

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMITPermit Number: 090868
PERMIT ISSUEDPlease Read
Application And
Notes, If Any,
Attached

This is to certify that Fowler-greaves Steven & Fowler & Construction
 has permission to rebuild third floor with roof - sprink - bldg
 AT 35 Mayo St BLD 022 1019001

City of Portland

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CRPT. N. Lantieri

Health Dept. _____

Appeal Board _____

Other _____

Department Name

James Burke 10/23/09
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0868	Issue Date:	CBL: 022 I019001
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Location of Construction: 35 Mayo St	Owner Name: Fowler-greaves Steven &	Owner Address: 35 Mayo St	Phone: 207-314-6969
Business Name:	Contractor Name: Fowler & Greaves Construction	Contractor Address: 661 Allen Ave Portland	Phone: 2073146469
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: Three Family - see permit #09-0432 for demolition of thrid floor walls and roof	Proposed Use: Three Family / rebuild third floor with roof - sprinkler building	Permit Fee: \$820.00	Cost of Work: \$80,000.00	CEO District: 1
Proposed Project Description: rebuild third floor with roof - sprinkler bldg		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions	INSPECTION: Use Group: R-2 Type: SB IPC-2003	
		Signature: <i>(Signature)</i>	Signature: <i>JMB 10/29/09</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: gg	Date Applied For: 08/12/2009	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <i>using 14-436(a) uses 49% of 50% Allowed</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>OK - with conditions</i> <i>9/22/09</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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PERMIT ISSUED

OCT 29 2009

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**
- Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

Date



Signature of Inspections Official

Date

10/29/09

Jeanie Bourke - 35 Mayo

From: Jeanie Bourke
To: jossie@cad-de-tech.com
Date: 9/16/2009 9:54 AM
Subject: 35 Mayo

I think this covers it:

- * ~~STC ratings - UL designs walls and F/C~~ only 35 10/29/09 EK
 - east wall design - 0'-3' to PL see table 602 and Sec.704.4
 - parapet Sec. 704.11 exception 4(4.1)
 - projections Sec. 704.2, 704.2.3
- * fire alarm Sec.907.2.9
- * east side windows existing and new allowed to have sprinkler protection in lieu of fire rating Table 704.8
- means of egress table 1018.2 - 1 exit, egress windows required or 50' travel distance
- * window schedule - u factors
- tempered glazing stairwell
- basement floor plan showing stair enclosure - storage - F/L SR
- 3rd floor plan is not correct at stairwell
- chimney clearances, draft stopping - *Removed*
- ? • any other chase or shaft?

△
 scaled,
 54.6'
 Needs 2
 Egress Doors

Jeanie Bourke
 Code Enforcement Officer/Plan Reviewer

City of Portland
 Planning & Urban Development Dept./ Inspections Division
 389 Congress St. Rm 315
 Portland, ME 04101
jmb@portlandmaine.gov
 (207)874-8715

Jeanie Bourke - Re: Fwd: 35 Mayo for Jeanie Bourke

From: Jeanie Bourke
To: Keith Gautreau
Date: 10/14/2009 8:09 AM
Subject: Re: Fwd: 35 Mayo for Jeanie Bourke

Yes, our code allows a step up at a residential door....so you are ok that the elevation will not be the same at either side of the door?

>>> Keith Gautreau 10/13 9:42 PM >>>

Jeanie,

So a second door needed to be added into the stairwell because of travel distance? Holy cow!! I think I would be ok with that top stair being a landing seeing how the door swings into the apartment.

What do you think?

Keith

>>> Jeanie Bourke 10/09 9:46 AM >>>

Keith, take a look at this new stair configuration to meet the 7/11....there will be a step up into the unit at the second door that is required by IBC due to travel distance with one egress exit. (John, I did confirm this with ICC technical support).

IBC Sec. 1008.1.4(1) Floor Elevations exception allows a different elevation at doors serving individual dwelling units in R-2 & 3 provided that the door does not swing over the top step. (In this case the top step at the door is really a landing).

John....Is there a step at the midline of each landing, or is the whole landing at the doors the same elevation? Also, on the first floor landing, please indicate that there is really a wall by the 2nd egress door or show a partial stair as it gets to the next level....it is confusing to see the whole stair opening.

Please provide a section showing that this will meet the 6'-8" headroom requirement.

Thanks

>>> "John Ossie" <jossie@cad-de-tech.com> 10/7/2009 1:28:35 PM >>>

Hi Jeanie,

Please take a look at the attached PDFs.

I needed to add one additional tread and riser to the stairway.



City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0868	Date Applied For: 08/12/2009	CBL: 022 1019001
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Location of Construction: 35 Mayo St	Owner Name: Fowler-greaves Steven &	Owner Address: 35 Mayo St	Phone: 207-314-6969
Business Name:	Contractor Name: Fowler & Greaves Construction	Contractor Address: 661 Allen Ave Portland	Phone: (207) 314-6469
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Three Family / rebuild third floor with roof - sprinkler building	Proposed Project Description: rebuild third floor with roof - sprinkler bldg
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 08/28/2009

Note: **Ok to Issue:**

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a three (3) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 10/29/2009

Note: **Ok to Issue:**

- 1) All equipment that requires pressure relief valves shall be plumbed to an approved drain per the IMC 2003 and ME State Plumbing codes.
- 2) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work. APPROVED CONSTRUCTION PLANS STAMPED 10/29/09 SUPERSEDE ALL OTHER PLANS.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 09/02/2009

Note: **Ok to Issue:**

- 1) The Stairway must comply with NFPA 101 30.2.4.4 (single exit)
- 2) A separate Sprinkler System Permit is required per the Fire Department.
- 3) Sprinkler protection shall be maintained.
Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
- 4) All means of egress to remain accessible at all times
- 5) The Sprinkler system shall be reviewed by a licensed contractor[s] for code compliance.
Compliance letters are required.
- 6) The sprinkler system shall be installed in accordance with NFPA 13R.
- 7) The entire structure shall comply with NFPA 101 "New Apartments"
Compliance shall be insured prior to the issuance of a Certificate of Occupancy.
- 8) All construction shall comply with NFPA 101

Location of Construction: 35 Mayo St	Owner Name: Fowler-greaves Steven &	Owner Address: 35 Mayo St	Phone: 207-314-6969
Business Name:	Contractor Name: Fowler & Greaves Construction	Contractor Address: 661 Allen Ave Portland	Phone (207) 314-6469
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Comments:

8/13/2009-mes: I had to re-do the permit - information was inaccurate.

8/28/2009-mes: under 14-436(a) using 49% out of the 50% allowed

9/10/2009-jmb: Spoke to Steve F-G about the details and code compliance. He will have John O. Call to set up a meeting to review for revisions for next week.

9/16/2009-jmb: Met with John O. And Steve F-G to review code details, revisions will be submitted.

10/1/2009-jmb: Received revisions from John Ossie

10/5/2009-jmb: Spoke with John O. About the items from the original checklist that need more detail or are missing information. Also noted that the new interior stairs are designed to the IRC code. He will revise, may have to do a bumpout.

10/6/2009-jmb: John O. Called, he will try to fit it by widening the opening side to side.

10/8/2009-jmb: John O. Emailed a few revised sketches to review, I emailed back comments and cc'd Keith G. For his input

10/9/2009-jmb: Received 2nd revisions from John O.

10/14/2009-jmb: Left a vmsg with John O. As the plans don't appear to be revised or there is missing information.

10/22/2009-jmb: Some phone tag....spoke with John O. About missing information, he will submit for review.

10/27/2009-jmb: John O. Submitted 3rd revisions.

10/28/2009-jmb: Left vmsg with John O. As the wall type 1a has not been updated to meet 50 stc and question on the floor framing for the stair opening that shifted toward the center of the building and the headers/beams and bearing.

10/29/2009-jmb: Received email from John O. With new wall type at stairwell walls and structural changes at the stairwell opening due to expanding it to meet 7/11 codes. Ok to issue

If I add a step at the center of the landing at floor level I can achieve the required 7/11 stairs.

