

Form # P.O.

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

PERMIT ISSUED

Permit Number: 050149 MAY 20 2005

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

This is to certify that Peninsula Community Lp2 / Trefano and Associates

has permission to 4 unit affordable housing

AT 135 Cumberland Ave

019-0209021
022 L021001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Just Kelley P.F.D. 5/13/05

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Ch. August 5/19/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED		
Permit No: 05-0149	Issue Date: MAY 20 2005	CEB: 019-0208 022 021001 021

Location of Construction: 135 Cumberland Ave	Owner Name: Peninsula Community Lp2	Owner Address: 510 Cumberland Ave	Phone:
Business Name:	Contractor Name: Destefano and Associates	Contractor Address: 2456 Lafayette Rd. Portsmouth	Phone: 6037651638
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	Zone: R7
Past Use: Commercial	Proposed Use:	Permit Fee:	Cost of Work:
		CEO District:	
Proposed Project Description: 4 unit affordable housing		FIRE DEFT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group 22 Type 5B 5/19/05 Signature: [Signature]
		Signature: JCK PFD 5/13/05	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		Signature:	Date:

Permit Taken By: ldobson	Date Applied For: 02/07/2005	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 		Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone Panel 1A Zone C <input checked="" type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2004-0165 Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 5/29/05	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: [Signature]

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

6/21/05 Checked setbacks w/ Butch - OK - Rebar OK - proceed JMB

7/05/05 OK to back fill. A Howe

7/22/05 Inspected right half of rear wall. OK to pull. JMB

7-26-05 Inspected Drain Tile, replace Stone + Fabric Fabric
OK to Back Fill + Drain Pipe

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0149	Date Applied For: 02/07/2005	CBL: 022 L019001
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Location of Construction: 139 Cumberland Ave	Owner Name: Peninsula Community Lp2	Owner Address: 510 Cumberland Ave	Phone:
Business Name:	Contractor Name: Destefano and Associates	Contractor Address: 2456 Lafayette Rd Portsmouth	Phone (603) 765-1638
Lessee/Buyer's Name	Phone:	Permit Type: Multi Family	

Proposed Use: 4 dwelling unit affordable housing	Proposed Project Description: 4 dwelling unit affordable housing
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 04/29/2005
Note: awaiting stamped approved site plan **Ok to Issue:**
4/26/05 - received planning approved site plan

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This property shall remain a four (4) family residential dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

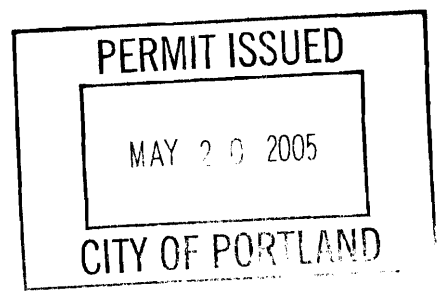
Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 05/19/2005
Note: **Ok to Issue:**

- 1) Guard specs must be submitted for approval prior to installation.
- 2) The interior stairways must become rated enclosures to the extent necessary to satisfy the 50 foot travel distance limitation required for single egress construction.
- 3) All Planning Board/Dept. Pre-permitting conditons must be complied with prior to the commencement of construction.

Dept: Fire **Status:** Approved **Reviewer:** Jay Kelley **Approval Date:** 04/29/2005
Note: **Ok to Issue:**

- 1) Maintain ADA regulations
- 2) Maintain NFPA 72 Life Safety Code
- 3) Build according to Approvr construction plans

Dept: Fire **Status:** Approved **Reviewer:** Lt. MacDougal **Approval Date:** 08/30/2004
Note: **Ok to Issue:**



City of Portland Site Plan Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 135 - 139 Cumberland Avenue		
Total Square Footage of Proposed Structure 2523 SF		Square Footage of Lot 4870 SF
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 22-L-19, 20, & 21	Property owner, mailing address: Peoples Regional Opportunity Program 510 Cumberland Ave, Portland, ME	Telephone: 874-1140
Consultant/Agent, mailing address, phone & contact person TFH Architects 100 Commercial St. Portland, ME 04101 Scott Teas 775 6141	Applicant name, mailing address & telephone: PROP	Project name: Cumberland / Anderson Housing
Proposed Development (check all that applies) <input checked="" type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parkinglot <input checked="" type="checkbox"/> Subdivision, amount of lots <u>4 Units</u> <input type="checkbox"/> Other: _____		
Major Development <input checked="" type="checkbox"/> \$500.00 Minor Development <input type="checkbox"/> \$400.00		
Who billing will be sent to: Peoples Regional Opportunity Program Mailing address: 510 Cumberland Avenue State and Zip: Portland, ME 04101 Contact person: Betsy Sawyer-Manter Phone: 874-1140		

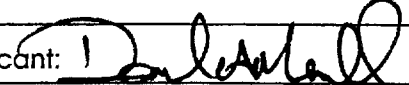
Nine (9) separate packets must include the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

All plans must be folded neatly and in packet form

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .25 per page, you may also visit the web site: ci.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 8/9/04
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This application is for site review ONLY, a building Permit application and associated fees will be required prior to construct

Total Square Footage of Proposed Structure 2330 sf footprint, 7440 sf incl. parking		Square Footage of Lot 4870 sf	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 22-L-21		Owner: Peninsula Community LP III	Telephone: 874-1140
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: Peninsula Community LP III 510 Cumberland Ave.		cost Of Work: \$ <u>550,000</u> Fee: \$30.00
<p>If the location is currently vacant, what was prior use: <u>Residential</u></p> <p>Approximately how long has it been vacant: <u>Unknown</u></p> <p>Proposed use: <u>Residential</u></p> <p>Project description: 4 Unit Affordable Housing with 4 spaces parking below.</p>			
<p>Contractor's name, address & telephone: DeStefano & Associates, 2456 Lafayette Rd. Portsmouth, NH 03801, 603-430-0346</p> <p>Who should we contact when the permit is ready: <u>John DeStefano c/o above</u></p> <p>Mailing address:</p> <p><i>We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 603-430-0346</i></p>			

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative

of areas covered by this

Signature

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Applicant: Peninsula Community LP III Date: 4/29/05

Address: 135 Cumberland Ave

C-B-L: 22-L-19,20,21

CHECK-LIST AGAINST ZONING ORDINANCE

Permit 05-0149

Date - New Dev

Zone Location - R-7

Interior or corner lot -

Proposed Use/Work - Construct new 4 DU. Bldg with parking underneath

Sewage Disposal - City

Lot Street Frontage - No min

Front Yard - 20' req - 25' shown

Rear Yard - None except - R-6 shall apply on side: rear adjacent to abutting residential lots

Side Yard - 10' ~~shown~~ req - 10' shown

Projections -

Width of Lot - N/A

Height - 50' max - 32.5' scaled

Lot Area - No min - 4870 sq ft given

Lot Coverage/ Impervious Surface - 100% permitted

Area per Family - 725 sq ft per DU = 2900 sq ft min lot size

Off-street Parking - 1 pkg space per DU = 4 req 4 shown

Loading Bays - N/A

Site Plan - # 2004-0165

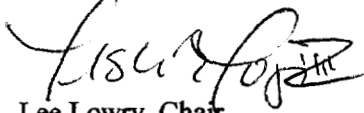
Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 1A

OK DU size - 400 sq ft min per DU. Zone C approx 30x40 ft = 1200 sq ft

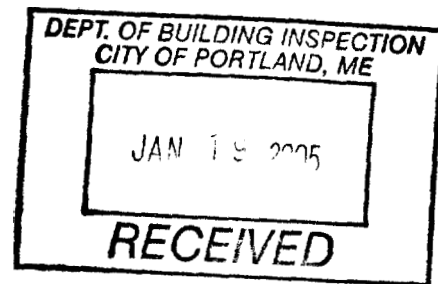
If there are any questions, please contact the Planning Staff.

Sincerely,



Lee Lowry, Chair
Portland Planning Board

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Program Manager
Kandice Talbot, Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
— Inspections
Traffic Division
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Assessor's Office
Approval Letter File
Correspondence File



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2004-0165
Application I. D. Number

8/9/2004
Application Date

PROP
Applicant
510 Cumberland Avenue, Portland, ME 04101
Applicant's Mailing Address

PROP Family Housing - RESUBMISSIO
Project Name/Description

Consultant/Agent
Applicant Ph: (207) 842-2988 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

135 - 139 Cumberland Ave. Portland. Maine
Address of Proposed Site
022 LO19001 - 20 ~ 21
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

2,523 S.F.
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input checked="" type="checkbox"/> Subdivision # of lots <u>4</u> | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla **\$100.00** Subdivision Engineer Review Date **8/10/2004**

Zoning Approval Status:

Reviewer Marge S. - Inspector

- Approved Approved w/Conditions See Attached Denied'

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------------|--|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid | _____ date _____ | _____ amount _____ | |
| <input type="checkbox"/> Building Permit Issue | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date _____ | _____ remaining balance _____ | _____ signature _____ |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date _____ | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date _____ |
| <input type="checkbox"/> Final Inspection | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date _____ | | |
| <input type="checkbox"/> performance Guarantee Released | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Defect Guarantee Released | _____ date _____ | _____ signature _____ | |

TFH ARCHITECTS

100 COMMERCIAL STREET

PORTLAND MAINE 04101

207-775-6141

Addendum #2

To

Construction Documents

For

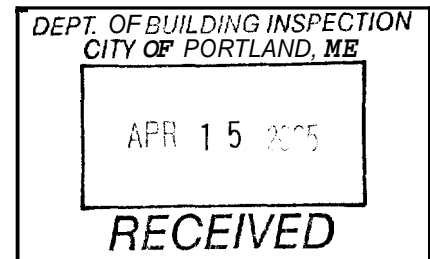
**Peoples Regional Opportunity Program
Phase III Scattered Site Affordable Housing
Anderson & Cumberland Streets, Portland, Maine 04101
North Street, Westbrook, Maine 04101**

April 8, 2005

DeStefano & Associates

FROM:

TFH Architects
100 Commercial St.
Portland, Maine 04101



CC:

Peoples Regional Opportunity Program

Maine State Housing Authority

This ADDENDUM supplements and amends the original Plans and Specifications dated January 14, 2005. This ADDENDUM is not a Change Order. It provides clarifications of or proposed changes to the Contract Documents. The Owner must approve all changes. A formal Change Order must be executed for any adjustments to the Contract ~~Sum~~ or the Contract Time

The purpose of this ADDENDUM is to respond to questions, provide coordination and clarification to the previous drawings and specifications.

PREVIOUS ADDENDUM

#1 January 28,2005

ATTACHMENTS TO THE ADDENDUM

- 2-1 Current Drawing list
- 2-2 Drawing MI. 1 (Portland Anderson 3), dated 3/11/05
- 2-3 Drawing MI.2 (Portland Anderson 3), dated 3/11/05
- 2-4 SkC-5, not used
- 2-5 SkC-6, dated 5/5/05
- 2-6 SkC-7, dated 5/5/05
- 2-7 **SkA-5**, dated 3/25/05
- 2-8 SkA-6, dated 3/25/05
- 2-9 **SkA-7**, dated 3/25/05
- 2-10 **SkA-8**, dated 3/25/05
- 2-11 SkA-9, dated 3/10/05
- 2-12 SkS-1, dated 3/10/05
- 2-13 **SkM-1**, dated 2/1/05
- 2-14 SkM-2, dated 2/1/05
- 2-15 SkM-3, dated 2/1/05
- 2-16 SkM-4, dated 2/1/05
- 2-17 SkM-5, dated 2/1/05
- 2-18 **SkM-6**, dated 2/1/05
- 2-19 **SkM-7**, dated 5/5/05
- 2-20 **SkM-8**, dated 5/5/05
- 2-21 **SkE-1**, dated 5/5/05
- 2-22 SkE-2, dated 5/5/05
- 2-23 SkE-3, dated 5/5/05

CHANGES TO THE SPECIFICATIONS

- 2-24 Section 10801, 2.1 – A, C Replace the words ‘General Contractor’ with ‘Construction Manager’s specialty supplier’.
- 2-25 Section 153000, 1.02 – A Delete the words “and NFPA 13 for Community Center Space where applicable”. No NFPA 13 requirements are necessary through the project.

- 2-26 Section 153000, 2.08 – Add paragraph ‘H’. 1 Knox box per building meeting the local authority’s standards. Coordinate locations with the Authority having jurisdiction.
- 2-27 Section 153000, 2.10 – B The 3 Westbrook buildings will require a 2 ½” inlet pipe ea. (not 4” as noted). Each item should be coordinated with WFD standards. The sprinkler installer shall coordinate the same with the Portland FD.

CHANGES TO THE GEO-TECH REPORTS

None

CHANGES TO THE DRAWINGS

Item	Sheet	Detail	Description
2-28	All sites	G1.1	Add Fire penetration details indicated on SkA-9
2-29	Anderson #2,	C3	Relocate the 4” water service and split entrance in the building approx. 10’ south as indicated on SkC-6
2-30	15, 17 North St,	C1.0	Add exterior light fixtures as indicated and specified on SkC-7
2-31	Anderson #2,	A1.0 , 1, 1,2	Revise detail tag 7/A4.0 at pier to 5/A4.0, Revise detail tag 9/A4.0 at ramp base to 6/A4.0
2-32	Anderson #3,	A1.1 , 1	Add exterior wall tag ‘1G’ as indicated on SkA-5
2-33	Anderson #3,	A1.1 , 2	Add exterior wall tag ‘1G’ as indicated on SkA-6
2-34	Anderson #3,	A1.2 , 1	Add exterior wall tag ‘1G’ as indicated on SkA-7
2-35	Anderson #2 & 3,	A1.2 , 1	Add soffits as indicated on SkA-8 .
	15, 17, 23 North St.,	A1.2	1 Add soffits similar to SkA-8
2-36	A1.1 , all sites ex Cumb.,	1	1 Window type C @ base of stairs to 2 nd is to be tempered glazing
		2	3 of Window type C in stairway to 3 rd flr. are to be tempered glazing.
		2	1 Window type A @ in stairway to 3rd flr. is to be tempered glazing.
2-37	A1.2, all sites ex Cumb.,	1	2 Window type C in stair down to 2 nd are to be tempered glazing
2-38	A4.2, all sites,	Door Schedule	Revise all type A & B doors to be Fiberglass & glass similar to the Therma-Tru ‘Smooth –Star’ series with frosted glazing. Elevations remain the same, doors to be factory primed for field finishing.
2-39	Anderson #2,	S1.1 , 1	Add ramp framing per SkS-1 .
	17 North St.,	S1.1 1	Use SkS-1 as framing guide for indicated layout.
2-40	A1.0, all Portland sites		2 All foundation walls shall be reinforced with #5 bars spaced at 18” vertically and #5 bars spaced at 16” horizontally in addition to the (2) #5 bars shown on the foundation details. The additional bars shall be placed with 1 1/2" cover to the outside face of the foundation wall per ACI tolerance requirements.
2-41	A1.1, all sites except. Cumberland	1	Add 6” wide, 6’ high ptd. GWB soffits below ceiling fire assembly as indicated on SkA-6 .

2-42	AI.2, all sites	2	Roof hatches are to be 20" x 30" NOT 20" x 24" as indicated.
2-43	A3.1, all sites except. Cumberland	I	The sub floor slab construction is incorrect and conflicts with the detail sections on the A4.0 sheets, which are correct. The correct layers are 4" of compacted sand on a HD poly vapor barrier.
2-44	S1.1 Cumberland	I 1,2	Add 1x3 bridging midspan of 2x12's, 1 st only. Add the following first line to the notes which were cut off – "2X6 PRESURE TREATED WOOD @"
2-45	S1.1	details	Add the following note to each detail – "Coordinate with Architectural details G1, A4.0 & A4.1 for finishes & fire rated assembly construction."
2-46	M1-0, all sites		Fan schedule Deleted apartment numbers per SkM-1 Mech Legend Added abbreviation per SkM-1 Added pump detail per SkM-2 Indirect water heater detail Added thermometer per SkM-2
2-47	M1-1, 15North St.	1 1 1 1	Relocated boilers & vents per SkM-3 Relocated Ngas entrance & piping per SkM-3 Relocated sanitary exit per SkM-3 Relocated CW & sprinkler entrances per SkM-3
2-48	M1-1, 15North St	2	deleted clothes dryer vent per SkM-4
2-49	M1-2, 15 North St	1 1 1 1 1 1	Relocated boilers & vents per SkM-5 Relocated Ngas entrance & piping per SkM-5 Relocated sanitary direction, pipe sizes & exit per SkM-5 Relocated CW & sprinkler entrances per SkM-5 Relocated & resized CS, DHW Recirc., & vent piping per SkM-5
2-50	MI-2, 15North St	2	Deleted clothes washer & plumbing services per SkM-5 Deleted clothes dryer per SkM-6
2-51	MI-1, All sites		Add ventilation supply fan & distribution per SkM-7
2-52	Cumberland Ave, M1.1		Add fire dampers per SkM-8
2-53	17North St, E1.1	1	Add exterior wall sconce and switch as indicated on SkE-1 .
2-54	Cumberland Ave, E1.0		Add fixture type 'L' as indicated on SkE-2 .
2-55	Cumberland Ave, E1.1		Add fixture type 'L's as indicated on SkE-3 .

NEW DRAWINGS

<u>Item</u>	<u>Sheet</u>	<u>Detail</u>	<u>Description</u>
2-56	M1.1	Anderson 3	Heating plan
2-57	M1.2	Anderson 3	Plumbing plan

QUESTIONS & CLARIFICATIONS

2-58	CLARIFICATION	Footing depths throughout projects are 12". Sheet 4.0, details 3 & 10 on all projects correctly note this dimension. Detail 4 incorrectly scales to 10", but has no dimension attached
2-59	CLARIFICATION	

Per detail 1 sheet A4.1, all sites - 2 x 6 studs are adequate for structural loads. Where double windows occur, the 2 x 6's are to be continuous and supported between windows with a double 2 x 6 post.

2-60 CLARIFICATION

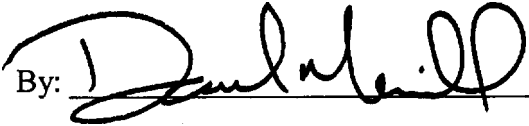
In the basement mechanical room, the bottom of the chase leading to the attic is to maintain the 1 hr floor/ceiling assembly rating. All penetrations are to be fire stopped.

In the attic the top of the same chase is also to continue the 1 hour floor/roof assembly. All penetrations are to be fire stopped.

