

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

DEPARTMENT OF BUILDING INSPECTION

PERMIT

Permit Number: 041366

Please Read Application And Notes, if Any, Attached

This is to certify that regina Way Properties Inc/ stefano

has permission to Commercial space w/ tenant

AT 7.11 Marginal Way 024 C001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit must be completed before this building or part thereof is occupied or closed-in. 48 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 10/12/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1366	Issue Date:	CBL: 024 C001001
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Location of Construction: 211 Marginal Way	Owner Name: Marginal Way Properties Inc	Owner Address: 87 Sea Meadows Ln	Phone: 781-237-3677
Business Name:	Contractor Name: Destefano and Associates	Contractor Address: 2456 Lafayette Rd Portsmouth	Phone: 6037651638
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B5

Past Use: Commercial space	Proposed Use: <i>Planet Dog Retail</i>	Permit Fee:	Cost of Work:	CEO District:	
Proposed Project Description: Commercial space w/ tenant fit-up - Planet Dog Retail		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group <i>M</i> Type <i>5B</i> <i>10/12/04</i>		

Signature: <i>[Signature]</i>	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: dmm	Date Applied For: 09/14/2004	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	<i>Separate permits are required for any new signage</i>	late: <i>9/21/04</i>	Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716


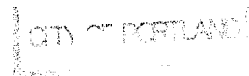
Permit No: 04-1366	Date Applied For: 09/14/2004	CBL: 024 C001001
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Location of Construction: 211 Marginal Way	Owner Name: Marginal Way Properties Inc	Owner Address: 87 Sea Meadows Ln	Phone: 781-237-3677
Business Name:	Contractor Name: Destefano and Associates	Contractor Address: 2456 Lafayette Rd Portsmouth	Phone: (603) 765-1638
Tenant/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial space w/ tenant fit-up	Proposed Project Description: Commercial space w/ tenant fit-up
---	---

Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 09/20/2004
Note:			Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Approved	Reviewer: Mike Nugent	Approval Date: 10/12/2004
Note:			Ok to Issue: <input checked="" type="checkbox"/>
Dept: Fire	Status: Approved with Conditions	Reviewer: Lt. MacDougal	Approval Date: 09/23/2004
Note: reviewed under wrong edition of codes			Ok to Issue: <input checked="" type="checkbox"/>
1) code review for the structure shall be NFPA 2000 edition of the life safety code 2) fire extinguishers shall be installed in accordance with NFPA 10 standards 3) means of egress shall have illuminated exit signs			

Comments: 9/24/2004-mjn: Need structurals for mezzanine extensions and guards, have egress questions.....Left message with Owner, Architect and Builder

PLANET DOG
211 MARGINAL WAY
PORTLAND, ME 04101

STRUCTURAL CALCULATIONS

OF

**MEZZANINE RENOVATIONS
&
NEW ENTRY**

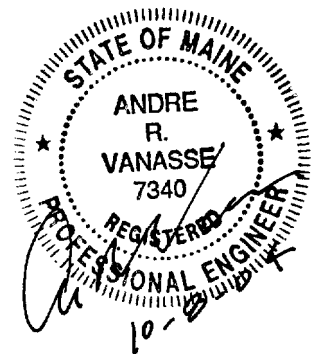
DATE : 10/8/2004

TOTAL SHEETS: 19

PERMITTING SUBMISSION

PREPARED BY:

AV ENGINEERING, LLC
CUSTOM DESIGN & ENGINEERING
POB 1254, WELLS, ME 04090



PLANET DOG
211 MARGINAL WAY
PORTLAND, ME 04101

DESIGN LOADS

I. LIVE LOADS:

ROOF SNOW LOADS: N/A (TENENT FITUP OF EXSITING STRUCTURE)
BASIC GROUND SNOW LOAD: $P_g =$ PSF
SNOW EXPOSURE FACTOR: $C_e =$
SNOW LOAD INPORTANCE FACTOR: $I_s =$
ROOF THERMAL FACTOR: $C_t =$

FLOOR LOADS: (ASCE 7/02 & IBC 2000)
FIRST FLOOR: = 100 PSF (RETAIL)
CORRIDORS: = 100 PSF
MEZZANINE:
OFFICES: 50 PSF
CORRIDORS: 80 PSF

OTHER LOADS:

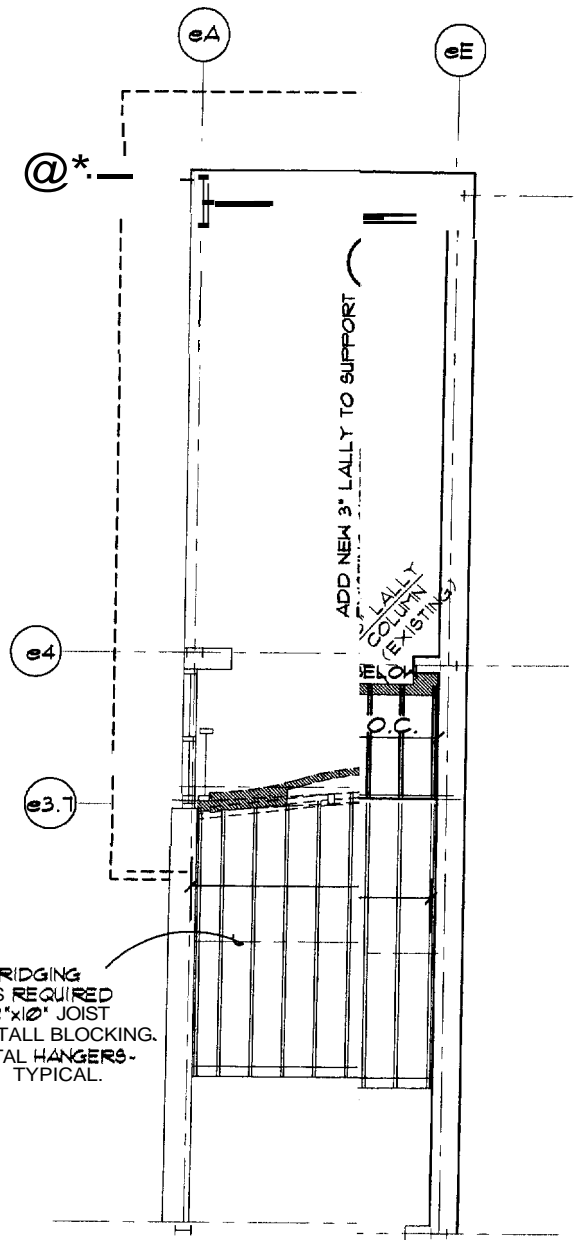
STAIRS: 100 PSF
RAILING: 50 PLF AND 200 # ANY LOCATION
ANY DIRECTION
INTERNAL PARTITIONS: 5 PSF MINIMUM

2. WIND LOADING: (ASCE 7/02)

BASIC WIND SPEED: $V = 100$ MPH
WIND LOAD IMPORTANCE FACTOR: $I = 1.0$ (CATEGORY 2-
NOTE: CAT 1 IBC 2000)
EXPOSURE: B

PLANET DOG
211 MARGINAL WAY
PORTLAND, ME 04101

MEZZANINE



MID-SPAN BRIDGING
 - REMOVE AS REQUIRED
 TO 'SISTER 2"x10\"/>

ADD NEW 3" LALLY TO SUPPORT

LALLY COLUMN (EXISTING?)

FLOOR

O.C.

NOTE:

1. INSTALL METAL FACE MOUNT HANGERS AT ALL JOIST (SINGLE & DC)
2. INSTALL 3" DIA. STEEL LALLY COLUMNS W/ 6"x6"x .375" BASE & TOP (4) 1/16" DIA. HOLES FOR 3/8" DIA. ANCHORS. FIELD MEASURE Ed
3. REINFORCE MEZZANINE HALLS AND CONSTRUCT EXTENSIONS PER [BY ENGINEER.
4. ADD (3) 12 x 3" WOOD SCREWS EM RY 30" STAGGERED BOTH SID (3- 2"x12") AND AS DIRECTED BY ENGINEER.
5. ALL PLYWOOD DECKING TO BE APA RATED 3/4" THICK ADVANTEK NEW PLYWOOD DECKING TO BE GLUED AND SCREWED PER CODE EXISTING DECKING TO BE INSPECTED FOR CODE FASTENING AND ADD

INSTRUCTION TO CONFORM TO ALL APPLICABLE STATE, LOCAL CODES AND ORDINANCES. TENSIONS AND WORK SHOWN ON THESE PLANS APPLICABLE SPECIFICATIONS MUST BE VERIFIED BY CONTRACTOR BEFORE ANY CONSTRUCTION. THE DESIGNER WILL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS. THE DESIGNER ASSUMES RESPONSIBILITY FOR CHANGES AND/OR REVISIONS MADE BY CLIENT/CONTRACTOR

AV Engineering, LLC
 Custom Design & Engineering Services
 (207) 251-0820

MEZZANINE FRAMING

211 Marginal Way
 Portland, ME 04090

PROJ 9-16-04
 REVISED 9-21-04
 9-29-04
 10-08-04

S-2

A.V. Engineering, LLC
P.O. BOX 1254
Wells, Maine 04090

Job No: Planet Dog
SHEET: OF
BY: ARV 9/16/2004
CHK BY:

MEMBER NUMBER: UNIFORMLY LOADED [REF # - Page]
SIMPLE SPAN EXISTING GIRDER
LIVE LOAD= 62.00 PSF
DEAD LOAD= 15.00 PSF

DESIGN FORCES: [# - 1]
MEMB SPAN= 10.0 FT MEMB SPAC= 72.00 IN
MAX B.M.: 5775 FT-LBS
MAX V@ SUPPOF 2310 LBS
V@ DIST "d" : LBS

DEFLECTION LIMITATIONS: [# -]

LIVE LOADING: L/ 360 (180 240 360 420 480)
DEAD + LIVE LDNG L/ 240 (120 180 240 300 360)

K= 0.50 (IF MC<16% USE .5; IF MC>16% USE 1.0)

SPAN LENGTH, L: 120.0 IN (USE CS PLUS 1/2 BL @ EACH SUPPORT)

SELECT SIZE CLASSIFICATION & SPECIES: (ASSUME CI=1)

ASSUMED MEMBER SIZE:
SPECIES: S-P-F ACT. MEMB THICKNE: 4.5
GRADE: NO. 2 ACT. MEMBER WIDTH: 11.25

TAB Fb=	875 PSI	Cd=	1.00	[# 3 - 6]
TAB Ft=	425 PSI	Cm=	1.00	[# 4 - 18]
TAB Fv=	70 PSI	ct=	1.00	[# 3 - 6]
TAB Fcp=	425 PSI	Cl=	1.00	[# 3 - 6]
TAB Fc=	1100 PSI	Fb CF=	1.00	[# 4 - 18]
TAB E=	1.40 X 10 ⁶ P:	Ft CF=	1.00	[# 4 - 18]
TAB Fg=	1410 PSI	Fc CF=	1.00	[# 4 - 18]
		cv=	1.00	[GLULAM ONLY]
F'b=	875 PSI	Cfu=	1.00	[# 4 - 18]
F't=	425 PSI	Cr=	1.00	[# 4 - 18]
F'c=	1100 PSI	cc=	1.00	[GLULAM ONLY]
F'cp=	425 PSI	Cf=	1.00	[# 3 - 6]
F'v=	70 PSI	cp=	1.00	[# 3 - 14]
34.4 F'g=	1410 PSI	Ch=	1.00	[# 4 - 19]
179 E=	1.4 X 10 ⁶ P:	Ct=	1.00	[# 3 - 20]
		Cb=	1.00	[# 3 - 7]

MIN. MEMBER REQUIREMENTS:

REQ'D Sx= 79.2 IN³ <= 94.92 IN³ O.K.
REQ'D Ix= 179.36 IN⁴ <= 533.94 IN⁴ O.K.
REQ'D A= 49.5 IN² <= 50.63 IN² O.K.
REQ'D BEARING= 1.2078 IN <= 1.5 IN USE: 1.5

CHECK Cd: CHECK CF:

***** IS ADEQUATE *****
NOTE: MEMBER MUST HAVE COMPRESSION FLANGE LATERAL BRACED.

NOTE: OK w/o ADDITIONAL WALL LOADING => NEED TO PROVIDE INTERMEDIATE SUPPORT COLUMNS AS INDICATED IN PLANS.