Anyone using the second egress door would have to step down from the door then down the stairs.

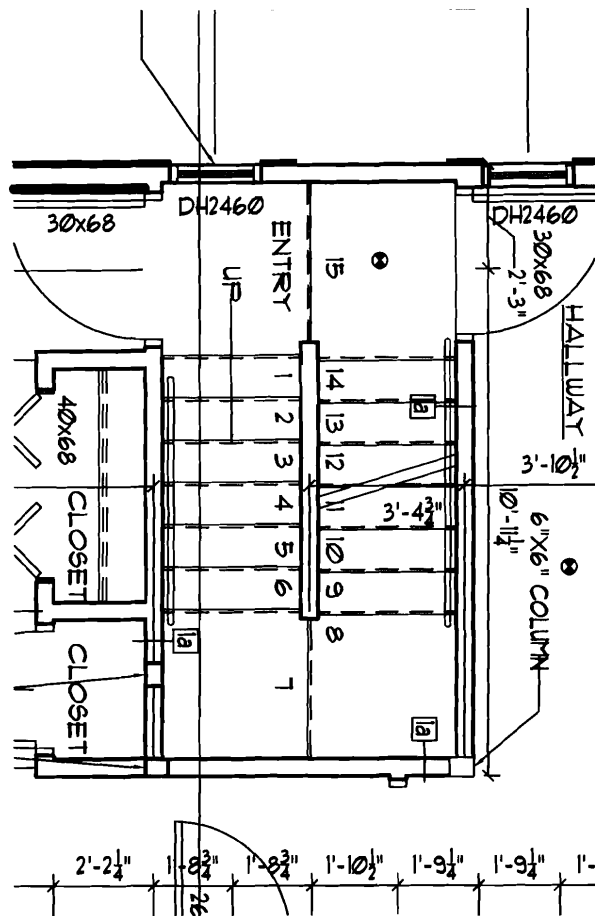
Does this work?

Regards,

John Ossie

Bus_cards 3

RECEIVED
OCT 8 2009
Dept. of Building Inspections
City of Portland Maine



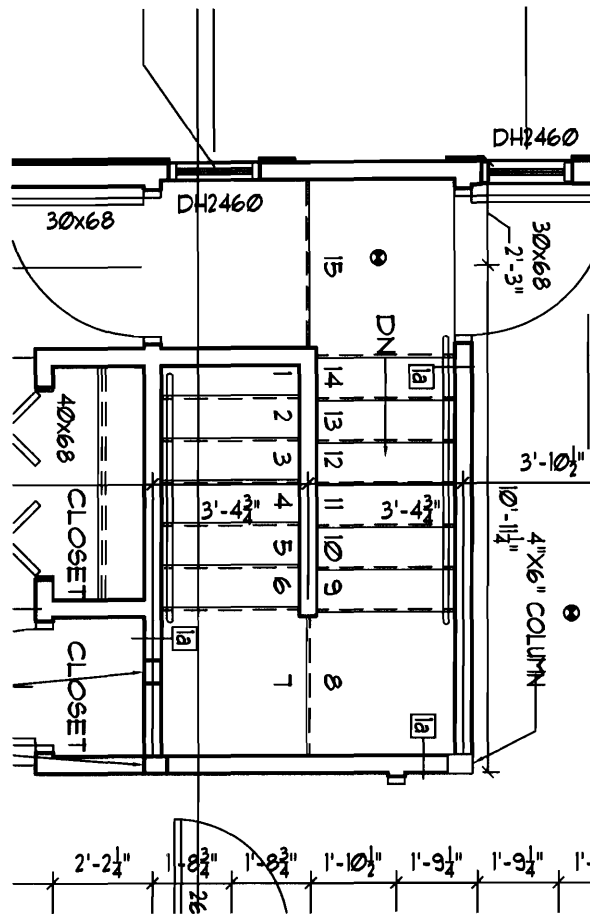
2nd Floor

PRELIM
Revision
Review

RECEIVED

OCT 8 2009

Dept. of Building Inspections
City of Portland Maine



3rd Floor

prelim
Revision
Review

RECEIVED

OCT 8 2009

Dept. of Building Inspections
City of Portland Maine



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>35 Mayo Street</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>022 I 019</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Steve Fowler Green</u> Address City, State & Zip <u>Unity 04988</u>	Telephone:
Lessee/DBA (If Applicable) <u>AUG 12 2009</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>80.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>800.00</u>
Current legal use (i.e. single family) <u>35 Mayo Street</u> Number of Residential Units <u>3</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Same</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>Fine New Deck will be fully SPRINKLED</u>		
Contractor's name: <u>Steve Fowler GREEN</u> Address: _____ City, State & Zip <u>Unity ME 04988</u> Telephone: <u>314-6469</u> Who should we contact when the permit is ready: <u>Steve Fowler</u> Telephone: <u>314-6469</u> Mailing address: <u>661 Allen Ave Portland ME 04103</u> <u>TX</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]

Date: 8-10-09

This is not a permit; you may not commence ANY work until the permit is issue



Certificate of Design

Date: August 10, 2009

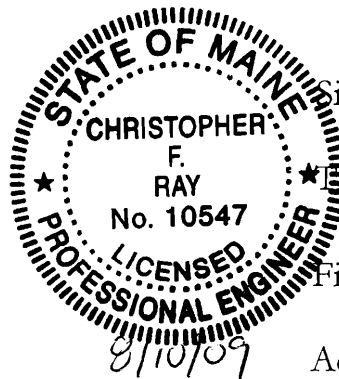
From: Christopher Ray

These plans and / or specifications covering construction work on:

36 Mayo street, Portland, Maine

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

(SEAL)



Signature: Christopher Ray

Title: President

Firm: Downeast Structural Consultants

Address: 5 oak st

Cumberland, ME 04021

Phone: 207-929-8015

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

FOR MORTGAGE LENDER USE ONLY

GENERAL NOTES: (1) DISTANCES SHOWN ARE TAKEN FROM PROVIDED TITLE REFERENCES SHOWN BELOW. (2) THE PURPOSE OF THIS INSPECTION IS TO RENDER AN OPINION AS FOLLOWS: A) DWELLING AND ACCESSORY STRUCTURE'S COMPLIANCE WITH RESPECT TO MUNICIPAL ZONING SETBACKS, AND B) FLOOD ZONE DETERMINATION BY HORIZONTAL SCALING ON BELOW REFERENCED FEMA MAP. (3) THIS INSPECTION EXCEPTS OUT ALL TECHNICAL STANDARDS CURRENTLY SET FORTH BY STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS. (4) THIS INSPECTION IS TO BE USED ONLY BY THE BELOW LISTED LENDER, TITLE ATTORNEY & TITLE INSURER AND IS NOT TO BE USED BY ANOTHER PARTY FOR BOUNDARY LINE LOCATIONS OR LAND TITLE OPINIONS. (5) A BOUNDARY SURVEY SHOULD BE PERFORMED TO RENDER A PROFESSIONAL OPINION PERTAINING TO BOUNDARY LINE LOCATIONS, EASEMENTS, RIGHTS OF WAY, ENCUMBRANCES, ENCROACHMENTS, AND/OR CONFLICTS WITH ADJUTER'S DEEDS.