PHI SUPPLEMENT INSTRUCTIONS

None

CERTIFICATION

By:  Date: 5/2/05

END of ADDENDUM #2

PROP PHASE III – SCATTERED SITE AFFORDABLE HOUSING
Drawing list – 5/8/2005

PORTLAND

GENERAL:

- G1.0 TITTLE SHEET, LOCUS, ENTITIES
- G1.1 ABBREVIATIONS, GENERAL NOTES AND LEGEND
PARTITION TYPES

ANDERSON STREET B1 2 AND 3:

CIVIL:

- C1 SUBDIVISION PLAN
- C2 SITE PLAN (PRIOR PHASE) - **NOT USED**
- C3 SITE PLAN PROP PHASE III (ANDERSON ST. PHASE II)
- C4 EROSION CONTROL PLAN
- C5 LANDSCAPE PLAN
- C6 DETAILS

ANDERSON STREET BUILDING 2:

ARCHITECTURAL

- A1.0 BASEMENT / FOUNDATION PLAN
- A1.1 FIRST / SECOND FLOOR PLAN
- A1.2 THIRD FLOOR PLAN / ROOF PLAN
- A2.1 EXTERIOR ELEVATIONS
- A2.2 EXTERIOR ELEVATIONS
- A2.3 INTERIOR ELEVATIONS
- A3.1 SECTIONS
- A4.0 WALL SECTIONS
- A4.1 WALL SECTIONS
- A4.2 DOOR / WINDOW SCHEDULE AND DETAILS

STRUCTURAL

- S1.1 FRAMING PLAN

MECHANICAL

- M1.0 GENERAL NOTES, SCHEDULES AND DETAILS
- M1.1 HEATING PLAN
- M1.2 PLUMBING PLAN
- SP1.1 SPRINKLER PLAN

ELECTRICAL

- E1.0 LEGEND, GENERAL NOTES, SCHEDULES
- E1.1 ELECTRICAL FLOOR PLANS

ANDERSON STREET D1 3:

ARCHITECTURAL

- A1.0 FOUNDATION PLAN
- A1.1 FIRST / SECOND FLOOR PLAN
- A1.2 THIRD FLOOR PLAN / ROOF PLAN
- A2.1 EXTERIOR ELEVATIONS
- A2.2 EXTERIOR ELEVATIONS
- A2.3 INTERIOR ELEVATIONS

- A3.1 SECTIONS
- A4.0 WALL SECTIONS
- A4.1 WALL SECTIONS**
- A4.2 DOOR / WINDOW SCHEDULE AND DETAILS

STRUCTURAL

- S1.1 FRAMING PLAN

MECHANICAL

- M1.0 GENERAL NOTES, SCHEDULES AND DETAILS
- M1.1 HEATING PLAN (sim. to 23 North, Westbrook.) **Addend. #2**
- M1.2 PLUMBING PLAN (sim. to 23 North, Westbrook.) **Addend. #2**
- SPI.1 SPRINKLER PLAN

ELECTRICAL

- E1.0 LEGEND, GENERAL NOTES, SCHEDULES
- E1.1 ELECTRICAL FLOOR PLANS

CUMBERLAND AVENUE:

CIVIL:

- C1 SUBDIVISION AND SITE PLAN
- C2 DETAILS

ARCHITECTURAL

- A1.0 BASEMENT PLAN
- A1.1 FIRST FLOOR PLAN
- A1.2 SECOND FLOOR PLAN
- A1.3 THIRD FLOOR PLAN
- A1.4 ROOF PLAN
- A2.1 EXTERIOR ELEVATIONS
- A2.2 INTERIOR ELEVATIONS
- A3.1 SECTIONS
- A4.0 WALL SECTIONS
- A4.1 WALL SECTIONS
- A4.2 DOOR / WINDOW SCHEDULE AND DETAILS

STRUCTURAL

- S1.0 FOUNDATION PLAN
- S1.1 FRAMING PLAN

MECHANICAL

- M1.0 GENERAL NOTES, SCHEDULES AND DETAILS
- M1.1 HEATING PLAN
- M1.2 PLUMBING PLAN
- M1.3 HEATING/PLUMBING ENLARGED FLOOR PLANS
- SP1.1 SPRINKLER PLAN

ELECTRICAL

- E1.0 LEGEND, GENERAL NOTES, SCHEDULES
- E1.1 ELECTRICAL FLOOR PLANS

WESTBROOK

GENERAL:

- G1.0 TITTLE SHEET, LOCUS, ENTITIES

G1.1 ABBREVIATIONS, GENERAL NOTES, LEGEND
AND PARTITION TYPES

15 AND 17 NORTH STREET:

CIVIL:

C1.0 SITE PLAN
C2.0 TOPOGRAPHY AND LANDSCAPE PLAN
C3.0 SITE PLAN DETAILS

Addendum #1

15 NORTH STREET:

ARCHITECTURAL

A1.0 BASEMENT PLAN / FOUNDATION PLAN
A1.1 FIRST / SECOND FLOOR PLAN
A1.2 THIRD FLOOR PLAN / ROOF PLAN
A2.1 EXTERIOR ELEVATIONS
A2.2 EXTERIOR ELEVATIONS
A2.3 INTERIOR ELEVATIONS
A3.1 SECTIONS
A4.0 WALL SECTIONS
A4.1 WALL SECTIONS
A4.2 DOOR / WINDOW SCHEDULE AND DETAILS

STRUCTURAL

S1.1 FRAMING PLAN

MECHANICAL

M1.0 GENERAL NOTES, SCHEDULES AND DETAILS
M1.1 HEATING PLAN
M1.2 PLUMBING PLAN
SP1.1 SPRINKLER PLAN

ELECTRICAL

E1.0 LEGEND, GENERAL NOTES, SCHEDULES
E1.1 ELECTRICAL FLOOR PLANS

17 NORTH STREET:

ARCHITECTURAL

A1.0 BASEMENT PLAN / FOUNDATION PLAN
A1.1 FIRST / SECOND FLOOR PLAN
A1.2 THIRD FLOOR PLAN / ROOF PLAN
A2.1 EXTERIOR ELEVATIONS
A2.2 EXTERIOR ELEVATIONS
A2.3 INTERIOR ELEVATIONS
A3.1 SECTIONS
A4.0 WALL SECTIONS
A4.1 WALL SECTIONS
A4.2 DOOR / WINDOW SCHEDULE AND DETAILS

STRUCTURAL

S1.1 FRAMING PLAN

MECHANICAL

M1.0 GENERAL NOTES, SCHEDULES AND DETAILS

M1.1 HEATING PLAN
M1.2 PLUMBING PLAN
SP1.1 SPRINKLER PLAN

Addendum #1
Addendum #1

ELECTRICAL

E I.0 LEGEND, GENERAL NOTES, SCHEDULES
E I.1 ELECTRICAL FLOOR PLANS

23 NORTH STREE

CIVIL:

C1 SITE PLAN
C3 SITE PLAN DETAILS - SEE C3 15/17 NORTH STREET

ARCHITECTURAL

A1.0 FOUNDATION PLAN
A1.1 FIRST / SECOND FLOOR PLAN
A1.2 THIRD FLOOR PLAN / ROOF PLAN
A2.1 EXTERIOR ELEVATIONS
A2.2 EXTERIOR ELEVATIONS
A2.3 INTERIOR ELEVATIONS
A3.1 SECTIONS
A4.0 WALL SECTIONS
A4.1 WALL SECTIONS
A4.2 DOOR / WINDOW SCHEDULE AND DETAILS

STRUCTURAL

S1.1 FRAMING PLAN

MECHANICAL

M1.0 GENERAL NOTES, SCHEDULES AND DETAILS
M1.1 HEATING PLAN
M1.2 PLUMBING PLAN
SP1.1 SPRINKLER PLAN

Addendum #1
Addendum #1

ELECTRICAL

E I.0 LEGEND, GENERAL NOTES, SCHEDULES
E I.1 ELECTRICAL FLOOR PLANS

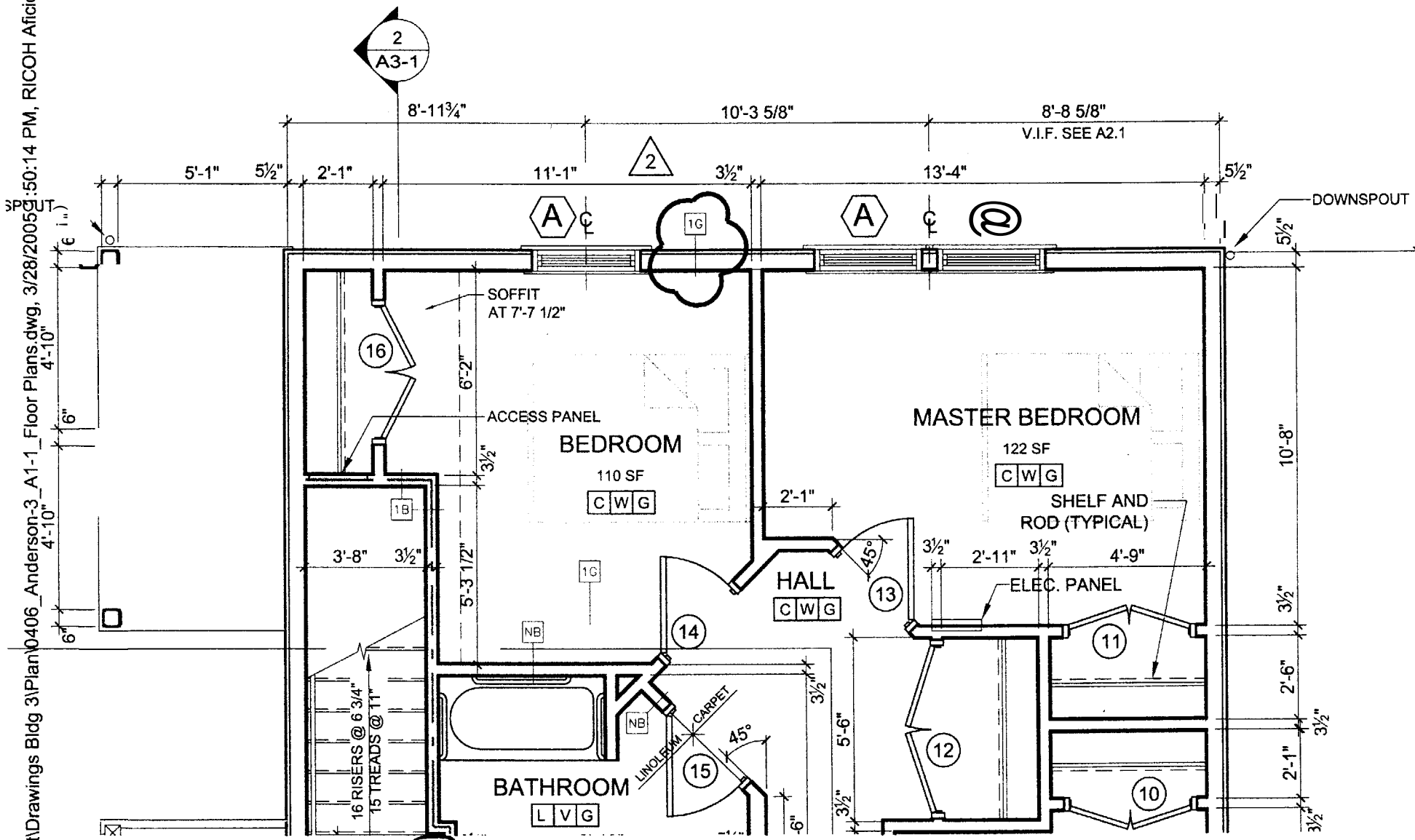
PROJECT MANUAL

SPECIFICATIONS

REPORT ON FOUNDATION INVESTIGATIONS – 135 ANDERSON STREET – 11/4/2004
REPORT ON PROPOSED HOUSING ANDERSON STREET – 5/2003
REPORT ON FOUNDATION INVESTIGATIONS – 135 CUMBERLAND AVE. – 11/8/2004
REPORT ON FOUNDATION INVESTIGATIONS – 15, 17, 23 NORTH ST. – 11/10/2004

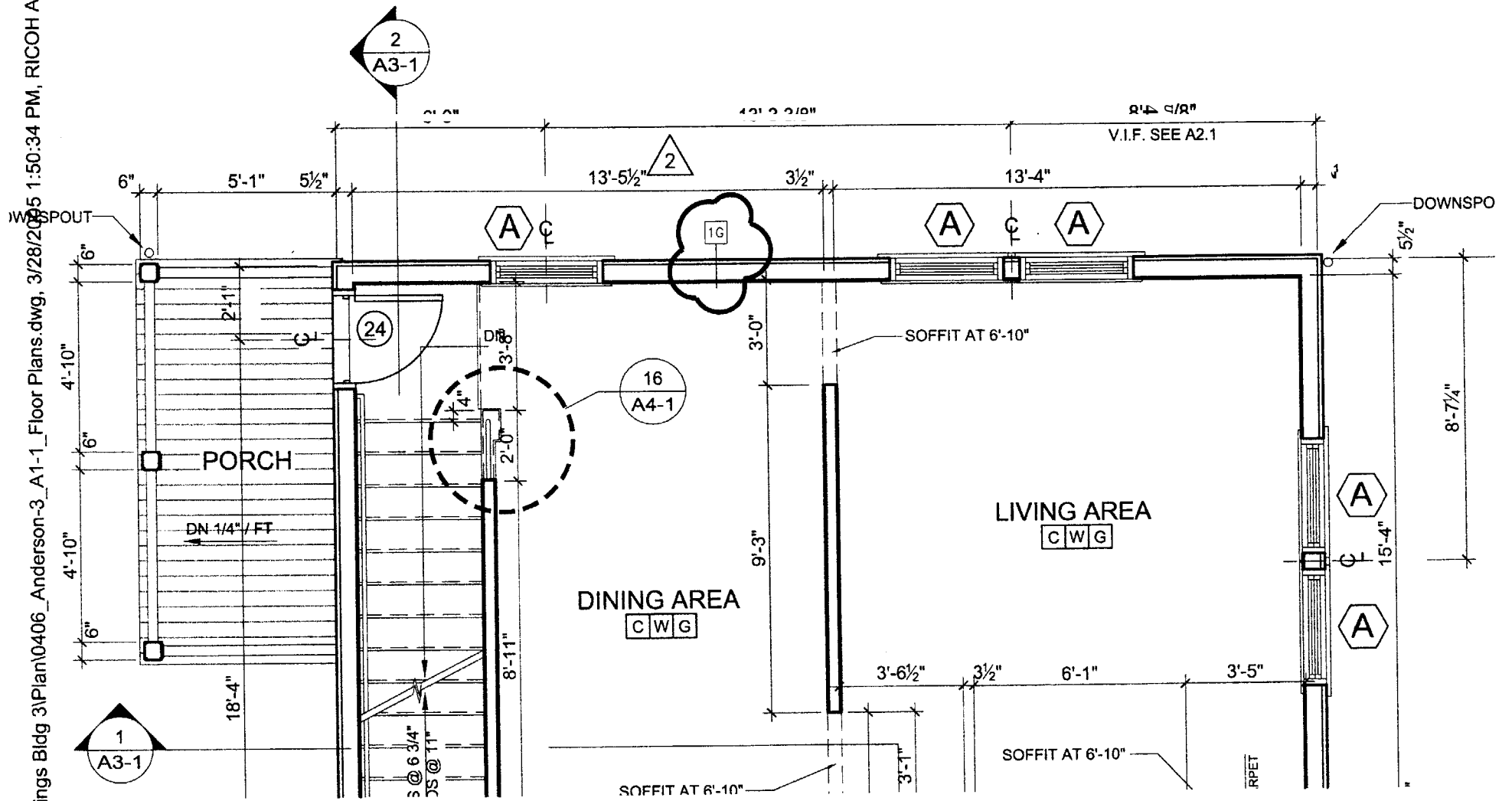
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PARTITION REVISION
PARTIAL ANDERSON ST # 3, A1.1 #1

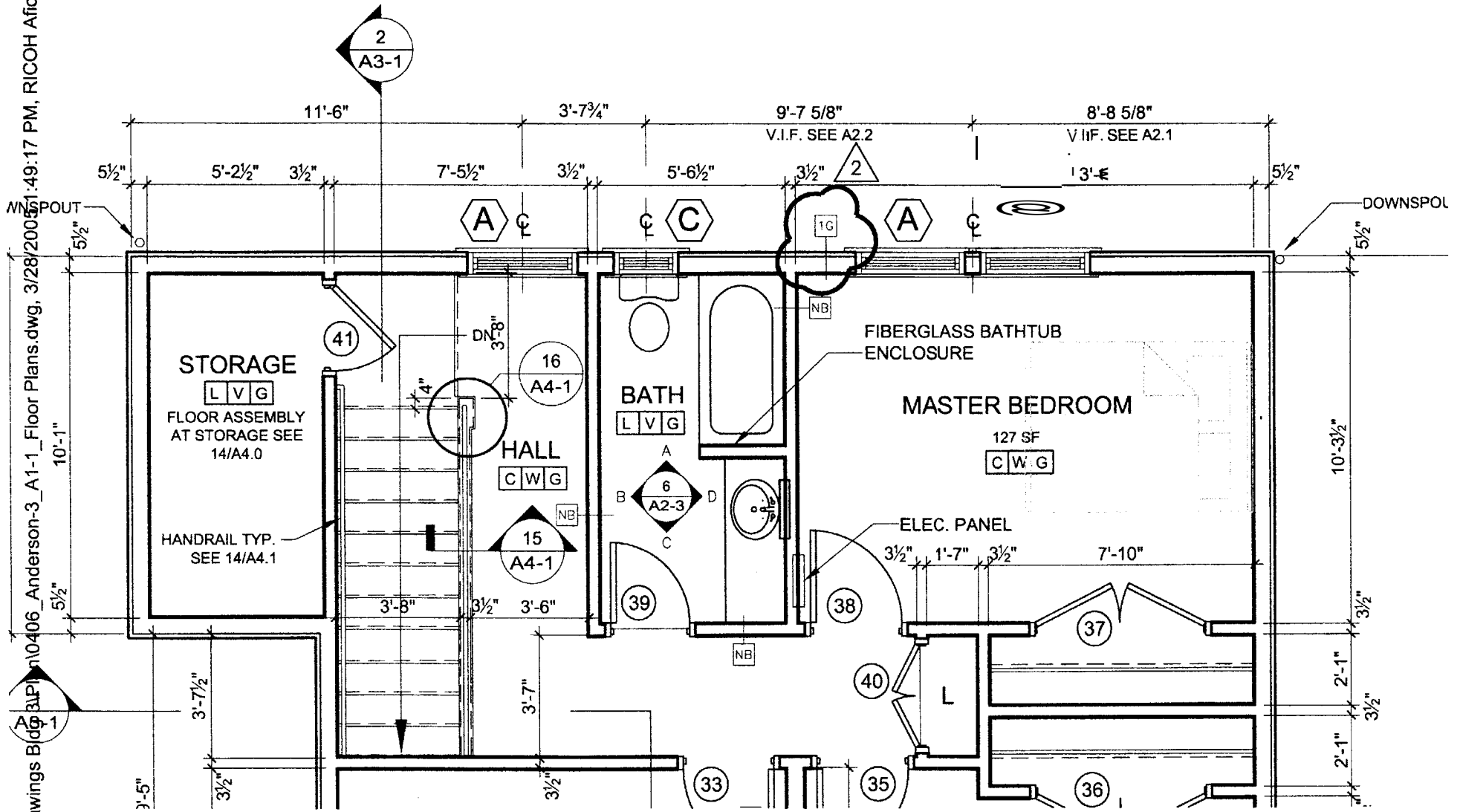
SKA-5
3/18/05



PARTITION REVISION
PARTIAL ANDERSON # 3, A1.1 # 2

SKA-C
5/5/0

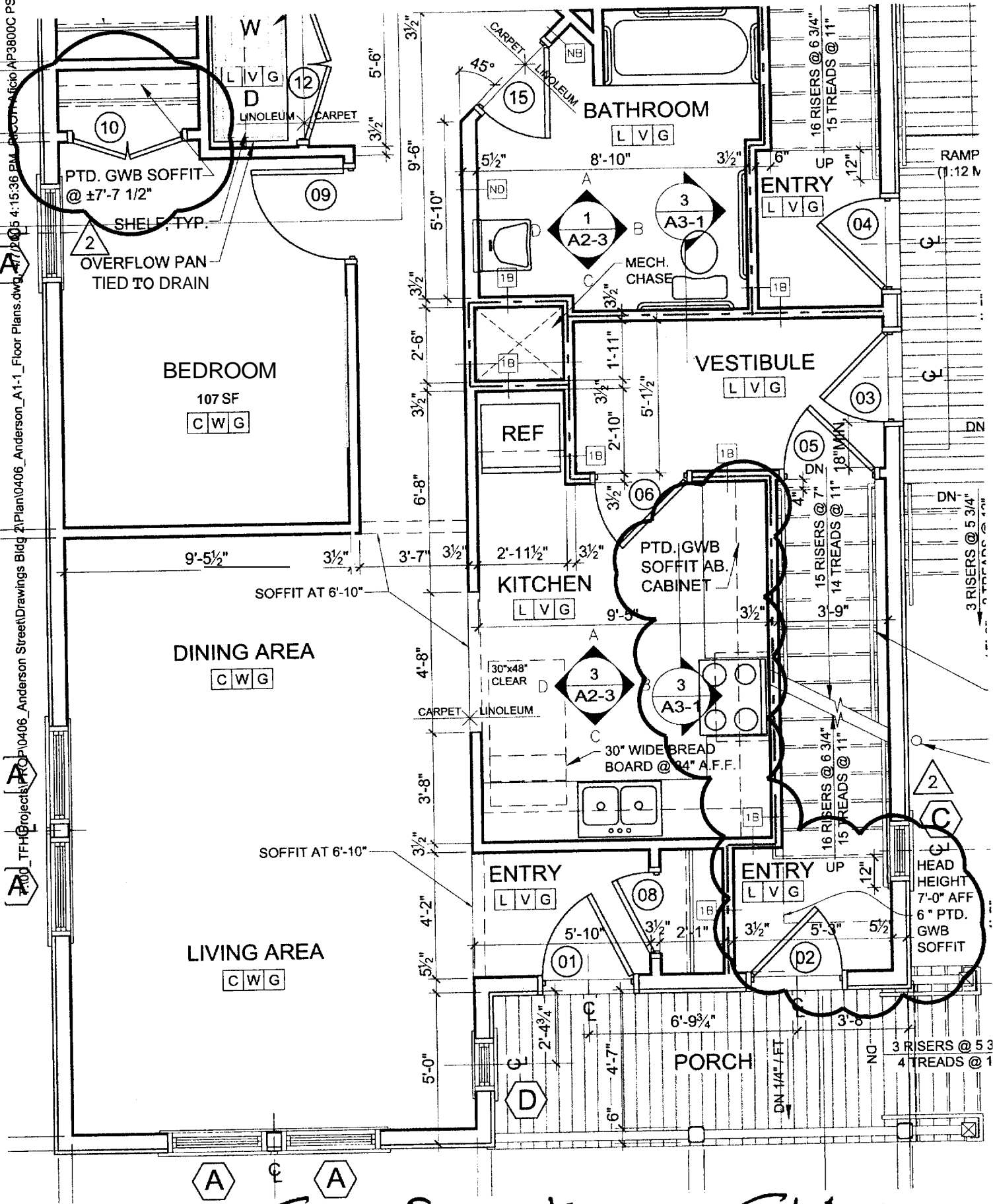
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PARTITION REVISION
PARTIAL ANDERSON ST #3 A1.2 #1