A.V. Engineering, LLC
P.O. BOX 1254
Wells, Maine 04090

Job No: Planet Dog
SHEET: OF
BY: ARV 9/16/2004
CHK BY:

MEMBER NUMBER: UNIFORMLY LOADED [REF# - Page]
SIMPLE SPAN - EXISTING JOIST -
LIVE LOAD= 50.00 PSF
DEAD LOAD= 15.00 PSF

DESIGN FORCES: [# -]
MEMB SPAN= 11.9 FT MEMBSPAC= 16.00 IN
MAX B.M.: 1534 FT-LBS
MAX V@ SUPPOF 516 LBS
V@ DIST "d" : LBS

DEFLECTION LIMITATIONS: [# -]

LIVE LOADING: L/ 360 (180 240 360 420 480)
DEAD + LIVE LDNG L/ 240 (120 180 240 300 360)

K= 0.50 (IF MC<16% USE .5; IF MC>16% USE 1.0)

SPAN LENGTH, L: 142.8 IN (USE CS PLUS 1/2 BL @ EACH SUPPORT)

SELECT SIZE CLASSIFICATION & SPECIES: (ASSUME CI=1)

ASSUMED MEMBER SIZE:
SPECIES: S-P-F ACT. MEMB THICKNE: 1.5
GRADE: NO. 2 ACT. MEMBER WIDTH: 9.25

TAB Fb=	875 PSI	Cd=	1.00	[# 3 - 6]
TAB Ft=	425 PSI	Cm=	1.00	[# 4 - 18]
TAB Fv=	70 PSI	Ct=	1.00	[# 3 - 6]
TAB Fcp=	425 PSI	Cl=	1.00	[# 3 - 6]
TAB Fc=	1100 PSI	Fb CF=	1.00	[# 4 - 18]
TAB E=	1.40 X 10% P:	Ft CF=	1.00	[# 4 - 18]
TAB Fg=	1410 PSI	Fc CF=	1.00	[# 4 - 18]
		cv=	1.00	[GLULAM ONLY]
F'b=	1006 PSI	Cfu=	1.00	[# 4 - 18]
F't=	425 PSI	Cr=	1.15	[# 4 - 18]
F'c=	1100 PSI	cc=	1.00	[GLULAM ONLY]
F'cp=	425 PSI	Cf=	1.00	[# 3 - 6]
F'v=	70 PSI	cp=	1.00	[# 3 - 14]
32.5 F'g=	1410 PSI	Ch=	1.00	[# 4 - 19]
54.2 E'=	1.4 X 10^6 P:	Ct=	1.00	[# 3 - 20]
		Cb=	1.00	[# 3 - 7]

MIN. MEMBER REQUIREMENTS:

REQ'D Sx=	18.295 IN^3 <=	21.39 IN^3	O.K.
REQ'D Ix=	54.166 IN^4 <=	98.93 IN^4	O.K.
REQ'D A=	11.05 IN^2 <=	13.88 IN^2	O.K.
REQ'D BEARING=	0.8089 IN <=	1.5 IN USE:	1.5

CHECK Cd: CHECK CF:

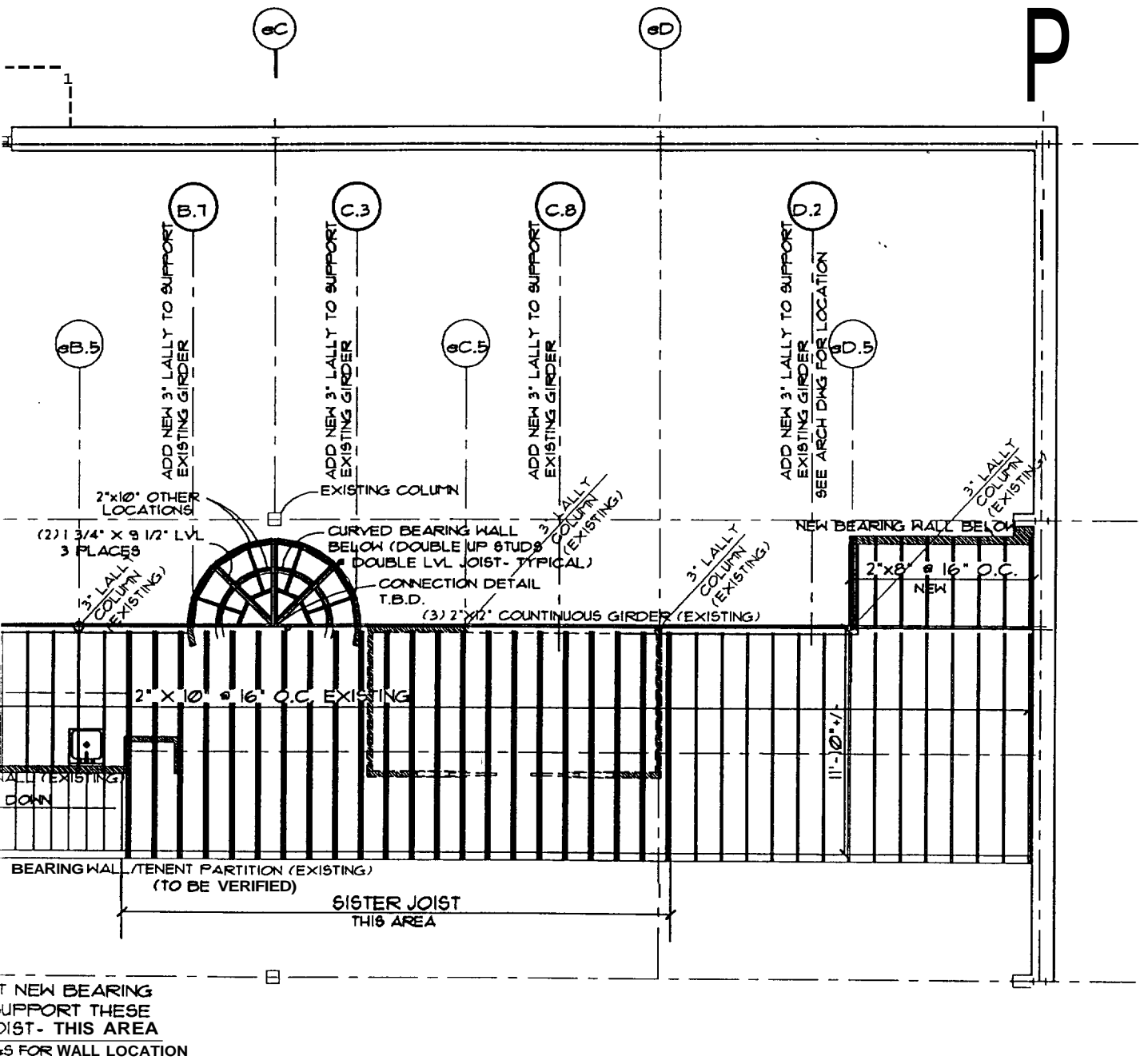
***** IS ADEQUATE *****

NOTE: MEMBER MUST HAVE COMPRESSION FLANGE LATERAL BRACED.

NOTE: EXISTING JOIST O.K. w/o PROPOSED PARTITIONS - MUST "SISTER" EXISTING JOIST OR PROVIDE INTERMEDIATE SUPPORT WALLS AS NOTED IN PLANS FOR

NOTICE:

- 1.) ALL CONSTRUCTION TO CONFORM TO ALL APPLICABLE NATIONAL, STATE, LOCAL CODES AND ORDINANCES
- 2.) ALL DIMENSIONS AND WORK SHOWN ON THESE PLANS AND ANY APPLICABLE SPECIFICATIONS MUST BE VERIFIED BY CLIENT/CONTRACTOR BEFORE ANY CONSTRUCTION. OTHERWISE THE DESIGNER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR CHANGES AND/OR REVISIONS TO PLANS/DRAWINGS BY CLIENT/CONTRACTOR.



FRAMING PLAN

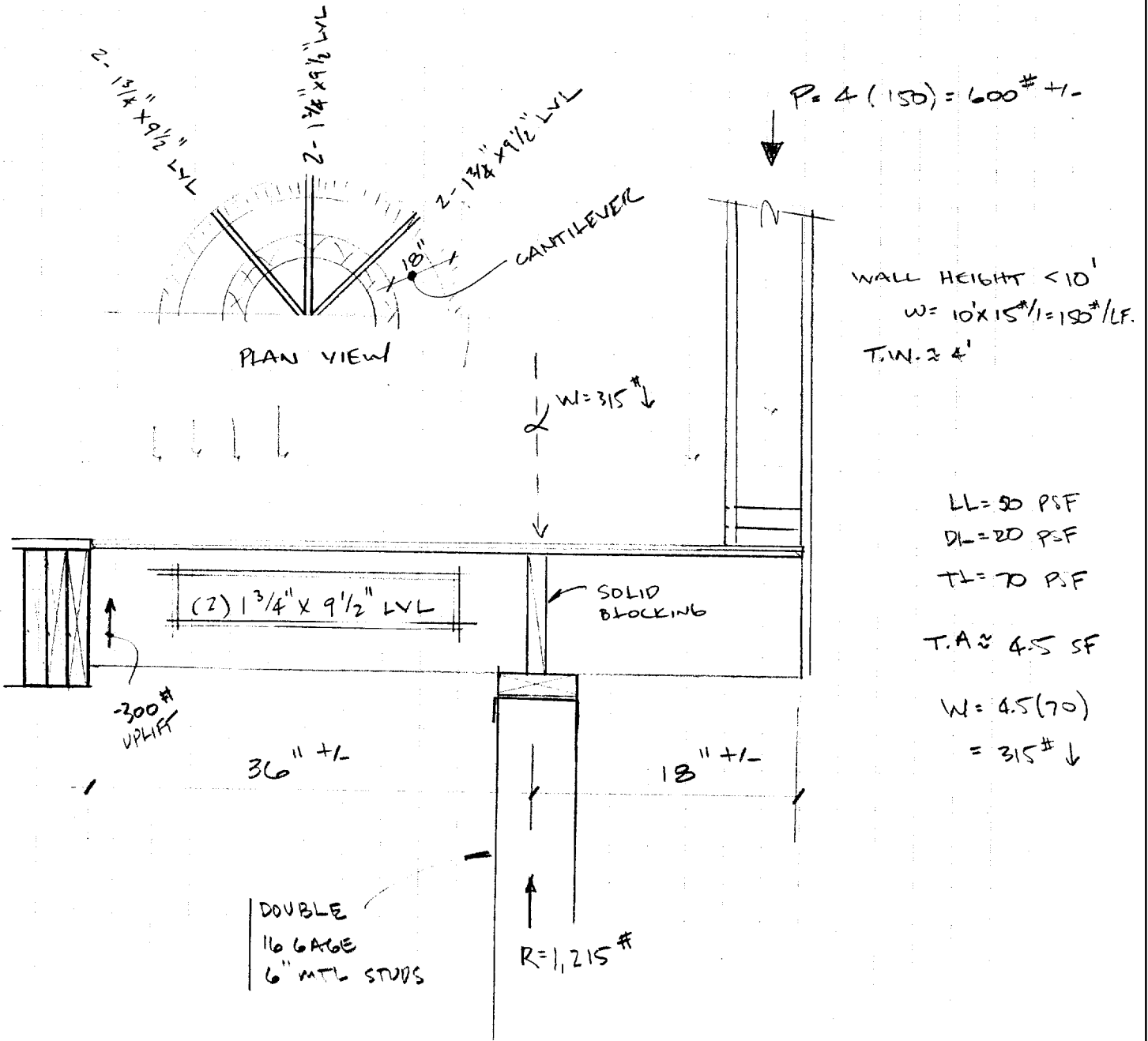
SCALE 1/8" = 1'-0"

REFER TO ARCHITECTURAL DRAWINGS FOR INFORMATION NOT PROVIDED.

A.V. Engineering, LLC
 PO Box 1254
 Wells, ME 04090

JOB PLANET DOG
 SHEET NO. _____ OF _____
 CALCULATED BY AV DATE 9-28-04
 CHECKED BY _____ DATE _____
 SCALE _____

HALF-CIRCLE MEZZANINE EXTENSION

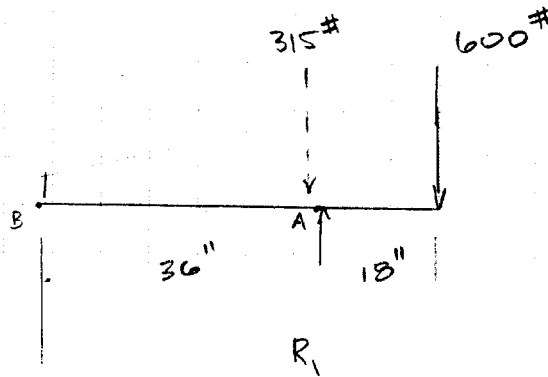


SECTION @ RADIUS DECK

SCALE: NONE

DETERMINE IF LVL'S ARE ADEQUATE TO CARRY LOAD:

FBD:



DETERMINE REACTION @ A:

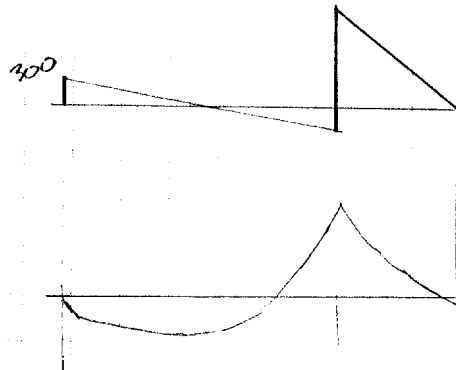
$$\sum M_B = 0$$

$$600(54) + 315(36) = 36R_1$$

$$R_1 = 1215 \# \uparrow$$

$$R_2 = 315 + 600 - 1215$$

$$= -300 \# \downarrow$$



$$M_{max} = 18(600) + 315(18)$$

$$= 13,950 \text{ in}^{\#}$$

$$= 1163 \text{ in}^{\#} < 13,863$$

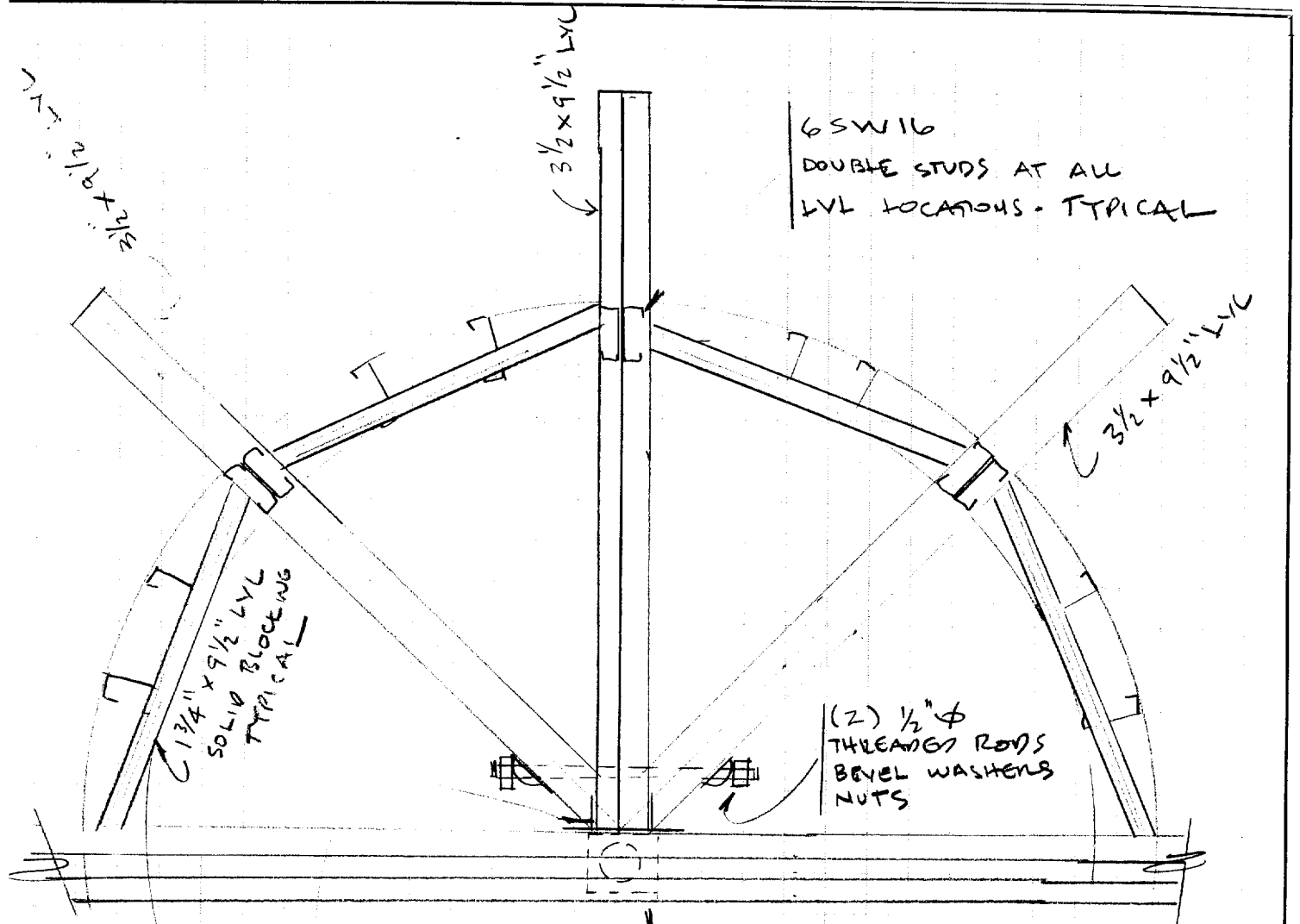
$$V = 1,215 \# < 6,318 \#$$

$$F_{CL} = 900 \text{ PSI}$$

BY INSPECTION $3\frac{1}{2} \times 9\frac{1}{2}$ LVL ADEQUATE
 AS LAYED OUT IN CAD DWG S-2

A.V. Engineering, LLC
PO Box 1254
Wells, ME 04090

JOE PLANET DOL
SHEET NO _____ OF _____
CALCULATED BY AM DATE 9-28
CHECKED BY _____ DATE _____
SCALE _____



HHUS410
SIMPSON HANGER

ANCHOR COLUMN TO
EXISTING B/N GIRDER &
ANCHOR COLUMN TO
SLAB TO RESIST 1,200*
UPLIFT FORCE

PLAN VIEW

NOTE: 2"x10" NOT SHOWN
FOR CLARITY - SEE
STRUCTURAL SHEET S-2
FOR INFORMATION NOT SHOWN

PLANET DOG
211 MARGINAL WAY
PORTLAND, ME 04101

ENTRY
RENOVATIONS

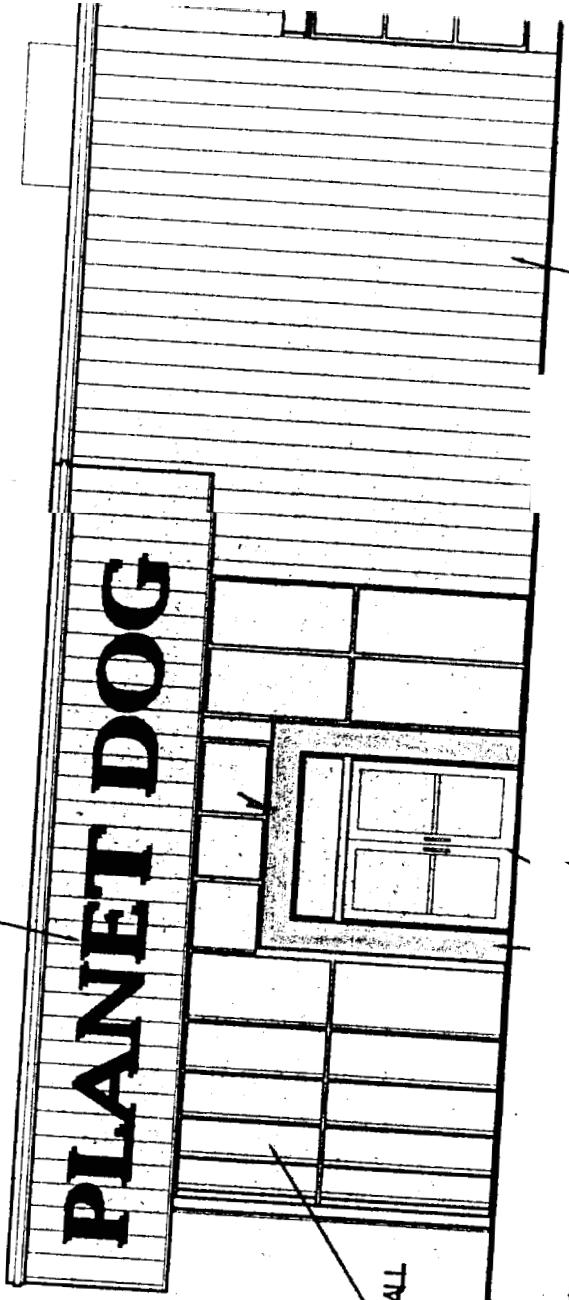
TOP OF PARAFET
ELEVATION = 20'-0" 1/2"

TOP OF PARAFET
ELEVATION = 10'-4" 1/2"

1ST FLOOR
ELEVATION = 0'-0"

EXISTING STOREFRONT TO REMAIN.
REMOVE EXISTING GLAZING AND INSTALL
NEW 1" CLEAR GLAZING TYP

NEW SIGNAGE
RADIUSS STEEL HAMMER



REMOVE EXISTING STOREFRONT
NEW ALUMINUM DOORS AND TRANSOM

CLAD PANELS TO

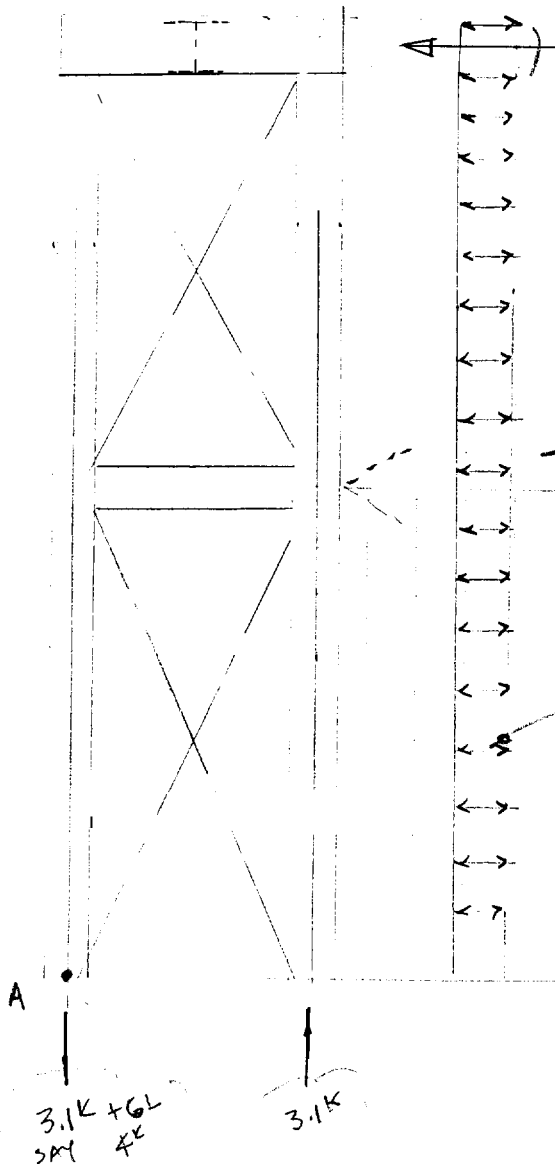
A

WEST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

DETERMINE LOADING ON NEW MOMENT FRAME;

TRUSS WIDTH ALONG FRAME: $\approx 4'-6"$
 APPROX. HEIGHT OF FRAME: $\approx 9'-6"$
 APPROX. POINT FROM TOP OF FRAME:
 UNIFORM LOAD ALONG FRAME:
 CONCENTRATED LOAD

$3' \times 5' \times (-20.3) = 305^{\#} + 914 = 1219^{\#} \rightarrow 1300^{\#}$
 ESTIMATE LOADS e



IBC 2000 TABLE 1609.6.2.1(1)

BWS = 100 MPH = $\frac{1}{3}$

EFFECTIVE WIND AREA ≈ 50 SF

ZONE 5

16.1 PSF

-20.3 PSF

I = 1.0

HT ADJUSTMENT FACTOR = 1.0

$(16.1)(4.5) = 72.45$ PLF

$(-20.3)(4.5) = -91.35$ PLF

$M_A = 914(5') + 305(10') = 7620^{\#-1}$

MOMENT COUPLE = $\frac{7620}{2.5} = 3048^{\#}$

A.V. Engineering, LLC
 PO Box 1254
 Wells, ME 04090

JOB PLANET DOG

SHEET NO _____ OF _____

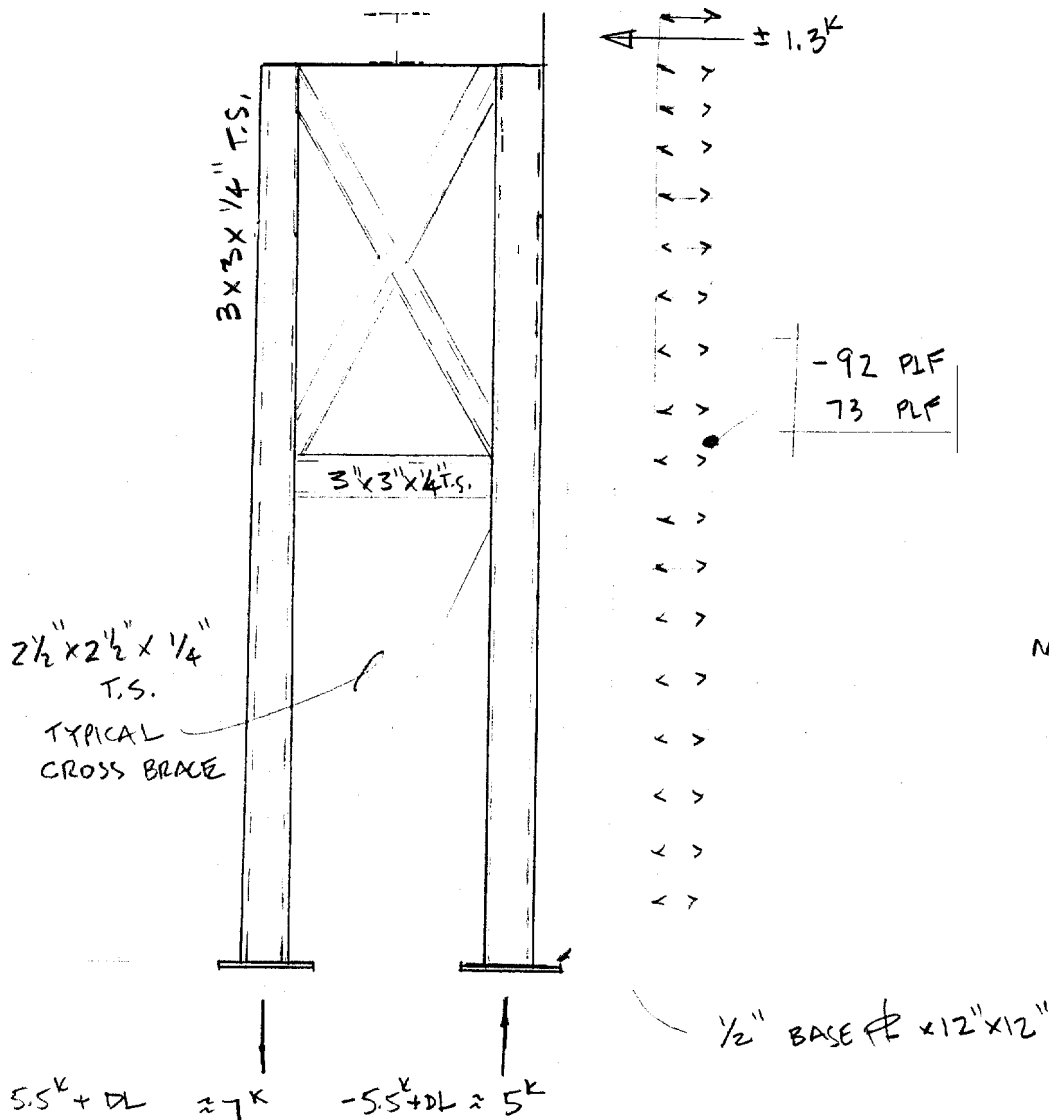
CALCULATED BY AV DATE 9-27

CHECKED BY _____ DATE _____

SCALE _____

DETERMINE LOADING ON NEW MOMENT FRAME;

TRUSS WIDTH ALONG FRAME: $\approx 4'-6"$
 APPROX. HEIGHT OF FRAME: $\approx 9'-6"$
 APPROX. POINT LOAD @ TOP OF FRAME: $\approx 1300 \#$
 UNIFORM LOAD ALONG FRAME: -92 PLF , 73 PLF
 CONCENTRATED LOAD $\approx 1300 \#$ AT EXISTING COLUMN



$$M_C = \frac{1.3^k \times 10.5'}{2.5'} = 5.5^k + 6.L.$$

A.V. engineering, LLC
PO Box 1254
Wells, ME 04090

JOB PLANET DOG
SHEET NO SK- OF _____
CALCULATED BY AV DATE 9-27
CHECKED BY _____ DATE _____
SCALE _____

e4

FIELD ATTACH
W/B BEAM $\frac{1}{4}$ " PL
TO EXISTING COLUMN &
NEW MOMENT FRAME

4.3

W/B $\frac{1}{4}$ " PL WELDED TO
TOP FLANGE

SHOP FABRICATE
NEW
MOMENT
FRAME -
SHOP DRAWINGS
REQUIRED
SEE SK-2
SK-3

EXISTING
W
COLUMN
REINFORCE
WITH
 $\frac{3}{8}$ " THICK
PLATES BOTH
FLANGES -
FIELD WELDING
REQ'D - SEE
DETAIL
T.B.V.