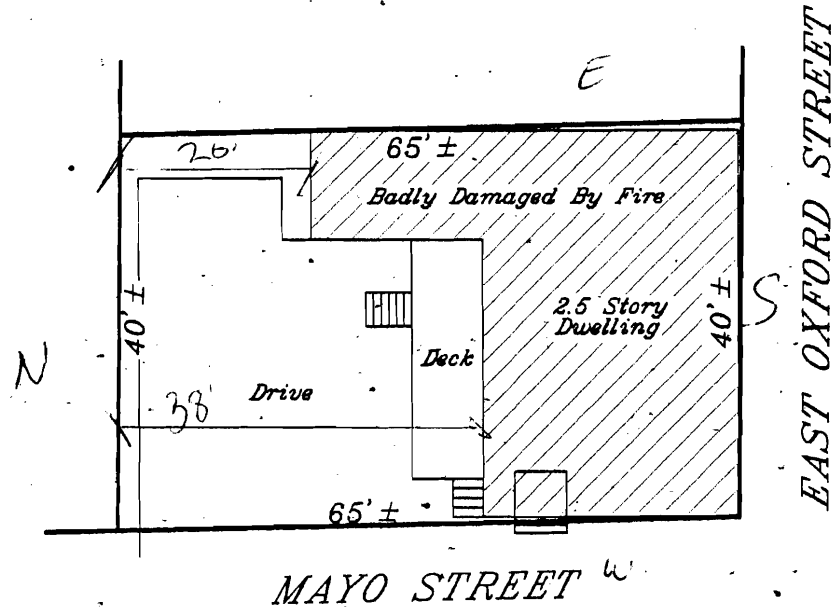
REV. 09/19/07

THIS SKETCH IS NOT TO BE USED FOR CONSTRUCTION PURPOSES, IMPROVEMENTS SHOWN ARE APPROXIMATE.

ADDRESS: 35 Mayo Street
Portland, Maine

INSP. DATE: 04/06/2009

SCALE: 1" = 20'



JDN

SEE PROVIDED TITLE REFERENCES FOR APPURTENANCES, IF ANY.

APPLICANT: Fowler-Greaves FILE#: 20921871

OWNER: Saxon Mortgage Services, Inc. CLIENT#: ACT21666

LENDER: _____

REQ. PARTY: Atlantic Coast Title Company

ATTORNEY: _____

TITLE REFERENCES: COUNTY: Cumberland

DEED BOOK: 21918 PAGE: 31

PLAN BOOK: _____ PAGE: _____ LOT: _____

MUNICIPAL REFERENCE: _____

MAP: 22 BLOCK: I LOT: 19

THE DWELLING DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA COMMUNITY MAP No. 230051 PANEL: 0013B
ZONE: C DATE: 12/8/1998

THE DWELLING WAS ████ IN COMPLIANCE WITH MUNICIPAL ZONING SETBACK REQUIREMENTS AT THE TIME OF CONSTRUCTION.

James D. Nadeau, LLC
Professional Land Surveyors

James D. Nadeau
4-7-9

918 BRIGHTON AVE. PH.(207)878-7870
PORTLAND, ME. 04102 F.(207)878-7871
THIS INSPECTION IS VALID ONLY WITH AN
EMBOSSED SEAL AND IS NULL & VOID
90 DAYS AFTER INSPECTION DATE.

THIS IS NOT A BOUNDARY SURVEY - NOT FOR RECORDING.



Certificate of Design Application

From Designer:

Christopher Ray

Date:

8/10/09

Job Name:

36 Mayo Street

Address of Construction:

36 Mayo Street, Portland, Maine

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) R3

Type of Construction Wood

Is there a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC? Yes Supervisory alarm system? _____

Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) _____

Geotechnical/Soils report required? (See Section 1802.2) No

Structural Design Calculations

Yes Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>Bedroom</u>	<u>40 psf Live Load</u>
	<u>15 psf Dead Load</u>

Wind loads (1603.1.4, 1609)

Simplified Design option utilized (1609.1.1, 1609.6)

100 mph Basic wind speed (1809.3)

1.0 Building category and wind importance Factor, w
table 1604.5, 1609.5)

B Wind exposure category (1609.4)

1.18 Internal pressure coefficient (ASCE 7)

20.0 psf Component and cladding pressures (1609.1.1, 1609.6.2.2)
Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

_____ Design option utilized (1614.1)

_____ Seismic use group ("Category")

_____ Spectral response coefficients, SDs & SD1 (1615.1)

_____ Site class (1615.1.5)

_____ Live load reduction

_____ Roof live loads (1603.1.2, 1607.11)

50 psf Roof snow loads (1603.7.3, 1608)

50 psf Ground snow load, P_g (1608.2)

39 psf If $P_g > 10$ psf, flat-roof snow load P_f

_____ If $P_g > 10$ psf, snow exposure factor, C_e

_____ If $P_g > 10$ psf, snow load importance factor, I_s

1.1 Roof thermal factor, C_t (1608.4)

_____ Sloped roof snowload, P_s (1608.4)

_____ Seismic design category (1616.3)

_____ Basic seismic force resisting system (1617.6.2)

_____ Response modification coefficient, R_f and

deflection amplification factor C_d (1617.6.2)

_____ Analysis procedure (1616.6, 1617.5)

_____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

_____ Flood Hazard area (1612.3)

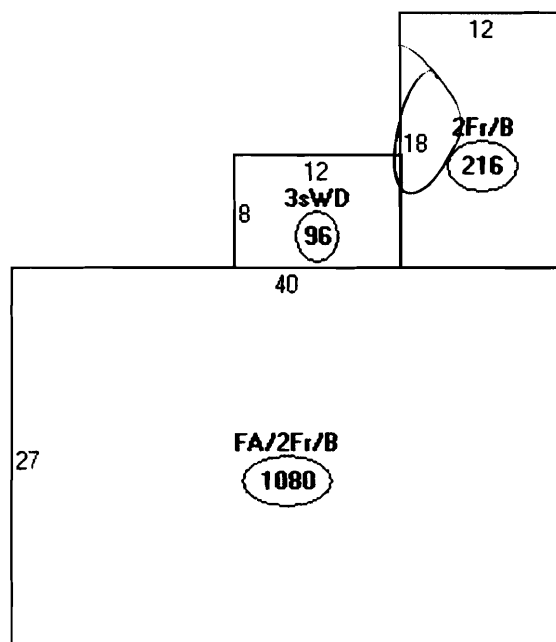
_____ Elevation of structure

Other loads

_____ Concentrated loads (1607.4)

_____ Partition loads (1607.5)

_____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7,
1607.12, 1607.13, 1610, 1611, 2404)

Descriptor/AreaA: FA/2Fr/B
1080 sqftB: 3sWD
96 sqftC: 2Fr/B
216 sqft
$$\begin{array}{r}
 1080 \\
 216 \\
 96 \\
 \hline
 1302
 \end{array}$$

Footprint
 $1302 \# \times 50\% = 651 \#$ Allowed

existing 3rd floor \downarrow

$16' \times 40' = 640 \#$ Existing 3rd floor
 + 651 Allowed

$1291 \#$ total Allowed

$1232 \#$ ^{ok less} shown on 3rd floor

45' max bldg height in R-6
 ok

id, Maine

es Construction

Use Group:

35 Mayo Street existing Occupancy R-2 per IBC 2003. Three unit apartment building.

Proposed use R-2 per IBC 2003. Three unit apartment building.