SKA-7
5/5/05

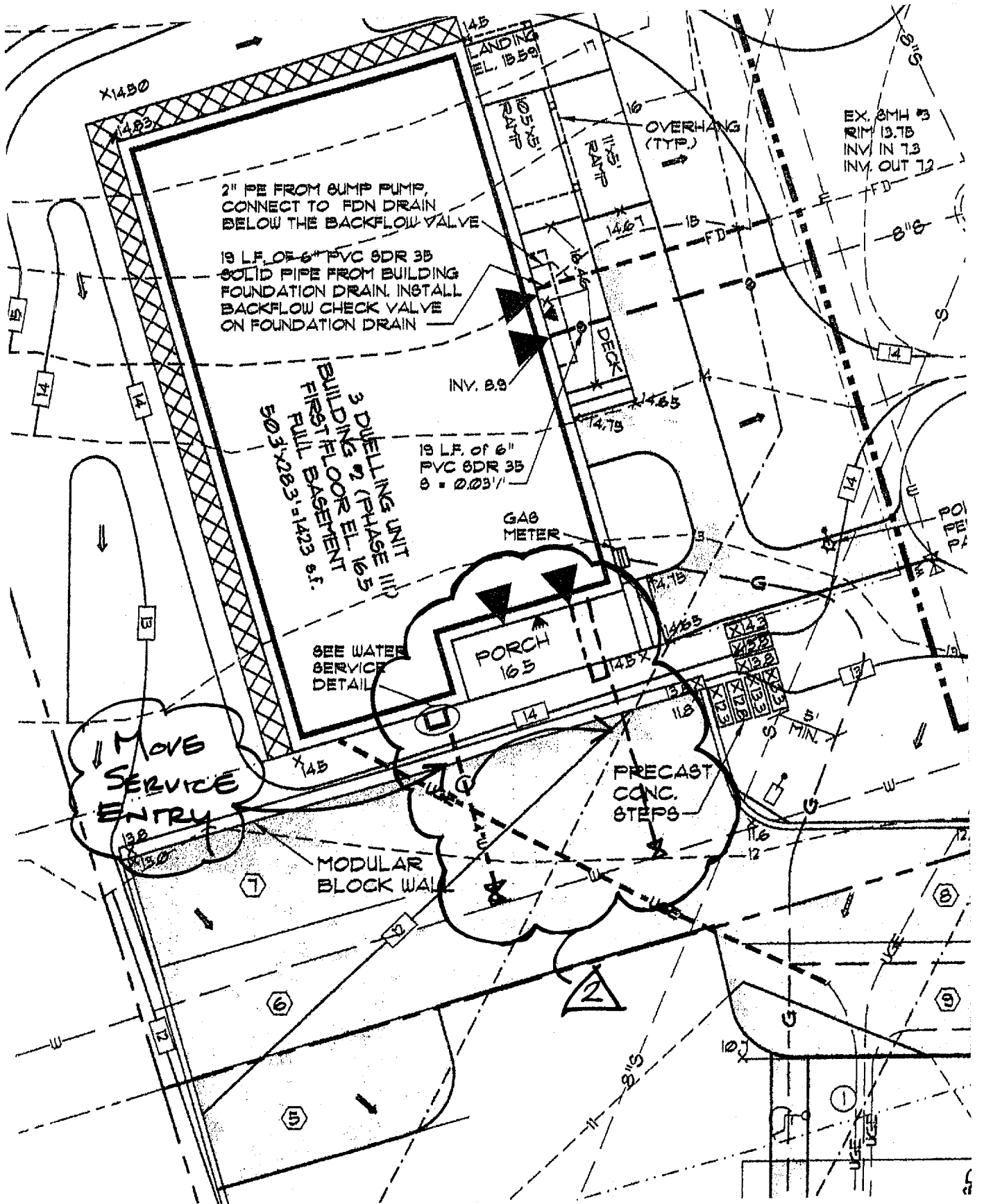
Add_TFH@projects\10406_Anderson Street\Drawings Bldg 2\Plan\0406_Anderson_A1-1_Floor Plans.dwg 4/15/05 4:15:36 PM PROJECT: 10406 Anderson Street\Drawings Bldg 2\Plan\0406 AP3800C PS



Soffit Revisions

SKA-8

ANDERSON #2, 17, 23 NORTH, ANDERSON #3, 15 NORTH (SYM) 5/5/03



WATER SERVICE RELOCATION
 PARTIAL ANDERSON ST. C 3

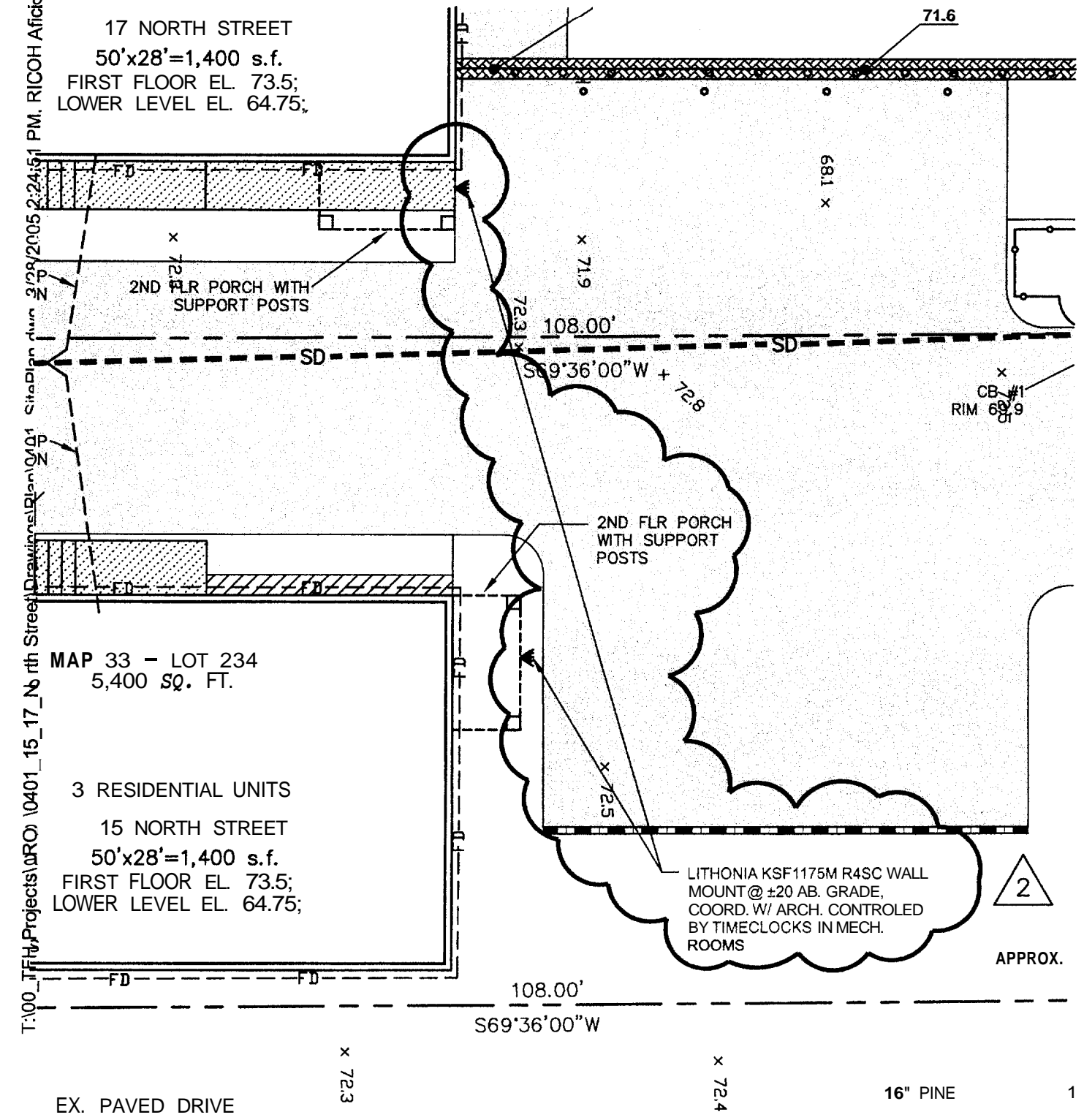
SKC-6
 8/5/03

T:\00_T\Projects\0401_15_17_North Street\Drawings\Plan\01

17 NORTH STREET
50'x28'=1,400 s.f.
FIRST FLOOR EL. 73.5;
LOWER LEVEL EL. 64.75;

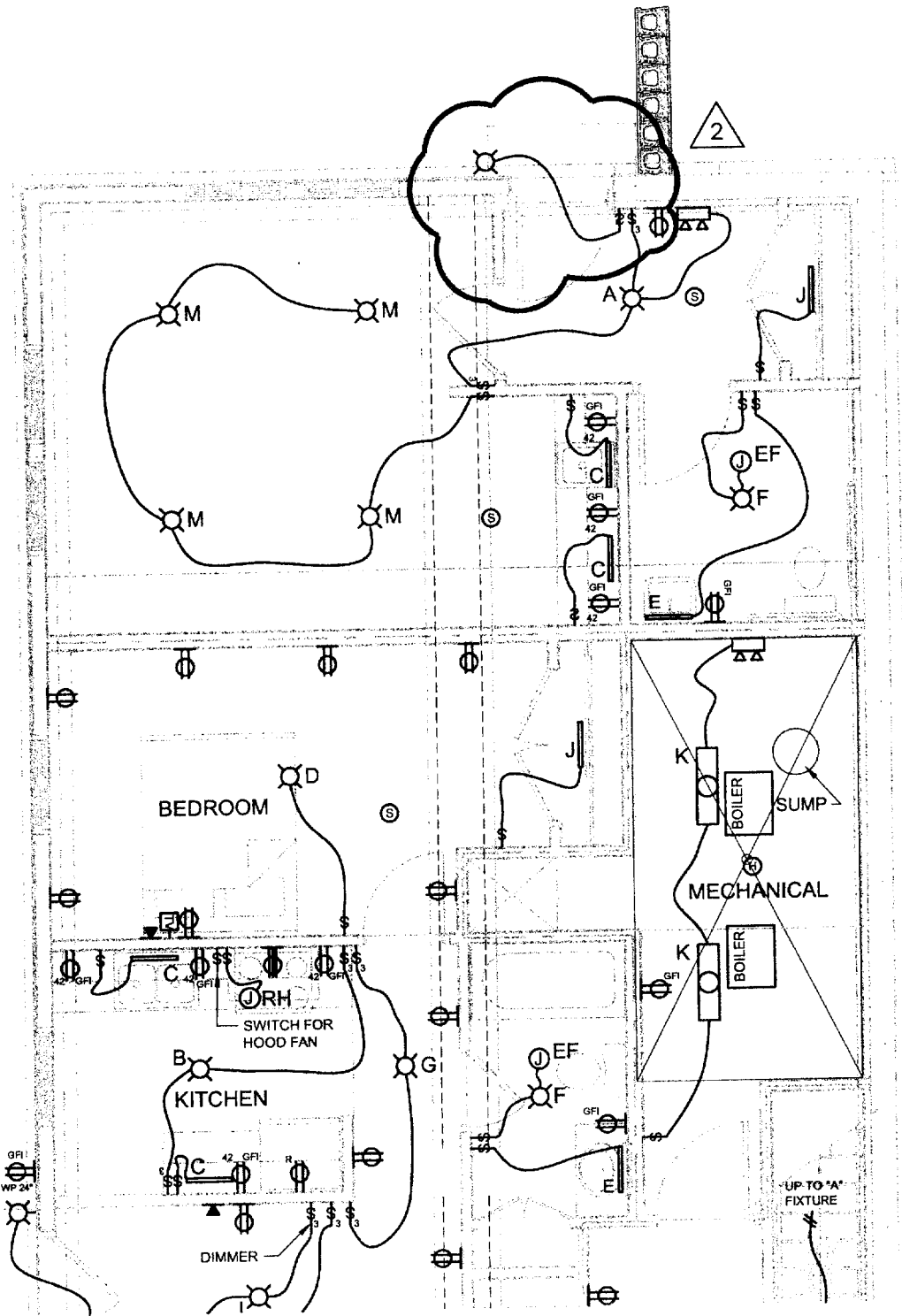
MAP 33 - LOT 234
5,400 SQ. FT.

3 RESIDENTIAL UNITS
15 NORTH STREET
50'x28'=1,400 s.f.
FIRST FLOOR EL. 73.5;
LOWER LEVEL EL. 64.75;



EXTERIOR LIGHTING
PARTIAL 15, 17 NORTH ST C.I.O

SKC-7
5/5/05

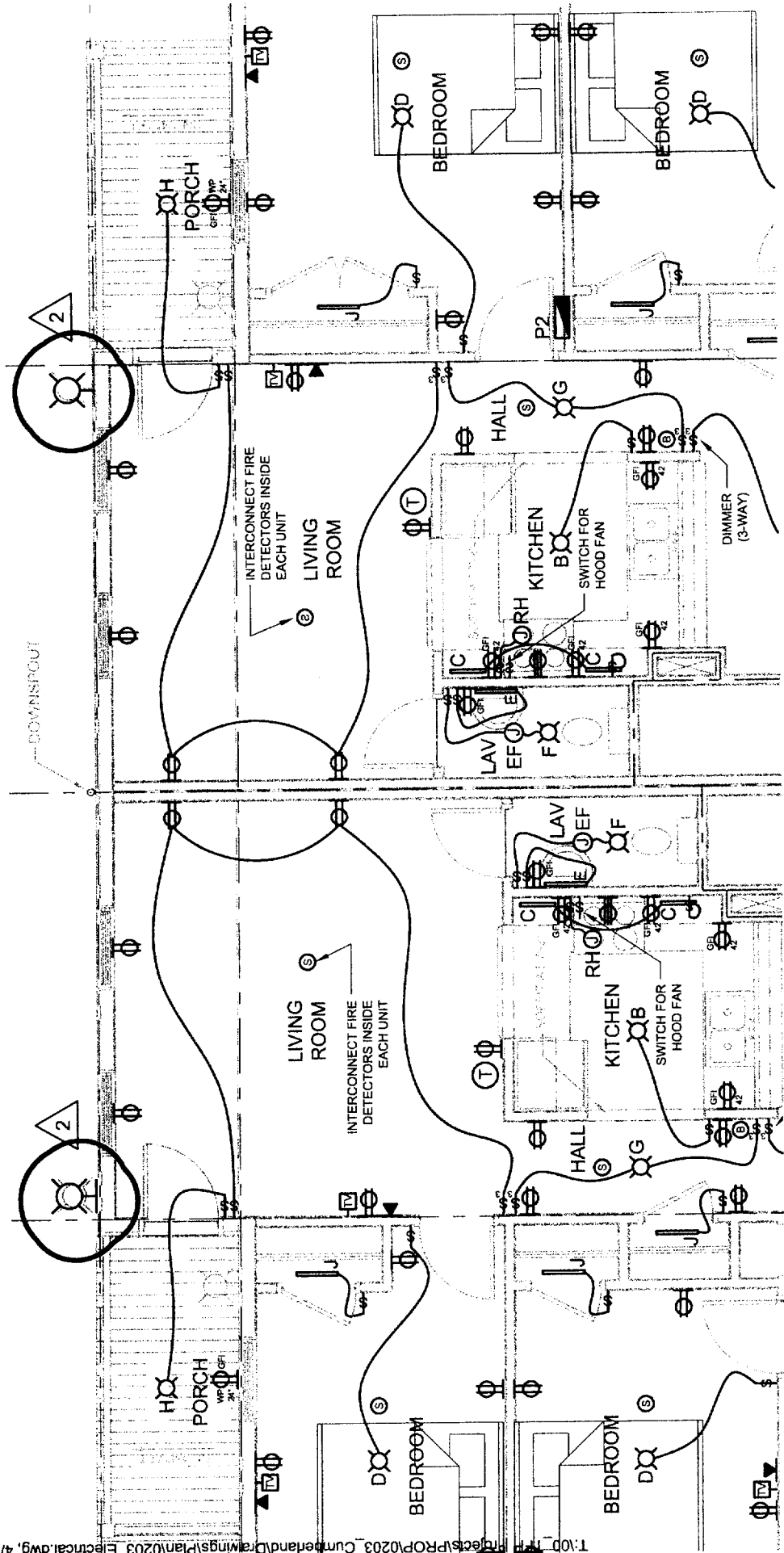


EXTERIOR LIGHTING
PARCEL 17 NORTH ST, 1 E.1

SKE-1
5/5/05

LIGHTING FIXTURE SCHEDULE			
TYPE	DESCRIPTION	LAMPS, QUANTITY & TYPE	REMARKS
A	PROGRESS *P7307-60	1 - 32W FC12T9	SURFACE MOUNTED
B	PROGRESS *P7376-30	2 - 13W CF	SURFACE MOUNTED - KITCHEN
C	PROGRESS *P7014-30	2 - G8 T5	UNDERCABINET LIGHTS
D	PROGRESS *P7312-30	2 - 75W MED. BASE	SURFACE MOUNTED - BEDROOM
E	PROGRESS *P7128-30	1 - F20T12	WALL MOUNTED ABOVE MIRROR
F	PROGRESS *7375-30	2 - 7W TT CF	SURFACE MOUNTED
G	PROGRESS *P7313-10WB	2 - 13W TWIN TUBE CF	SURFACE MOUNTED - ENTRY HALL AND OPEN CIRCULATION
H	PROGRESS *P7303-30	2 - 9W TWIN TUBE CF	SURFACE MOUNTED - EXTERIOR CEILING
I	PROGRESS* 7312-10	2 - 13W TWIN TUBE CF	SURFACE MOUNTED - DINING
J	DAY-BRITE *NL 1 15 120	1 - 15W T12	SURFACE MOUNTED - CLOSET, LAUNDRY
K	METALUX *WS-232A-120-EB8	2 - F32T8	SURFACE MOUNTED
L	LITHONIA *TWAC 70M	1 - 70W MH	SURFACE MOUNTED - ON TIMECLOCK, ADD TO HOUSE PANEL

EXTERIOR FIXTURE SPECIFICATION
 PARTIAL CUMBERLAND AVE E1.0
 SHEET - 2
 5/5/05



SEE-3
5/5/05

EXTERIOR FIXTURES
PARTIAL CUMBERLAND AVE. E1.1

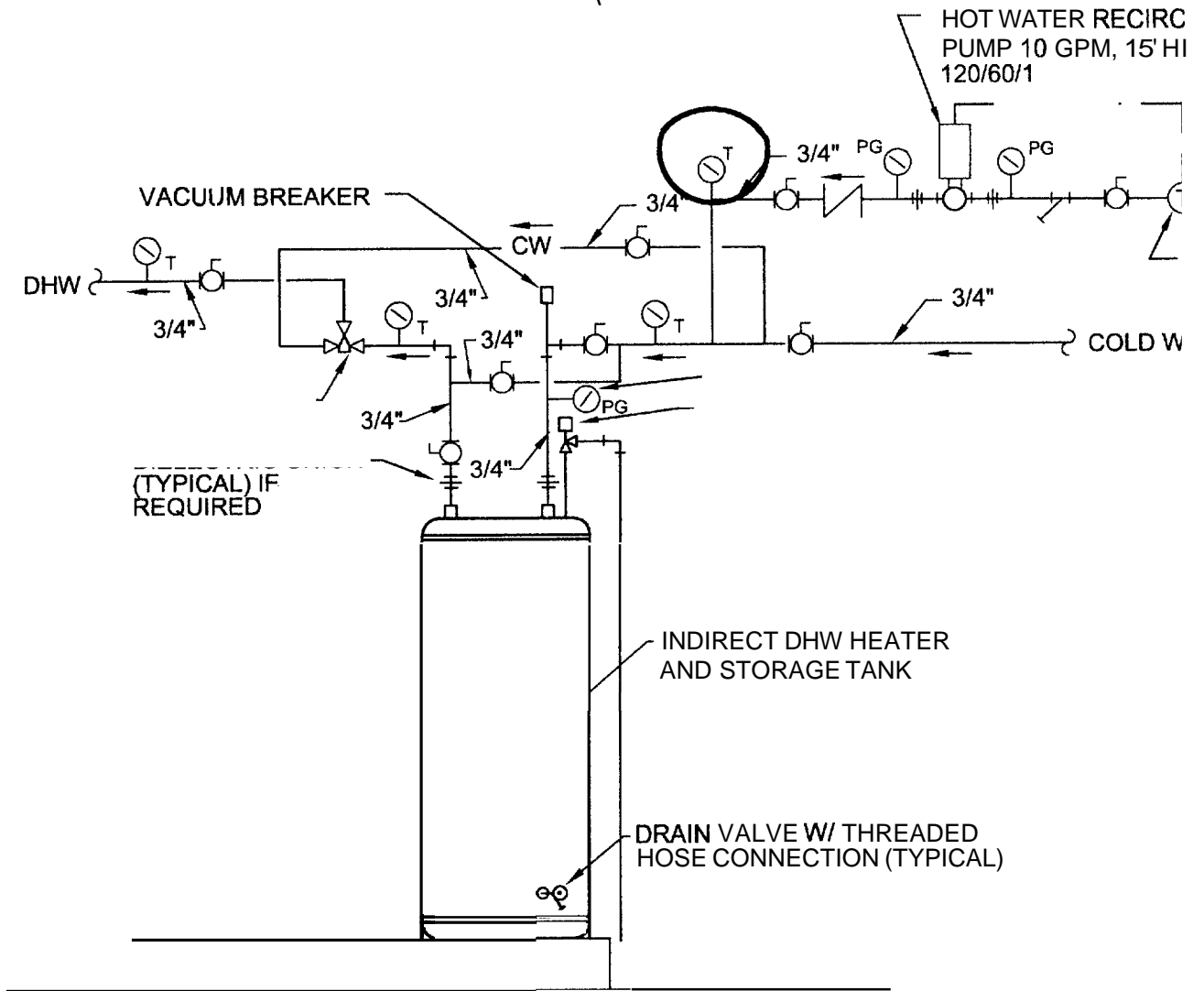
MECHANICAL LEGEND:

- EF EXHAUST FAN
- FBO FURNISHED BY OTHERS
- FCO FLOOR CLEANOUT
- NTS NOT TO SCALE
- PDISCH. PUMPED DISCHARGE
- PWD PORTLAND WATER DISTRICT
- RECIRC RECIRCULATED DOMESTIC HOT WATER
- RPZ REDUCED PRESSURE ZONE
- TP TRAP PRIMFR

FAN SCHEDULE

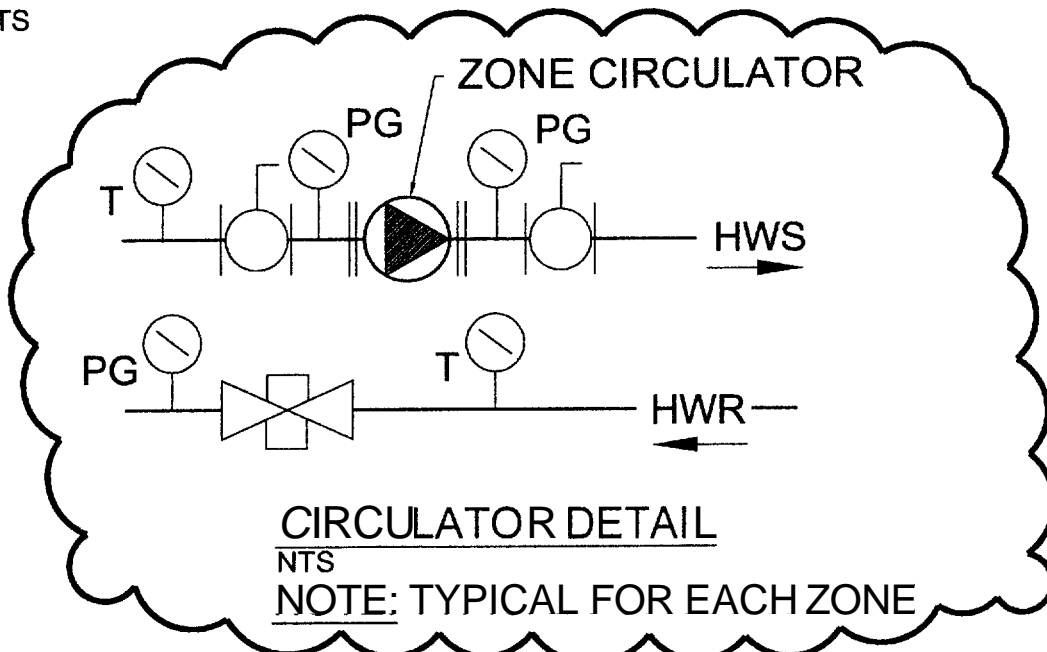
TAG		EF-1	EF-2	EF-3	EF-4	EF-5	EF-6	EF-7	EF-8	
APARTMENT		-	-	-	-	-	-	-	-	
LOCATION		BATHROOM	KITCHEN	LAVATORY	KITCHEN	BATHROOM	KITCHEN	LAVATORY	BATHROOM	
SERVICE		EXHAUST	RANGE HOOD	EXHAUST	RANGE HOOD	EXHAUST	RANGE HOOD	EXHAUST	EXHAUST	
MAKE		CEILING	IN-LINE	CEILING	IN-LINE	CEILING	IN-LINE	CEILING	CEILING	
COOK MODEL		GC-180	HOOD MFGR	GC-180	HOOD MFGR	GC-180	HOOD MFGR	GC-180	GC-180	
BLOWER DATA	C.F.M.	100	200	100	200	100	200	100	100	
	S.P.	0.375	0.375	0.375	0.375	0.375	0.375	0.375	0.375	
	TYPE	FC	FC	FC	FC	FC	FC	FC	FC	
	DRIVE	DIRECT	DIRECT	DIRECT	DIRECT	DIRECT	DIRECT	DIRECT	DIRECT	
MOTOR DATA	MECH	H.P. OR WATTS	87 W	141 W	87 W	141 W	87 W	141 W	87 W	87 W
		R.P.M. (FAN)	820	1,363	820	1,363	820	1,363	820	820
	ELEC	VOLTS	120	120	120	120	120	120	120	120
		PHASE	60	60	60	60	60	60	60	60
		HZ	1	1	1	1	1	1	1	1
MAX. SONES		3.0	7.0	3.0	7.0	3.0	7.0	3.0	3.0	

2/1/05
 PARTIAL M-1.0
 ALL SITES
SkM-1

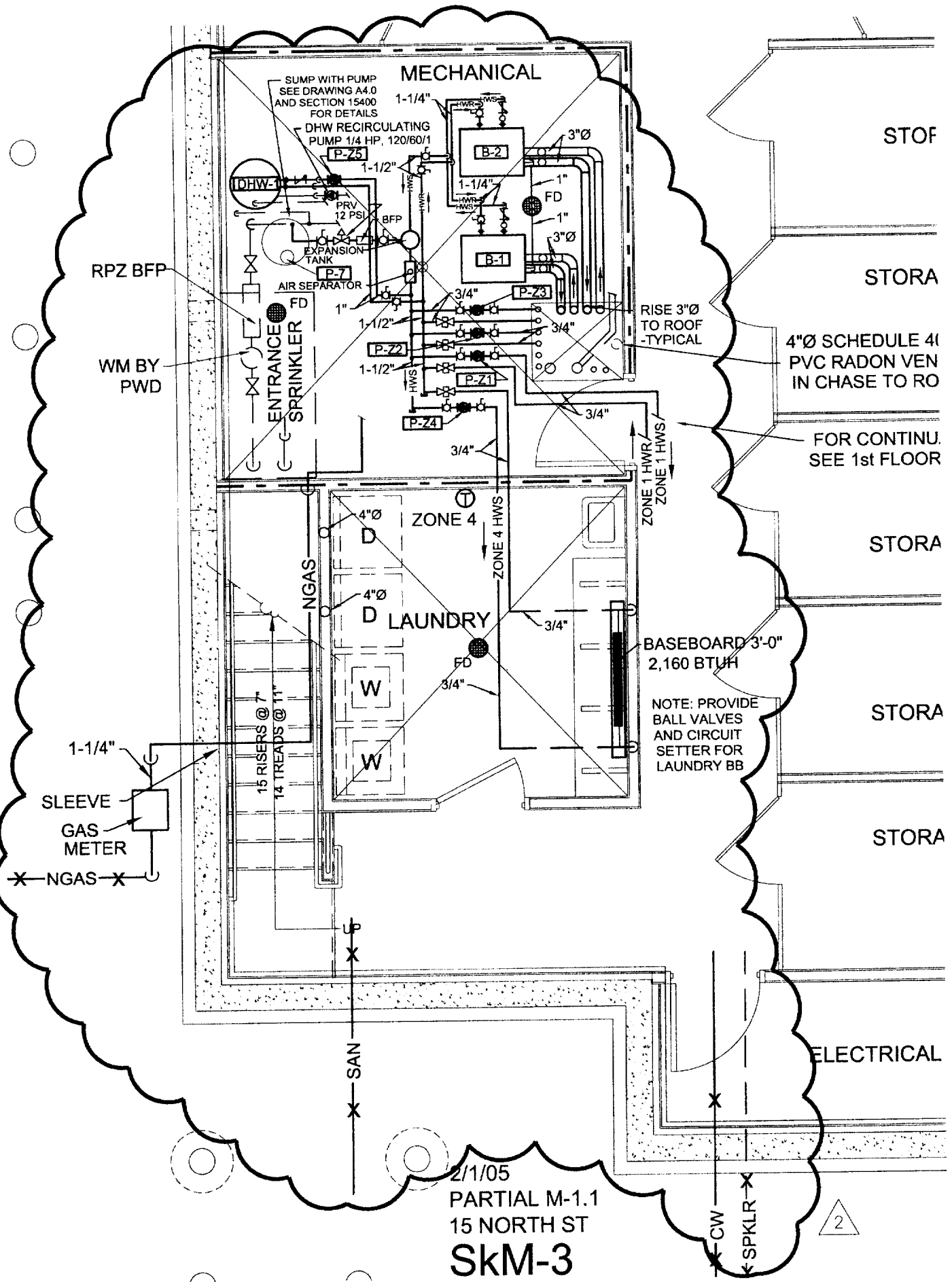


INDIRECT WATER HEATER DETAIL

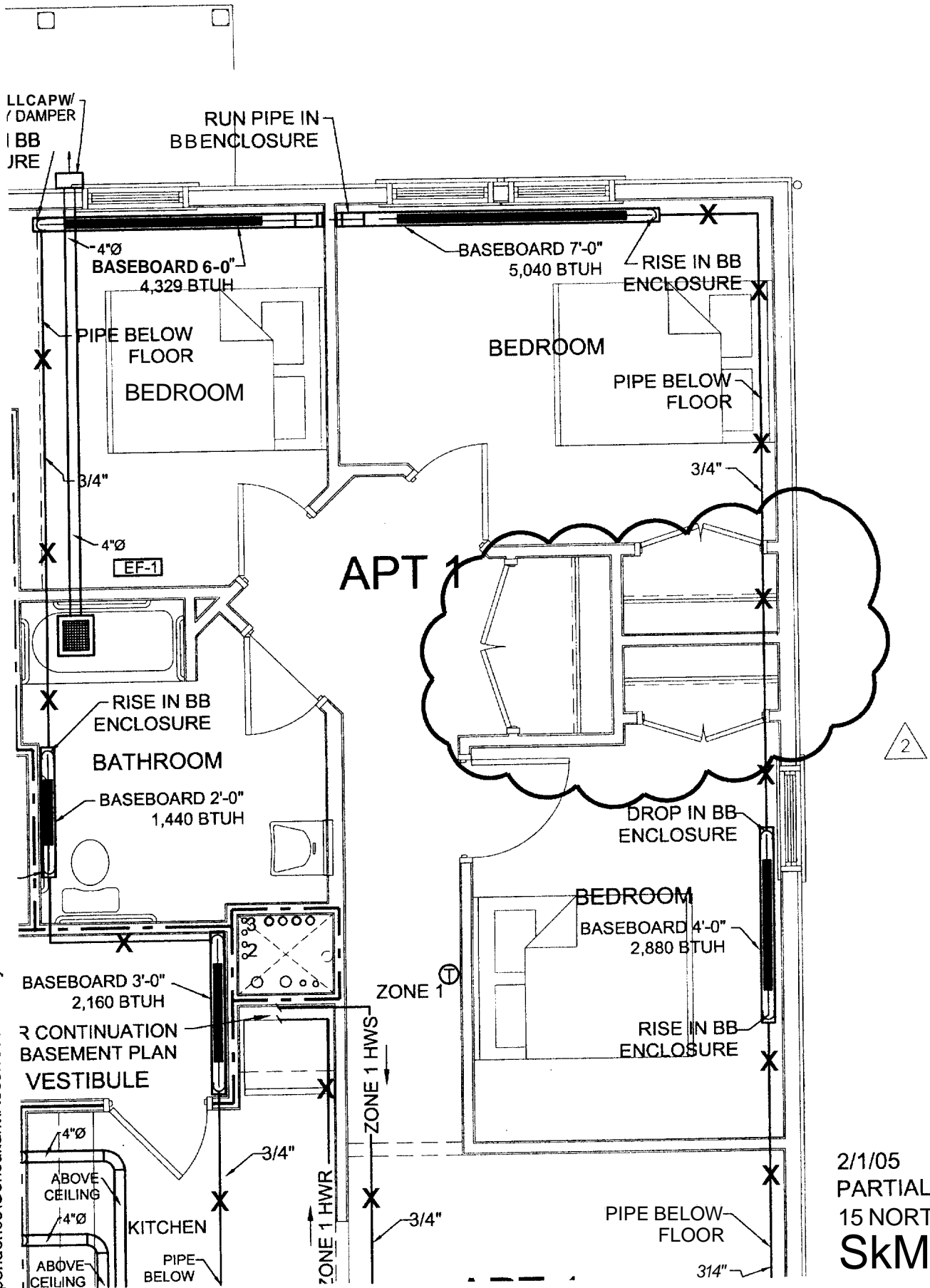
NTS



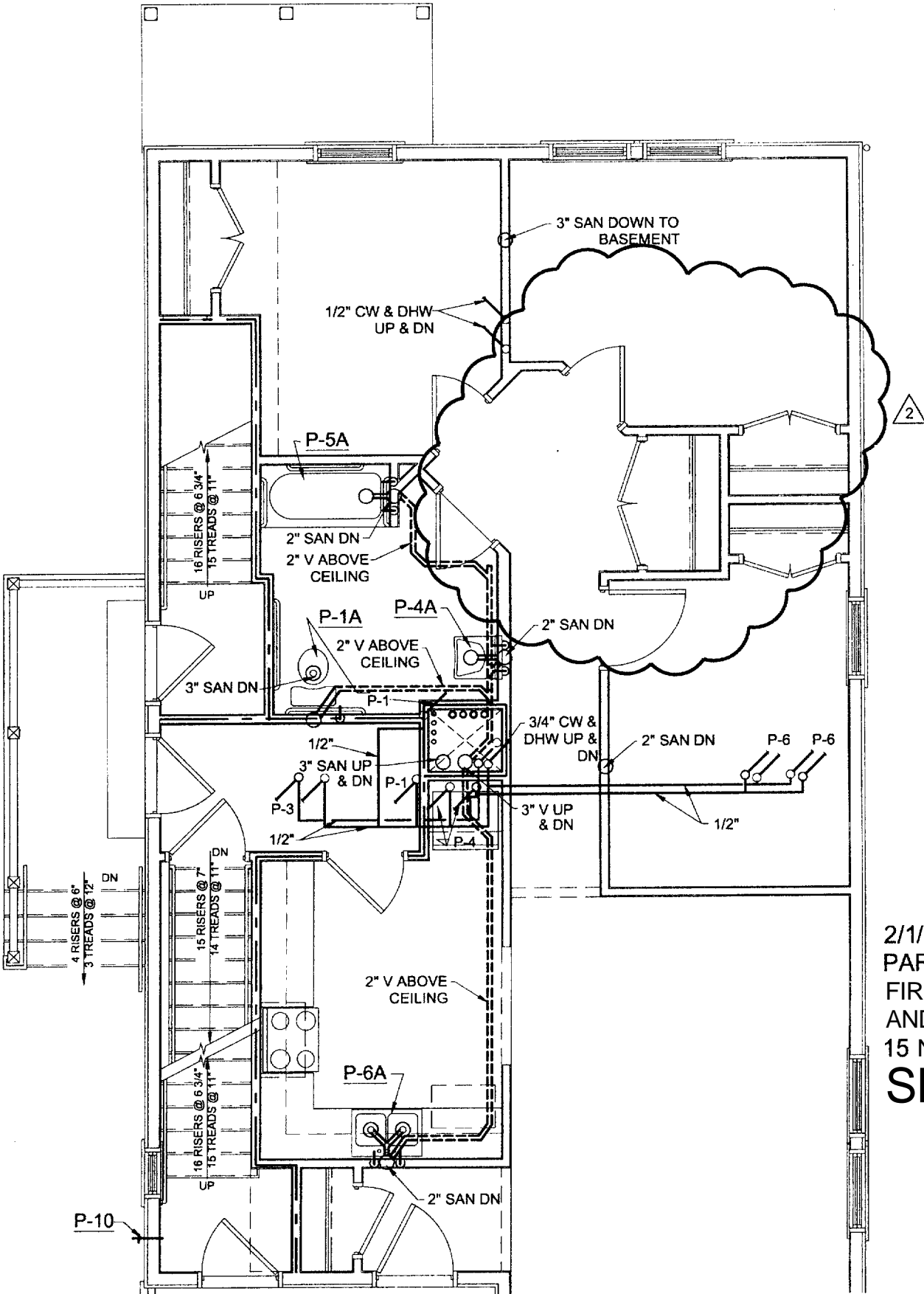
2/1/05
 PARTIAL M-1.0
 ALL SITES
SkM-2



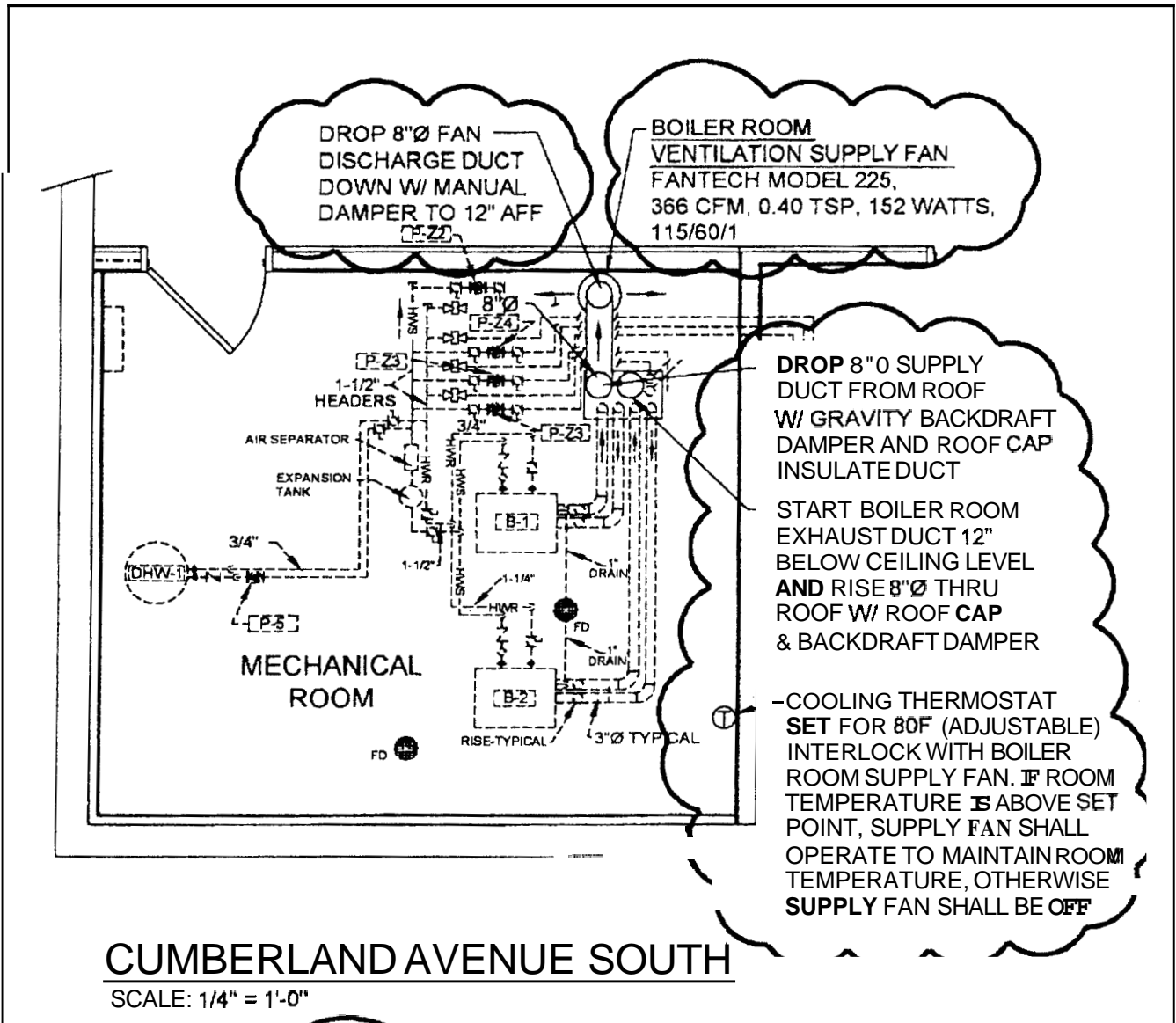
response\Consultant\Received\Whitney\020105\WENG Feb 01 2005 0401_15 North Street_M-1_Mechanical.dwg, 3/30/2005 3:38:52 PM, RICOH office 0P3800C.PLS



2/1/05
PARTIAL M-1.1
15 NORTH ST
SkM-4



2/1/05
PARTIAL 2/M-1.2
FIRST FLOOR
ANDERSON #3
15 NORTHST
SkM-6



SIMILAR:

BUILDING	FANTECH MODEL #	CFM @ 0.40" WC	DUCT SIZE	WATTS	POWER
1. ANDERSON 2	FR-200	308	8"Ø	128	115/60/1
2. ANDERSON 3	FR-125	88	5"Ø	49	115/60/1
3. 15 NORTH STREET	FR-200	308	8"Ø	128	115/60/1
4. 17 NORTH STREET	FR-200	308	8"Ø	128	115/60/1
5. 23 NORTH STREET	FR-125	88	5"Ø	49	115/60/1