10'-0" MAX D.O.

#5 @ 12" V
#5 @ 12" H
EACH SIDE

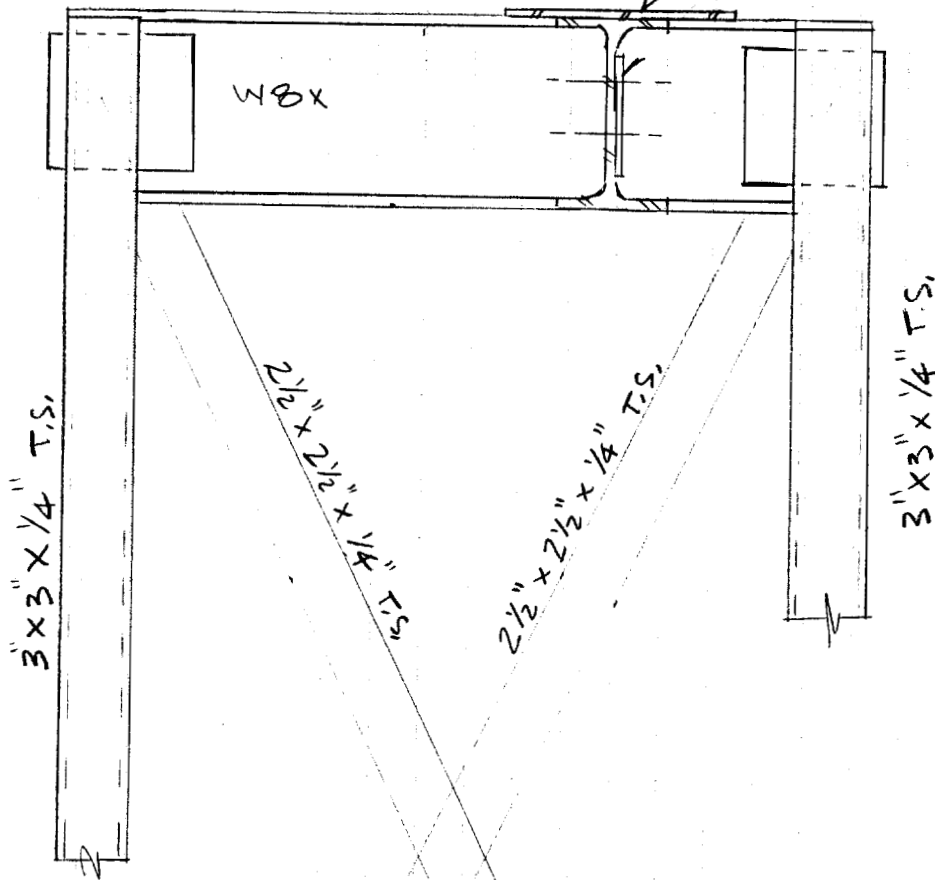
1'-3" W X 3'-0"
FDN WALL
TO FROST
DEPTH

PARTIAL ELEVATION AT
STORE ENTRY

A.V. Engineering, LLC
PO Box 1254
Wells, ME 04090

JOB PLANET DOG
SHEET NO. SK-3 OF _____
CALCULATED BY M DATE 9-27
CHECKED BY _____ DATE _____
SCALE NONE

W8X T.B.D.
W/3/8" ϕ X T.B.D.
(WB TO BE FIELD BOLTER,
 ϕ TO BE FIELD WELDER)
SHOP WELDED
SHEAR TABS (1/2" ϕ)
CONNECTION AT
MOMENT FRAME



NOTE: ° SHOP FABRICATE
ENTIRE MOMENT FRAME
° SEE SK-1 FOR OTHER INFORMATION

DETAIL OF TOP PORTION OF
MOMENT FRAME

N.T.S.

PLANET DOG
211 MARGINAL WAY
PORTLAND, ME 04101

MISCELLANUOUS

99 APPLE ROAD
BRIMFIELD, MA 01010
PHONE: 508.347.7188
FAX: 508.347.8939
Fleshman@SF-Arch.com

STEPHEN FLESHMAN ARCHITECT

FAX

To: Mr. Mike Nugent
Chief of Inspection - Portland, ME

From: Stephen Fleshman, AIA
Stephen Fleshman Architect

Fax: 207.874.8716

Date: 10.11.04

Phone: 207.874.8700

Pages: 1

Re: Planet Dog - 211 Marginal Way

CC: John DeStefano

Urgent For Review Please Comment Please Reply Your Us

As requested, during our conversation on Friday October 8th, please find the information regarding the building classification for the Planet Dog project at 211 Marginal Way.

Existing building use - Mercantile

Square Footage - 3 existing tenant spaces totaling 7100 sq ft

The UPS Store - 2100 sq ft approx.

Simply Formal - 1900 sq ft approx.

Planet Dog - 3100 sq ft

Construction type - typical of type 2C with the exception of an existing wood framed mezzanine in the Planet Dog tenant space. Since the mezzanine exists the construction type needs to be classified as SB

Allowable area under SB Mercantile - 4800 sq ft

Area modification - Street Frontage 75% exposed

75% - 25% = 50%

50% x 2 = 100% increase / 4800

Total allowable area - 4800 + 4800 = 9600 sq ft

Based upon the above information the existing building will comply with the area requirements even under the lower construction classification of SB.

I hope the above information addresses your questions regarding the construction classification of the project. If you have any further questions please feel free to contact me.

99 APPLE ROAD
BRIMFIELD, MA 01010
PHONE: 508.347.7188
FAX: 508.347.8939
Fleshman@SF-Arch.com

STEPHEN FLESHMAN ARCHITECT

FAX

To: John DeStefano
DeStefano Associates, Inc

From: Stephen Fleshman, AIA
Stephen Fleshman Architect

Fax: 603.430.0346
Date: 09.24.04

Phone: 603.430.0339
Pages: 1

Re: Planet Dog

Urgent For Review Please Comment Please Reply Your Use

John,

I have contacted Backer Structural Engineers of Portland, ME - the structural engineer of record for the renovations to 211 Marginal Way in January of 2003. The roof structure was modified to receive 3 new roof top units. Two of which were install over the tenant spaces that are currently occupied. The third unit was for the tenant space which Planet Dog will occupy. Dan Bum from Becker advised me that the steel design was based upon a 700 lb roof top unit. I have since contacted Kathy Mooney from Portland Air and she advised me that the unit that will be installed on the roof will be approximately 360 lbs. This unit will only serve the mezzanine level and is much smaller than a unit that would serve the entire space as the original steel modifications design was based upon

I hope this provides the information that you need. If you have any further questions please feel free to contact me

Regards,



Stephen Fleshman, AIA

OCT

PLANET DOG
211 MARGINAL WAY
PORTLAND, ME 04101

STRUCTURAL CALCULATIONS

OF

MEZZANINE UPGRADES
NEW ENTRY

PROGRESS SET

DATE : *9-30-04*

TOTAL SHEETS:

PREPARED BY:

AV ENGINEERING, LLC
CUSTOM DESIGN & ENGINEERING
POB 1254, WELLS, ME 04090

OCT 1 2004

RECEIVED

PLANET DOG
211 MARGINAL WAY
PORTLAND, ME 04101

DESIGN LOADS

I. LIVE LOADS:

ROOF SNOW LOADS: N/A (TENENT FITUP OF EXSITING STRUCTURE)
BASIC GROUND SNOW LOAD: PG= PSF
SNOW EXPOSURE FACTOR: CE=
SNOW LOAD INPORTANCE FACTOR: IS=
ROOF THERMAL FACTOR: CT=

FLOOR LOADS: (ASCE 7/02 & IBC 2000)
FIRST FLOOR: = 100 PSF (RETAIL)
CORRIDORS: □ 100 PSF
MEZZANINE:
OFFICES: 50 PSF
CORRIDORS: 80 PSF

OTHER LOADS:

STAIRS: 100 PSF
RAILING: 50 PLF AND 200 # ANY LOCATION
ANY DIRECTION
INTERNAL PARTITIONS: 5 PSF MINIMUM

2. WIND LOADING: (ASCE 7/02)

BASIC WIND SPEED: V=100 MPH
WIND LOAD IMPORTANCE FACTOR: I=1.0 (CATEGORY 2-
NOTE: CAT 1 IBC 2000)
EXPOSURE: B

PLANET DOG
211 MARGINAL WAY
PORTLAND, ME 04101

MEZZANINE

THIS S
CONT'
BEFO

51-0020

A.V. Engineering, LLC
P.O. BOX 1254
Wells, Maine 04090

Job No: Planet Dog
SHEET: OF
BY: ARV 9/16/2004
CHK BY:

MEMBER NUMBER: UNIFORMLY LOADED [REF # - Page]
SIMPLE SPAN

LIVE LOAD= 62.00 PSF
DEAD LOAD= 15.00 PSF

EXISTING GIRDER

DESIGN FORCES: [# - 1]

MEMB SPAN= 10.0 FT MEMB SPAC= 72.00 IN
MAX B.M.: 5775 FT-LBS
MAX V@ SUPPOF 2310 LBS
V@ DIST "d": LBS

DEFLECTION LIMITATIONS: [# - 1]

LIVE LOADING: L 360 (180 240 360 420 480)
DEAD + LIVE LDNG L 240 (120 180 240 300 360)

K= 0.50 (IF MC<16% USE .5; IF MC>16% USE 1.0)

SPAN LENGTH, L: 120.0 IN (USE CS PLUS 1/2 BL @ EACH SUPPORT)

SELECT SIZE CLASSIFICATION & SPECIES: (ASSUME CI=1)

ASSUMED MEMBER SIZE:
SPECIES: S-P-F ACT. MEMB THICKNE: 4.5
GRADE: NO. 2 ACT. MEMBER WIDTH: 11.25

TAB Fb=	875 PSI	Cd=	1.00	[# 3 - 6]
TAB Ft=	425 PSI	Cm=	1.00	[# 4 - 18]
TAB Fv=	70 PSI	ct=	1.00	[# 3 - 6]
TAB Fcp=	425 PSI	Cl=	1.00	[# 3 - 6]
TAB Fc=	1100 PSI	Fb CF=	1.00	[# 4 - 18]
TAB E=	1.40 X 10 ⁶ P:	Ft CF=	1.00	[# 4 - 18]
TAB Fg=	1410 PSI	Fc CF=	1.00	[# 4 - 18]
		cv=	1.00	[GLULAM ONLY]
F'b=	875 PSI	Cfu=	1.00	[# 4 - 18]
F't=	425 PSI	Cr=	1.00	[# 4 - 18]
F'c=	1100 PSI	cc=	1.00	[GLULAM ONLY]
F'cp=	425 PSI	Cf=	1.00	[# 3 - 6]
F'v=	70 PSI	cp=	1.00	[# 3 - 14]
34.4 F'g=	1410 PSI	Ch=	1.00	[# 4 - 19]
179 E'=	1.4 X 10 ⁶ P:	Ct=	1.00	[# 3 - 20]
		Cb=	1.00	[# 3 - 7]

MIN. MEMBER REQUIREMENTS:

REQ'D Sx=	79.2 IN ³ <=	94.92 IN ³	O.K.
REQ'D Ix=	179.36 IN ⁴ <=	533.94 IN ⁴	O.K.
REQ'D A=	49.5 IN ² <=	50.63 IN ²	O.K.
REQ'D BEARING=	1.2078 IN <=	1.5 IN USE:	1.5

CHECK Cd: CHECK CF:

***** IS ADEQUATE *****

NOTE: MEMBER MUST HAVE COMPRESSION FLANGE LATERAL BRACED.

NOTE: OK w/o ADDITIONAL WALL LOADING =>
NEED TO PROVIDE INTERMEDIATE
SUPPORT COLUMNS AS INDICATED
IN PLANS.