Applicable codes:

IBC 2003

NFPA 101

NFPA 13

The remodeled building will be equipped with a residential sprinkler system throughout per NFPA 13

Available expansion per R-6 infill ordinance:

50% of First floor (1,232 SF) = 618 SF

Existing Third Floor = 680 SF

Available New Third floor area = 1,296 SF

New Third Floor area = 1,232 SF

14-436(A)

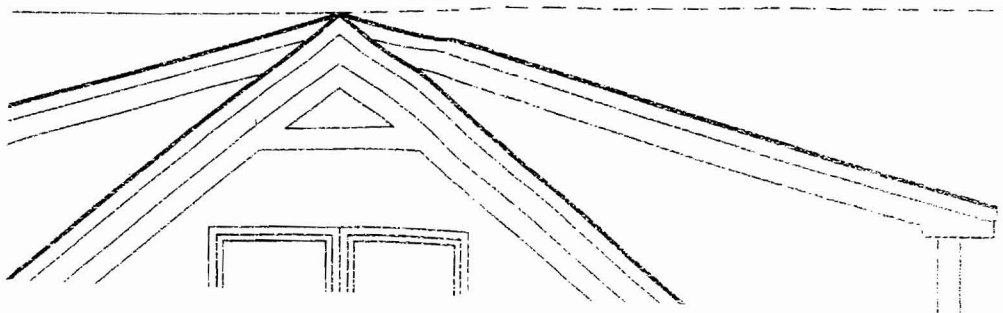
I have
sub

per assessors
 $1302 \times 50\% = 651$ Allowed
existing 3rd floor
 $16' \times 40' = 640$ Existing 3rd floor
 651 50% allowed

1291 total Allowed

1232 shown on 3rd floor

using 49% of 50%
Allowed





PAST picture before fire

35 Mayo Street Remodel

35 Mayo Street
Portland, Maine

Fowler-Greeves Construction

- A.0 Cover Sheet
- A.1 Existing Floor & Framing Plans
- A.1a New Basement & First Floor Framing Plan
- A.1.2 New First Floor Plan
- A.1.3 New Second Floor Plan
- A.1.4 New Third Floor Plan
- A.1.5 New Framing Plans
- A.1.6 New Framing Plans
- A.2 Existing Elevations
- A.2.1 Existing Elevations
- A.2.2 New Elevations
- A.2.3 New Building Cross Sections
- A.2.4 Details and Window Schedule

Use Group:
35 Mayo Street existing Occupancy R-2 per IBC 2003. Three unit apartment building.
Proposed use R-2 per IBC 2003. Three unit apartment building.

Applicable codes:
IBC 2003
NFPA 101
NFPA 13

The remodeled building will be equipped with a residential sprinkler system throughout per NFPA 13

Available expansion per R-6 infill ordinance:
50% of First floor (1232 SF) + 618 SF
Existing Third Floor + 880 SF
Available New Third floor area + 1296 SF
New Third Floor area + 1232 SF

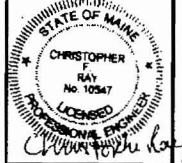


2nd Revision

RECEIVED

OCT - 9 2009

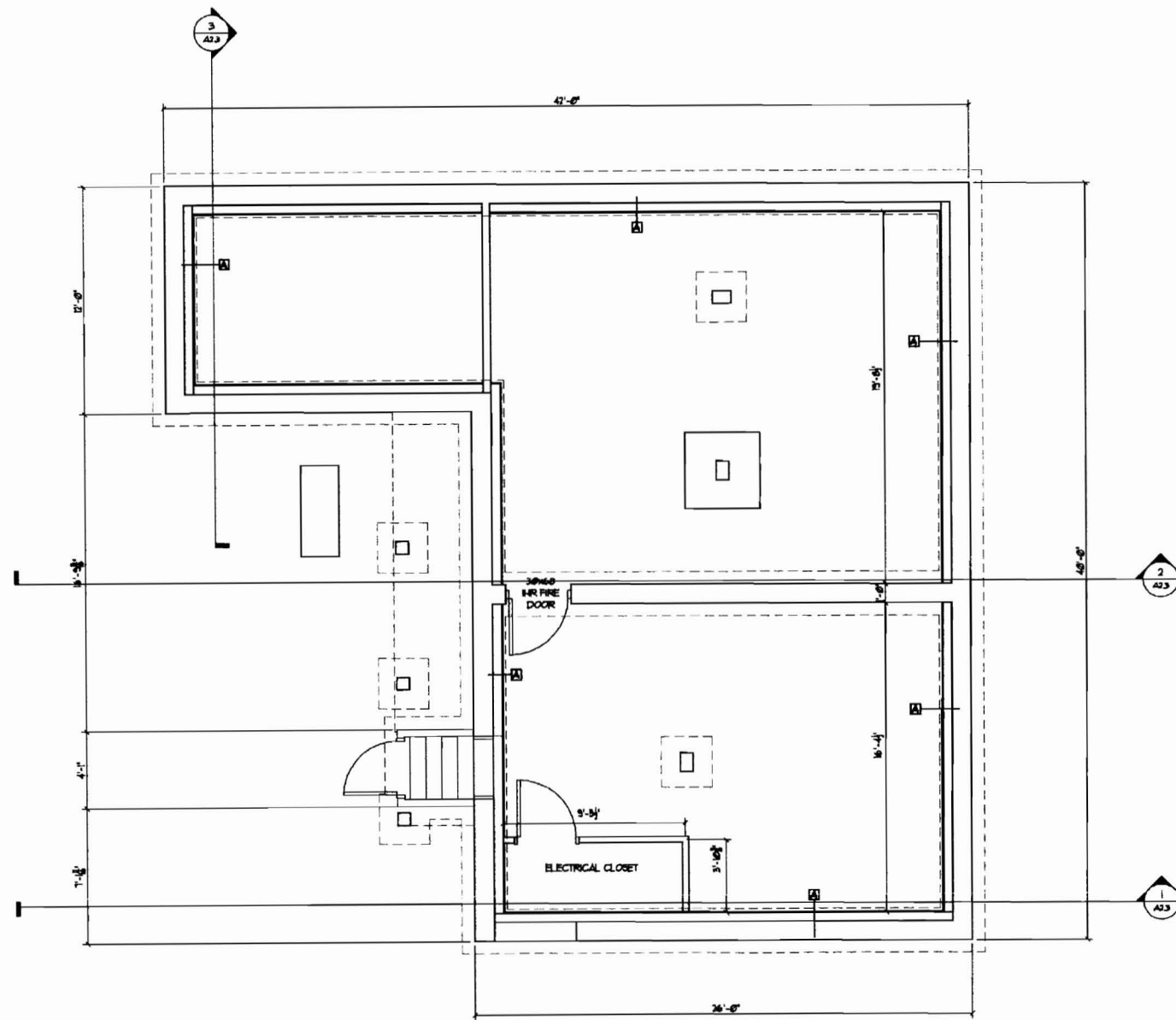
Dept. of Building Inspections
City of Portland Maine



35 Mayo Street Re-Model
Portland, Maine
Fowler-Greeves Construction

DATE	NO	REMARKS	BY
08-03-09	A	ISSUED FOR PERMITTING	JJO
09-24-09	B	REVISED AS PER CITY COMMENT	JJO
10-08-09	C	REVISED AS PER CITY COMMENT	JJO

CODE: IRC 2003
TOWN: Portland
DATE: 06-16-09
SCALE: AS NOTED
DRAWN: JJO
TITLE:
Cover Sheet
FILE: 015-017-09
SHEET:
A.0



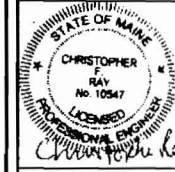
1 Basement & First Floor Framing Plan
 Scale: 1/4" = 1'-0"

1. Contractor/owner responsible for securing all necessary permits.
2. Contractor/owner will comply with all applicable codes and ordinances.
3. Contractor/owner to verify all site grades and dimensions.