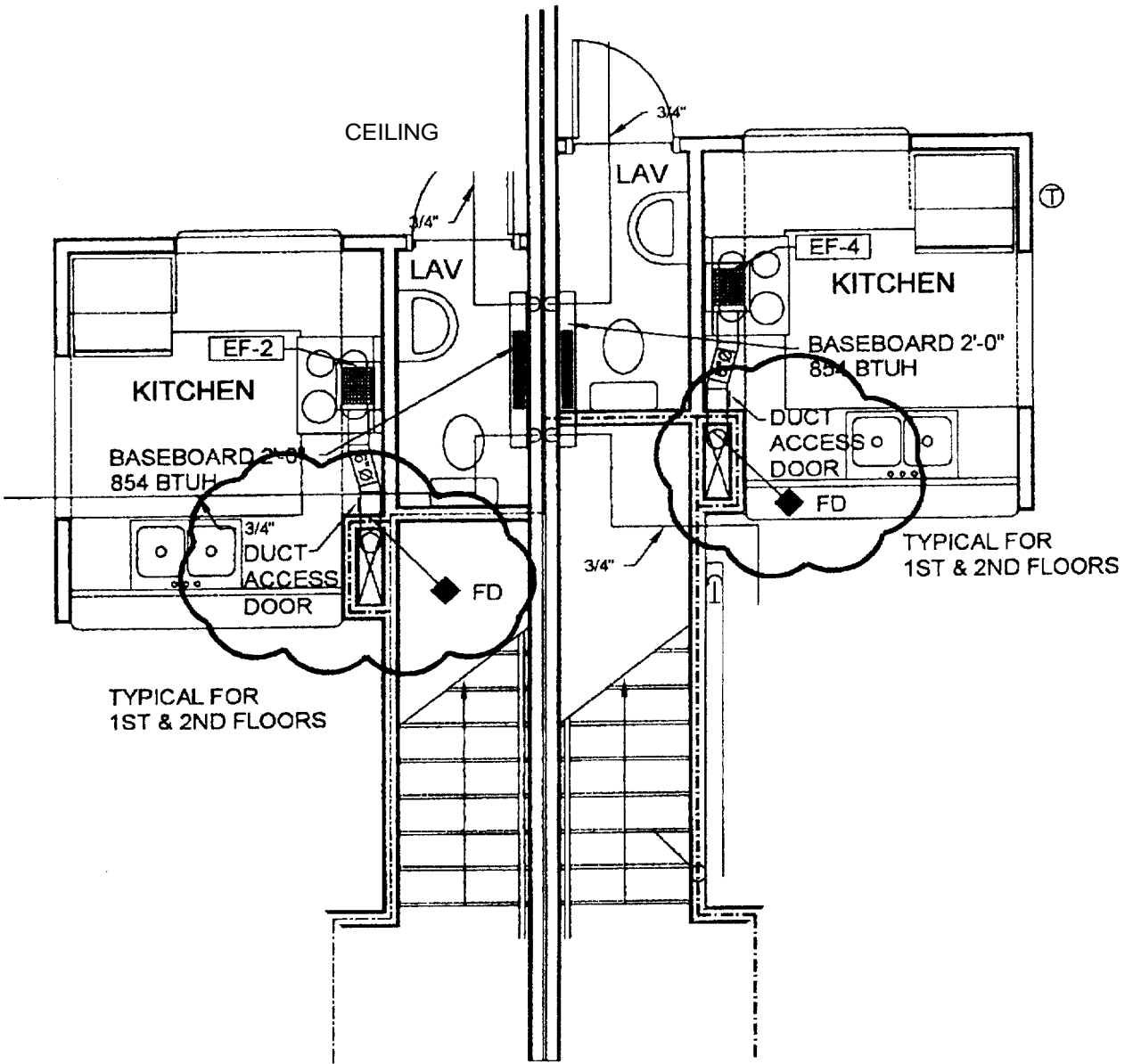
Addenda No. 2

Whitney Engineering, PA.

**PROP Phase III Scattered Site Affordable Housing
Anderson Street, Cumberland Avenue & North Street
Portland and Westbrook, Maine**

Date: April 5, 2005

**SKM-7
Sheet 1 of 1**



CUMBERLAND AVENUE SOUTH

SCALE: 1/4" = 1'-0"

Addenda No. 2

Whitney
Engineering, P.A.

PROP Phase III Scattered Site Affordable Housing
Anderson Street, Cumberland Avenue & North Street
Portland and Westbrook, Maine

Date: April 5, 2005

SKM-8
 Sheet 1 Of 1

Mike Nugent - RE: 135 Cumberland Ave

From: "David Merrill" <dam@TFHArchitects.com>
To: "Mike Nugent " <MJN@portlandmaine.gov>
Date: 5/13/2005 9:59 AM
Subject: RE: 135 Cumberland Ave
c c : "Scott Teas" <tst@TFHArchitects.com>, "Dick Whitney (E-mail)" <whiteng@maine.rr.com>

Mike,
Please see comments below. This answers most questions and I will follow up with the remainder and a call to discuss.

Thanks,
Dave

-----Original Message-----

From: Mike Nugent [mailto: MJN@portlandmaine.gov]
Sent: Tuesday, May 10, 2005 2:29 PM
To: David Merrill
Subject: 135 Cumberland Ave

The Following is a list of Questions based on the review of the project:

1) The single egress table (1018) limits travel distance to 50 feet, Section 1015.1 requires that unrated stairs be included in this measurement. Please review this and provide a code justification, Anderson St. Buildings also have a similar arrangement.

This is a reduction in length from the previous BOCA 99 that we did not factor. In order to become compliant we will complete the 1 hr rating around the last run of stairs and add a rated door at the top of the stairs. This will reduce the unprotected travel distance below the requirement. I'm going to rough out the layouts and let you review before I finalize.

2) The 6"x 6" columns in the garage are not rated, please provide a code justification for this.

Although table 601 does not require a rating for 5B structural members it is supporting a 1 hr floor ceiling assembly. We will add a wrap of 5/8" type X to the cement fiber finish and pressure treated sheathing for additional protection.

3) Is the Ceiling assembly for the storage/laundry/Mechanical rooms "1E" on G1.1 ?

Yes, although we have added insulation to the assembly (detail 14/A4.0) because it is exposed to the weather in the unheated garage.

4) Are you providing any ventilation for the garage?

IMC requires mechanical ventilation for 5 or more cars and 850 sf or more of garage space. We are providing parking for 4 cars, but are slightly in excess of the 850 sf limit due to the size of our building footprint. We have approximately 60% open space along the open side the the garage and have no garage doors to enclose the space. Because of this configuration, we would ask that that this area requirement be waved.

5) Will the EF units that penetrate rated assemblies have Fire Dampers?

Addendum #2 (covering all 3 buildings) has added fire dampers to the Exhaust fans when they do penetrate fire assemblies.

6) Other penetrations?

As this building is bundled with Anderson 1 & 2, Addendum #2 added documentation regarding firestopping to cover all 3 buildings.

7) 4 units....Fair Housing??????

As MSHA is integrally involved and providing partial funding for this project they have reviewed and require that we satisfy ADA, ANSI and the Maine Human Rights Act requirements. Over the whole project, which also includes 10 additional units in Westbrook, we have made 10% of the units fully accessible, the remainder are 'adaptable', should future tenants require some form of design modifications. We do meet the general interior requirements of the Fair Housing Act, but due to the sloping topography, sidewalk, and small lot we are unable to get a fully accessible route from the parking to the entry doors.

8) Product info for guards?

Similar to our Mellen Grant PROP project, the guard system spec is based on performance/code standards. When the specific manufacturer is selected, we will forward the test reports you require.

9) Should the window adjacent to Door 104 be safety glazing.

We will add tempered glass to this window in Addendum #3

10)The cantilever seems to exceed the limits for Cantilevers in the Wood Frame Construction manual.

Dave Tetreault is reviewing, I hope to have his response Monday.

From a previous email

Did we establish compliance with the 2003 IMC for all three of the buildings?

Yes, our Mechanical engineer has confirmed compliance with 2003 IMC.

Thanks



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine **04101**

ACCESSIBILITY CERTIFICATE

Designer: TFH Architects

Address of Project: 135-139 Cumberland Ave.

Nature of Project: 4 Unit Affordable Housing

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.



Signature: 

Title: Principal

Firm: TFH Architects

Address: 100 Commercial St., Portland, ME

Phone: 775-6141



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: TFH Architects

RE: Certificate of Design

DATE: 1/31/05

These plans and / or specifications covering construction work on:


135-139 Cumberland Ave.

Have been designed and drawn up by the undersigned, a Maine registered Architect/
Engineer, according to the **2003 International Building Code** and local amendments.



As per Maine State Law:

\$50,000.00 or more in new construction, repair
expansion, addition, or modification for
Building or Structures, shall be prepared by a
registered design Professional.

Signature: 

Title: Principal

Firm: TFH Architects

Address: 100 Commercial St.

FROM DESIGNER: TFH Architects

DATE: 1/31/05

Job Name: 4 Family Affordable Housing

Address of Construction: 135-139 Cumberland Ave.

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year 2003 IBC Use Group Classification(s) R2

Type of Construction 5B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Yes

Is the Structure mixed use? No if yes, separated or non separated (see Section 302.3)

Supervisory alarm system? Yes Geotechnical/Soils report required? (See Section 1802.2) Yes

STRUCTURAL DESIGN CALCULATIONS		<u>N/A</u>	Live load reduction (1603.1.1, 1607.9, 1607.10)
Submitted for all structural members (106.1, 106.1.1)		<u>N/A</u>	Roof live loads (1603.1.2, 1607.11)
DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1603)		Roof snow loads (1603.1.3, 1608)	
Uniformly distributed floor live loads (1603.1.1, 1607)		<u>60 psf</u>	Ground snow load, P_g (1608.2)
Floor Area Use	Loads Shown	<u>46 psf</u>	If $P_g > 10$ psf, flat-roof snow load, P_f (1608.3)
Dwelling Areas	40 psf	<u>1.0</u>	If $P_g > 10$ psf, snow exposure factor, C_e (Table 1608.3.1)
Common Areas	100 psf	<u>1.0</u>	If $P_g > 10$ psf, snow load importance factor, I_s (Table 1604.5)
		<u>1.1</u>	Roof thermal factor, C_t (Table 1608.3.2)
		<u>38 psf</u>	Sloped roof snowload, P_s (1608.4)
		<u>C</u>	Seismic design category (1616.5)
		<u>K</u>	Basic seismic-force-resisting system (Table 1617.6.2)
		<u>R=6</u>	
		<u>Cd=4</u>	Response modification coefficient, R , and deflection amplification factor, C_d (Table 1617.6.2)
Wind loads (1603.1.4, 1609)	Design option utilized (1609.1.f, 1609.6)	<u>Equiv.</u>	Analysis procedure (1616.6, 1617.5)
1609.6	Basic wind speed (1609.3)	<u>lateral</u>	Design base shear (1617.4, 1617.5.1)
85 mph	Building category and wind importance factor, I_w (Table 1604.5, 1609.5)	<u>force</u>	
1.10	Wind exposure category (1609.4)	<u>1.7-2K</u>	
B	Internal pressure coefficient (ASCE 7)		
± 0.25	Component and cladding pressures (1609.1.1, 1609.6.2.2)	Flood loads (1603.1.6, 1612)	
+12 psf	Main force wind pressures (1609.1.1, 1609.6.2.1)	<u>N/A</u>	Flood hazard area (7672.3)
-15 psf		<u>N/A</u>	Elevation of structure
10 psf			
		Other loads	
Earthquake design data (1603.1.5, 1614 - 1623)	Design option utilized (1614.1)	<u>N/A</u>	Concentrated loads (1602.4)
1617.5	Seismic use group ("Category") (Table 1604.5, 1616.2)	<u>N/A</u>	Partition loads (1607.5)
I	Spectral response coefficients, S_{ps} & S_{D1} (1615.1)	<u>N/A</u>	Impact loads (1607.8)
$S_{Ds}=0.38$		<u>N/A</u>	Misc. loads (Table 1607.6, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)
$S_{D1}=0.16$			
	Site class (1615.1.5)		

STATEMENT OF SPECIAL INSPECTIONS

PROJECT: Affordable Housing for the Peninsula Community
Peoples Regional Opportunity Program

LOCATION: Cumberland Avenue/South Anderson Street
Portland, Maine

OWNER: Peninsula Community, LP III
c/o Peoples Regional Opportunity Program
510 Cumberland Avenue
Portland, ME 04101

ARCHITECT OF RECORD: TFH Architects
100 Commercial Street
Portland, ME 04101


STRUCTURAL ENGINEER OF RECORD: Structural Design Consulting, Inc.
22 Oakmont Drive
Old Orchard Beach. ME 04064-4121

This Statement of Special Inspections is submitted as a condition of permit issuance in accordance with Section 1704 of the 2003 International Building Code. It includes a Schedule of Special Inspection Services applicable to this project as well as the name of the Special Inspector, and the names of other agencies intended to be retained for conducting these inspections.

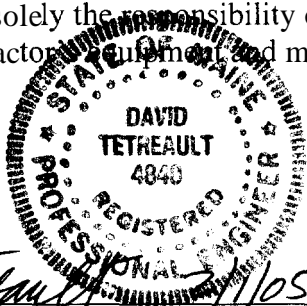
The Special Inspector shall keep records of all inspections listed herein, and shall periodically furnish Interim Special Inspection Reports to the Building Code Official and to the Architect of Record. All discrepancies shall be brought to the immediate attention of the Contractor for correction. If the discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Code Official and the Architect of Record. A Final Report of Special Inspections documenting completion of all special inspections and correction of all discrepancies noted in inspection records shall be submitted to the Building Code Official.

Job site safety is solely the responsibility of the Contractor. Materials and activities to be inspected are not to include the Contractor's equipment and methods used to erect or install the materials listed.

Prepared by:

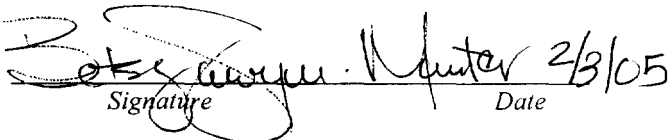


Signature Date 2/1/05



Owner's Authorization:

Building Code Official's Acceptance



Signature Date 2/3/05

Signature Date

SPECIAL INSPECTION AGENCIES

1. SPECIAL INSPECTOR:

David Tetreault, P.E.
Structural Design Consulting, Inc.
22 Oakmont Drive
Old Orchard Beach, ME 04064-4121

2. TESTING AGENCY:

Sebago Technics
One Chabot Street
Westbrook, ME 04098-1339

3. TESTING AGENCY:

Note The inspection and testing agents shall be engaged by the Owner or the Owner's Agent and not by the Contractor or Subcontractor whose work is being inspected or tested. Any conflict of interest shall be disclosed to the Building Official prior to commencement of work

SCHEDULE OF SPECIAL INSPECTION SERVICES

1. Soils and Foundations

Item	Agent No.	Scope
Subgrade Preparation	2	Observe excavation and footing bearing surface.
Structural Fill placement	2	Observe placement and compaction of structural fill.

2. Cast-In-Place Concrete

Item	Agent No.	Scope
Mix Design	1	Review suppliers mix design and laboratory test reports or strength tests.
Concrete Placement	1	Inspect concreting operations during placement.
Material Testing	2	Sample and test concrete for slump, air content, temperature and compressive strength
Concrete curing	1	Inspection and verification of specified curing techniques.

4. Wood Construction

Item	Agent No.	Scope
Materials	I	Review materials for conformance with Contract Documents.
Details	1	Review framing details for conformance with Contract Documents.



State of Maine
Department of Public Safety
Construction Permit



Reviewed
for Barrier
Free

14597

Sprinkled
Sprinkler Supervised

PROP PHASE III SCATTERED SITE AFFORDABLE HOUSING

Located at: **135 CUMBERLAND AVENUE**

PORTLAND

Occupancy/Use: APARTMENTS

Permission is hereby given to:

PENINSULA COMMUNITY LP III

510 CUMBERLAND AVENUE
PORTLAND, ME 04101

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.

No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the 24th of July 2005

Dated the 25th day of January A.D. 2005

Commissioner

Copy-3 Code Enforcement Officer

Comments:

Code Enforcement Officer
PORTLAND, ME

From: Sarah Hopkins
To: Marge Schmuckal
Date: Wed, Feb 16, 2005 1:12 PM
Subject: Re: 135 Cumberland Ave

I believe that we are still waiting for a PG. I am copying Kandi; she'll know for sure.

-s

>>> Marge Schmuckal 02/16/2005 12:50:33 PM>>>

Sarah,

This is PROP's 4 unit subdivision in the R-7 zone under your 2004-0165. We have a permit application but no stamped approved site plan. Can I get an approved plan? Is it ready to issue?

Thanks,\

Marge

From: Marge Schmuckal
To: Sarah Hopkins
Date: Wed, Feb 16, 2005 12:50 PM
Subject: 135 Cumberland Ave

Sarah,
This is PROP's 4 unit subdivision in the R-7 zone under your 2004-0165. We have a permit application but no stamped approved site plan. Can I get an approved plan? Is it ready to issue?
Thanks,
Marge

Cumberland & Anderson: Design Narrative

This is a re-submission of a previously approved project from August of 2002. This submission has been motivated by a re-evaluation of the program needs, specifically the unit bedroom quantities. There have also been some minor revisions to the design and construction through our experiences on the recently completed PROP housing projects. Since the prior approval, the siting and footprint have changed very little. The building has been designed to hold the corner of Cumberland and South Anderson. The scale and form are consistent with other buildings in the neighborhood.

The proposed development of this 4870 square foot parcel of land is located on the southeast corner of Cumberland and Anderson Streets and is comprised of one three story residential structure. The building will be of wood frame construction; prefabricated panels may be used in the construction. Each building will consist of three floors of "habitable" space with basement parking, mechanical and accessory uses.

The building will contain four dwelling units, 2 - two bedroom units, and 2 - three bedroom units. The exterior of the structure will be a combination of thin brick on exposed foundations, vinyl clapboard siding and PVC or 'Azek' white trim. Roofs will be long-life heavy-duty asphalt shingles with EPDM surfacing on "flat" portions.

The exterior design vocabulary is similar to the previous submission. We have broken down the mass of the buildings through the use of step backs, porches, penetrations and material detailing. This is similar to common design elements found on Munjoy Hill and around the City.

Landscaping will consist primarily of street trees and ground cover. Planting material will be coordinated with the City arborist's comments and plans for the neighborhood. We will also increase the landscape buffer to the adjacent property to the east and north through the use of fencing. At the time of our previous submission there was adequate off-site infrastructure including sanitary and storm sewer, water, electricity and natural gas. We are however in the process of updating all capacity letters.

Parking will be accommodate four cars under the structure and will be accessed along the northern side of the building. Street access is off of South Anderson Street with a curb cut. Current ordinance based on the project uses requires a total of 4 spaces; we have provided four spaces plus space a designated covered trash area.

No construction will begin without having approvals from the State Fire Marshall and the Maine State Housing Authority.

August 9, 2004

Chair Delogu and members of the Planning Board
City of Portland
Planning and Development Department
389 Congress Street
Portland, Maine 04101

Re: PROP – Cumberland & Anderson Street Housing

Dear Board Members,

We present for your review and approval this Site Plan and Subdivision Application, as required by Chapter 14 of the Land Use Code, for a four unit residential building on the corner of Cumberland & Anderson Street here in Portland. This project has been previously approved in an almost identical form, however this previous approval has lapsed due to circumstances beyond our control. In discussions with the Planning Staff we understand that a workshop will not be required, and that the project can be scheduled for the next available Public Hearing.

This project consists of 2 - two-bedroom and 2 - three bedroom residential dwelling units in a three-story building with a full basement. The building will be fully sprinklered with an NFPA 13R system. Further information describing the project is contained in the attached narrative.

Included along with this application are a boundary & topographic survey, a subdivision plan, building floor plans and elevations, and a written statement. Revised capacity letters are in process and should be available prior to the Public Hearing.

I look forward to hearing from you in response to this application. Thank you,

Sincerely,

A handwritten signature in black ink, appearing to read "David A. Merrill". The signature is fluid and cursive, with a large initial "D" and "M".

David A Merrill
TFH Architects



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life

www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

January 18, 2005

Betsy Sawyer Manter
PROP
510 Cumberland Avenue
Portland, ME 04101

139

RE: PROP 4-Unit Subdivision, Cumberland Avenue
ID #2002-0141, CBL #022-L-019

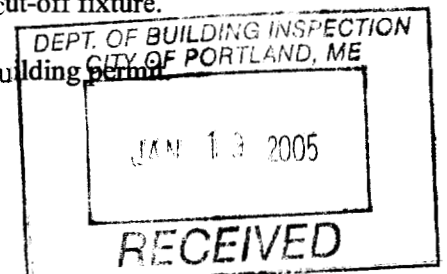
Dear Ms. Sawyer Manter:

On August 27, 2004, the Portland Planning Board voted 5-0 (Anton, Silk abstaining) to reapprove your application for a 4-unit Subdivision located at 135 Cumberland Avenue. The Board found that the application met the standards of the Subdivision and Site Plan ordinance of the Land Use Code.