A.V. Engineering, LLC
 P.O. BOX 1254
 Wells, Maine 04090

Job No: Planet Dog
 SHEET: OF
 BY: ARV 9/16/2004
 CHK BY:

MEMBER NUMBER: UNIFORMLY LOADED [REF# - Page]
 SIMPLE SPAN - *EXISTING JOIST*

LIVE LOAD= 50.00 PSF
 DEAD LOAD= 15.00 PSF

DESIGN FORCES: [# -]
 MEMB SPAN= 11.9 FT MEMB SPAC= 16.00 IN
 MAX B.M.: 1534 FT-LBS
 MAX V@ SUPPOF 516 LBS
 V@ DIST "d" : LBS

DEFLECTION LIMITATIONS: [# -]

LIVE LOADING: L/ 360 (180 240 360 420 480)
 DEAD + LIVE LDNG L/ 240 (120 180 240 300 360)

K= 0.50 (IF MC<16% USE .5; IF MC>16% USE 1.0)

SPAN LENGTH, L: 142.8 IN (USE CS PLUS 1/2 BL @ EACH SUPPORT)

SELECT SIZE CLASSIFICATION & SPECIES: (ASSUME C_i=1)

ASSUMED MEMBER SIZE:
 SPECIES: S-P-F ACT. MEMB THICKNE: 1.5
 GRADE: NO. 2 ACT. MEMBER WIDTH: 9.25

TAB F _b =	875 PSI	C _d =	1.00	[# 3 - 6]
TAB F _t =	425 PSI	C _m =	1.00	[# 4 - 18]
TAB F _v =	70 PSI	C _t =	1.00	[# 3 - 6]
TAB F _{cp} =	425 PSI	C _i =	1.00	[# 3 - 6]
TAB F _c =	1100 PSI	F _b CF=	1.00	[# 4 - 18]
TAB E=	1.40 X 10 ⁶ P:	F _t CF=	1.00	[# 4 - 18]
TAB F _g =	1410 PSI	F _c CF=	1.00	[# 4 - 18]
		c _v =	1.00	[GLULAM ONLY]
F' _b =	1006 PSI	C _{fu} =	1.00	[# 4 - 18]
F' _t =	425 PSI	C _r =	1.15	[# 4 - 18]
F' _c =	1100 PSI	c _c =	1.00	[GLULAM ONLY]
F' _{cp} =	425 PSI	C _f =	1.00	[# 3 - 6]
F' _v =	70 PSI	c _p =	1.00	[# 3 - 14]
32.5 F' _g =	1410 PSI	Ch=	1.00	[# 4 - 19]
54.2 E'=	1.4 X 10 ⁶ P:	C _t =	1.00	[# 3 - 20]
		C _b =	1.00	[# 3 - 7]

MIN. MEMBER REQUIREMENTS:

REQ'D S _x =	18.295 IN ³ <=	21.39 IN ³	O.K.
REQ'D I _x =	54.166 IN ⁴ <=	98.93 IN ⁴	O.K.
REQ'D A=	11.05 IN ² <=	13.88 IN ²	O.K.
REQ'D BEARING=	0.8089 IN <=	1.5 IN USE:	1.5

CHECK C_d: CHECK C_f:

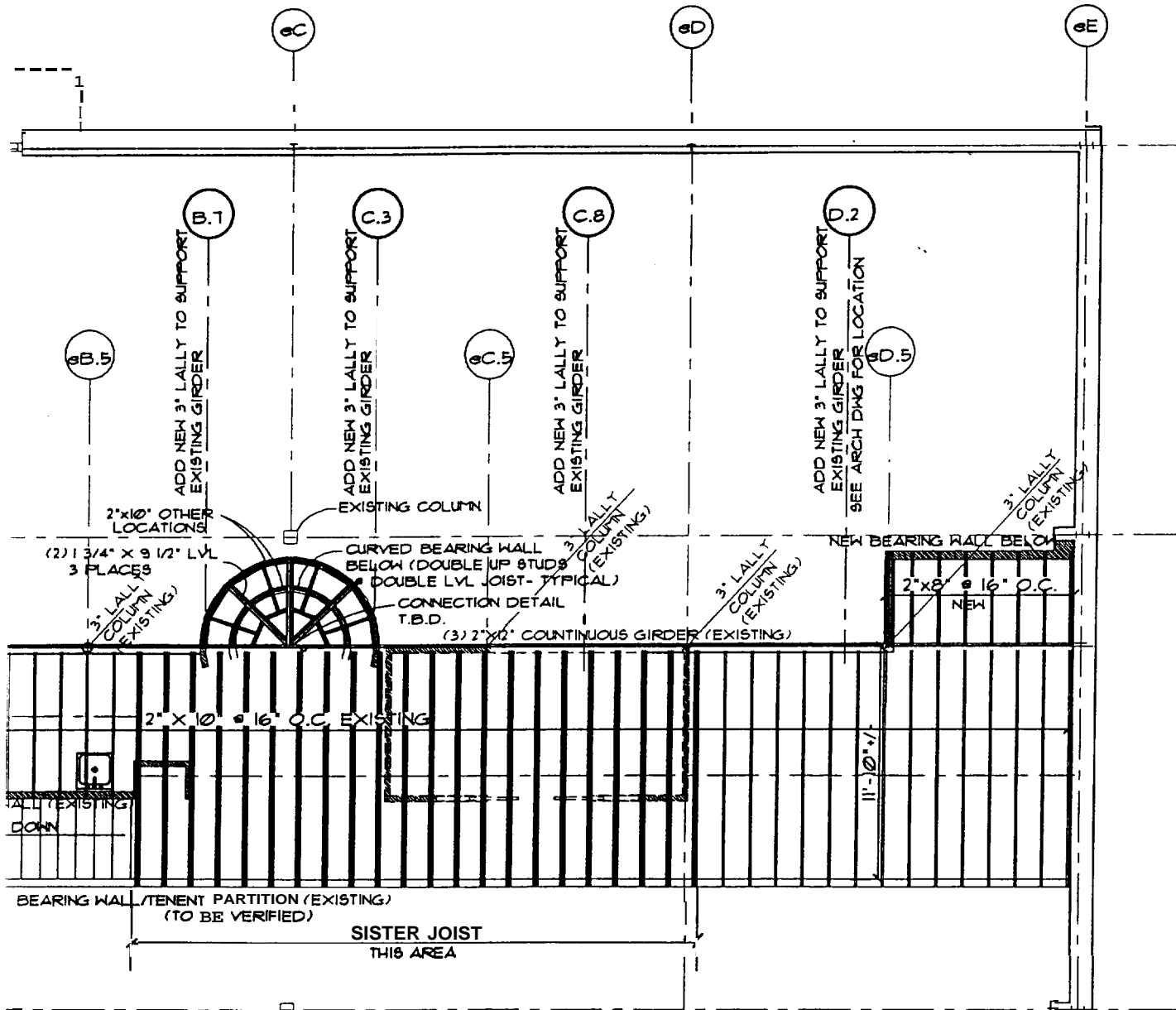
***** IS ADEQUATE *****

NOTE: MEMBER MUST HAVE COMPRESSION FLANGE LATERAL BRACED.

NOTE: EXISTING JOIST O.K. W/O PROPOSED PARTITIONS. MEET "SISTER" EXISTING JOIST OR PROVIDE INTERMEDIATE SUPPORT WALLS AS NOTED IN PLANS FOR PROPOSED RENOVATIONS.

NOTICE:

- 1.) ALL CONSTRUCTION TO CONFORM TO ALL APPLICABLE NATIONAL, STATE, LOCAL CODES AND ORDINANCES
- 2.) ALL DIMENSIONS AND WORK SHOWN ON THESE PLANS AND ANY APPLICABLE SPECIFICATIONS MUST BE VERIFIED BY CLIENT/CONTRACTOR BEFORE ANY CONSTRUCTION. OTHERWISE THE DESIGNER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR CHANGES AND/OR REVISIONS TO PLANS/DRAWINGS BY CLIENT/CONTRACTOR.



NEW BEARING WALL SUPPORT THESE DIST- THIS AREA IS FOR WALL LOCATION

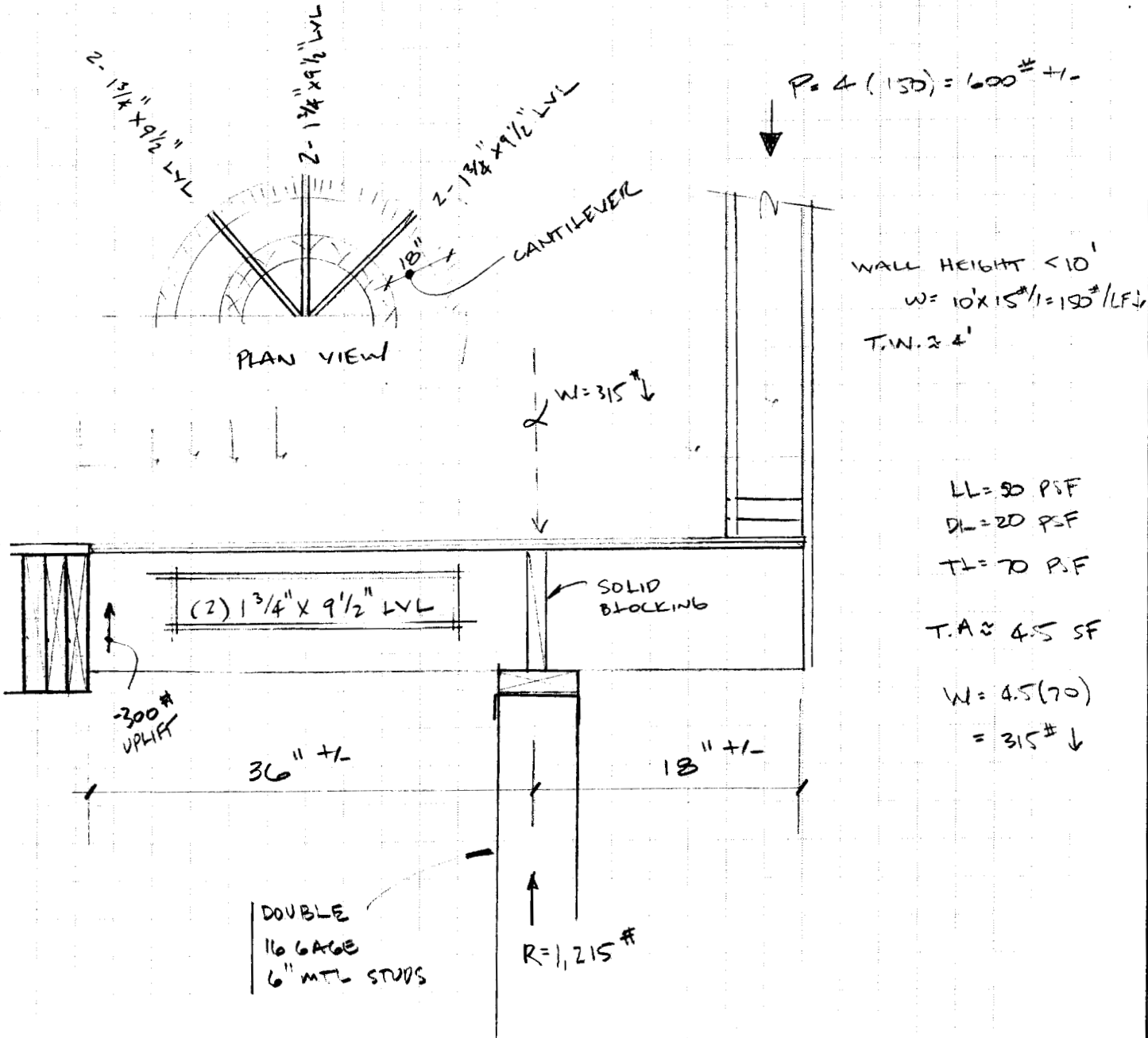
FRAMING PLAN

SCALE 1/8" = 1'-0"

REFER TO ARCHITECTURAL DRAWINGS FOR INFORMATION NOT PROVIDED.

