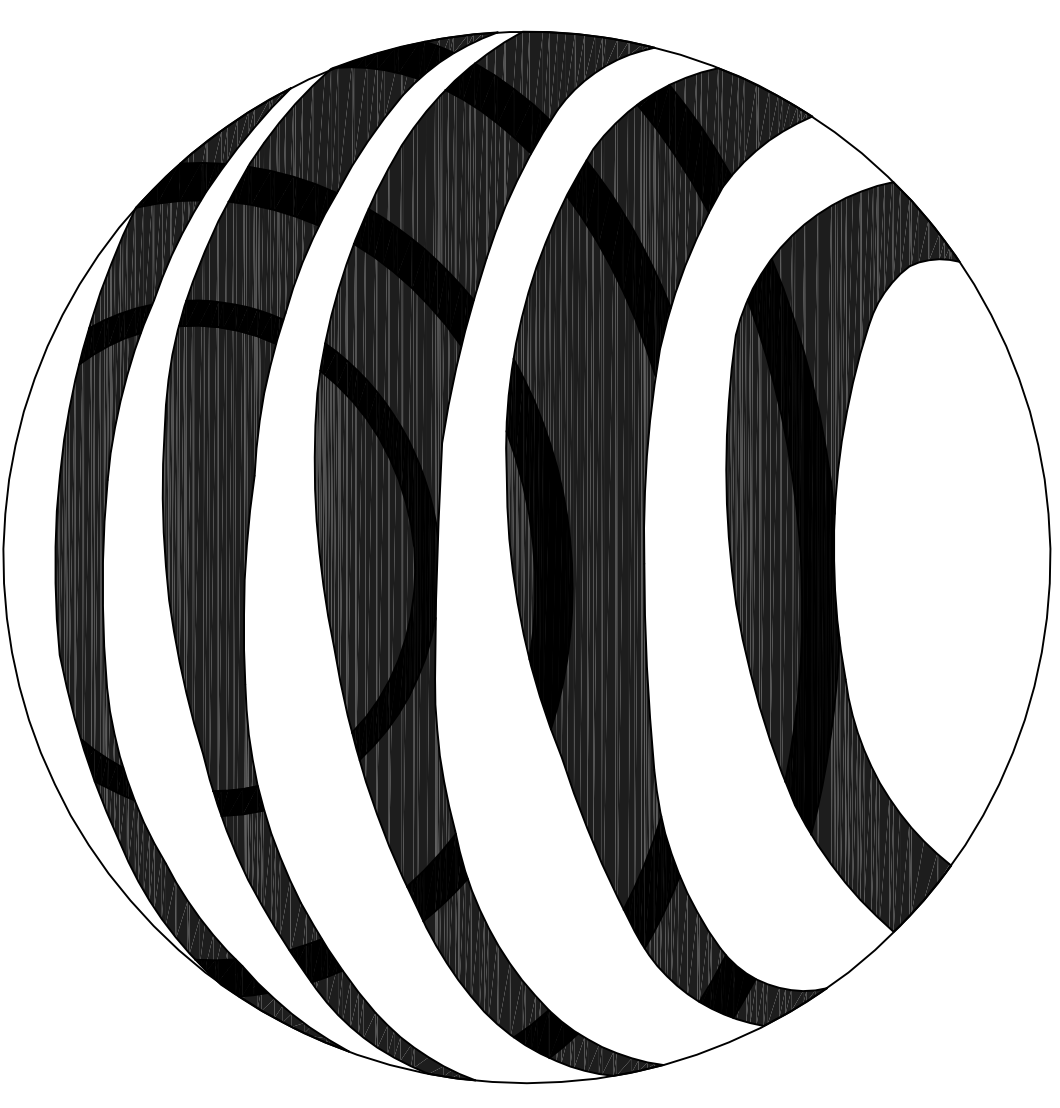
BUILDING CODE DATA

CODES:	IBC 2003
BUILDING CODE:	UPC 2000
ELECTRICAL CODE:	NEC 2002 NFPA #70
FIRE/LIFE SAFETY CODE:	NFPA 101, 1997
ACCESSIBILITY CODE:	ADAAG
STATISTICS:	M-MERCANTILE
OCCUPANCY CLASSIFICATION:	4,068 SQ. FT.
LEASABLE SQUARE FOOTAGE:	FIRST/SINGLE STOREY BUILDING
LEVEL/NUMBER OF LEVELS:	NO SPRINKLER SYSTEM
FIRE PROTECTION:	
GROSS SQUARE FOOTAGE	3,103 SQ. FT.
SALES AREA	30 SQ. FT.
STOCK AREAS (INVENTORY)	300 SQ. FT.
BUSINESS AREAS	367 SQ. FT.
TOTAL OCCUPANT LOAD	109 PEOPLE

VICINITY MAP



INTERIOR '2008 LEVEL 1A' FINISH-OUT FOR:



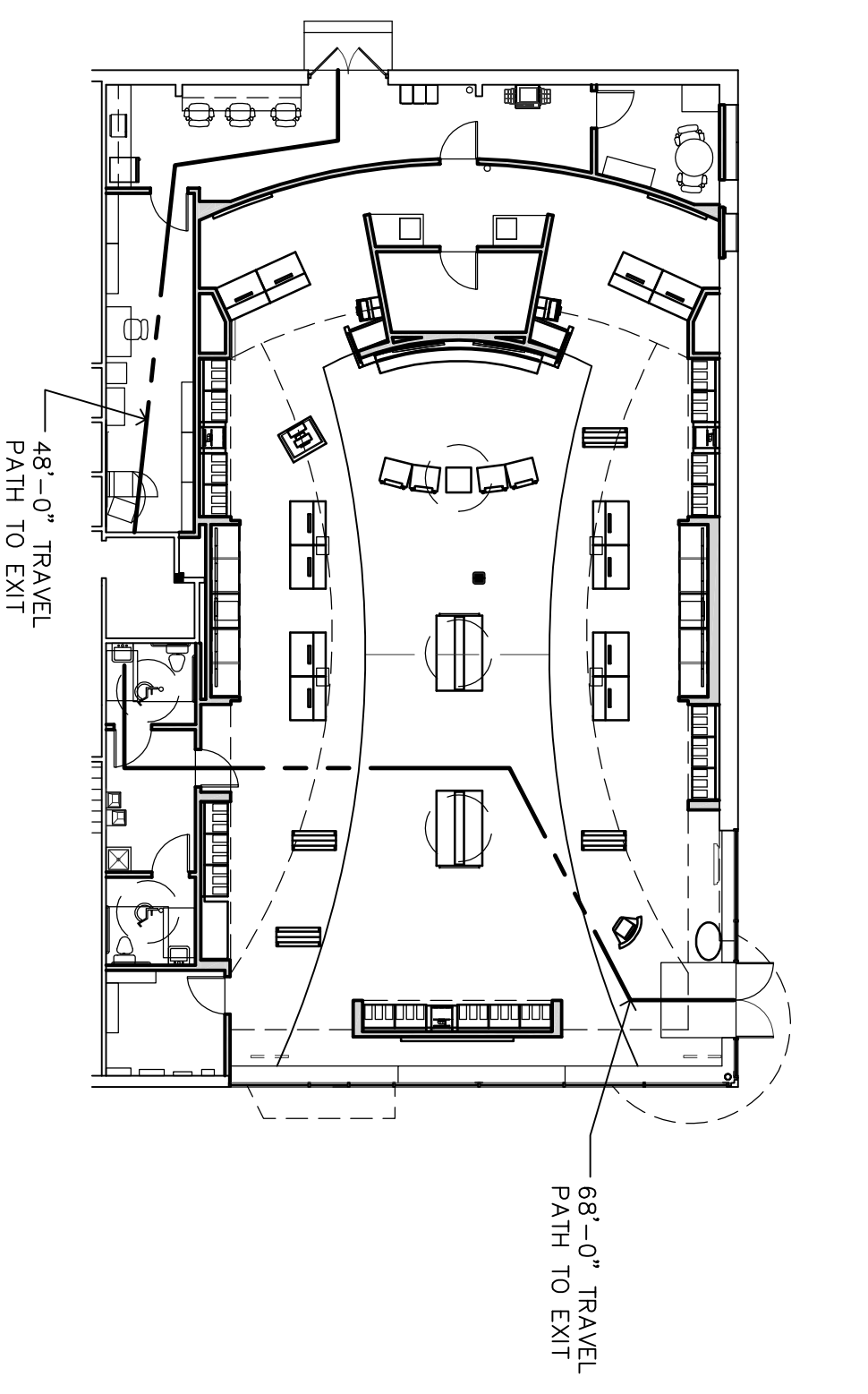
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211 MARGINAL WAY PORTLAND, ME. 04101

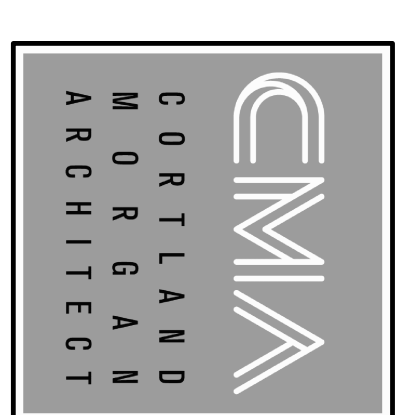
SHEET INDEX

CS	COVER SHEET	ENGINEERING
A-11	FLOOR PLAN	M11 MECHANICAL COVER SHEET
A-12	REFLECTED CEILING PLAN	M12 MECHANICAL SPECIFICATIONS
A-21	INTERIOR ELEVATIONS	M13 PLUMBING SPECIFICATIONS
A-31	FINISH SCHEDULE AND LEGEND	M14 PLUMBING SPECIFICATIONS
A-61	DOOR, HARDWARE, MISC. EQUIPMENT SCHEDULES	H11 HVAC PLAN
A-62	DETAILS - 1 OF 2	H21 HVAC DETAILS AND SCHEDULES
A-63	DETAILS - 2 OF 2	E11 ELECTRICAL COVER SHEET
A-64	FIXTURE DETAILS	E12 ELECTRICAL SPECIFICATIONS SHEET 1
A-65	ARCHITECTURAL SPECIFICATIONS	E21 POWER PLAN
A-71		E22 LIGHTING PLAN
		E31 ELECTRICAL DETAILS
		E32 ELECTRICAL DETAILS
		E41 PANEL SCHEDULES

EGRESS TRAVEL PATH



DATE: 08-14-08
 JOB NO: 2992
 DRAWN:
 CHECKED:



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RICHARD M. COLE
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REVISIONS

COVER SHEET

SHEET NUMBER

CS