The site plan approval was granted for the project with the following conditions:

A. Site Plan

1. that the plans be revised to change the 3 ft. timber walkway to 5 ft. wide to be reviewed and approved by staff.
2. that updated water and sewer capacity letters be obtained from Portland Water District and Portland Sewer Department to be submitted to staff, prior to issuance of a building permit.
3. That the applicant shall submit a landscaping plan to be reviewed and approved by the City Arborist.
4. that the applicant submit a photometric plan to staff to determine if the proposed lighting meets the City's technical standards and submit a lighting fixture which is a full cut-off fixture.
5. PROP shall submit a letter of financial capacity prior to issuance of a building permit.



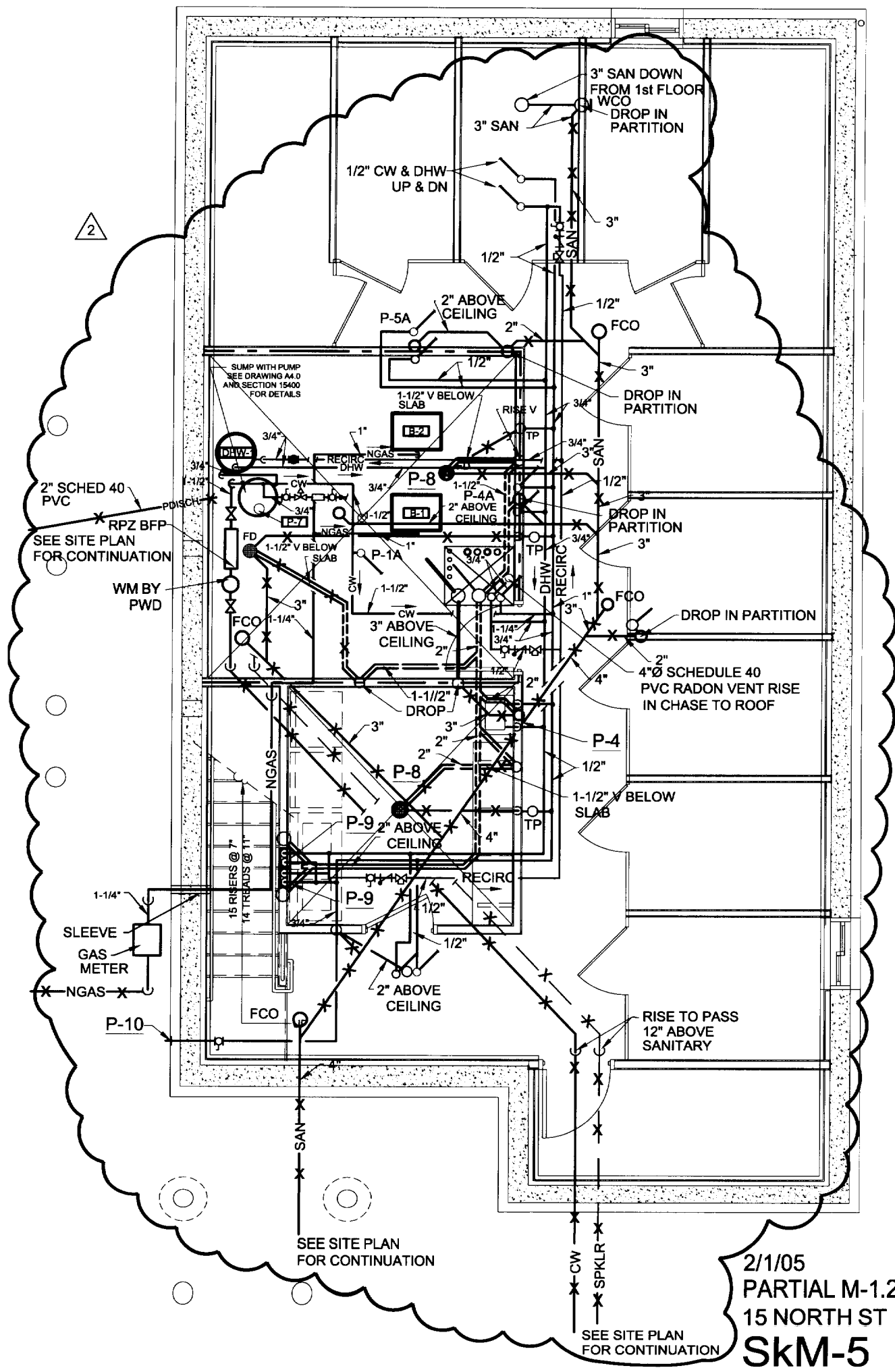
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- B. The Board voted 5-0 (Anton, Silk abstaining) that the plan is in conformance with the subdivision ordinance of the land use code.
- C. That the Planning Board also voted **5-0** (Anton, ~~Silk~~ abstaining) to waive the Technical Standards “if the estimated postdevelopment peak rate of stormwater runoff from the affected land is calculated to be greater than the predevelopment runoff peak rates, in any watershed within the boundaries of the affected land during any phase of development then a detention basin should be designed and constructed to maintain pre-development runoff peak rates from the site.
- D. The Planning Board also voted 5-0 (Anton, Silk abstaining) to waive the Technical Standards requiring the requirement for the provision of underground electric and telephone service.

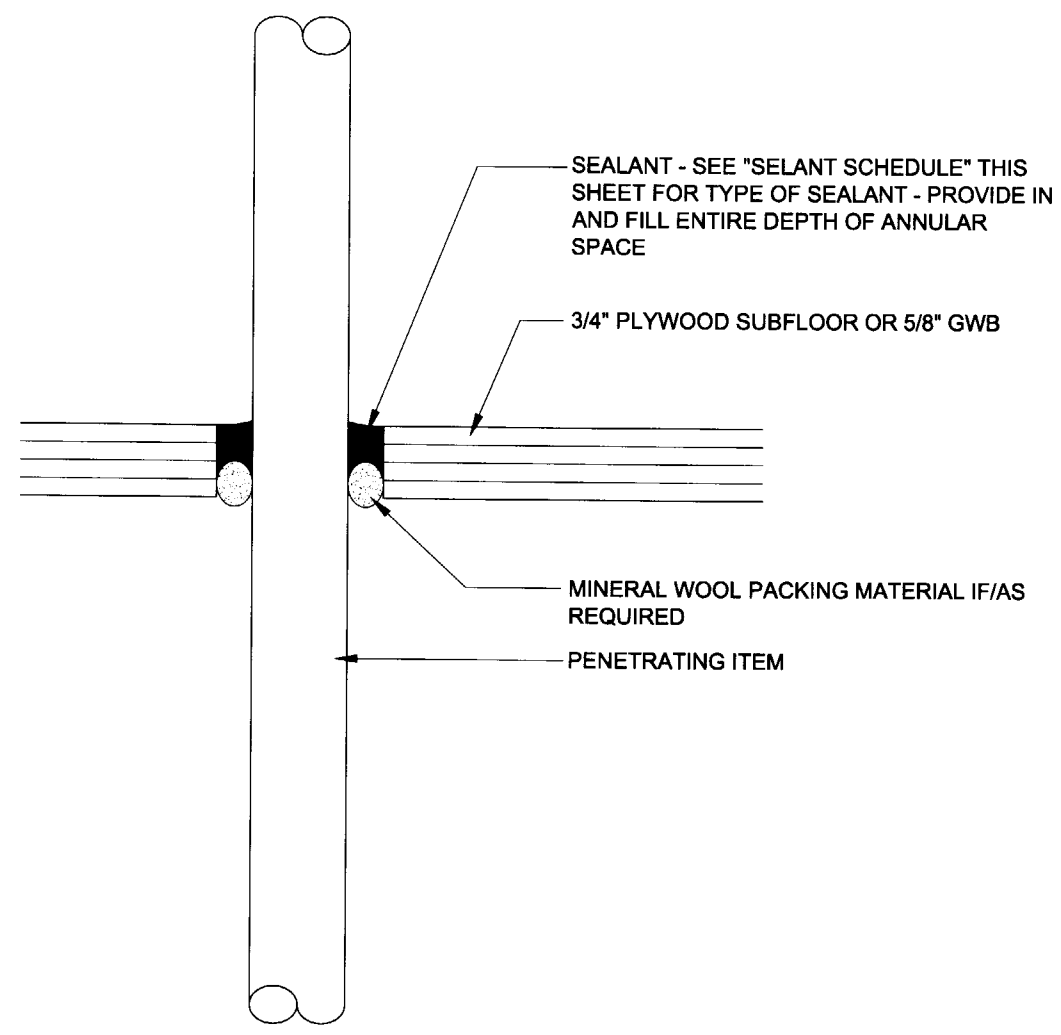
The approval is based on the submitted site plan and the findings related to subdivision and site plan review standards **as** contained in Planning Report #35-04, which is attached.

Please note the following provisions and requirements for all site plan approvals:

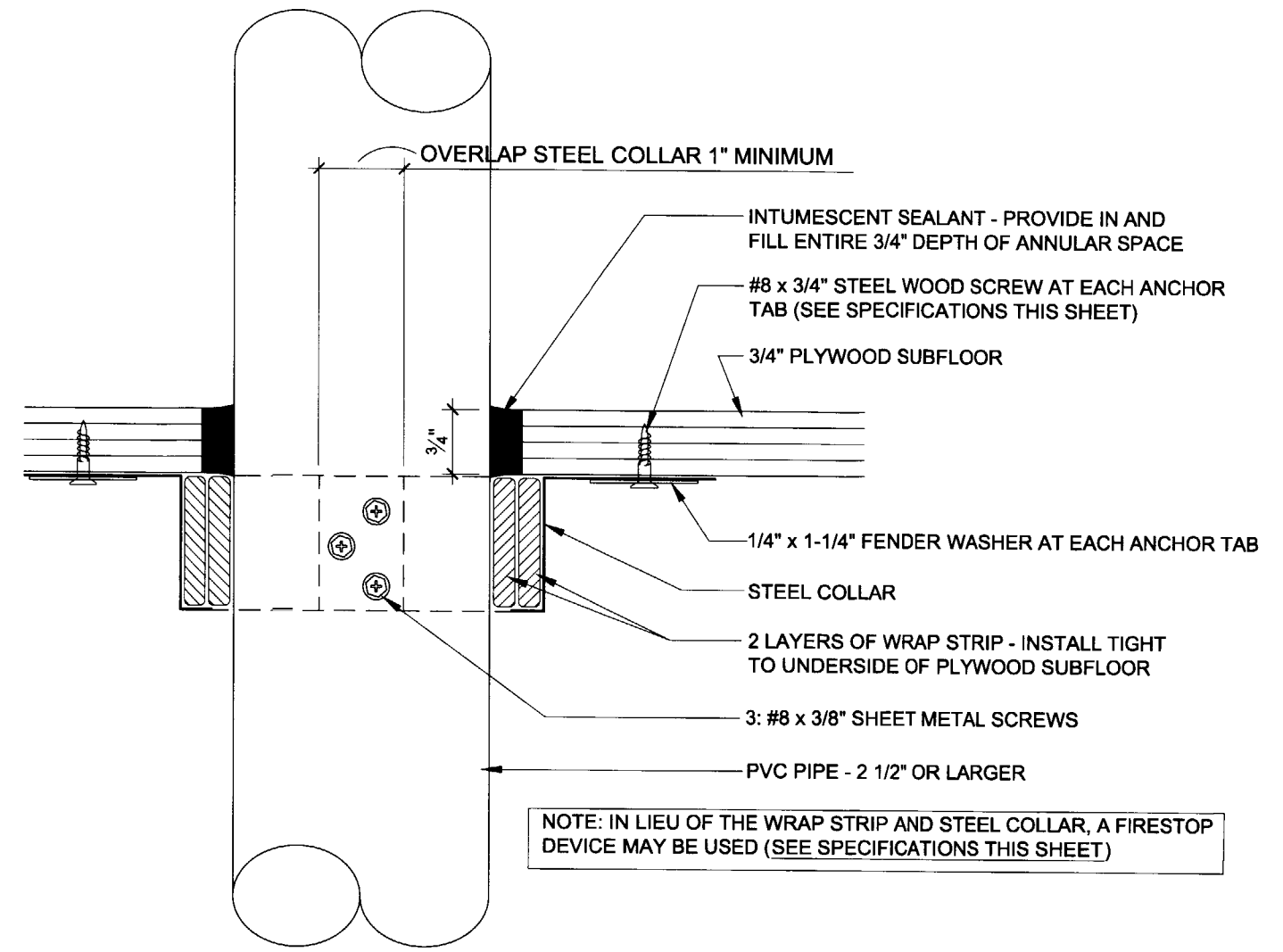
1. **A** performance guarantee covering the site improvements **as well as** an inspection fee payment of 2.0% of the **guarantee** amount and **7** final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. **If** you need to make any modificationsto the approved site plan, you must submit a revised site plan for **staff** review and approval.
2. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or **within** a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
3. **A** defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work’s representative and owner to review the construction schedule and critical **aspects** of the site work. **At** that time, the site/building contractor shall provide ~~three~~ (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor’s responsibility to arrange a mutually agreeable time for the preconstruction meeting.
5. If work will **occur** within the public right-of-way such **as** utilities, curb, sidewalk and driveway construction, a street opening permit(s) is **required** for your site. Please contact **Carol** Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland **are** eligible.).
6. The Development Review Coordinator must be notified five (**5**) working days prior to date required for final site **inspection**. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential **as** all site plan requirements must be completed and approved by **the** Development Review Coordinator prior to issuance of **a** Certificate of Occupancy. Please schedule any property closing with these requirements in mind.



2 BASEMENT
 M1.2 3/16" = 1'-0"



1 TYPICAL PENETRATION
SCALE: 6" = 1'-0"



2 DETAIL FOR 2 1/2" AND LARGER PVC PIPE
SCALE: 6" = 1'-0"

SPECIFICATIONS

WRAP STRIP: 1/4" THICK x 1 1/2" MINIMUM WIDTH INTUMESCENT MATERIAL WITH PLASTIC FILM FACING BOTH SIDES. TEMPORARILY SECURE WITH MASKING TAPE. SPECIFIED TECHNOLOGIES INC. (STI) "SpecSeal RED Wrap Strip" OR "SpecSeal BLU Wrap Strip" OR EQUAL.

FIRESTOP DEVICE: IN LIEU OF THE WRAP STRIP AND STEEL COLLAR, A FIRESTOP DEVICE MAY BE USED AS FOLLOWS:

FOR 3" PVC PIPE (3 1/2" O.D.): STI "SpecSeal LCC" COLLAR #LCC300

FOR 4" PVC PIPE (4 1/2" O.D.): STI "SpecSeal LCC" COLLAR #LCC400

DO NOT USE FIRESTOP DEVICE AT JOINTS (JOINT FLANGES) IN PIPE; PROVIDE WRAP STRIP AND STEEL COLLAR

STEEL COLLAR: WRAP STRIP MANUFACTURER'S STEEL COLLAR, FABRICATED FROM .016 INCH THICK GALVANIZED SHEET STEEL, WIDTH TO MATCH WRAP STRIP (1 1/2" MINIMUM), WITH 1 INCH x 2 INCH ANCHOR TABS AND RETAINER TABS. ANCHOR TABS TO BE SYMMETRICALLY OPPOSED AROUND COLLAR; PROVIDE 3 TABS FOR 2 1/2" AND 3" PIPE; PROVIDE 4 TABS FOR 4" PIPE.

INTUMESCENT SEALANT: ONE-PART, INTUMESCENT, LATEX ELASTOMER TESTED TO ASTM E 814. MINIMUM EXPANSION OF 3x AT 1000°F. 3M "FIRE BARRIER SEALANT CP 25WB+" OR EQUAL.

FIRESTOP SEALANT: SINGLE COMPONENT NONCOMBUSTIBLE FIRE RATED SEALANT TESTED TO ASTM E 814. TESTED TO 3000°F. "BOSS 136 FIRESTOP/DRAFT SEALANT" MANUFACTURED BY ACCUMETRIC, LLC., OR EQUAL.

SEALANT SCHEDULE:

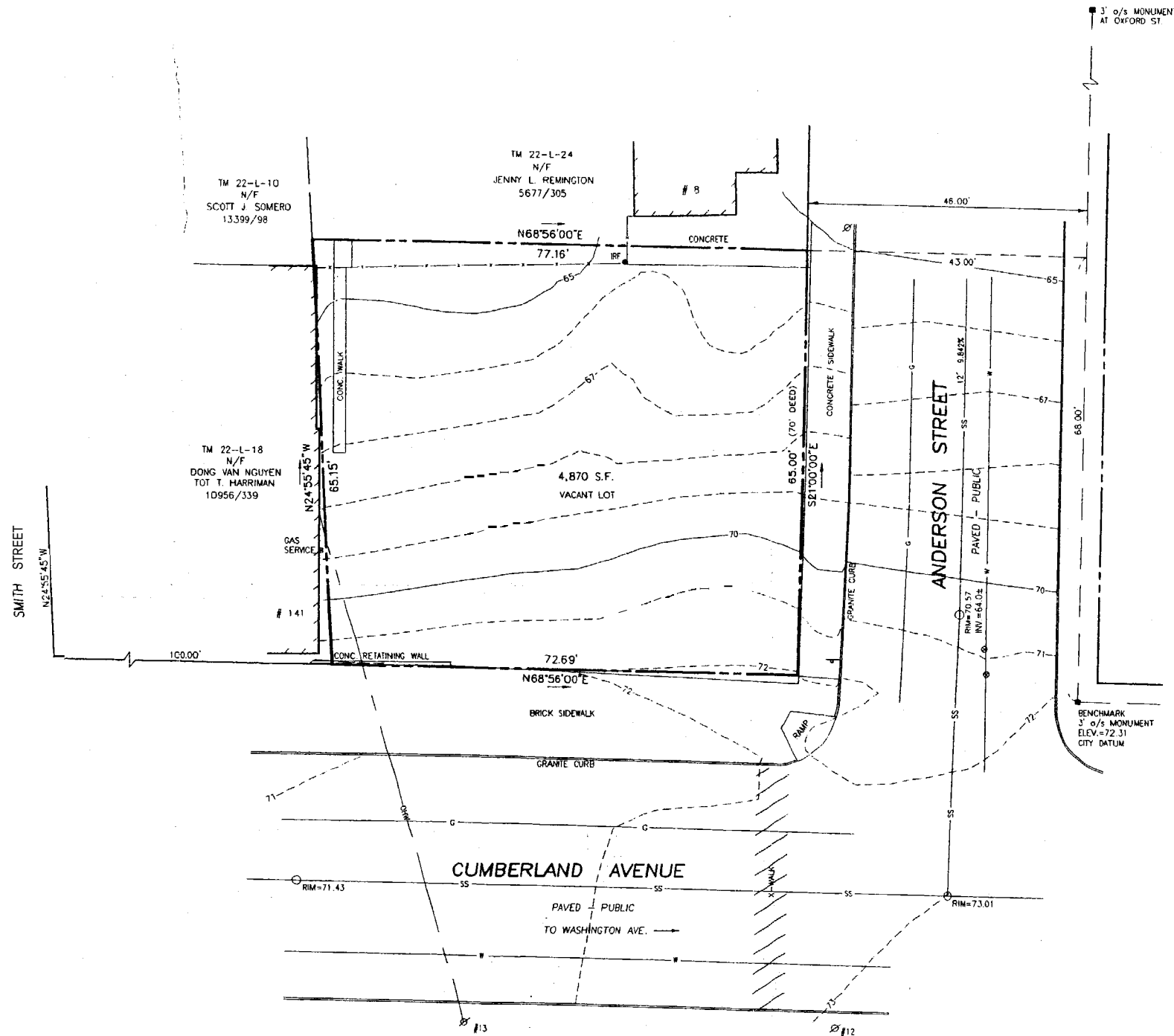
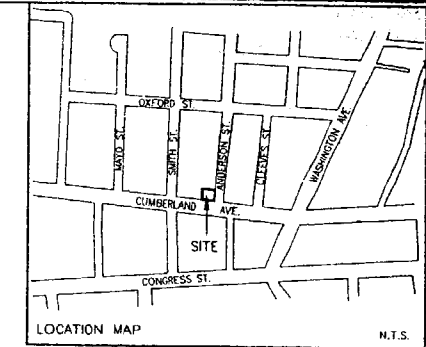
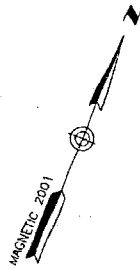
INTUMESCENT SEALANT: PROVIDE AT ALL PENETRATIONS THROUGH RATED CONSTRUCTION FOR PENETRATING ITEMS INCLUDING BUT NOT LIMITED TO: PVC PIPE; ROOF LEADER PIPES; GAS PIPES & LINES; SPRINKLER PIPES; ELECTRICAL & COMMUNICATIONS CABLES & WIRES; AND ALARM SYSTEM WIRES. DO NOT USE INTUMESCENT SEALANT AT DOMESTIC HOT WATER OR HYDRONIC HEATING SYSTEM PIPES.

FIRESTOP SEALANT: PROVIDE AT ALL PENETRATIONS THROUGH RATED CONSTRUCTION FOR PENETRATING ITEMS INCLUDING DOMESTIC HOT AND COLD WATER PIPES AND HYDRONIC HEATING SYSTEM PIPES.