A.V. Engineering, LLC
 PO Box 1254
 Wells, ME 04090

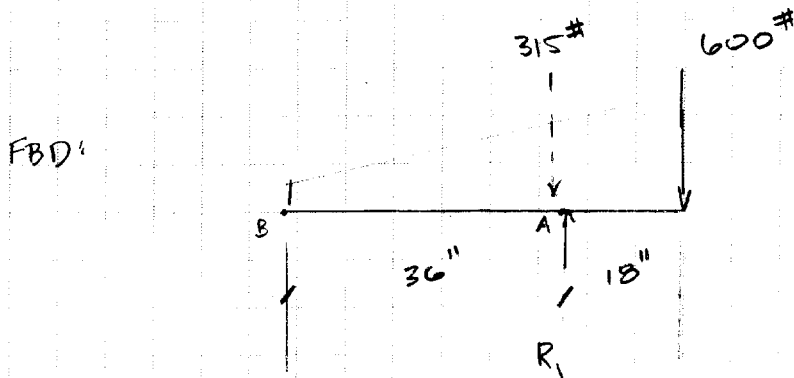
HALF-CIRCLE MEZZANINE EXTENSION



SECTION @ RADIUS DECK

SCALE: NONE

DETERMINE IF LVL'S ARE ADEQUATE TO CARRY LOAD:



DETERMINE REACTION @ A:

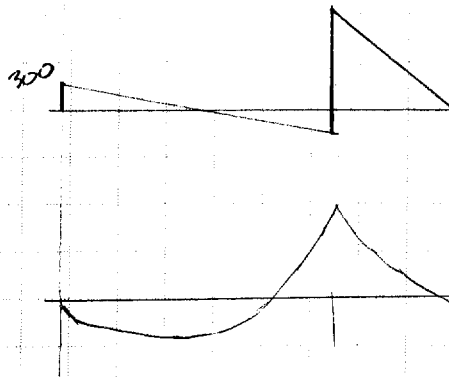
$$\sum M_B = 0$$

$$600(54) + 315(36) = 36R_1$$

$$R_1 = 1215 \# \uparrow$$

$$R_2 = 315 + 600 - 1215$$

$$= -300 \# \downarrow$$



$$M_{max} = 18(600) + 315(10)$$

$$= 13,950 \# \cdot \text{ft} \div 12$$

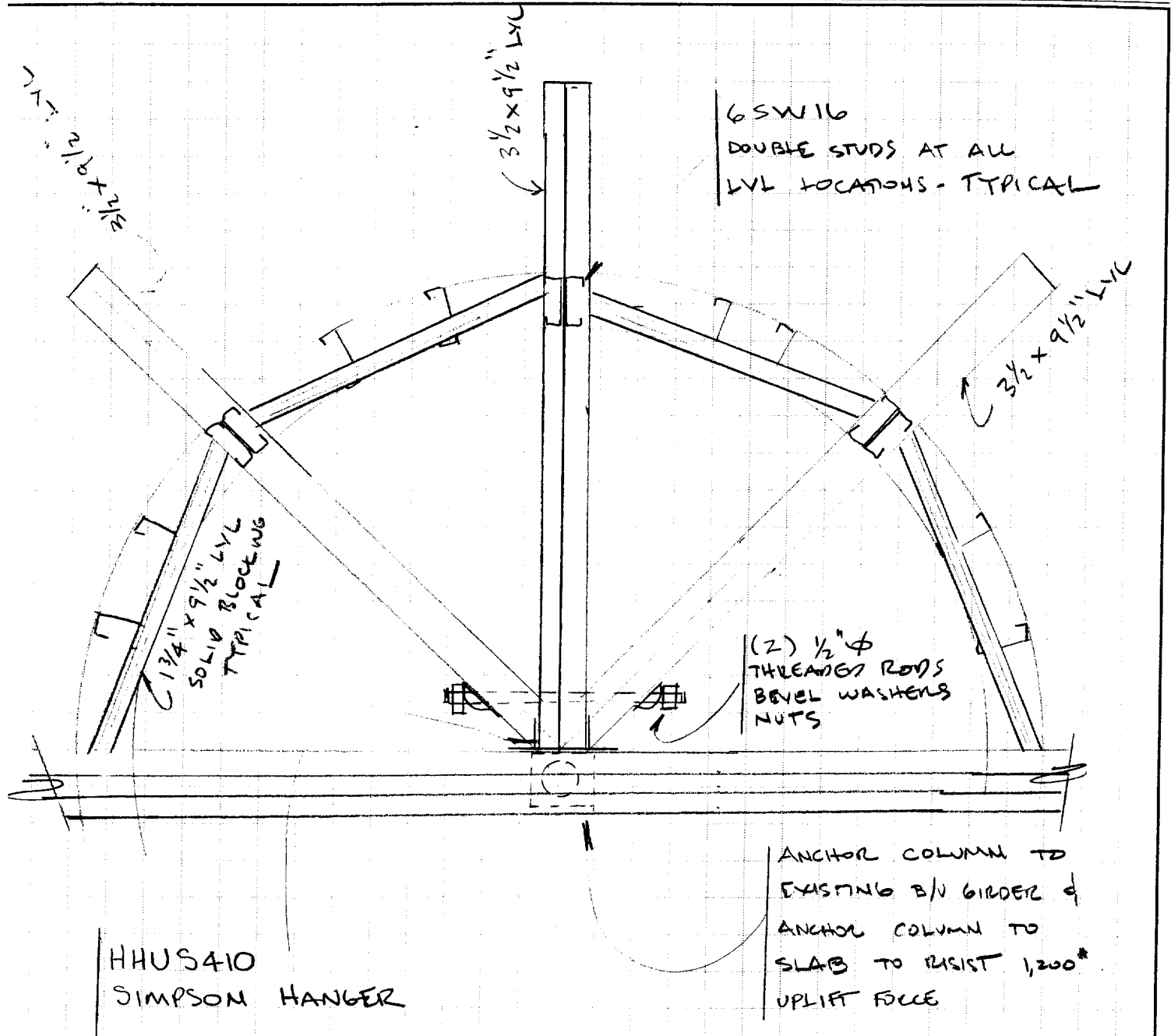
$$= 1163 \# \cdot \text{ft} < 13,863 \# \cdot \text{ft}$$

$$V = 1,215 \# < 6,318 \#$$

$$F_{CL} = 900 \text{ PSI}$$

BY INSPECTION $3\frac{1}{2}'' \times 9\frac{1}{2}''$ LVL ADEQUATE
 AS LATED OUT IN CAD DWG S-2

A.V. engineering, LLC
 PO Box 1254
 Wells, ME 04090



PLAN VIEW

NOTE: 2"10" NOT SHOWN FOR CLARITY - SEE STRUCTURAL SHT S-2 FOR INFORMATION NOT SHOWN

PLANET DOG
211 MARGINAL WAY
PORTLAND, ME 04101

ENTRY
RENOVATIONS

RADIUS STEEL HEAVIER

NEW SIGNAGE

PLANET DOG

EXISTING WALL PANELS TO REMAIN

NEW RED ALUMINUM CLAD PANELS

REMOVE EXISTING STOREFRONT
NEW ALUMINUM DOORS AND TRANSOM

EXISTING STOREFRONT TO REMAIN
REMOVE EXISTING GLAZING AND INSTALL
NEW 1" CLEAR GLAZING TYP

TOP OF PARAPET

ELEVATION = 20'-0" ✓

BOTTOM OF PARAPET

ELEVATION = 10'-4" ✓

FINISH FLOOR

ELEVATION = 0'-0"

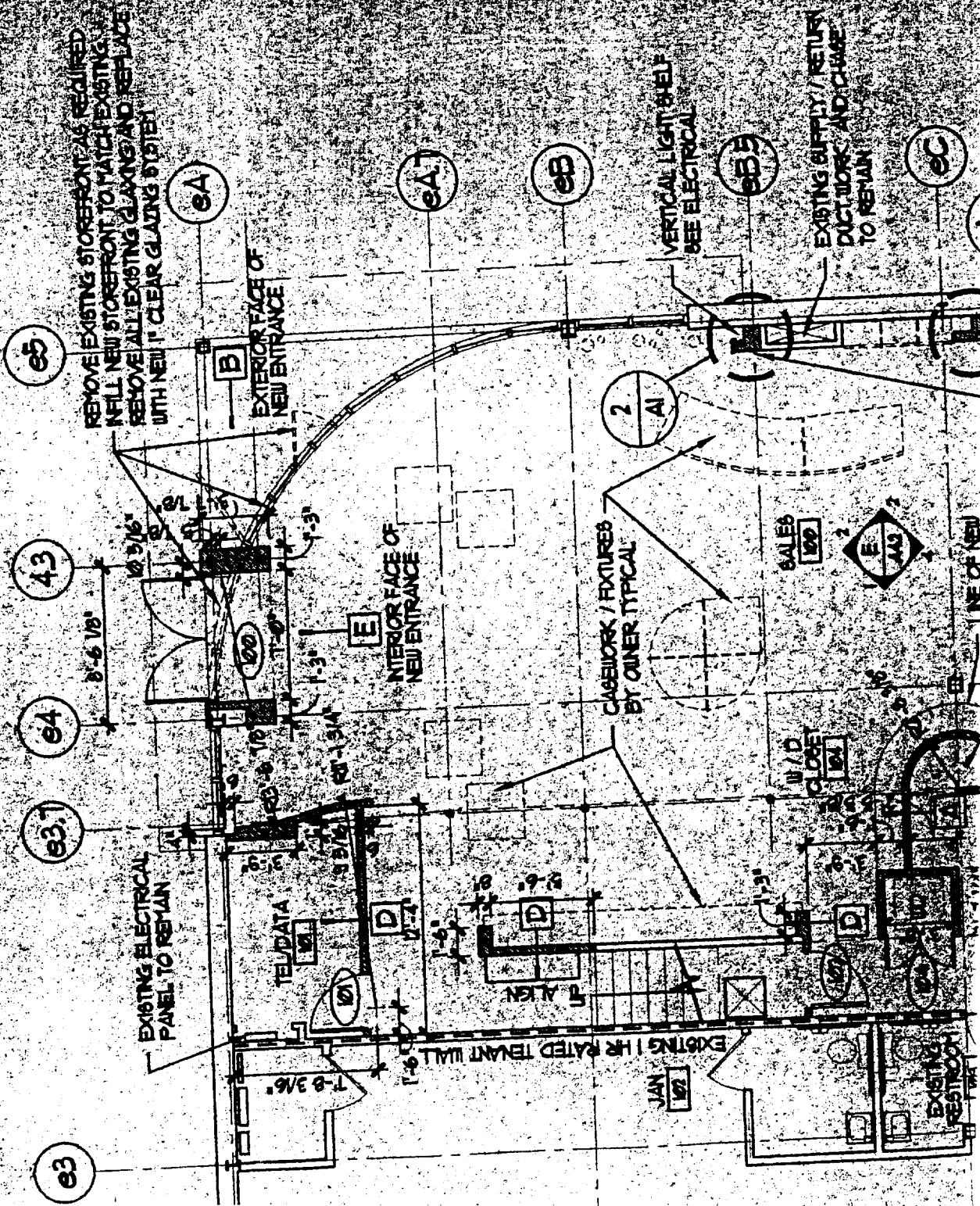
WEST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

A

S F A

STEPHEN FLESHMAN
ARCHITECT
99 APPLE ROAD
BRIMFIELD, MA 01010



A.V. Engineering, LLC
 PO Box 1254
 Wells, ME 04090

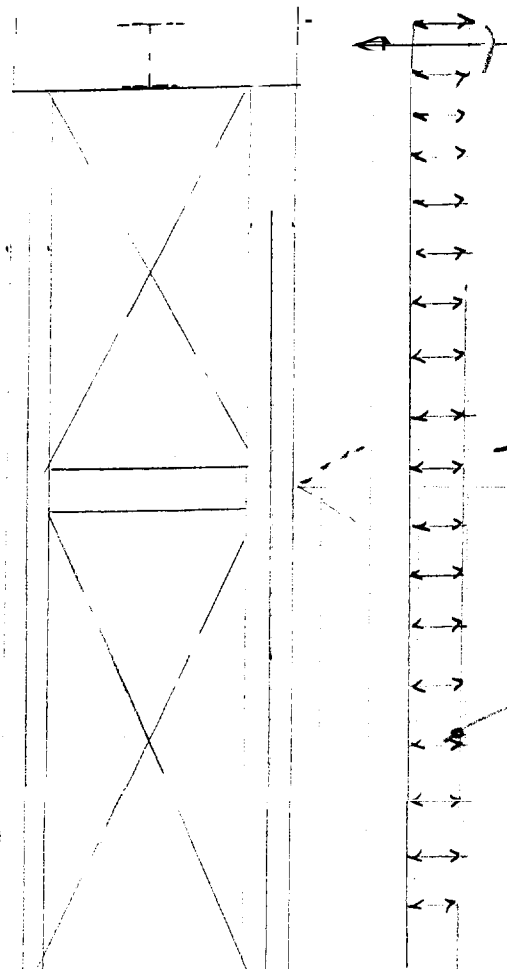
JOB PLANET DOG
 SHEET NO _____ OF _____
 CALCULATED BY AV DATE 9-27
 CHECKED BY _____ DATE _____
 SCALE _____

DETERMINE LOADING ON NEW MOMENT FRAME;

TRIB WIDTH ALONG FRAME: $\approx 4'-6"$
 APPROX. HEIGHT OF FRAME: $\approx 9'-6"$
 APPROX. POINT TO A @ TOP OF FRAME:
 UNIFORM LOAD ALONG FRAME:
 CONCENTRATED LOAD

$$3' \times 5' \times (-20.3) = 305^{\#} + 914 = 1219^{\#} \rightarrow 1300^{\#}$$

ESTIMATE LOADS @



IBC 2000 TABLE 1609.6.2.1(2)