- General Notes:
1. See A2.4 for wall types and partition types

PROPERTY OF
ad=de=Tech
 233 Riverside Industrial Parkway
 Portland, ME 04102

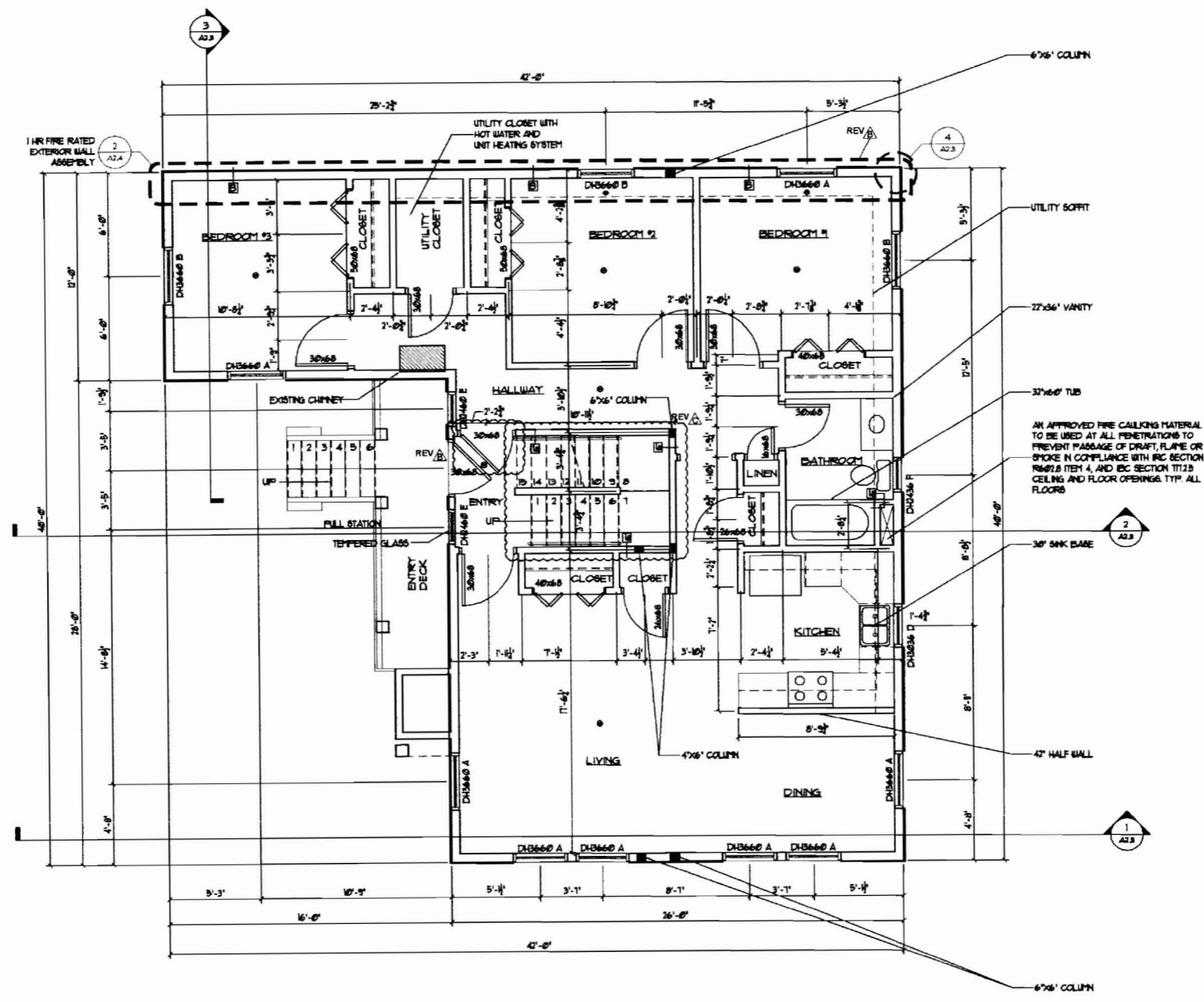
Downeast Structural Consultants, LLC
 5 Oak Street
 Cumberland, Maine 04021
 phone: 207.599.8015
 email: info@downeaststructural.com



35 Mayo Street Re-Model
 Portland, Maine
 Fowler-Greeves Construction

DATE	NO	REMARKS	BY
09-24-09	A	REVISED AS PER CITY COMMENT	JJO
10-08-09	B	REVISED AS PER CITY COMMENT	JJO

CODE: IRC 2003
 TOWN: Portland
 DATE: 06-16-09
 SCALE: AS NOTED
 DRAWN: JJO
 TITLE:
 New Basement
 Floor Plan
 FILE: 015-017-09
 SHEET:
 A1.1a



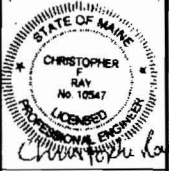
- General Notes:**
1. See A2.4 for wall types and partition types and window schedule
 2. Place additional sprinkler heads at windows located in the 1 hour rated wall assembly

- Smoke Detector
- Sprinkler head

1 New First Floor Plan
Scale: 1/4" = 1'-0"

1. Contractor/owner responsible for securing all necessary permits.
2. Contractor/owner will comply with all applicable codes and ordinances.
3. Contractor/owner to verify all site grades and dimensions.

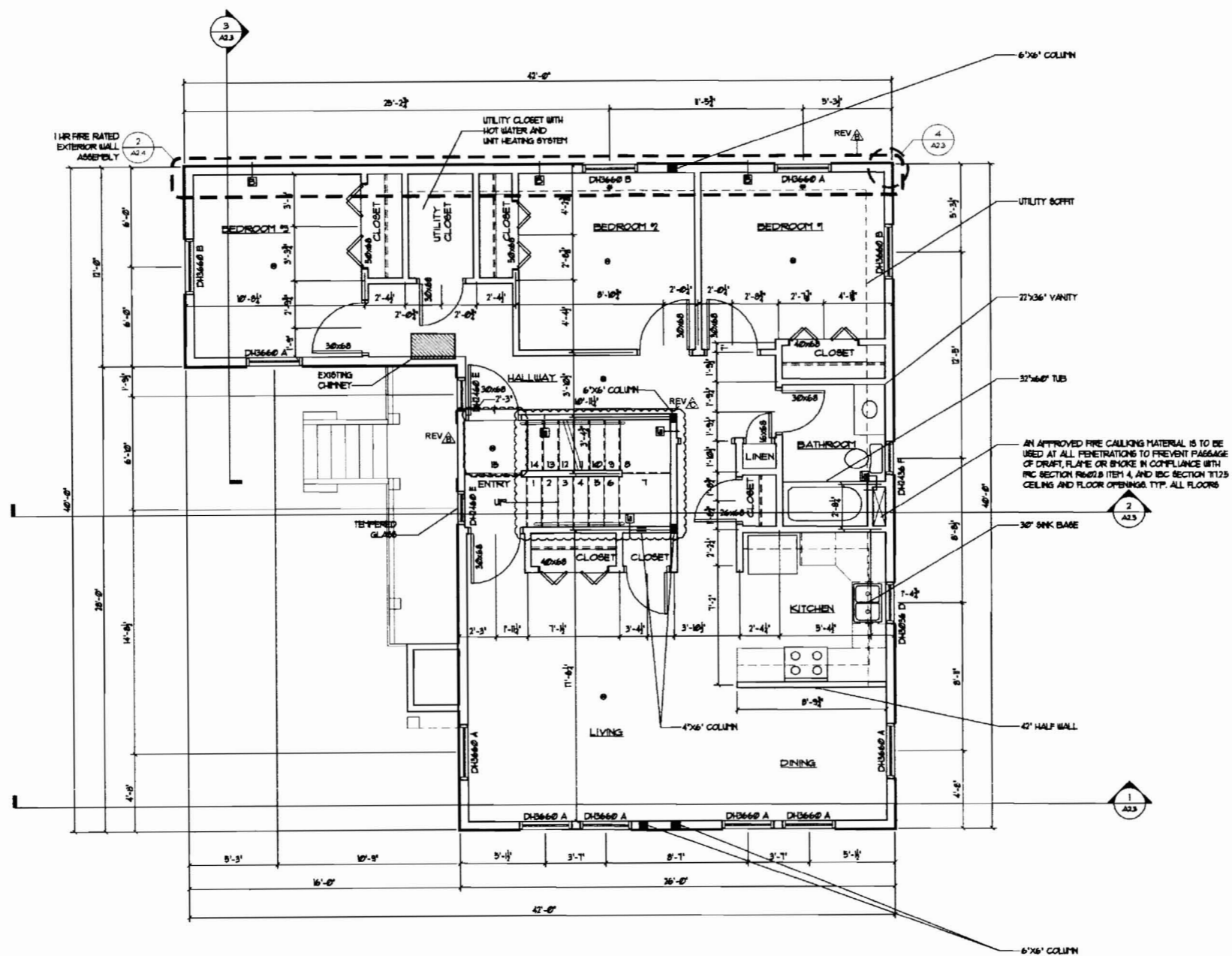
Downcast Structural Consultants, LLC
5 Oak Street
Canaan, Maine 04021
Phone: 207.639.8815
www.dsccoll.com



35 Mayo Street Re-Model
Portland, Maine
Fowler-Greeves Construction

NO	REMARKS	DATE	BY
A	ISSUED FOR PERMITTING	08-03-09	JJO
B	REVISED AS PER CITY COMMENT	09-24-09	JJO
C	REVISED AS PER CITY COMMENT	10-08-09	JJO

CODE: IRC 2003
TOWN: Portland
DATE: 06-16-09
SCALE: AS NOTED
DRAWN: JJO
TITLE:
New First Floor Plan
FILE: 015-017-09
SHEET:
A1.2



- Smoke Detector
- Sprinkler head

1 New Second Floor Plan
Scale: 1/4" = 1'-0"

General Notes:

1. See A2.4 for wall types and partition types and window schedule
2. Place additional sprinkler heads at windows located in the 1 hour rated wall assembly

1. Contractor/owner responsible for securing all necessary permits.
2. Contractor/owner will comply with all applicable codes and ordinances.
3. Contractor/owner to verify all site grades and dimensions.

PROPERTY OF

 233 Riverside Industrial Parkway
 Portland, ME 04102

Downeast Structural Consultants, LLC
 5 Oak Street
 Cumberland, Maine 04021
 phone: 207.627.9813
 email: info@downeaststructural.com

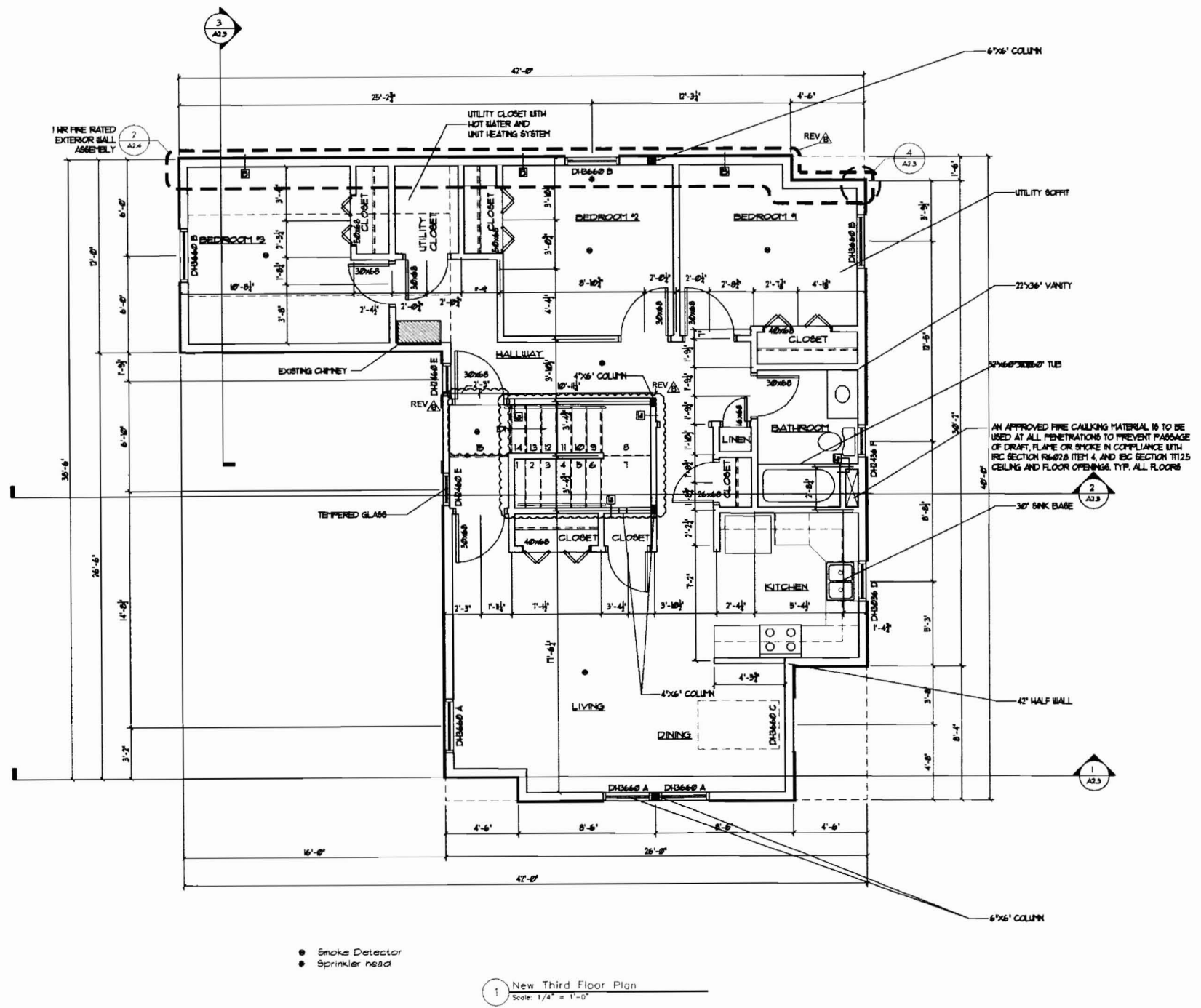

STATE OF MAINE
 CHRISTOPHER
 JUDY
 No. 12547
 LICENSED PROFESSIONAL ENGINEER
Christopher Judy

35 Mayo Street Re-Model
 Portland, Maine
 Fowler-Greeves Construction

DATE	NO	REMARKS
08-03-09	A	ISSUED FOR PERMITTING
09-24-09	B	REVISED AS PER CITY COMMENT
10-08-09	C	REVISED AS PER CITY COMMENT

BY: JJO
 JJO
 JJO
 JJO

CODE: IRC 2003
 TOWN: Portland
 DATE: 06-16-09
 SCALE: AS NOTED
 DRAWN: JJO
 TITLE:
 New Second Floor Plan
 FILE: 015-017-09
 SHEET:
 A1.3



1 New Third Floor Plan
Scale: 1/4" = 1'-0"

- Contractor/owner responsible for securing all necessary permits.
- Contractor/owner will comply with all applicable codes and ordinances.
- Contractor/owner to verify all site grades and dimensions.

- General Notes:**
- See A2.4 for wall types and partition types and window schedule
 - Place additional sprinkler heads at windows located in the 1 hour rated wall assembly

PROPERTY OF

Code=de=Tech
235 Riverside Industrial Parkway
Portland, ME 04102

Downeast Structural Consultants, LLC
1 Oak Street
Cumberland, Maine 04021
phone: 207.859.8815
email: info@downeaststructural.com

DSC

STATE OF MAINE
CHRISTOPHER F. RAY
No. 10567
LICENSED PROFESSIONAL ENGINEER
EXPIRES 12/31/2011

35 Mayo Street Re-Model
Portland, Maine
Fowler-Greeves Construction

DATE	NO	REMARKS	BY
08-03-09	A	ISSUED FOR PERMITTING	JJO
09-24-09	B	REVISED AS PER CITY COMMENT	JJO
10-05-09	C	REVISED AS PER CITY COMMENT	JJO