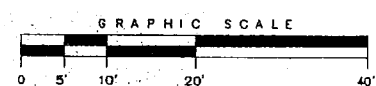
NOTE:

FOR LOCATIONS OF RATED CONSTRUCTION, SEE ARCHITECTURAL FLOOR PLANS AND SECTIONS

NOTE: IN LIEU OF THE WRAP STRIP AND STEEL COLLAR, A FIRESTOP DEVICE MAY BE USED (SEE SPECIFICATIONS THIS SHEET)



- LEGEND:**
- IRON ROD FOUND
 - UTILITY POLE
 - MANHOLE
 - SIGN
 - FENCE
 - CURB
 - OHW OVERHEAD WIRES
 - SS SANITARY SEWER
 - 72 1' CONTOUR



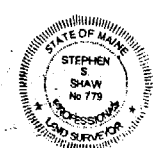
- NOTES:**
- OWNER OF RECORD: SCOTT SOMERO, BOOK 15824, PAGE 66.
 - THE SURVEYED PREMISES IS COMPRISED OF LOTS 19, 20 AND 21 ON CITY TAX MAP 22 SECTION L.
 - INVERT AND SLOPE OF SEWER IN ANDERSON STREET ARE AS SHOWN ON PORTLAND WATER DISTRICT PORTLAND SEWER SYSTEM INFILTRATION-FLOW ANALYSIS SYSTEM BASE MAPPING STUDY AREA IV DATED 1981 BY HUNTER-BALLEW ASSOCIATES.
 - THE SURVEYED PREMISES LIES WITHIN CITY OF PORTLAND ZONE R-6.
 - THE SURVEYED PREMISES MAY BE SUBJECT TO RIGHTS OF OTHERS IN A PASSAGEWAY.

CERTIFICATION:

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

DEC 18, 2001
DATE

Stephen S. Shaw
STEPHEN S. SHAW, PLS #779



STANDARD BOUNDARY & TOPOGRAPHIC SURVEY
ON
ANDERSON STREET & CUMBERLAND AVENUE
PORTLAND, MAINE
MADE FOR
SCOTT SOMERO
33 SMITH STREET, PORTLAND, MAINE

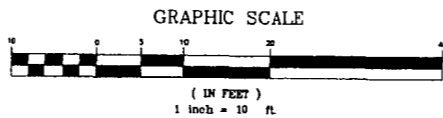
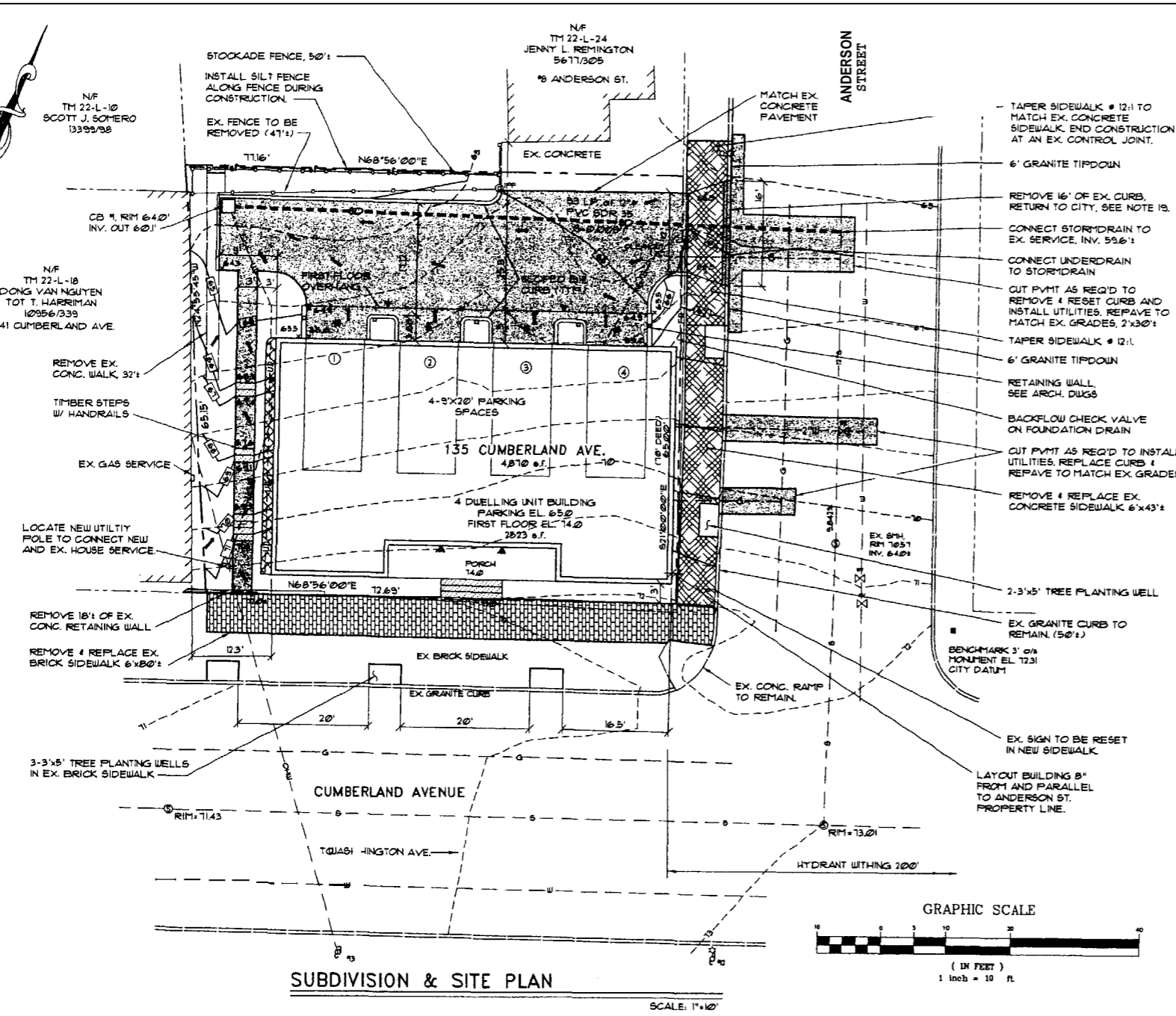
OWEN HASKELL, INC.
18 CASCO ST., PORTLAND, ME 04101 (207) 774-0484
PROFESSIONAL LAND SURVEYORS

Drwn By EC	Date DEC. 18, 2001	Job No. 2001-236P
Trace By JLW	Scale 1" = 10'	Drwg. No. 1
Check By SSS		
Book No. 933		

PLOT DATE: 7/25/02
FILE SCALE: 1"=10'
CAD FILE: 01417

LEGEND

EXISTING	PROPOSED
--- PROPERTY LINE	--- SLOPED BITUMINOUS CURB
--- ADJUTERS PROPERTY	--- CONTOURS
--- EDGE OF PAVEMENT	--- GAS LINE
--- CONTOURS	--- SANITARY SEWER
--- BUILDING CURB	--- STORM DRAIN
--- GAS LINE	--- WATER LINE
--- OHW	--- SILT FENCE
--- OVERHEAD WIRES	--- SPOT GRADE
--- SANITARY SEWER	--- CATCH BASIN
--- WATER LINE	--- WATER SHUT OFF
--- SEWER MANHOLE	--- WALL MOUNTED LIGHT
--- UTILITY POLE	--- CEILING MOUNTED LIGHT
--- SIGN	--- UTILITY POLE
--- FENCE	--- SURFACE DRAINAGE
--- BOUND FOUND	--- PARKING SPACE DESIGNATION
--- IRON PIPE FOUND	--- FENCE LINE
--- GATE VALVE	--- UNDERGROUND ELECTRIC
--- POLE MOUNTED LIGHT	--- FOUNDATION DRAIN
	--- UNDERDRAIN
	--- DRIPSTRIP
	--- BUILDING
	--- BITUMINOUS PAVEMENT
	--- BARK/MULCH
	--- BRICK SIDEWALK
	--- CONCRETE SIDEWALK
	--- TIMBER STEPS



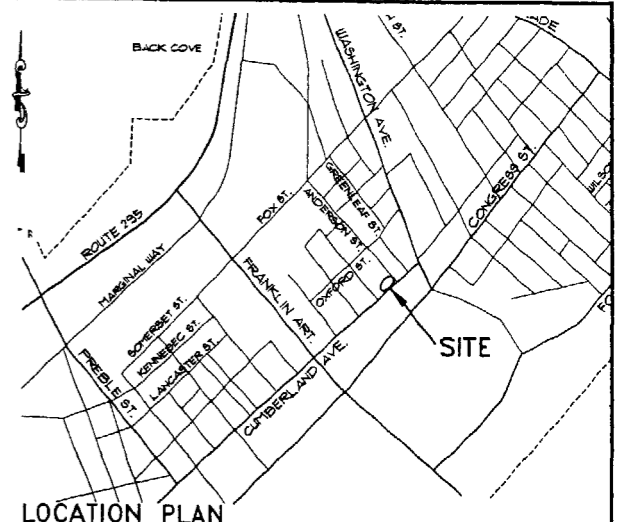
SUBDIVISION & SITE PLAN
SCALE: 1"=10'

GENERAL NOTES

- OWNER/DEVELOPER: PEOPLES REGIONAL OPPORTUNITY PROGRAM, 510 CUMBERLAND AVENUE, PORTLAND, MAINE 04101.
- ARCHITECT: TH ARCHITECTS, PORTLAND, MAINE.
- ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
- BOUNDARY AND TOPOGRAPHY TAKEN FROM "STANDARD BOUNDARY & TOPOGRAPHIC SURVEY ON ANDERSON STREET & CUMBERLAND AVENUE, PORTLAND, MAINE MADE FOR SCOTT SOMERS, 33 SMITH STREET, PORTLAND, MAINE" BY OWEN HASKELL, INC. PORTLAND, MAINE DATE DECEMBER 18, 2001. BENCHMARK ELEVATIONS SHOWN ARE BASED ON CITY DATUM.
- ZONE: EXISTING R6 RESIDENTIAL, TO BE REZONED TO ZONE R-7.
- TAX MAP REFERENCE: MAP 22, BLOCK L, LOTS 19, 20 & 21.
- TOTAL PARCEL: 4870 s.f.
- BUILDING SHALL HAVE A NUMBER CLEARLY VISIBLE FROM THE ROAD.
- NO OPEN SPACE OR PUBLIC USE AREA ARE INCLUDED IN THIS SUBDIVISION.
- RESIDENTIAL UNITS TO BE SERVICED BY PUBLIC GAS, SEWER AND WATER.
- POWER, TELEPHONE AND CABLE ARE TO BE OVERHEAD.
- TRASH WILL BE STORED IN BARRELS IN TO THE PARKING AREA FOR COLLECTION BY PROP. PERSONNEL.
- CALL DIG-SAFE (1-800-725-4377) PRIOR TO BEGINNING WORK.
- SOILS, AS SHOWN IN "SOIL SURVEY CUMBERLAND COUNTY, MAINE" PUBLISHED BY SOILS CONSERVATION SERVICE, ARE CLASSIFIED AS HINCKLEY SOILS (3 % - 8% SLOPES).
- OWNER IS TO REMOVE SNOW FROM THE SITE AS NEEDED.
- EXISTING SIDEWALKS OR CURBS DAMAGED DURING CONSTRUCTION ARE TO BE REPAIRED TO CITY STANDARDS.
- ALL UTILITY SERVICE CONNECTIONS PROPOSED WITHIN CITY STREETS ARE TO BE INSPECTED BY THE INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTLAND WHERE APPLICABLE.
- SEWER SERVICE CONNECTIONS WITHIN THE STREET RIGHT-OF-WAY SHALL REQUIRE A STREET OPENING PERMIT FROM PUBLIC WORKS.
- ANY CURBING TO BE REMOVED THAT IS NOT REUSED REMAINS THE PROPERTY OF THE CITY OF PORTLAND. CURBING THAT IS REMOVED AND NOT REUSED WILL BE TAKEN TO THE CITY'S OUTER CONGRESS STREET STOCKYARD.
- LANDSCAPE DESIGN BY ANTHONY MUENCH, LANDSCAPE ARCHITECT, PORTLAND, MAINE.

ZONING REQUIREMENTS

- ZONE: R-7 - COMPACT URBAN RESIDENTIAL OVERLAY ZONE
PERMITTED USES: RESIDENTIAL USES AS PERMITTED IN THE R-6 ZONE THAT COMPLY WITH THE FOLLOWING DIMENSIONAL REQUIREMENTS:
- MINIMUM LOT SIZE: NONE
 - MINIMUM STREET FRONTAGE: NONE
 - MINIMUM YARD DIMENSIONS: NONE
- NONE, EXCEPT THAT ON LOTS OR PORTIONS OF LOTS WHICH ABUT A LOT UNDER SEPARATE OWNERSHIP WITH EXISTING RESIDENTIAL DEVELOPMENT, THE SIDE OR REAR SETBACKS OF THE R-6 ZONE SHALL APPLY. IN AREAS ADJACENT TO SUCH ADJUTING RESIDENTIAL LOT, IN NO CASE, HOWEVER SHALL THIS PROVISION REQUIRE A SETBACK SUCH THAT THE DISTANCE BETWEEN THE EXISTING RESIDENTIAL BUILDING AND THE PROPOSED NEW RESIDENTIAL STRUCTURE EXCEED THE COMBINED SETBACKS OF THE RESPECTIVE ZONES.
- ABUTTING R-6 YARD REQUIREMENTS:
 REAR YARD: 20 FEET
 SIDE YARD: 10 FEET
 3 STORY STRUCTURE: THE WIDTH OF ONE SIDE YARD MAY BE REDUCED ONE FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN 10 FEET.
- MAXIMUM LOT COVERAGE: 100%
 - MAXIMUM RESIDENTIAL DENSITY: 125 s.f. PER DWELLING UNIT
 - MAXIMUM BUILDING HEIGHT: 30 FEET
- PARKING: 1 PARKING SPACE PER DWELLING UNIT



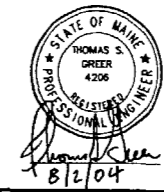
LOCATION PLAN
SCALE: 1"=1000'
CITY OF PORTLAND
SITE PLAN AND SUBDIVISION NOTES

- LANDSCAPING SHALL MEET THE "ARBORETCULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TYPEDOWN RAMP AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION. BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- SUBDIVISION AT THE TIME OF APPROVAL IS DEFINED AS "SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSE OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS."

SUBDIVISION PLAN, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

DATE

3	8/2/04	REV'D BUILDING FOOTPRINT
2	9/4/02	CHANGED ONSITE WIRE UTILITIES TO UNDERGROUND
1	7/26/02	REV'D PER CITY REVIEW
REV.	DATE	DESCRIPTION
PENINSULA COMMUNITY LP II 510 CUMBERLAND AVE., PORTLAND ME		
CUMBERLAND STREET PORTLAND, MAINE		
SUBDIVISION PLAN		
SCALE: AS SHOWN	DRN BY: NRA/JDC	C1
DATE: JUNE 18, 2002	DESG # TSG	
PROJECT: 02163	CHK BY: TSG	



Cumberland Avenue - South Anderson Street
 PROP FAMILY HOUSING
 PORTLAND, MAINE

TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6141
 ARCHITECTURE PLANNING

CONSULTANTS:

DATE: 08/02/04

PROJECT No. 0203

DRAWN BY: SA

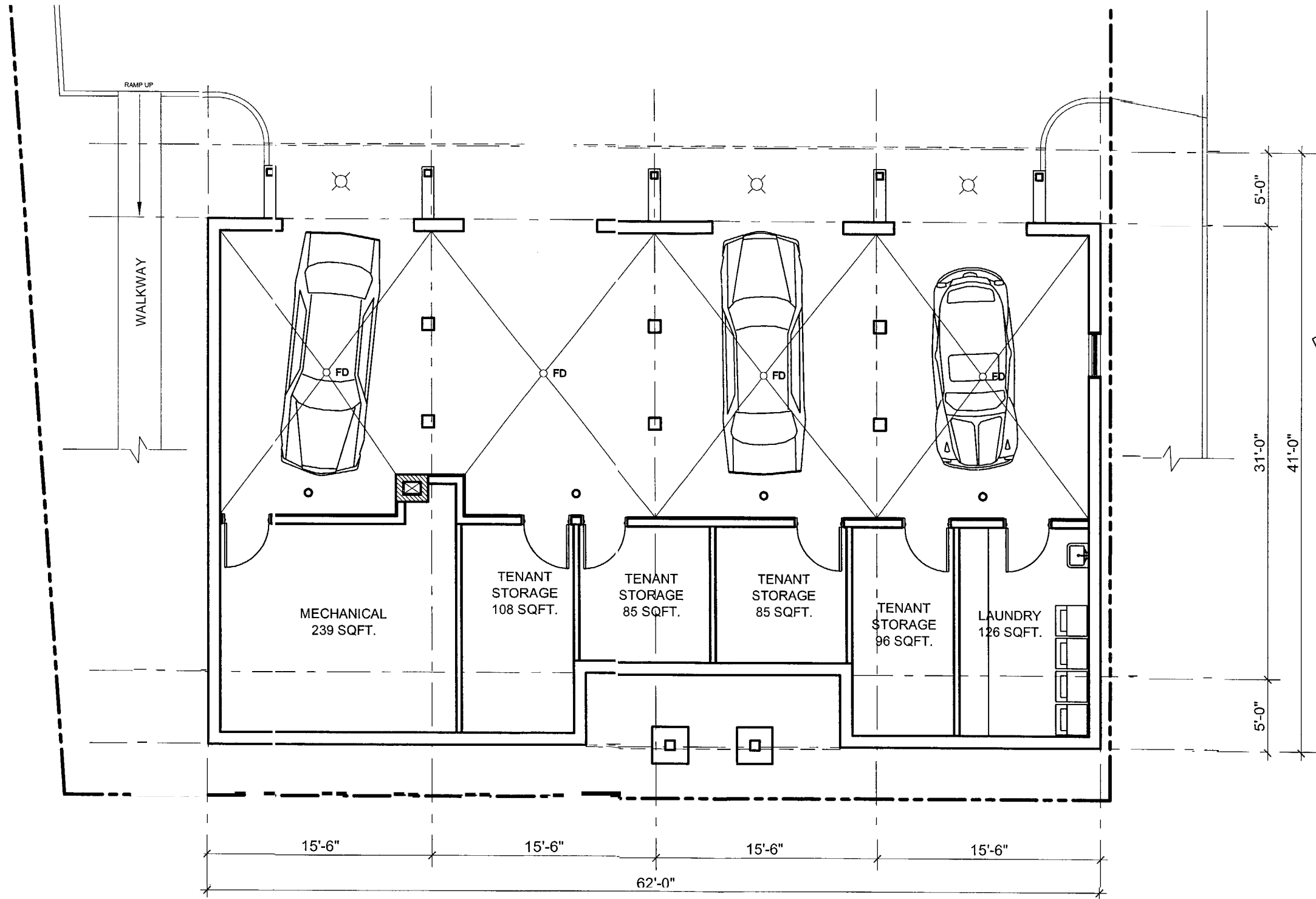
CHECKED BY: TST

SCALE: NOTED

SHEET TITLE:

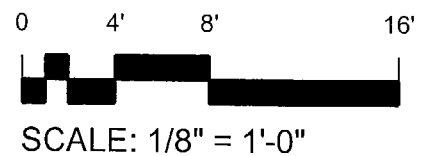
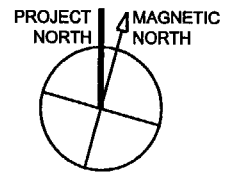
BASEMENT
 FLOOR PLAN