BWS = 100 MPH = $\frac{1}{2}$

EFFECTIVE WIND AREA ≈ 50 SF

ZONE 5

16.1 PSF

-20.3 PSF

I = 1.0

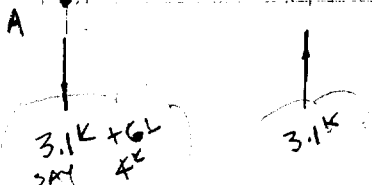
HT ADJUSTMENT FACTOR = 1.0

$$(16.1)(4.5) = 72.45 \text{ PLF}$$

$$(-20.3)(4.5) = -91.35 \text{ PLF}$$

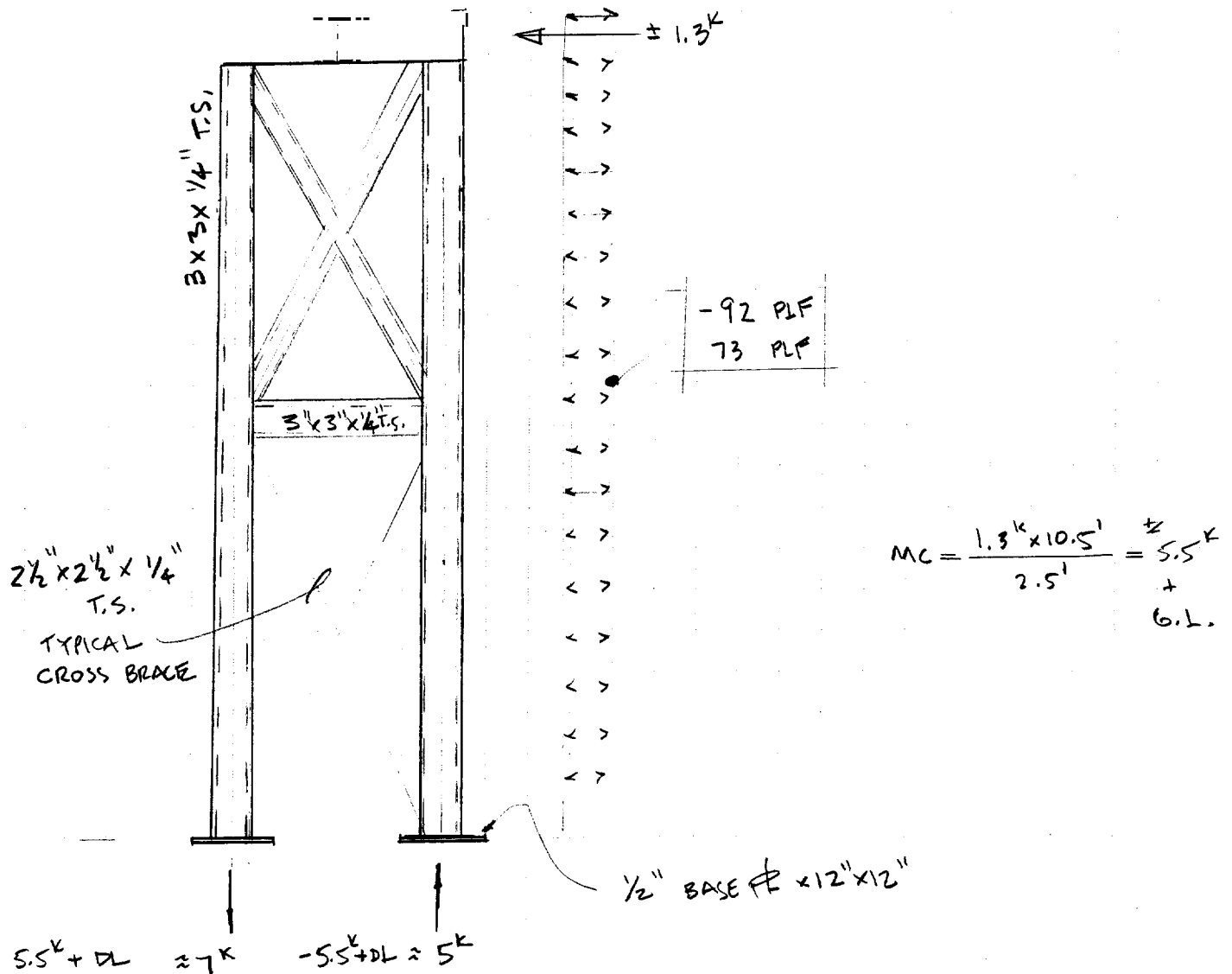
$$M_A = 914(5') + 305(10') = 7620^{\#-1}$$

$$\text{MOMENT COUPLE} = \frac{7620}{2.5} = 3048^{\#}$$



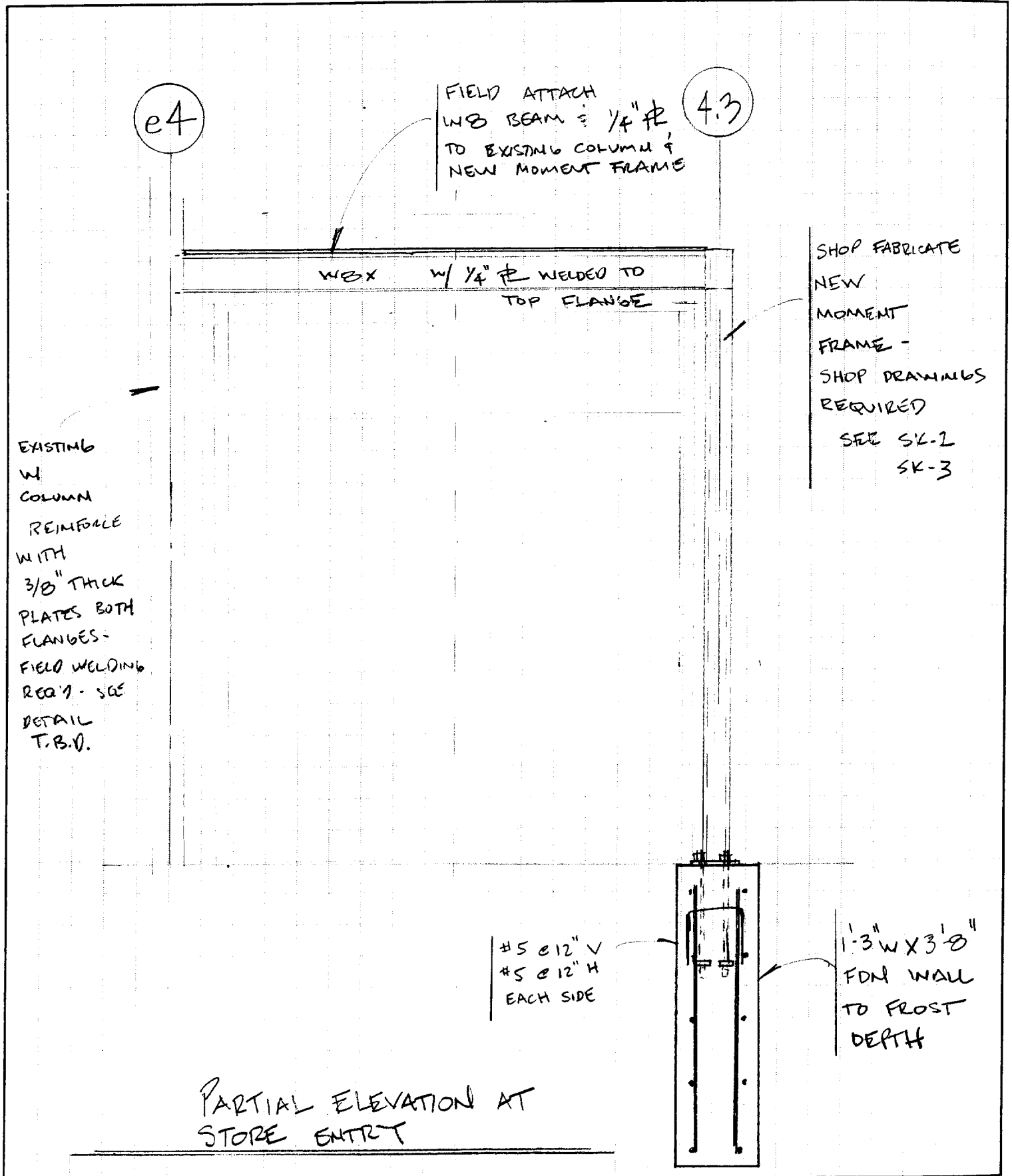
DETERMINE LOADING ON NEW MOMENT FRAME;

TRUSS WIDTH ALONG FRAME: $\approx 4'-6"$
 APPROX. HEIGHT OF FRAME: $\approx 9'-6"$
 APPROX. POINT LOAD @ TOP OF FRAME: $\approx 1300 \#$
 UNIFORM LOAD ALONG FRAME: -92 PLF , 73 PLF
 CONCENTRATED LOAD $\approx 1300 \#$ AT EXISTING COLUMN



A.V. Engineering, LLC
PO Box 1254
Wells, ME 04090

JOB PLANET DOG
SHEET NO. SK-1 OF _____
CALCULATED BY AV DATE 9-27
CHECKED BY _____ DATE _____
SCALE _____

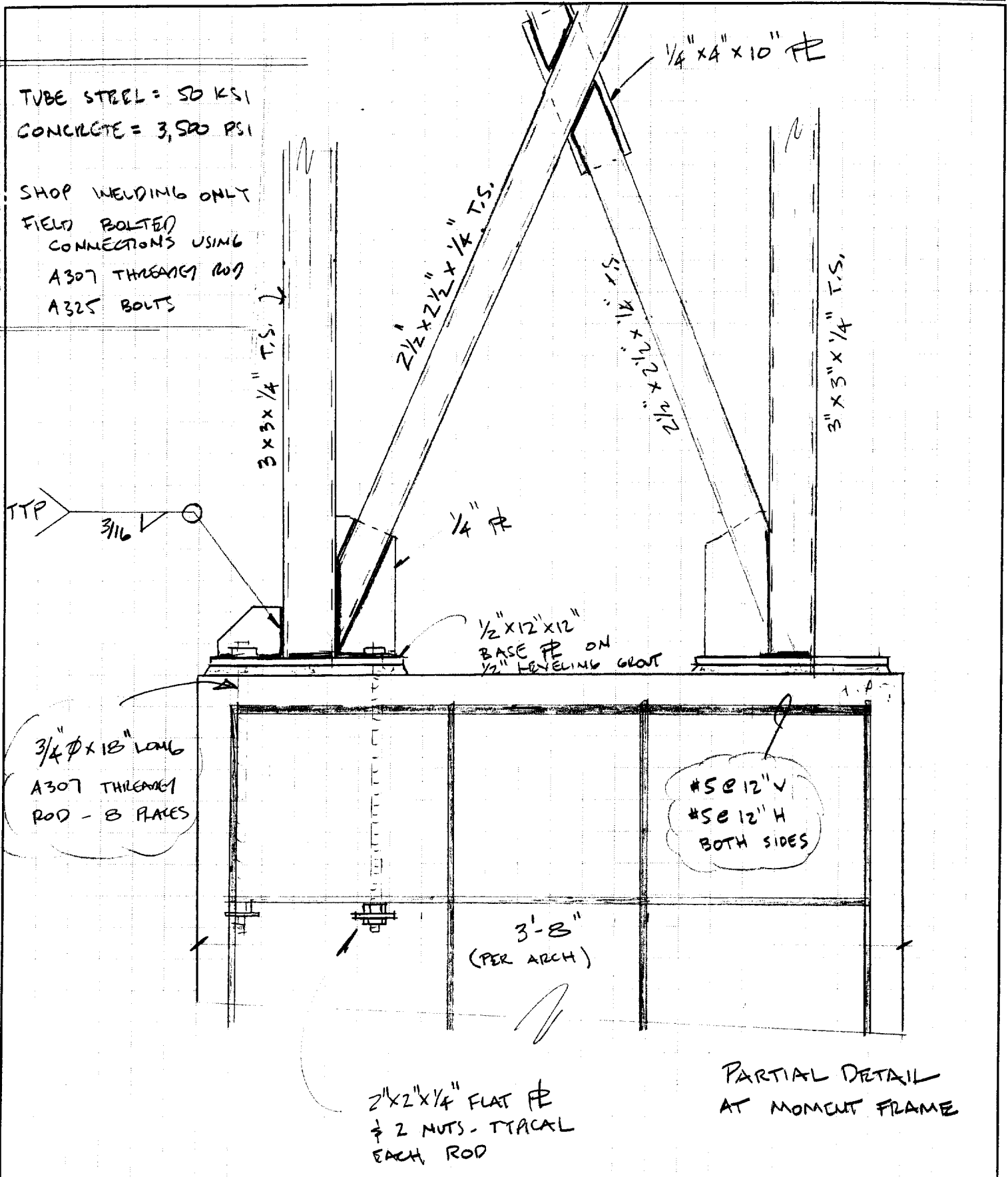


A.V. engineering, LLC
PO Box 1254
Wells, ME 04090

JOB PLANET DOG
SHEET NO. SK-2 OF _____
CALCULATED BY AV DATE 9-27
CHECKED BY _____ DATE _____
SCALE _____

TUBE STEEL = 50 KSI
CONCRETE = 3,500 PSI

SHOP WELDING ONLY
FIELD BOLTED
CONNECTIONS USING
A307 THREADING ROD
A325 BOLTS

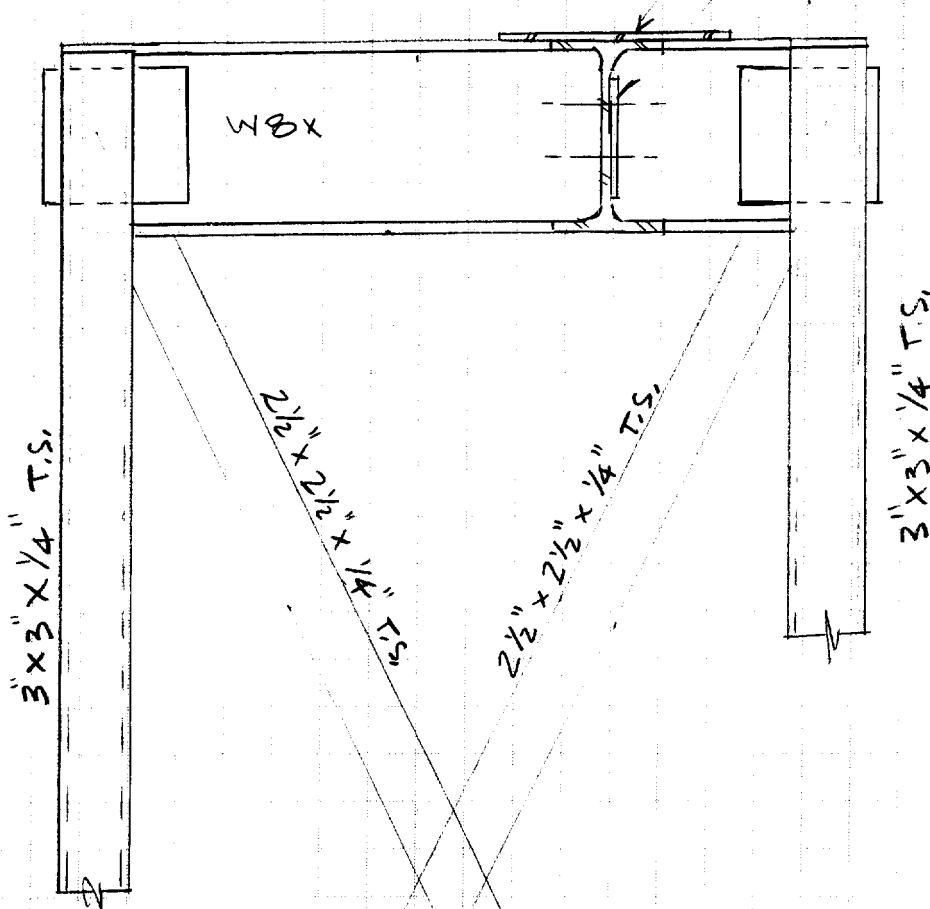


A.V. engineering, LLC
PO Box 1254
Wells, ME 04090

JOE PLANET D O b
SHEET NO SK-3
CALCULATED BY MJ DATE 9-27
CHECKED BY _____ DATE _____
SCALE NONE

WBX T.B.D.
W/ $\frac{3}{8}$ " ϕ X T.B.D.
(WB TO BE FIELD BOLTER,
 ϕ TO BE FIELD WELDER)

SHOP WELDER
SHEAR TAB ($\frac{1}{2}$ " ϕ)
CONNECTION AT
MOMENT FRAME



NOTE: \circ SHOP FABRICATE
ENTIRE MOMENT FRAME
 \circ SEE SK-1 FOR OTHER INFORMATION

DETAIL OF TOP PORTION OF

PLANET DOG
211 MARGINAL WAY
PORTLAND, ME 04101

MISCELLANEOUS

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1366	Date Applied For: 09/14/2004	CBL: 024 C001001
------------------------------	--	----------------------------

Location of Construction: 211 Marginal Way	Owner Name: Marginal Way Properties Inc	Owner Address: 87 Sea Meadows Ln	Phone: 781-237-3677
Business Name:	Contractor Name: Destefano and Associates	Contractor Address: 2456 Lafayette Rd Portsmouth	Phone: (603) 765-1638
Tenant/Ressee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial space w/ tenant fit-up	Proposed Project Description: Commercial space w/ tenant fit-up
---	---

Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 09/20/2004
Note:			Ok to Issue: <input checked="" type="checkbox"/>

Dept: Building	Status: Pending	Reviewer: Mike Nugent	Approval Date:
Note:			Ok to Issue: <input type="checkbox"/>

Dept: Fire	Status: Approved with Conditions	Reviewer: Lt. MacDougal	Approval Date: 09/23/2004
Note: reviewed under wrong edition of codes			Ok to Issue: <input type="checkbox"/>
1) code review for the structure shall be NFPA 2000 edition of the life safety code 2) fire extinguishers shall be installed in accordance with NFPA 10 standards 3) means of egress shall have illuminated exit signs			

Comments:
09/24/2004-mjn: Need structurals for mezzanine extensions and guards, have egress questions.....Left message with Owner, Architect and Builder

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>211 Marginal Way</u>		
Total Square Footage of Proposed Structure <u>Existing 4052 sq</u>		Square Footage of Lot <u>Marginal Way Properties</u>
Tax Assessor's Chart, Block & Lot Chart# <u>24</u> Block# <u>C</u> Lot# <u>1</u>	Owner: <u>Joel Tarnum</u> <u>555 Washington St</u> <u>Wellesley, MA 02482</u>	Telephone: <u>781</u> <u>237-3677</u>
Lessee/Buyer's Name (if Applicable) <u>Planet Dog Retail LLC</u>	Applicant name, address & telephone: <u>DeStefano & Associates</u> <u>2456 Lafayette Rd</u> <u>Townsmouth, NH</u>	Cost Of Work: <u>\$50,000</u> Fee: <u>\$546.00</u>
Current use: <u>Vacant</u>		<u>INC 75000</u>
If the location is currently vacant, what was prior use: <u>Strictly Formal</u>		
Approximately how long has it been vacant: <u>8 month</u>		<u>105</u>
Proposed use: <u>Retail</u>		
Project description: <u>Fit out for Planet Dog Retail</u>		
Contractor's name, address & telephone: <u>DeStefano & Associates</u> <u>608-765-1638</u>		
Who should we contact when the permit is ready: <u>John DeStefano</u>		
Mailing address: <u>2456 Lafayette Road</u> <u>Townsmouth, NH 03801</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: John DeStefano Date: 9/13/04

This is NOT a permit you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

99 APPLE ROAD
BRIMFIELD, MA 01010
PHONE: 508.347.7188
FAX: 508.347.8939
Fleshman@SF-Arch.com

STEPHEN FLESHMAN ARCHITECT

24C1

TRANSMITTAL

To: DESTFANO ASSOCIATES
ATTN: JOHN DESTEFANO

DATE: 9.15.04
PROJECT No. 04-002
RE:



WE ARE SENDING: Attached Under separate cover via
 Shop Drawings prints specifications Plans samples Copy of letter

COPIES	DATE	NO.	DESCRIPTION
1	9.15.04		Accessibility Certificate and Certificate of Design
1	9.14.04		PDF Files on CD - AT, A1, A2, and A3


THESE ARE TRANSMITTED as checked below:

- For Your Approval Reviewed Resubmit copies for review We are sending the original by mail
- For Your Records Reviewed as Noted Submit copies for distribution Prints Returned After Loan to US
- For Your Use Reviewed as Submitted Return corrected prints FORBIDSDUE
- As Requested Returned for Correction For **Your** Review/ Comments

REMARKS: John,
The Code Info Structural Loads certificate I will fax once I get info from **Andy**. It does not require a signature.

Steve

copy:

Signed: 
Stephen Fleshman Architect



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

24C1

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Stephen Flesherman

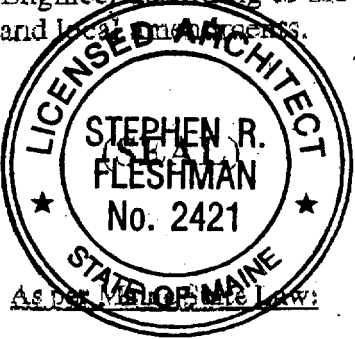
RE: Certificate of Design

DATE: Sept 15 2004

These plans and / or specifications covering construction work on:

Planet Dog Tenant fit up at 211 Marginal Way

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the BOCA National Building Code / 1999 (Fourteenth Edition) and local ordinances.



Signature: [Handwritten Signature]

Title: Principal

Firm: Stephen Flesherman Architect

Address: 99 Apple Rd Brimfield MA 01010

As per Maine State Law:

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



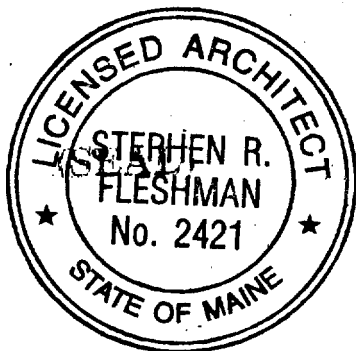
CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

24C1

ACCESSIBILITY CERTIFICATE

Designer: Stephen Freshman Architect
Address of Project: 211 MARGINAL WAY
Nature of Project: TENANT FIT UP OF EXISTING
RETAIL SPACE

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.



Signature: [Handwritten Signature]
Title: Principal
Firm: STEPHEN FRESHMAN ARCHITECT
Address: 99 Apple Coms
Brimfield, MA 01010
Phone: 508.347.7188



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

2401

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM DESIGNER: Stephen Freshman AIA
Stephen Freshman Architect

DATE: Sept 15 2004

Job Name: Planet Dog Tenant Fit up

Address of Construction: 211 Marginal Way

THE BOCA NATIONAL BUILDING CODE / 1999 (FOURTEENTH EDITION)
Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA 19/NEPA 1997 Use Group Classification(s) M

Type of Construction 5B

Structural Systems*

Roof Snow Load
_____ Ground Snow Load (Pg)
_____ If Pg > 10 psf, flat roof snow load, Pf
_____ If Pg > 10 psf, snow exposure factor, Ce
_____ If Pg > 10 psf, roof thermal factor
_____ If Pg > 10 psf, snow load importance factor, I
_____ Sloped Roof Snowload Ps

Earthquake Loads
_____ Peak velocity-related acceleration, Av
_____ Peak acceleration, Aa
_____ Seismic hazard exposure group
_____ Seismic performance category
_____ Soil profile type
_____ Basic structural system / seismic-resisting system
_____ Response modification factor, R, and deflection amplification factor, Cd,

_____ The documents must account for: Drift snow load, unbalanced snow load and sliding snow loads as required.

Wind Loads - (Per ASCE 7-02)

100 MPH Basic Wind Speed
B Wind Exposure Category
1.0 Wind Importance Factor

* Existing structural systems to remain in place (no work)
Project is Tenant fit up only



Application for Construction Permit

Department of Public Safety
State Fire Marshal's Office
52 State House Station
Augusta, Maine 04333-0052
Tel: 207-626-3870
Fax: 207-287-6251

SHADED AREAS ARE FOR OFFICE USE ONLY (8/04)

Project Information

Project Name: Planet Dog Tenant Fit Up
 Street Location: 211 Marginal Way Town Location: Portland
 County: Cumberland Number of Stories: 1
 New Building: Renovation: Addition: Occupancy Change:
 Sprinkler System: Supervised: Square Footage: 3935 6205 S
 Date of Construction start-up: Oct 1 2004 Estimated Project Cost: \$ 50000
 Disc Included: Construction Permit Fee: 100.00

Occupancy Classification

Apartments <input type="checkbox"/>	Nursing Home <input type="checkbox"/>	Educational <input type="checkbox"/>
Hotel / Motel <input type="checkbox"/>	Industrial <input type="checkbox"/>	Daycare <input type="checkbox"/>
Rooming & Lodging <input type="checkbox"/>	Residential Care Level I <input type="checkbox"/>	Detention <input type="checkbox"/>
Congregate Housing <input type="checkbox"/>	Residential Care Level II <input type="checkbox"/>	Business <input type="checkbox"/>
Hospital <input type="checkbox"/>	Assembly Class ≥1000 <input type="checkbox"/> ≥300≤1000 <input type="checkbox"/> ≤300 <input type="checkbox"/>	Other <input type="checkbox"/>
Limited Care <input type="checkbox"/>	Mercantile A <input type="checkbox"/> B <input type="checkbox"/>	

Construction Type

Fire Resistive: Type I (443), (332) <input type="checkbox"/>	Unprotected Ordinary: Type III (200) <input type="checkbox"/>
Protected Non-Combustible: Type II (222), (111) <input type="checkbox"/>	Heavy Timber: Type IV (2HH) <input type="checkbox"/>
Unprotected Non-Combustible: Type II (000) <input type="checkbox"/>	Protected Wood Frame: Type V (111) <input type="checkbox"/>
Protected Ordinary: Type III (211) <input type="checkbox"/>	Unprotected Wood Frame: Type V (000) <input checked="" type="checkbox"/>

Addresses

Owner's Name: Planet Dog Telephone: 207.761.1515 Fax: 207.761.2525
 Mailing Address: 322 Fore Street
 Town: Portland State: ME Zip Code: 04101

Design Professional: Stephen Freshman Telephone: 508.347.7188 Fax: 508.347.8939
 Maine Registration Number: 2421 E-mail: freshman@SF-Arch.com
 Mailing Address: 99 Apple Road
 Town: Brimfield State: MA Zip Code: 01010

General Contractor: Destefano Associates Telephone: 603.430.0339 Fax: 603.430.0346
 Mailing Address: 2456 Lafayette Rd
 Town: Portsmouth State: NH Zip Code: 03801

Signature of Applicant:

Preliminary Approval: <input type="checkbox"/>	Date: _____	Approved By: _____
Construction Permit: <input checked="" type="checkbox"/>	Date: <u>9/17/04</u>	Approved By:
Approval Letter: <input type="checkbox"/>	Date: _____	Approved By: _____

-When a permit is not required

LOG #	DATE PLANS RECEIVED	REVIEW FEE	DATE FEE RECEIVED	CHECK #	PLAN REVIEWER	DATE PERMIT ISSUED	PERMIT #
	9/17/04	\$100.00	9/17/04	605	R.M		

\$ 100.00
 25.00

 \$ 125.00

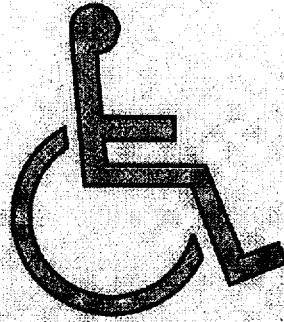


Application for Barrier-Free Permit

State Fire Marshal's Office
52 State House Station
Augusta, Maine 04333-0052

Tel: 207-626-3870
Fax: 207-287-6251

SHADED AREAS ARE FOR OFFICE USE ONLY (8-25-04)



Project Name: Planet Day Tenant Fit up
Street Location: 211 Marginal Way Town Location: Portland
County: Cumberland State: ME Zip Code: 04101

New Building:

Renovation:

Change of Use:

Project Cost: \$ 50,000 Fee (fee schedule is on back): 25.00

Design Professional Name: Stephen Freshman
Mailing Address: 99 Apple Rd
Town: Berlinfield State: MA Zip Code: 01010
Maine Registration Number: 2421
Design Professional's Signature: [Signature] Date: 9.15.04

Approved for Permit:

Date: 9/17/04

Plan Reviewer: [Signature]

Comments:

LOG #	DATE PLANS RECEIVED	REVIEW FEE	DATE FEE RECEIVED	CHECK #	PLAN REVIEWER	DATE PERMIT ISSUED	PERMIT #
	9/17/04	25.00	9/17/04	605	R.M		