CODE: IRC 2003
TOWN: Portland
DATE: 06-16-09
SCALE: AS NOTED
DRAWN: JJO

TITLE:
New Third Floor Plan

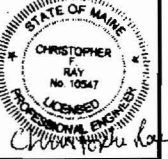
FILE: 015-017-09
SHEET:
A1.4



235 Riverside Industrial Parkway
Portland, ME 04102

Downeast Structural Consultants, LLC

5 Oak Street
Cumberland, Maine 04021
phone: 207.629.8015
email: info@downeastllc.com

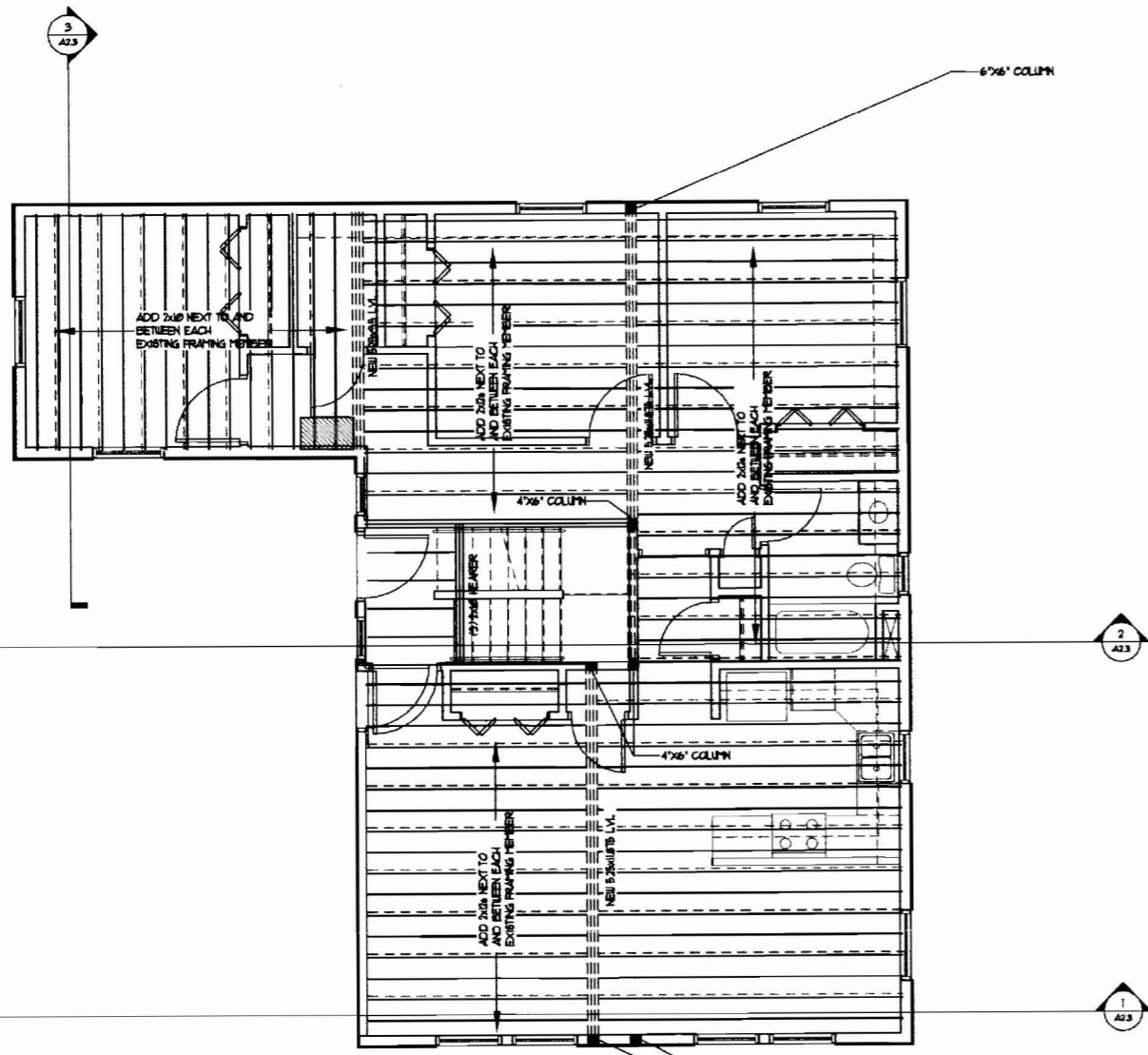


35 Mayo Street Re-Model

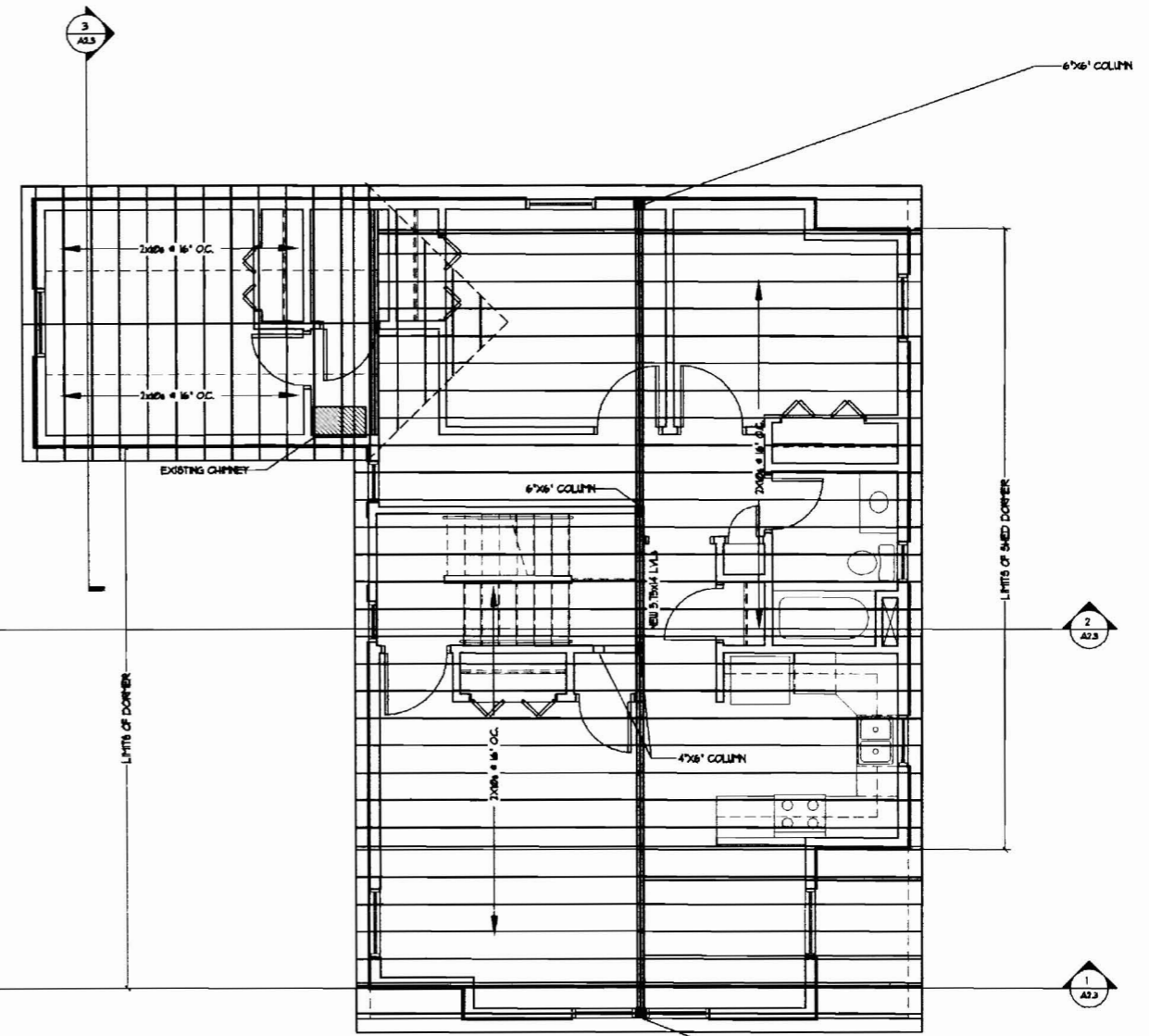
Portland, Maine
Fowler-Greeves Construction

BY	JJO
NO	
DATE	08-03-09
REMARKS	ISSUED FOR PERMITTING

CODE:	
TOWN:	Portland
DATE:	06-16-09
SCALE:	AS NOTED
DRAWN:	JJO
TITLE:	New Framing Plans
FILE:	015-017-09
SHEET:	A1.6

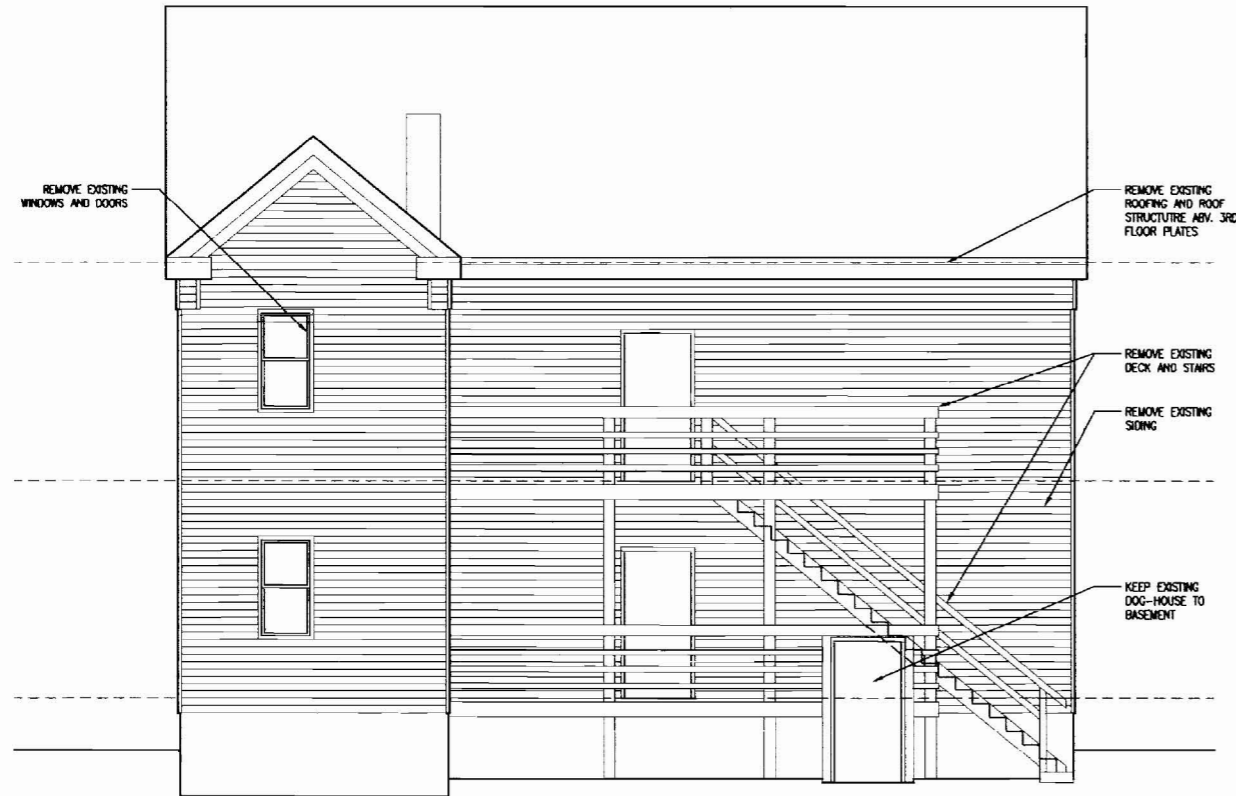


1 New Third Floor Framing Plan
Scale: 1/4" = 1'-0"



2 Roof Framing Plan
Scale: 1/4" = 1'-0"

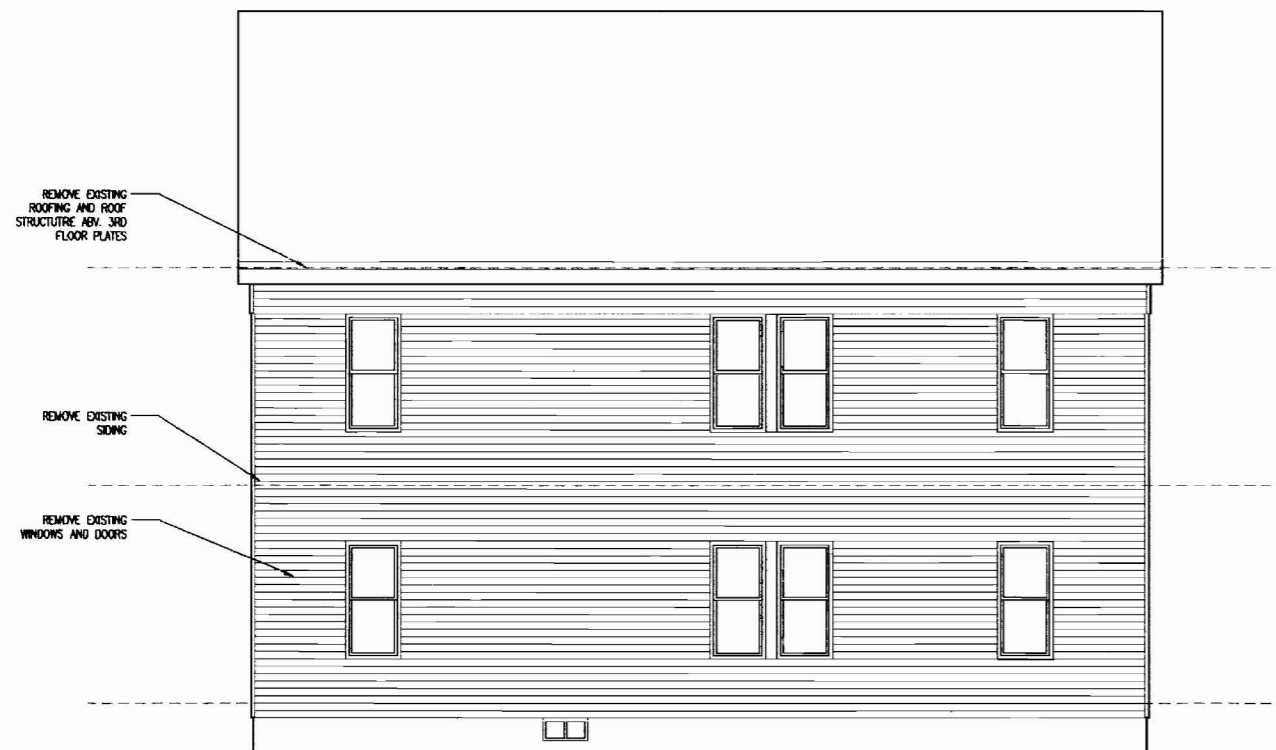
1. Contractor/owner responsible for securing all necessary permits.
2. Contractor/owner will comply with all applicable codes and ordinances.
3. Contractor/owner to verify all site grades and dimensions.



1 North Elevation
Scale: 1/4" = 1'-0"



2 West Elevation
Scale: 1/4" = 1'-0"



3 South Elevation
Scale: 1/4" = 1'-0"

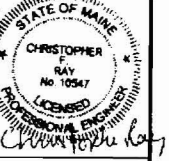


4 East Elevation
Scale: 1/4" = 1'-0"

1. Contractor/owner responsible for securing all necessary permits.
2. Contractor/owner will comply with all applicable codes and ordinances.
3. Contractor/owner to verify all site grades and dimensions.

PROPERTY OF
g-d-e-tech
235 Riverside Industrial Parkway
Portland, ME 04112

Downeast Structural Consultants, LLC
1 Oak Street
Canaan, Maine 04921
Phone: 207.829.8815
Fax: 207.829.8815
DSC



35 Mayo Street Re-Model
Portland, Maine
Fowler-Greeves Construction

BY	JJO
NO	REMARKS
A	ISSUED FOR PERMITTING
DATE	08-03-09
CODE:	IRC 2003
TOWN:	Portland
DATE:	06-16-09
SCALE:	AS NOTED
DRAWN:	JJO
TITLE:	Existing Elevations
FILE:	015-017-09
SHEET:	A2.1