A2.0



PROGRESS PRINT ONLY
 Not for Construction

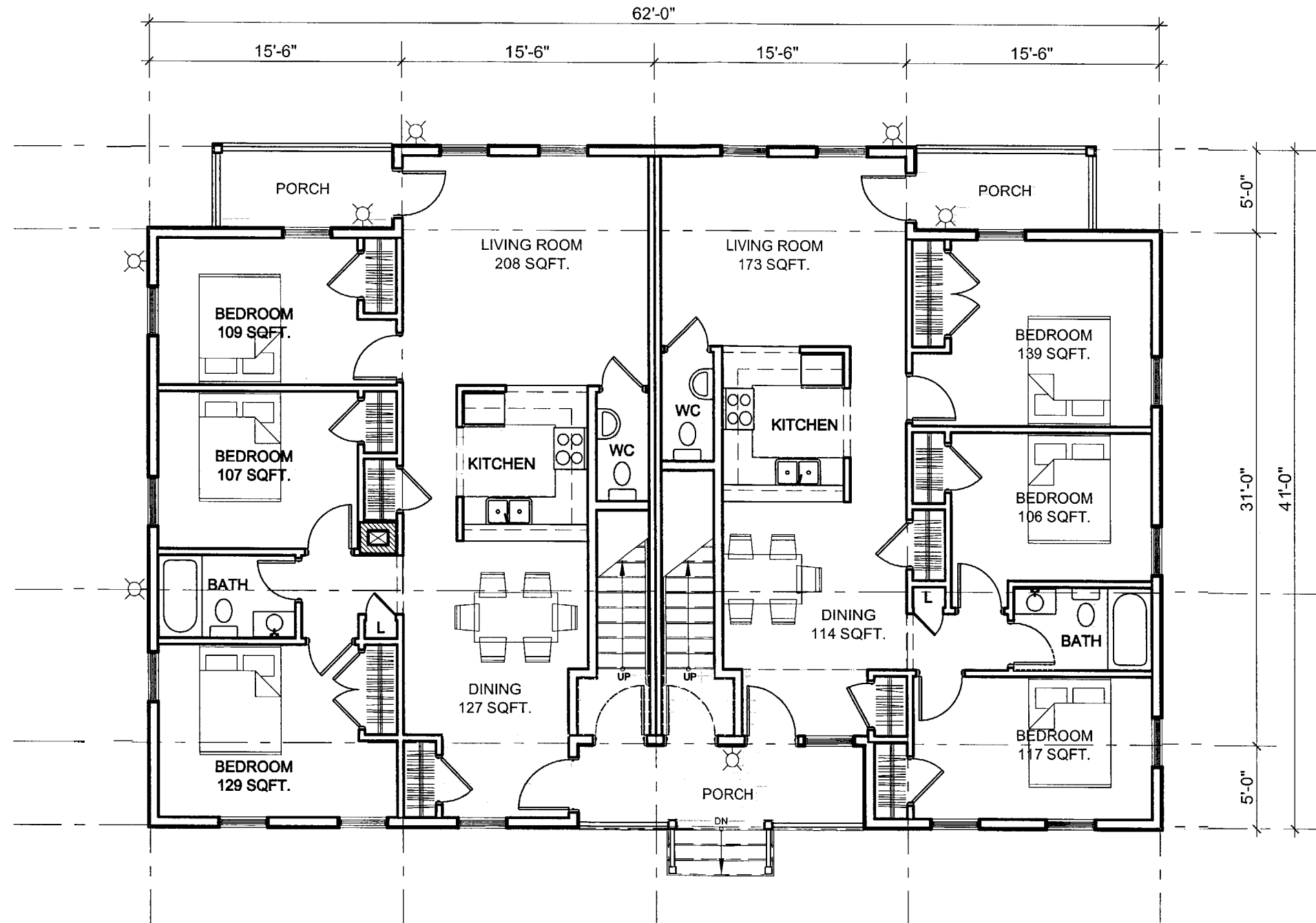
1 BASEMENT FLOOR PLAN
 A2.0 1/8" = 1'-0"



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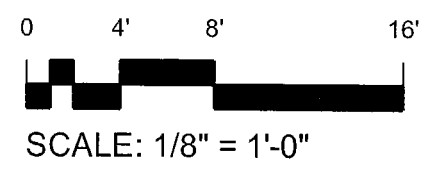
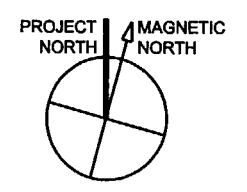
Cumberland Avenue - South Anderson Street

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PORTLAND, MAINE



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1 1ST FLOOR PLAN
A2.1 1/8" = 1'-0"



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CONSULTANTS:

DATE: 08/02/04

PROJECT No. 0203

DRAWN BY: SA

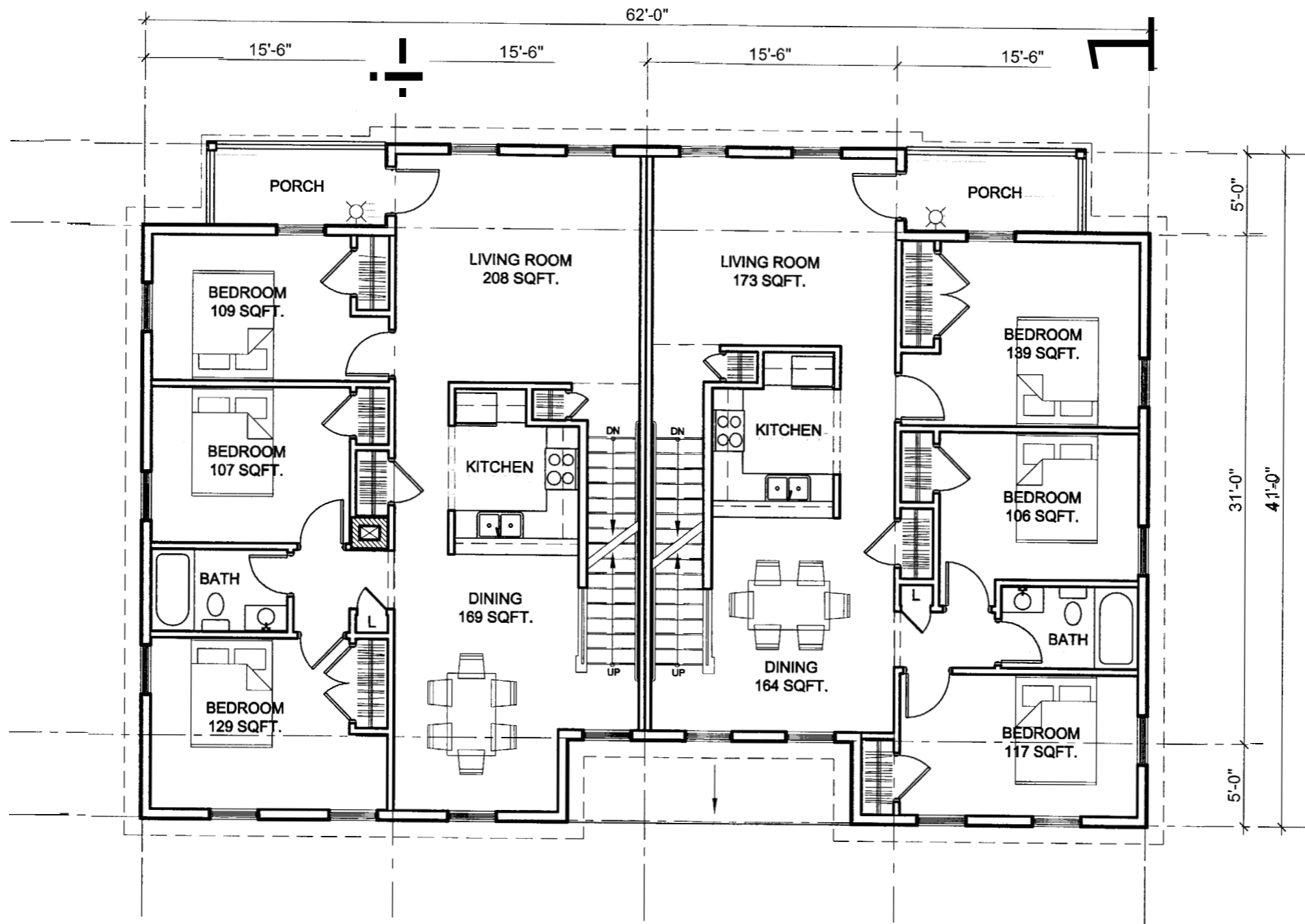
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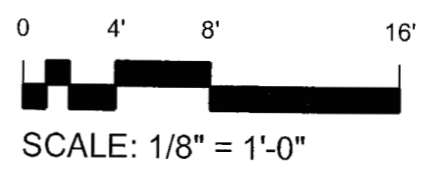
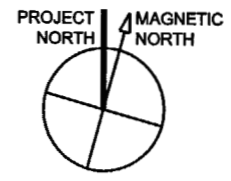
BASEMENT
FLOOR PLAN

A2.1



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1 2ND FLOOR PLAN
A2.2 1/8" = 1'-0"



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CONSULTANTS:

DATE:	08/02/04
PROJECT No.	0203
DRAWN BY:	SA
CHECKED BY:	TST
SCALE:	NOTED
SHEET TITLE:	SECOND FLOOR PLAN

A2.2

1:00, TFH Project\PRG\0303_Cumberland - South Anderson Street\030303.dwg, 08/02/04 03:48:24 PM

Cumberland Avenue - South Anderson Street
PROP FAMILY HOUSING
PORTLAND, MAINE



TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:

DATE: 08/02/04

PROJECT No. 0203

DRAWN BY: SA

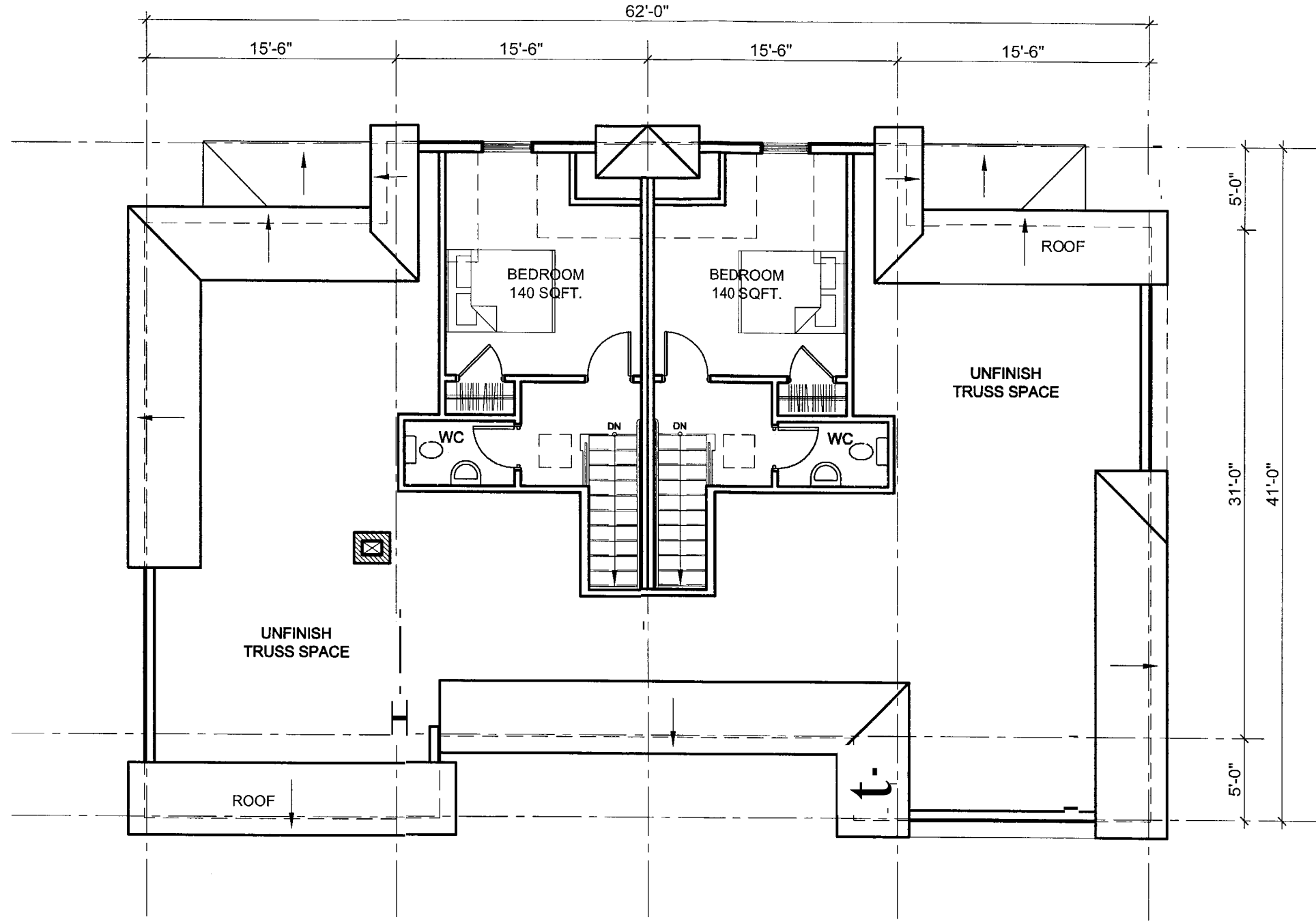
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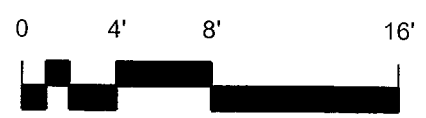
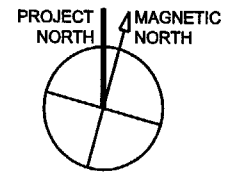
THIRD
FLOOR PLAN

A2.3

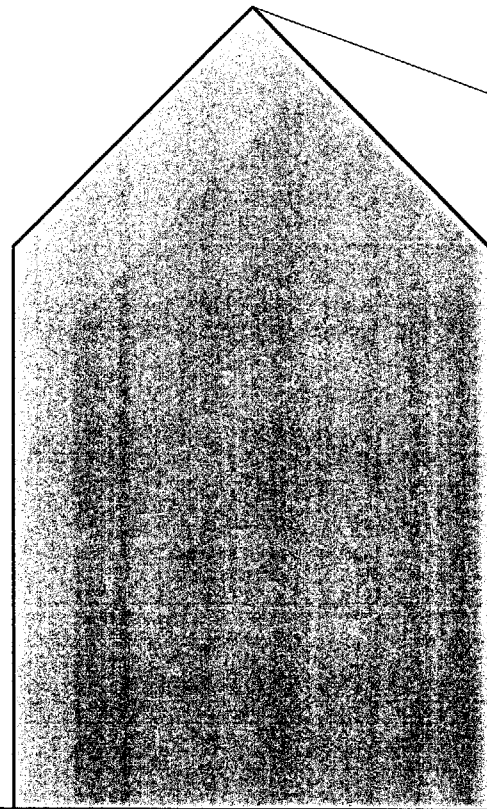


PROGRESS PRINT ONLY
Not for Construction

1 3RD FLOOR PLAN
A2.3 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



EXISTING ADJACENT BUILDING

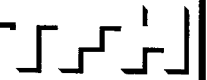


1 SOUTH ELEVATION
A3.1 1/8" = 1'-0"

PROGRESS PRINT ONLY
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Cumberland Avenue - South Anderson Street

PROP FAMILY HOUSING
PORTLAND, MAINE



FH ARCHITECTS
10 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:

DATE: 08/02/0

PROJECT # 0203

DRAWN BY: SA

CHECKED BY: TST

SCALE: NOTED

SHEET TITLE:
ELEVATION

A3.1

Cumberland Avenue - South Anderson Street

PROP FAMILY HOUSING
PORTLAND, MAINE



EXISTING ADJACENT
BUILDING

1 NORTH ELEVATION
A3.3 1/8" = 1'-0"



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ARCHITECTURE PLANNING

CONSULTANTS:

DATE: 08/02/04
PROJECT No. 0203
DRAWN BY: SA
CHECKED BY: TST
SCALE: NOTED

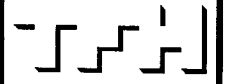
SHEET TITLE:
ELEVATION

PROGRESS PRINT ONLY
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A3.3

Cumberland Avenue - South Anderson Street

PROP FAMILY HOUSING
PORTLAND, MAINE



TFH ARCHITECTS
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CONSULTANTS:

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PROJECT No. 0203

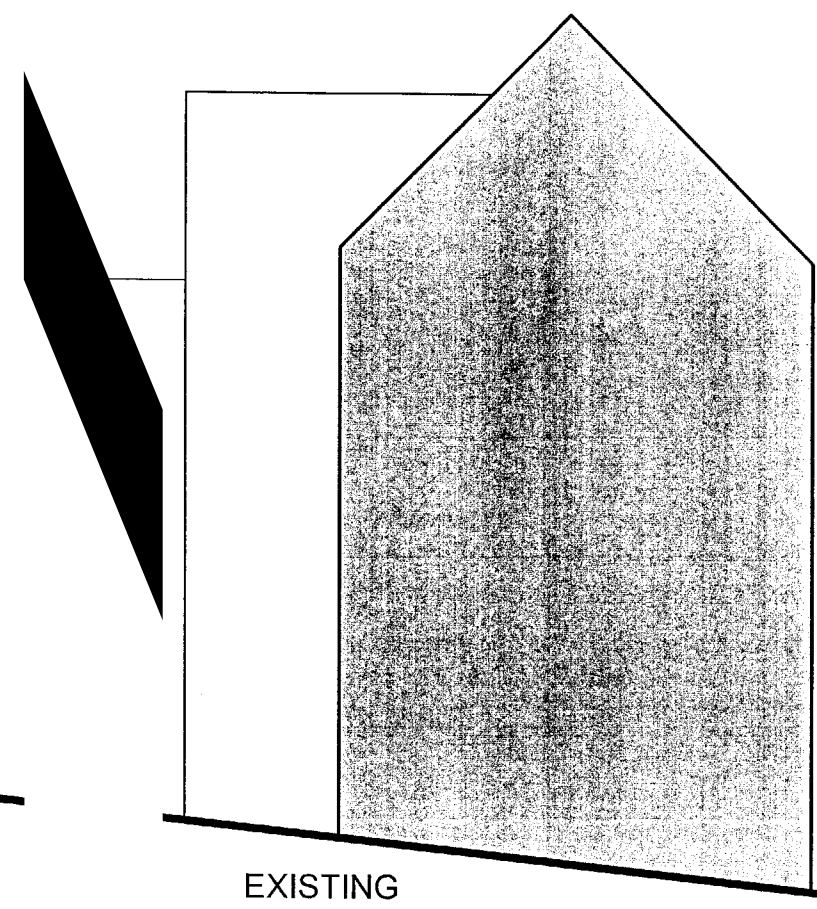
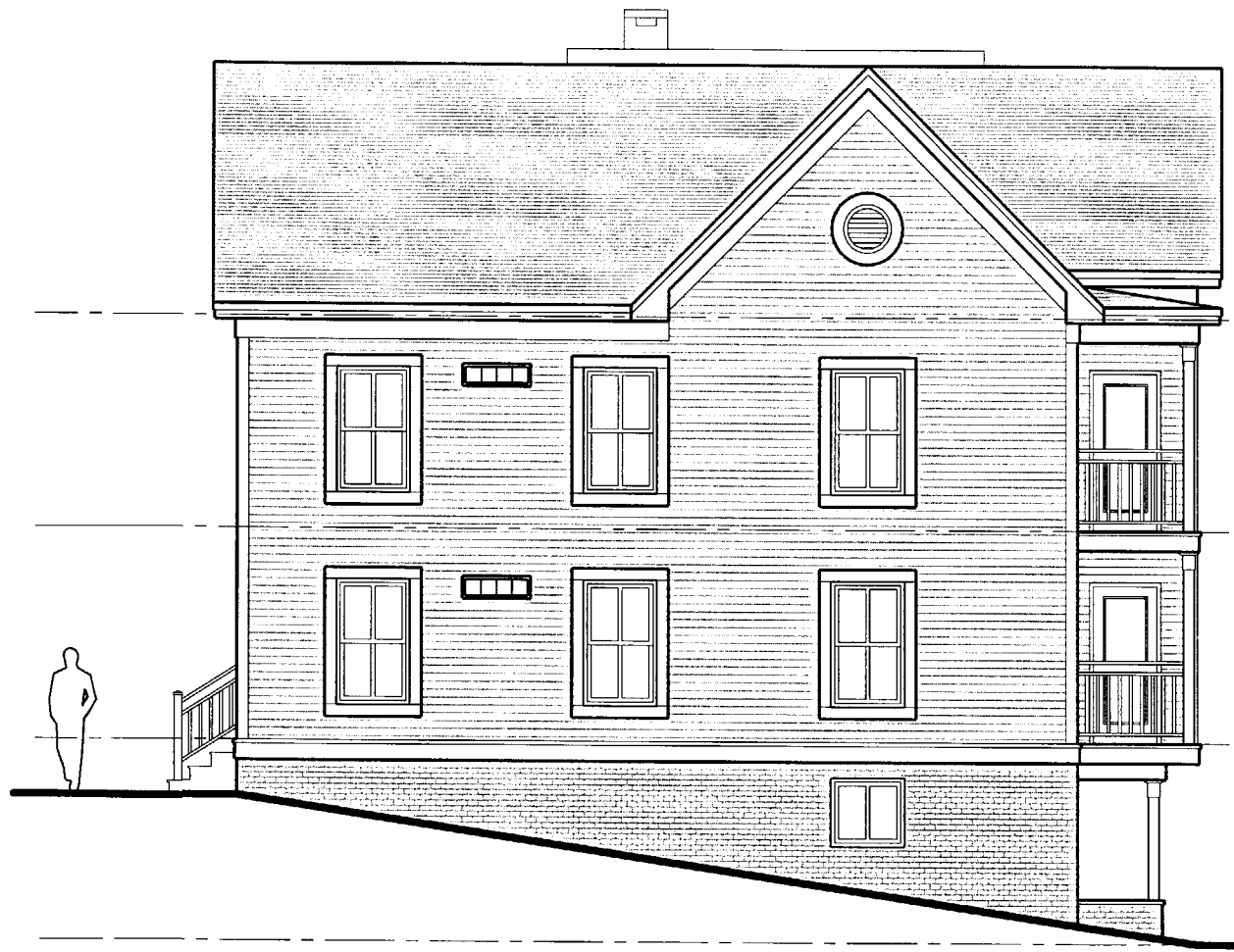
DRAWN BY: SA

CHECKED BY: TST

SCALE: NOTED

SHEET TITLE:

ELEVATION



EXISTING
ADJACENT HOUSE

PROGRESS PRINT ONLY
Not for Construction

A3



CITY OF PORTLAND, MAINE
Department of Building Inspections

2/7 2005

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (IL) ___ Plumbing (I5) ___ Electrical (I2) ___ Site Plan (U2) ___

Other _____

CBL: _____

Check #: _____

Total Collected \$ _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy