

22-I-1  
81 E. Oxford Street  
Bayside Anchor

#2014-079





1

Franklin St

Boyd St

Bus Lane

Bay Side Terrace

Bayside Terrace

Oxley St

Oxley St

Smith

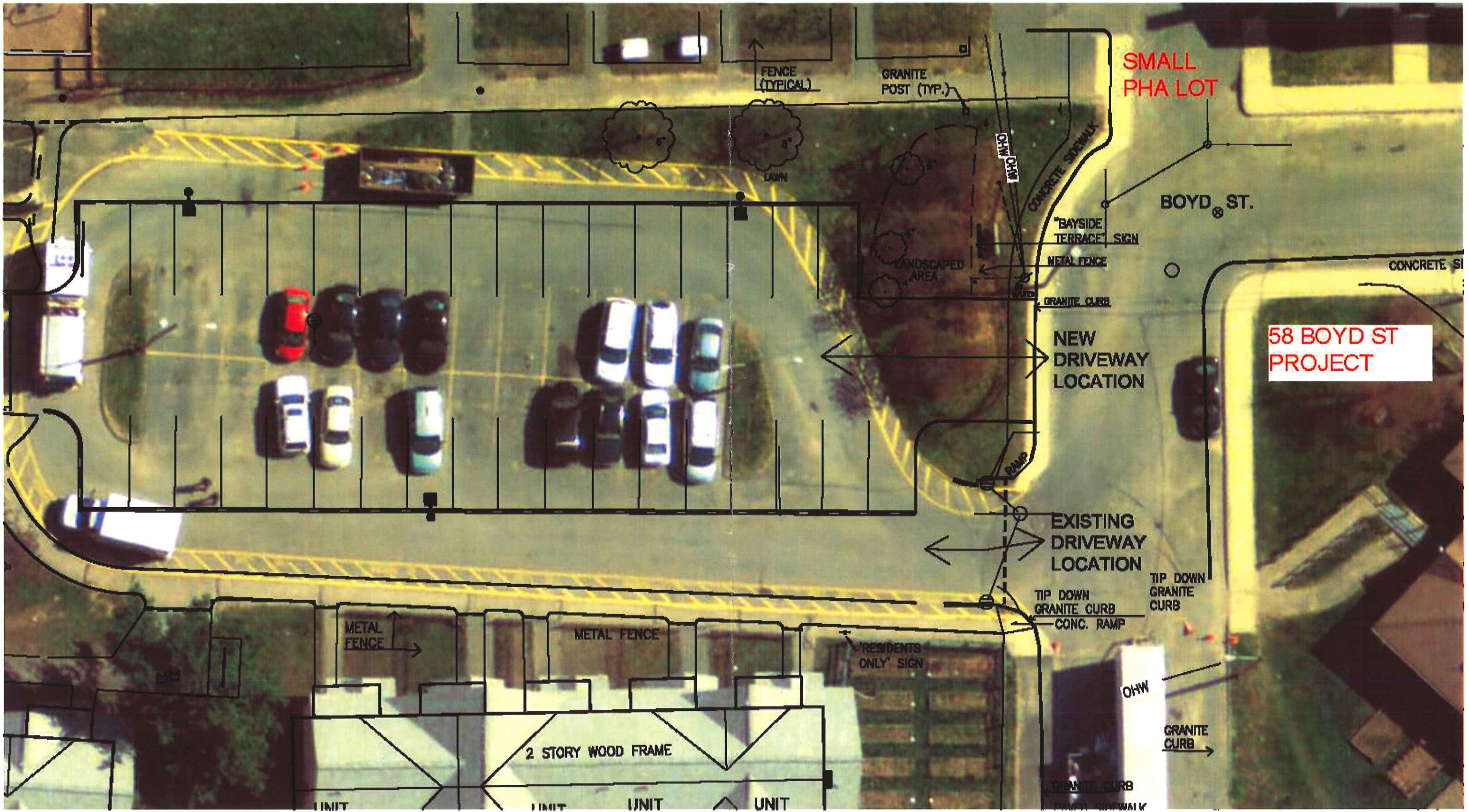
Mayo St

Boyd St

Google earth

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SMALL PHA LOT

BOYD ST.

58 BOYD ST PROJECT

FENCE (TYPICAL)

GRANITE POST (TYP.)

LAWN

LANDSCAPED AREA

INFO INFO

CONCRETE SIDEWALK

"BAYSIDE TERRACE" SIGN

METAL FENCE

GRANITE CURB

NEW DRIVEWAY LOCATION

EXISTING DRIVEWAY LOCATION

TIP DOWN GRANITE CURB  
CONC. RAMP

TIP DOWN GRANITE CURB

METAL FENCE

METAL FENCE

'RESIDENTS ONLY' SIGN

2 STORY WOOD FRAME

UNIT

UNIT

UNIT

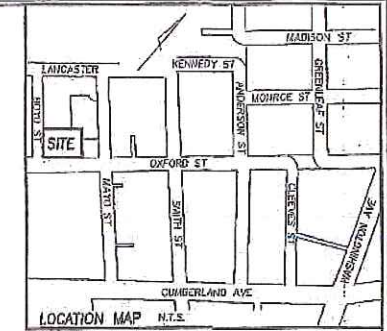
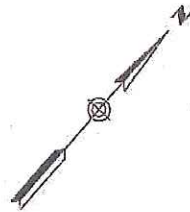
UNIT

OHW

GRANITE CURB

GRANITE CURB  
CONC. SIDEWALK





**LEGEND**

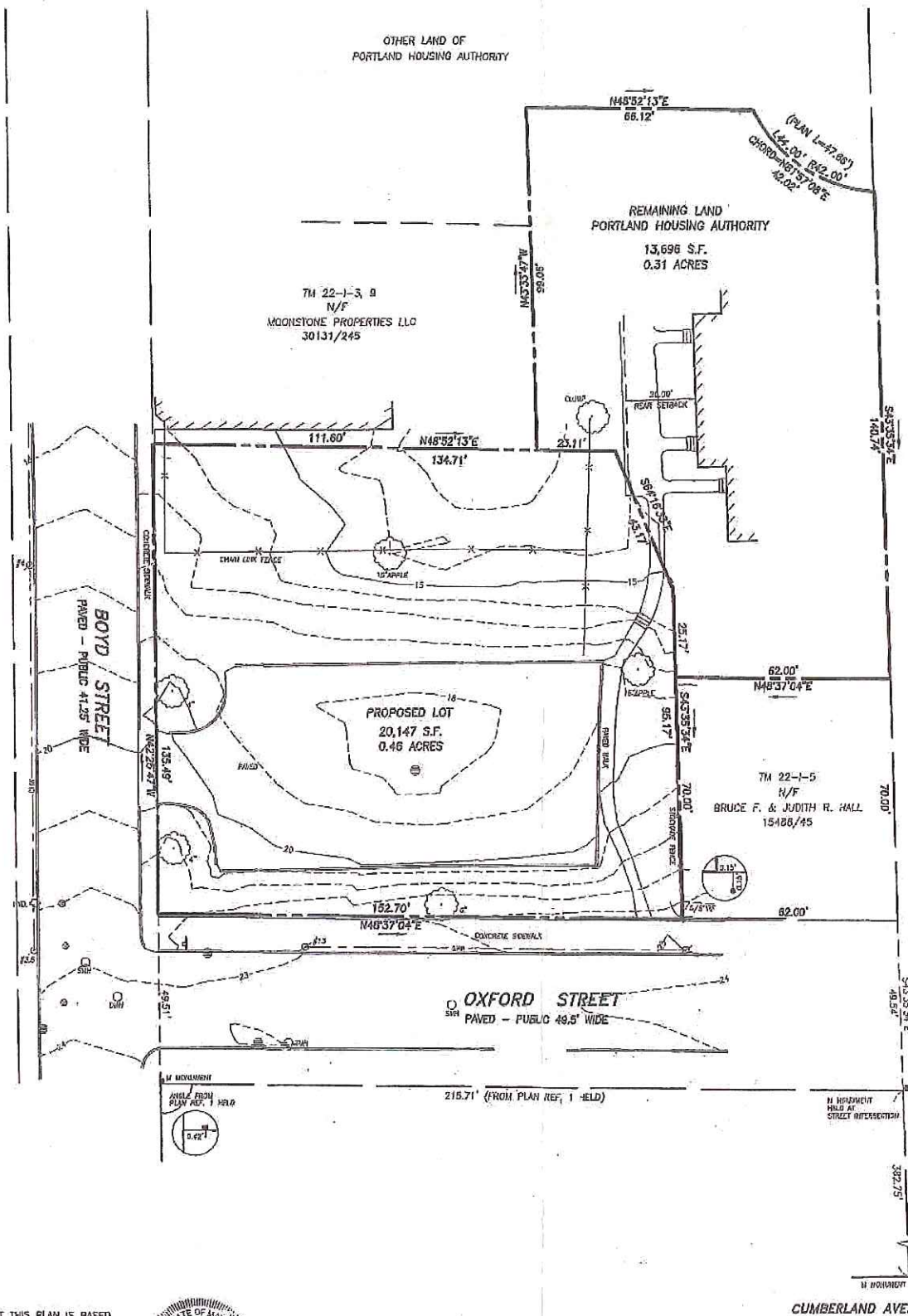
- IRON PIPE OR ROD FOUND
- ⊙ MONUMENT FOUND
- WATER VALVE
- HYDRANT
- UTILITY POLE
- MANHOLE
- MANNHOLE
- SIGN
- DECIDUOUS TREE
- X-X- FENCE
- - - CURB
- - - OVERHEAD WIRES

**PLAN REFERENCES**

1. "PLAN OF PROPERTY, TOPOGRAPHY & UTILITIES PORTLAND HOUSING AUTHORITY, PORTLAND, CUMBERLAND COUNTY, MAINE H.L. & E.C. JORDAN - SURVEYORS JULY 1966"
2. "STANDARD BOUNDARY SURVEY FOR HABITAT FOR HUMANITY OF GREATER PORTLAND IN PORTLAND, MAINE APRIL 19, 1992 OWEN HASKELL, INC. JOB NO. 92052P"

**NOTES**

1. OWNER OF RECORD: PORTLAND HOUSING AUTHORITY, 14 BAXTER BOULEVARD, PORTLAND, MAINE BOOK 3125/374, 3127/900, 3111/722, 3111/725, AND 13190/152.
2. LOCUS IS SHOWN AS PORTLAND PROPERTY MAP 22 BLOCK 1 LOT 4 AND A PORTION OF LOT 1.
3. BEARINGS ARE BASED ON MAINE STATE PLANE WEST MAD 83.
4. BENCH MARK MONUMENT T102-77-1 AT NORTHWEST CORNER OF ANDERSON STREET AND EAST LANCASTER STREET, ELEVATION 19.57 CITY DATUM.
5. STREET LINES ARE BASED ON MONUMENTS FOUND ON OXFORD STREET AND HELD AS SHOWN AND PLAN REFERENCE 1.
6. SURVEY WAS PERFORMED UNDER WINTER CONDITIONS.



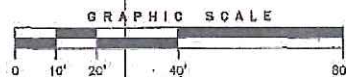
**CERTIFICATE**

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.



DATE 5-7-2013

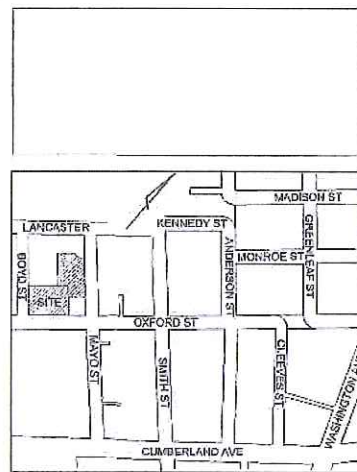
JOHN C. SCHIAVANDA, PLS 1252



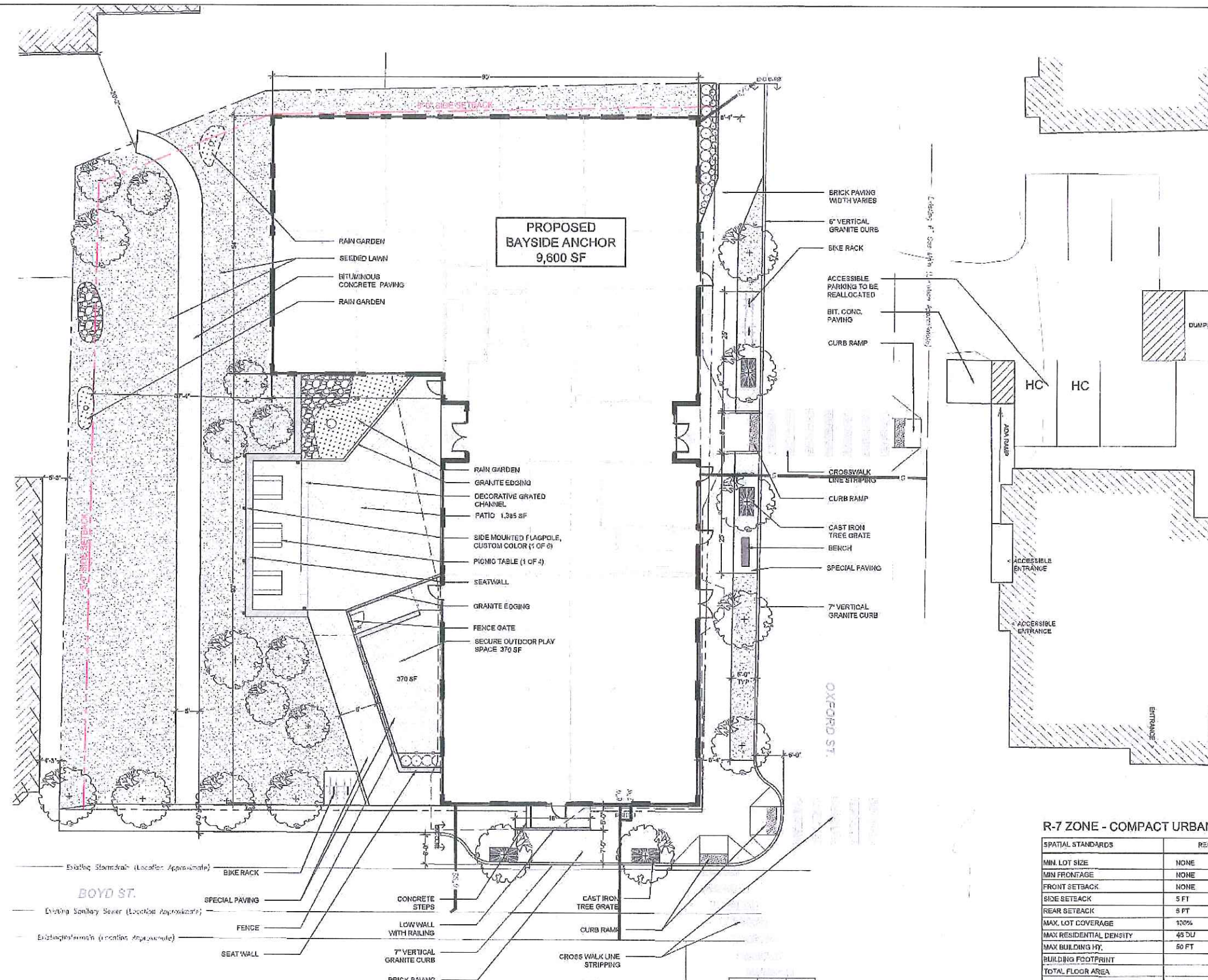
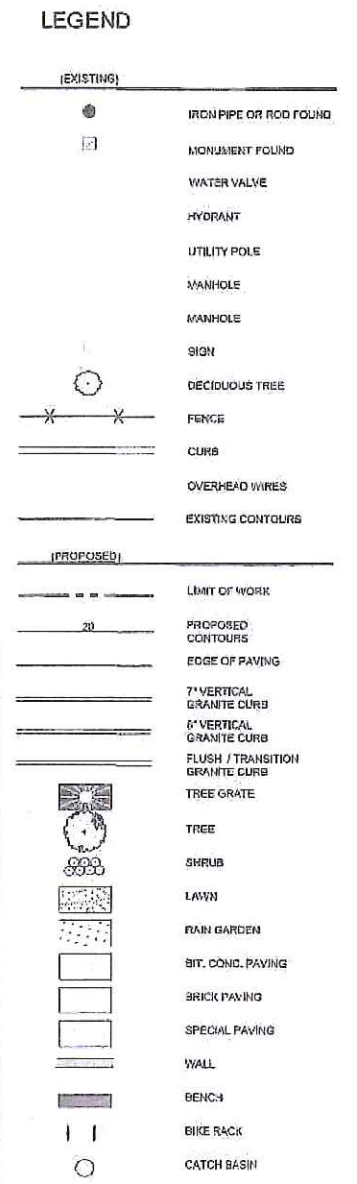
**BOUNDARY SURVEY AND LOT DIVISION**  
 OXFORD STREET & BOYD STREET, PORTLAND, MAINE  
 MADE FOR  
 PORTLAND HOUSING AUTHORITY

**OWEN HASKELL, INC.**  
 390 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774-9484  
 PROFESSIONAL LAND SURVEYORS

|                    |                  |                   |
|--------------------|------------------|-------------------|
| Drawn By JCS       | Date MAY 7, 2013 | Job No. 2012-199P |
| Trace By JLW       | Scale 1" = 20'   | Drawn No. 1       |
| Check By JCS       |                  |                   |
| Book No. 1115,1116 |                  |                   |



**LOCUS**  
N.T.S.



- NOTES**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
  2. EXISTING CONDITIONS BASED ON TOPOGRAPHIC SURVEY COMPLETED BY OWEN HASKELL INC, MAY 7, 2013. FIELD CONDITIONS MAY VARY SLIGHTLY FROM WHAT IS DEPICTED ON THE PLANS.
  3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION. ANY UNUSUAL CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ATTENTION OF THE OWNER.
  4. CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
  5. CONTRACTOR SHALL PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED.
  6. THE CONTRACTOR SHALL CONTACT DIG SAFE (1-800-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
  7. ALL PAVEMENT JOINTS SHALL BE SAWCUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
  8. NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
  9. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE A STREET-OPENING PERMIT FROM THE TOWN OF PORTLAND AS APPLICABLE.

**R-7 ZONE - COMPACT URBAN RESIDENTIAL OVERLAY**

| SPATIAL STANDARDS        | REQUIRED | PROVIDED     |
|--------------------------|----------|--------------|
| MIN. LOT SIZE            | NONE     | 20,147 SF    |
| MIN. FRONTAGE            | NONE     | 268.12       |
| FRONT SETBACK            | NONE     | 0 FT         |
| SIDE SETBACK             | 5 FT     | 5 FT         |
| REAR SETBACK             | 5 FT     | 37'-4"       |
| MAX. LOT COVERAGE        | 100%     | 68%          |
| MAX. RESIDENTIAL DENSITY | 45 DU    | 45 DU        |
| MAX. BUILDING HT.        | 50 FT    | 45 FT        |
| BUILDING FOOTPRINT       |          | 9,610 SF     |
| TOTAL FLOOR AREA         |          | 28,776 SF    |
| PARKING                  | TBD      | 34 ON CAMPUS |

**KAPLAN THOMPSON ARCHITECTS**  
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207-542-2888 fax: 542-2828



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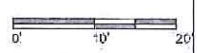
**RANSOM**  
200 Commercial Street, Suite 200  
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**PORTLAND HOUSING**  
ACOME DEVELOPMENT CORPORATION  
14 BAXTER BLVD  
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**SITE PLAN APPLICATION**

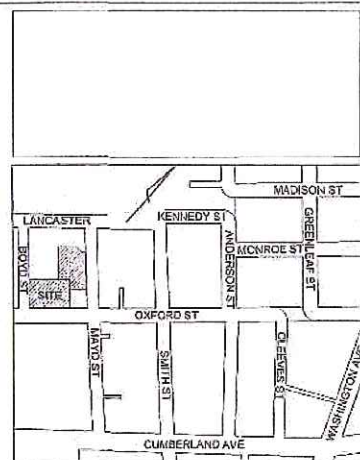
Project: **BAYSIDE ANCHOR**  
Portland Housing Development Corporation  
81 East Oxford Street  
Portland, ME

Drawing: **SITE PLAN**  
Scale: **1"=10'**  
Date: **Monday, May 12, 2014**  
Drawn by: **EPK**  
Revised:



**L1.0**





**LOCUS**  
N.T.S.

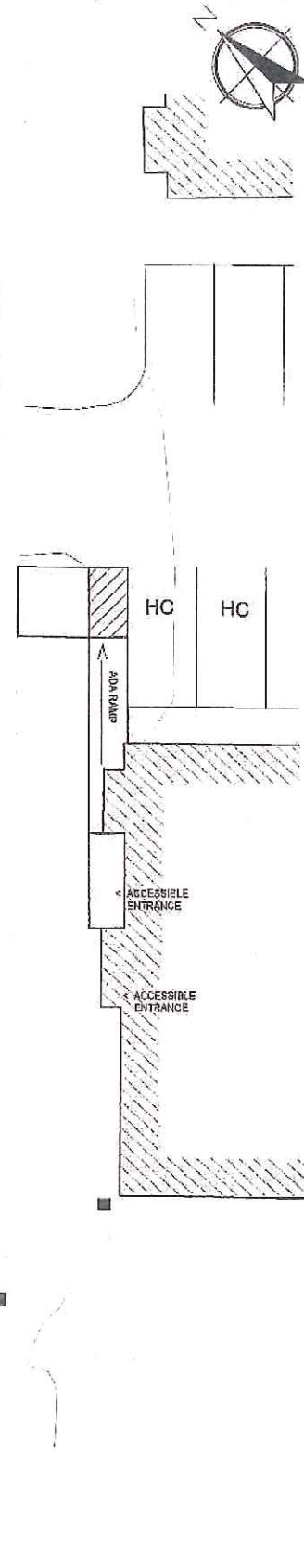
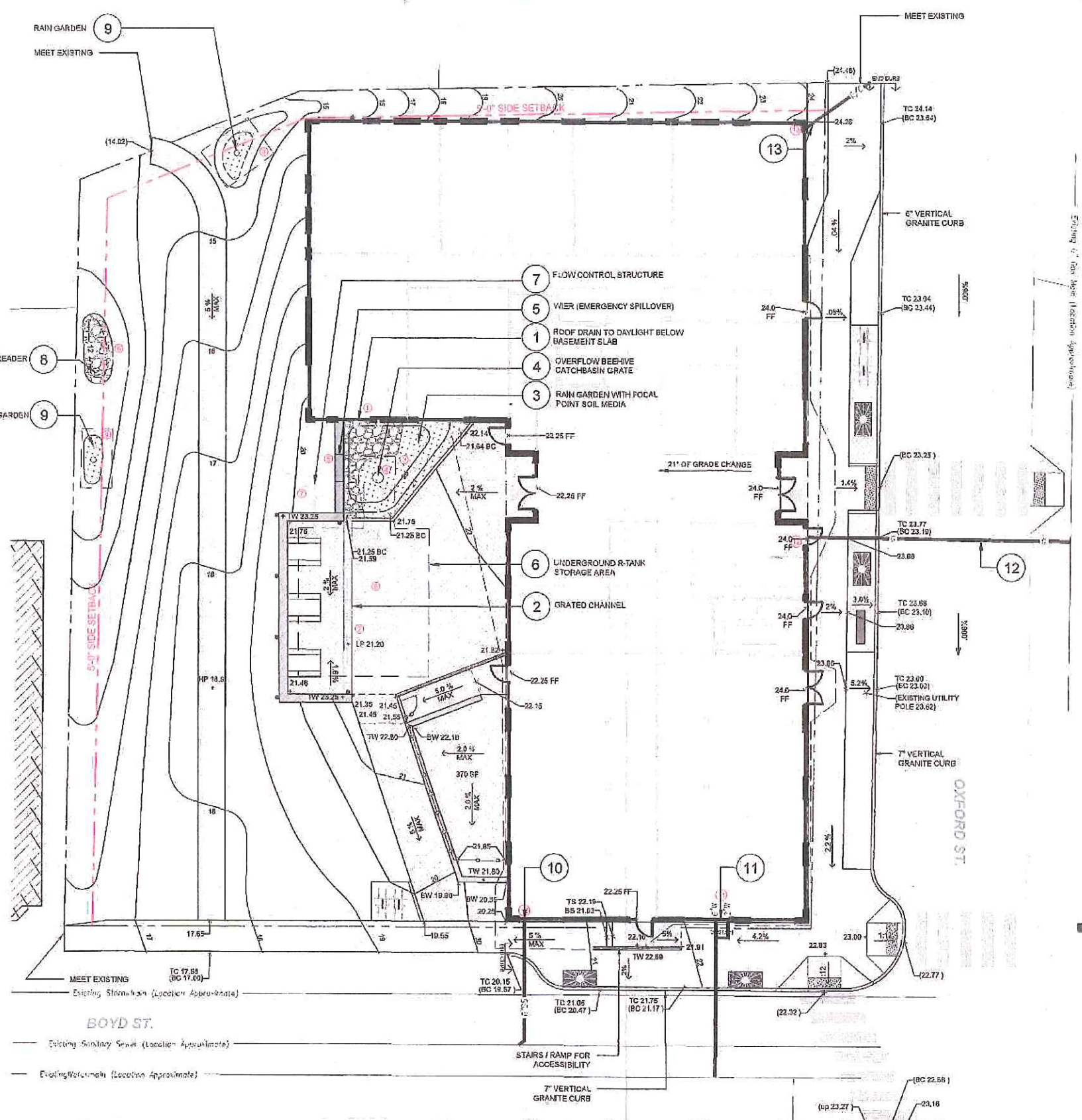
**LEGEND**

(EXISTING)

- IRON PIPE OR ROD FOUND
- MONUMENT FOUND
- WATER VALVE
- HYDRANT
- UTILITY POLE
- MANHOLE
- MANHOLE
- SIGN
- DECIDUOUS TREE
- ×× FENCE
- CURB
- OVERHEAD WIRES
- EXISTING CONTOURS

(PROPOSED)

- LIMIT OF WORK
- PROPOSED CONTOURS
- EDGE OF PAVING
- T' VERTICAL GRANITE CURB
- 6" VERTICAL GRANITE CURB
- FLUSH / TRANSITION GRANITE CURB
- TREE GRATE
- TREE
- SHRUB
- LAWN
- RAIN GARDEN
- BIT. CONC. PAVING
- BRICK PAVING
- SPECIAL PAVING
- WALL
- BENCH
- BIKE RACK
- CATCH BASIN



- STORMWATER NOTES**
- ROOF DRAINS DAYLIGHT (EL: 20.0) JUST BENEATH THE BUILDING SLAB AND DISCHARGE TO AN ENERGY DISSIPATION AREA CONSISTING OF LARGE STONES. STONES WILL BE INDIVIDUALLY PLACED TO DIRECT SPLASHING OR SPRAY AWAY FROM WALKING SURFACES.
  - THE MAJORITY OF THE PATIO AREA WILL DRAIN TO A GRATED CHANNEL THAT CONVEYS RUNOFF FROM A LOW POINT IN THE PATIO (EL: 21.2) TO THE SAME ENERGY DISSIPATION AREA. THIS CHANNEL IS NECESSARY BECAUSE, IN ORDER TO MAKE THE PATIO AND BUILDING DOORS ACCESSIBLE TO ALL, MUCH OF THE PATIO SURFACE HEEDED TO BE GRADED AWAY FROM THE RAIN GARDEN. THIS GRATED CHANNEL IS MODELLED AFTER THE CHANNEL RECENTLY INSTALLED BENEATH THE SIDEWALK IN THE COMMERCIAL STREET RIGHT-OF-WAY AS PART OF THE MARRIOTT COURTYARD HOTEL CONSTRUCTION BUT WILL BE SMALLER IN SCALE. A FOREBAY/PRE-TREATMENT AREA WILL BE PROVIDED FOR THIS DISCHARGE IF NEEDED.
  - BOTH THE ROOF AND PATIO WATER WILL DRAIN INTO A RAIN GARDEN AND PERCOLATE THROUGH THE HIGH PERMEABILITY FOCAL POINT SOIL FILTER MEDIA (BOTTOM EL: 20.0).
  - DURING LARGER RAIN EVENTS WATER WILL OVERFLOW INTO REE HIVE TYPE CATCH BASIN GRATE (EL: 20.5).
  - DURING EXTREME WEATHER EVENTS, OR IF THE CATCH BASIN GRATE WERE TO CLOG, WATER WILL FLOW OVER A WEIR (EL: 21.0) THAT IS FLUSH WITH THE ADJACENT GRASS AREA THEN FLOW OVER THE LOWLAND PORTION OF THE SITE AND EXIT THE PROPERTY IN THE LOCATION OF THE EXISTING SURFACE DISCHARGE.
  - AFTER FILTERING THROUGH THE FOCAL POINT MEDIA RUNOFF WILL FLOW INTO AN UNDERGROUND R-TANK STORAGE AREA (CONCEPTUAL LOCATION SHOWN AS DASHED LINE). WATER FROM THE CATCH BASIN WILL FLOW INTO THIS SAME R-TANK STORAGE AREA WHERE IT WILL BE DETAINED THEN RELEASED SLOWLY TO KEEP RUNOFF FLOW RATES FROM THE SITE BELOW PREDEVELOPMENT CONDITIONS.
  - WATER WILL DISCHARGE FROM THE R-TANKS INTO A FLOW CONTROL STRUCTURE THAT WILL BE CONFIGURED TO SLOWLY RELEASE THE STORMWATER RUNOFF.
  - DISCHARGE FROM THE FLOW CONTROL STRUCTURE WILL OUTLET INTO A LEVEL UP SPREADER (EL: 12.5) THAT SLOWS AND DISPERSES THE RUNOFF BEFORE IT LEAVES THE SITE IN THE SAME LOCATION AS THE EXISTING SURFACE DISCHARGE.
  - RUNOFF FROM THE LAWN AREAS IN THE LOWLAND PORTION OF THE SITE WILL BE MANAGED USING 2 SMALLER RAIN GARDEN AREAS. DUE TO EXISTING GRADES, IT WILL NOT BE PRACTICAL TO DAYLIGHT UNDERDRAINS FROM THESE SMALLER RAIN GARDENS TO THE SURFACE. THESE RAIN GARDENS WILL BE DESIGNED WITH A SHALLOW SECTION IN ORDER TO MAXIMIZE INFILTRATION, CONDITIONS OF SOIL FILTER MEDIA AND A 9" DEEP R-TANK AND A THIN LAYER OF SOIL FILTER MEDIA.
- GRADING NOTES:**
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES IN THE FIELD AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
  - AREAS NOT REQUIRING GRADING SHALL BE LEFT UNDISTURBED. CONTRACTOR SHALL AVOID THESE AREAS AND PRESERVE ALL EXISTING VEGETATION AS NOTED.
  - UTILITY LOCATIONS ARE APPROXIMATE AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION. ANY DISCREPANCIES OR CONFLICTS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT.
  - ALL UTILITY INSTALLATIONS SHALL MEET THE REQUIREMENTS OF THE TOWN OF FREEPORT, AS WELL AS ANY OTHER LOCAL, STATE, AND FEDERAL REQUIREMENTS.
  - SITE CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND DETAILS.
  - ALL PROPOSED SLOPES GREATER THAN 3:1 SHALL HAVE AN EROSION MAT INSTALLED OVER FINISH GRADES TO PROTECT SEEDED SLOPES FROM EROSION. AT CONTRACTOR'S OPTION, SLOPES MAY BE SODDED AS AN APPROPRIATE SUBSTITUTION TO SEED, AND MAT.
  - ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE GUIDELINES ESTABLISHED IN THE BEST MANAGEMENT PRACTICES, AND MAINTAINED THROUGHOUT CONSTRUCTION OF THIS PROJECT.
  - ALL AREAS DISTURBED BY CONSTRUCTION NOT TO BE PAVED OR OTHERWISE TREATED SHALL BE LOAMED AND SEEDED ACCORDING TO THE PROJECT SPECIFICATIONS. EXISTING LAWN AREAS WHICH ARE DISTURBED SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
- UTILITY NOTES:**
- \*PROPOSED UTILITY CONNECTIONS ARE SHOWN CONCEPTUALLY. LOCATIONS AND CONFIGURATIONS WILL LIKELY CHANGE DURING DESIGN DEVELOPMENT.
- PROPOSED 6" SANITARY SEWER SERVICE TO CONNECT TO SEPARATED SANITARY SEWER ON BOYD STREET.
  - THE PROPOSED WATER SERVICES ARE SHOWN CONNECTING TO THE BUILDING FROM BOYD STREET BASED ON AVAILABLE INFORMATION. NOTE THAT THE APPLICANT WOULD PREFER TO BRING THE WATER SERVICES INTO THE PROPOSED BUILDING FROM OXFORD STREET IF ADEQUATE CAPACITY IS AVAILABLE.
  - PROPOSED GAS SERVICE TO BE CONNECTED TO EXISTING 6" GAS MAIN ON OXFORD STREET.
  - PROPOSED ELECTRIC AND COMMUNICATIONS UTILITIES TO BE RUN UNDERGROUND FROM EXISTING UTILITY POLE ON OXFORD STREET INTO THE PROPOSED BUILDING.

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**CARROLL ASSOCIATES LANDSCAPE ARCHITECTS**  
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Architects  
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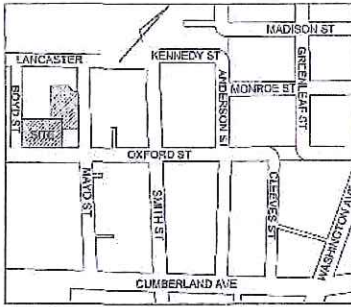
**PORTLAND HOUSING DEVELOPMENT CORPORATION**  
14 BAXTER BLVD  
PORTLAND, ME 04101  
P: 207.773.4753  
F: 207.774.6471

# SITE PLAN APPLICATION

Project:  
**BAYSIDE ANCHOR**  
Portland Housing Development  
Corporation  
81 East Oxford Street  
Portland, ME

Drawing: **SITE GRADING AND STORMWATER PLAN**  
Scale: 1"=10'  
Date: Monday, May 12, 2014  
Drawn by: EPK  
Revised

**L2.0**



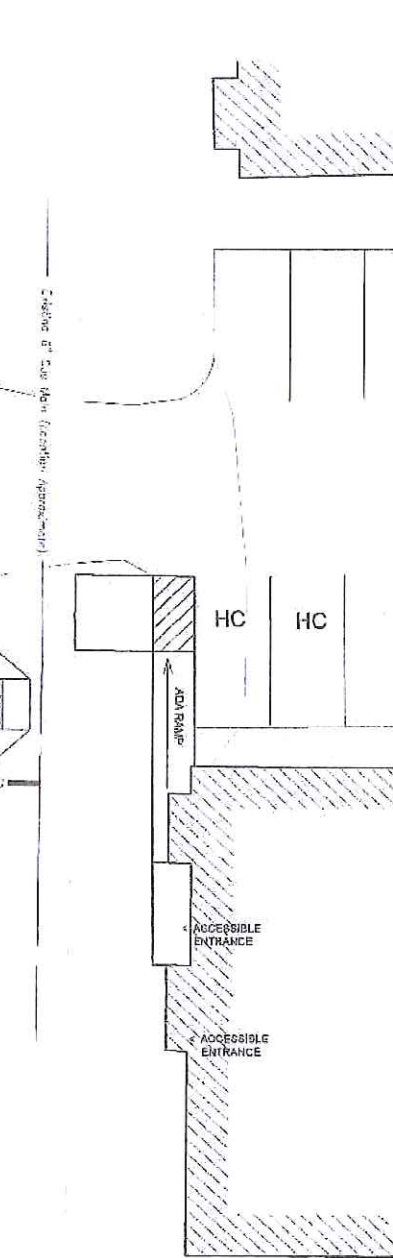
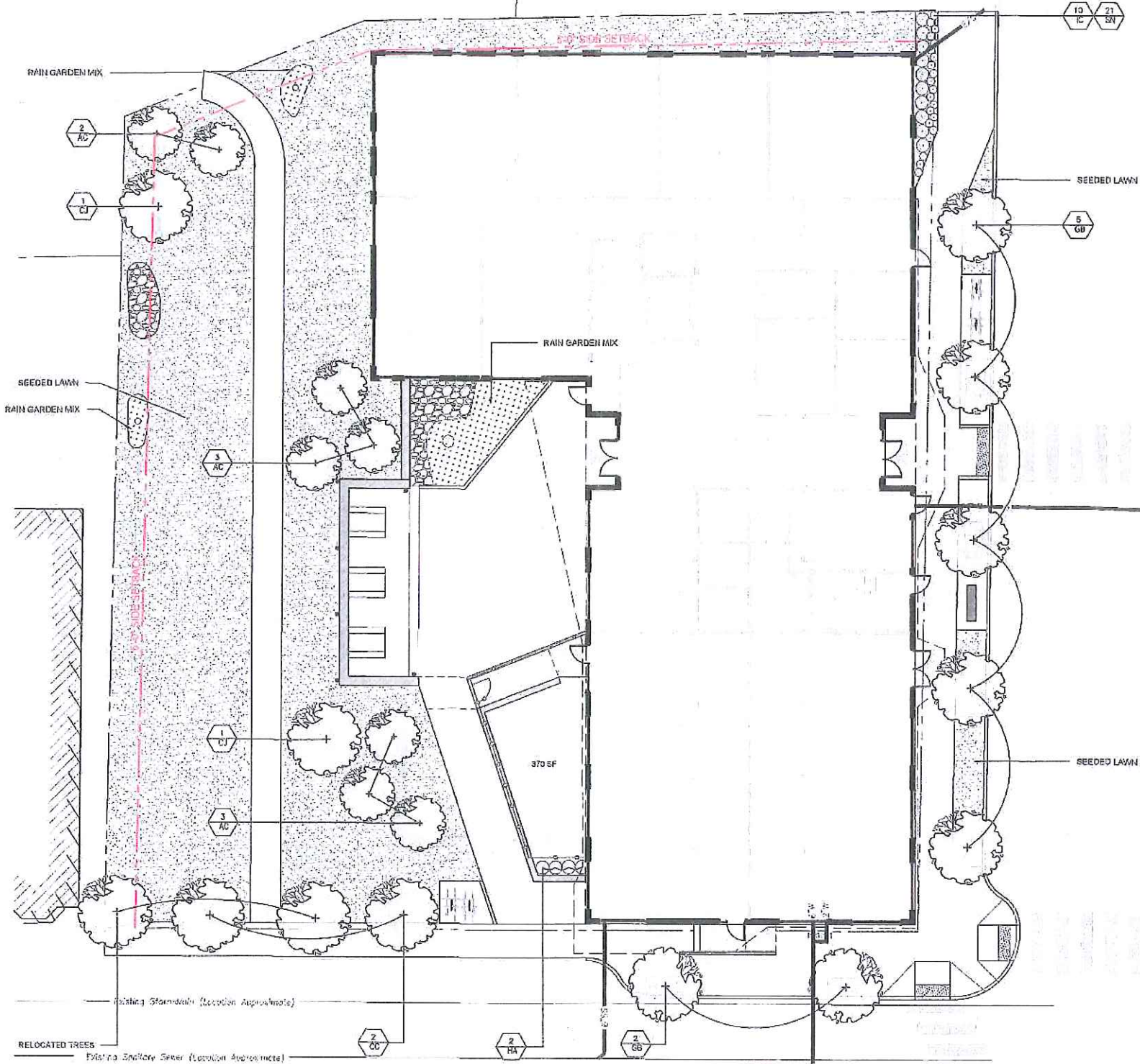
LOCUS N.T.S.

LEGEND

- (EXISTING)
- IRON PIPE OR ROD FOUND
  - MONUMENT FOUND
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- (PROPOSED)
- LIMIT OF WORK
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  - 7" VERTICAL GRANITE CURB
  - 6" VERTICAL GRANITE CURB
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  - BIKE RACK
  - CATCH BASIN

| QUANTITY | SYB | BOTANICAL NAME                                       | COMMON NAME        | SIZE           | REMARKS             |
|----------|-----|--|--------------------|----------------|---------------------|
| 8        | AC  | <i>Amelanchier x grandiflora 'Autumn Brilliance'</i> | Servicberry        | 6'-7' HT.      | MULTI STEMMED CLUMP |
| 2        | CC  | <i>Cercis canadensis 'Appalachian Red'</i>           | Eastern Redbud     | 2"-2 1/2" CAL. | BBB                 |
| 2        | CJ  | <i>Cercidiphyllum japonicum</i>                      | Kobusdogwood       | 3"-3 1/2" CAL. | BBB                 |
| 7        | GB  | <i>Ginkgo biloba</i>                                 | Ginkgo             | 3"-3 1/2" CAL. | BBB                 |
| 4        | HA  | <i>Hydrangea anomala subsp. pedunculata</i>          | Climbing Hydrangea | #7             | CONT                |
| 10       | IC  | <i>Ilex aquifolium 'Green Lustre'</i>                | Japanese Holly     | #5             | CONT                |
| 21       | SN  | <i>Salvia nemorosa 'Sensation Deep Blue'</i>         | Ornamental Sage    | #1             | CONT                |

| QUANTITY | SYB | BOTANICAL NAME                  | COMMON NAME         | Wet | Moist | Mesic | Dry | Size |
|----------|-----|---------------------------------|---------------------|-----|-------|-------|-----|------|
|          |     | <i>Andropogon scoparius</i>     | Little Bluestem     |     | X     | X     | X   |      |
|          |     | <i>Deschampsia cespitosa</i>    | Tufted Hair Grass   |     | X     | X     | X   |      |
|          |     | <i>Quercus sericea 'Taraui'</i> | Arctic Fire Dogwood | X   | X     | X     | X   |      |
|          |     | <i>Vaccinium corymbosum</i>     | Highbush Blueberry  | X   | X     | X     | X   |      |
|          |     | <i>Urtica verticillata</i>      | Stem Nettle         | X   | X     | X     | X   |      |
|          |     | <i>Aster novae-angliae</i>      | New England Aster   | X   | X     | X     | X   |      |
|          |     | <i>Eupatorium fistulosum</i>    | Joe Pye Weed        | X   | X     | X     | X   |      |
|          |     | <i>Reichardia fulgens</i>       | Black-eyed Susan    | X   | X     | X     | X   |      |
|          |     | <i>Lithospermum purpureum</i>   | Purple Conitifer    | X   | X     | X     | X   |      |



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 and Architects

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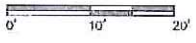
**PORTLAND HOUSING**  
 DEVELOPMENT CORPORATION

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SITE PLAN APPLICATION

Project: BAYSIDE ANCHOR  
 Portland Housing Development Corporation  
 31 East Oxford Street  
 Portland, ME

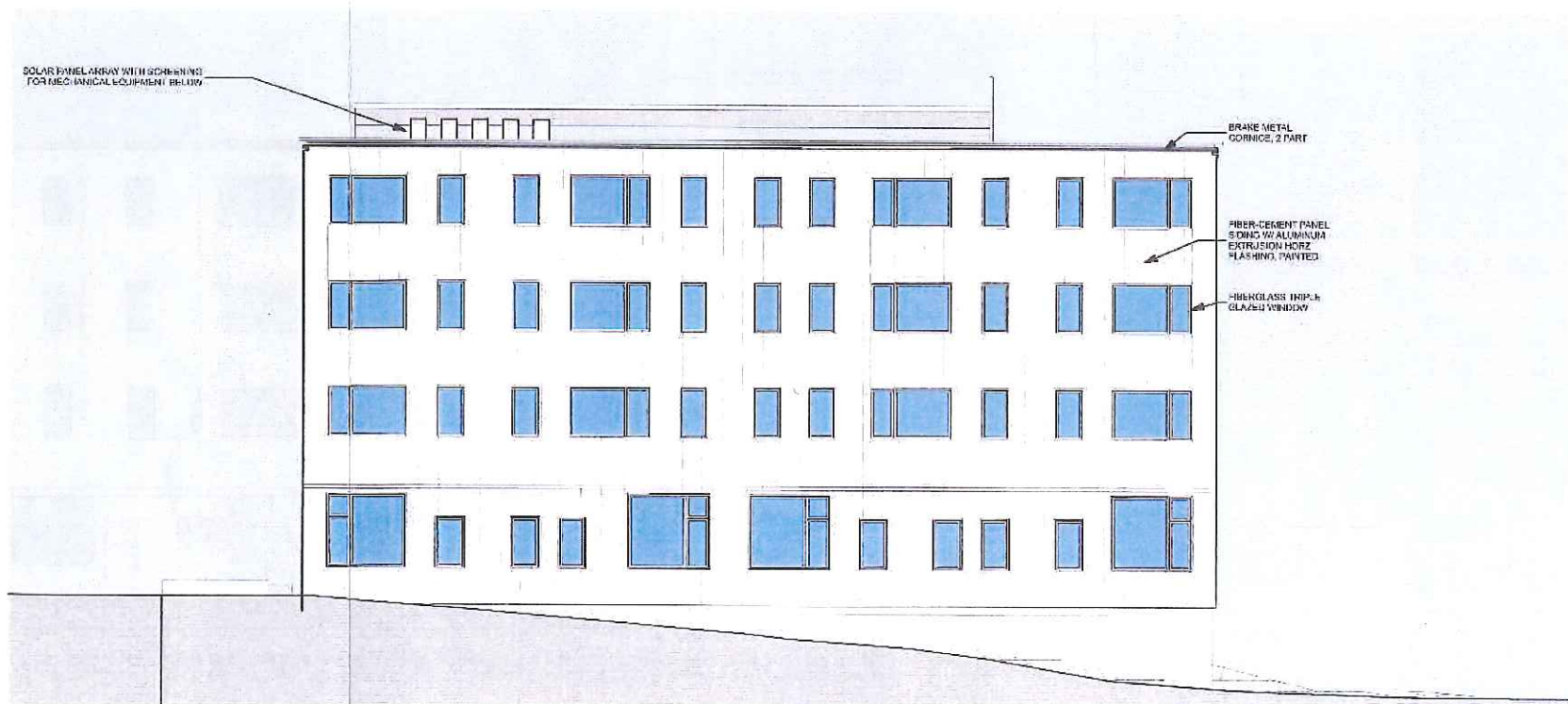
Drawing: SITE LANDSCAPE PLAN  
 Scale: 1" = 20'  
 Date: Monday, May 12, 2014  
 Drawn by: EPK  
 Revised:



L3.0



① **SOUTHWEST ELEVATION**  
SCALE: 1/8" = 1'-0"



② **NORTHEAST ELEVATION**  
SCALE: 1/8" = 1'-0"

**SITE PLAN APPLICATION**

PROJECT:  
**BAYSIDE ANCHOR**  
PORTLAND HOUSING DEVELOPMENT CORPORATION  
51 EAST OXFORD STREET  
PORTLAND, ME

DRAWING: 1/8" SW & NE ELEVATIONS

SCALE:

DRAWN BY: JJT

DATE: MONDAY, MAY 12, 2014

REVISED:

**A-2.2**

**KAPLAN THOMPSON ARCHITECTS**  
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jesse@kaplanthompson.com

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**RANSOM**  
Consulting, Planning and Socialize

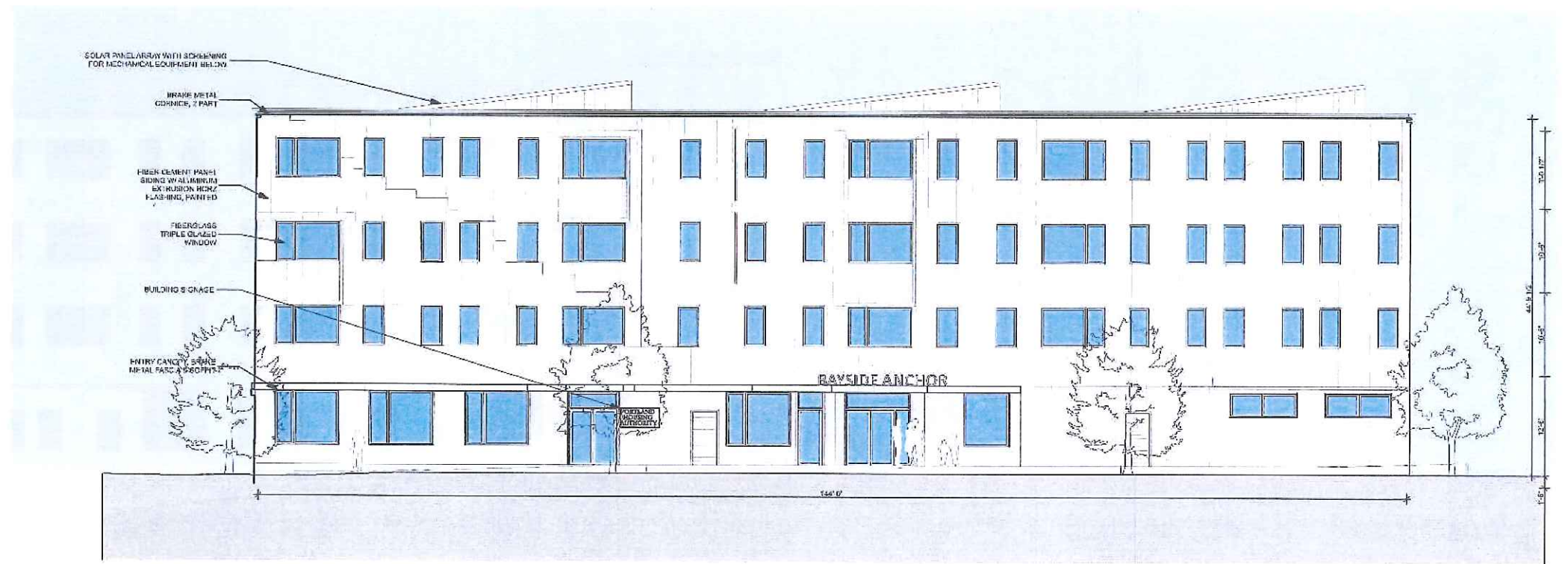
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**1** NORTHWEST ELEVATION  
SCALE: 1/8" = 1'-0"



**2** SOUTHEAST ELEVATION  
SCALE: 1/8" = 1'-0"

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**SITE PLAN APPLICATION**

PROJECT:  
**BAYSIDE ANCHOR**  
PORTLAND HOUSING DEVELOPMENT CORPORATION  
81 EAST OXFORD STREET  
PORTLAND, ME

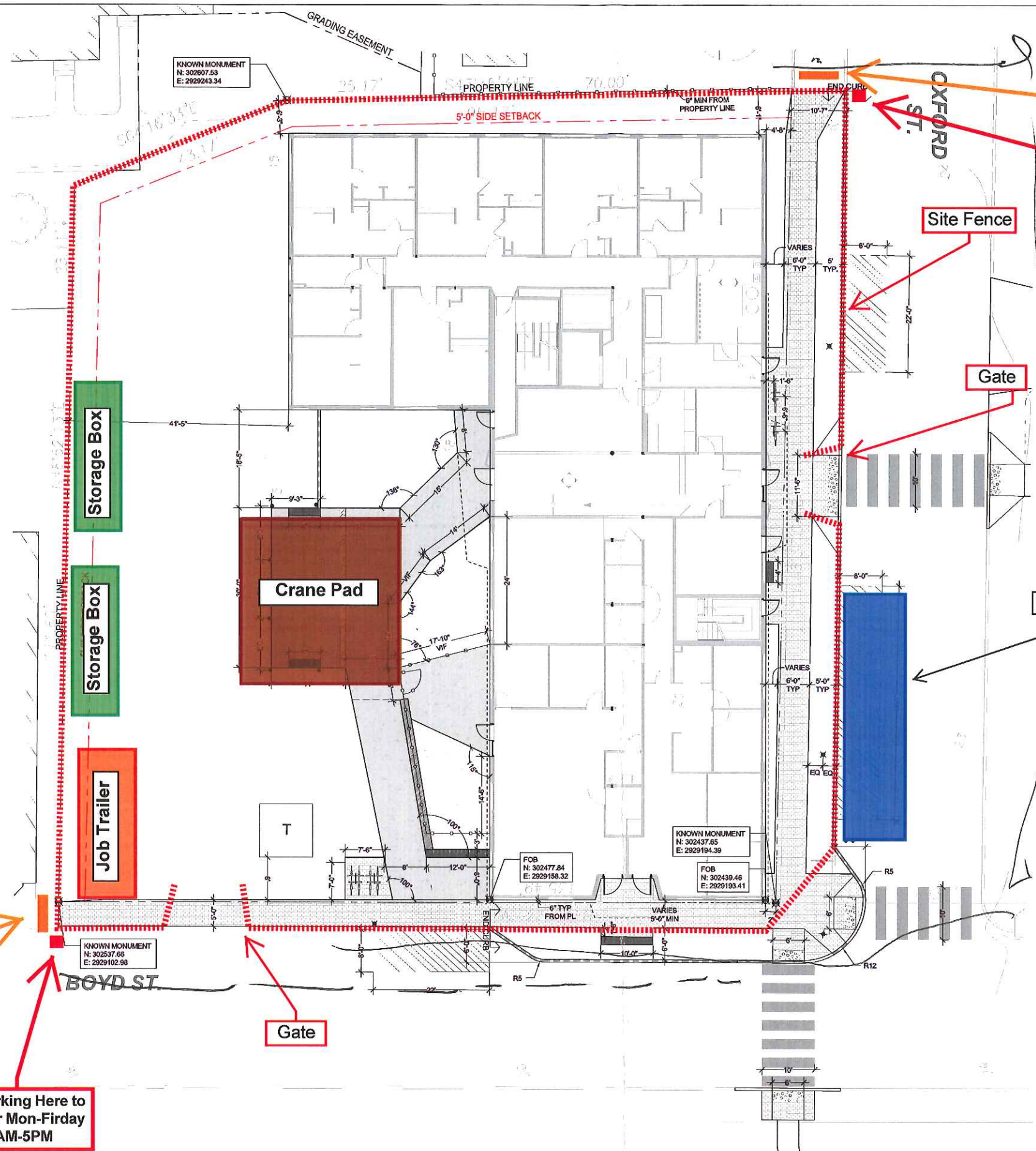
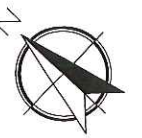
DRAWING: 1/8" NW & SE ELEVATIONS

SCALE:

DRAWN BY: JJT

DATE: MONDAY, MAY 12, 2014

REVISED:



Sidewalk Closed:  
Please Cross to  
other side of street

No Parking Here to  
Corner Mon-Friday  
7AM-5PM

Site Fence

Gate

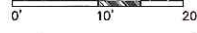
Deliveries

Sidewalk Closed:  
Please Cross to  
other side of street

No Parking Here to  
Corner Mon-Friday  
7AM-5PM

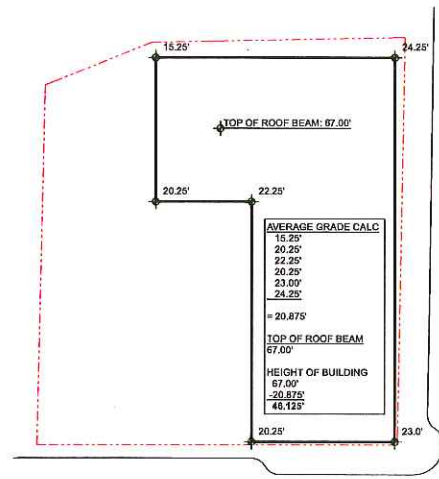
Gate

Wright-Ryan Construction  
Logistics Plan



Date: 7/8/15  
By: Luke Dionne





**UNIT MIX: GROUND FLOOR**

| Zone Category | Quantity |
|---------------|----------|
| 1 BR          | 4        |
| EFFICIENCY    | 2        |
|               | 6        |

**UNIT MIX: TOTAL**

| Zone Category | Quantity |
|---------------|----------|
| 1 BR          | 34       |
| 2 BR          | 6        |
| EFFICIENCY    | 5        |
|               | 45       |

**UNIT MIX: TOTAL BUILDING**

| Floor (Story) | Zone Category | Quantity |
|---------------|---------------|----------|
| 1st FLOOR     | 1 BR          | 4        |
| 1st FLOOR     | EFFICIENCY    | 2        |
| 2nd FLOOR     | 1 BR          | 10       |
| 2nd FLOOR     | 2 BR          | 2        |
| 2nd FLOOR     | EFFICIENCY    | 1        |
| 3rd FLOOR     | 1 BR          | 10       |
| 3rd FLOOR     | 2 BR          | 2        |
| 3rd FLOOR     | EFFICIENCY    | 1        |
| 4th FLOOR     | 1 BR          | 10       |
| 4th FLOOR     | 2 BR          | 2        |
| 4th FLOOR     | EFFICIENCY    | 1        |
|               |               | 45       |

**GROUND FLOOR PROGRAM**

| ID  | Zone Name                    | Area  | Zone Category              |
|-----|------------------------------|-------|----------------------------|
| 100 | GROSS AREA                   | 9,562 | GROSS AREA                 |
| 101 | LOBBY                        | 778   | CIRCULATION                |
| 102 | COMMUNITY ROOM               | 413   | COMMUNITY SERVICE FACILITY |
| 103 | OFFICE                       | 69    | COMMUNITY SERVICE FACILITY |
| 104 | LAUNDRY                      | 205   | UTILITY                    |
| 105 | TRASH                        | 245   | UTILITY                    |
| 107 | MAINT.                       | 49    | UTILITY                    |
| 107 | MECH.                        | 96    | UTILITY                    |
| 108 | BIKE STOR.                   | 283   | UTILITY                    |
| 109 | ADA                          | 58    | UTILITY                    |
| 109 | ADA                          | 58    | UTILITY                    |
| 111 | EFFICIENCY                   | 432   | EFFICIENCY                 |
| 111 | EFFICIENCY ADA               | 432   | EFFICIENCY                 |
| 112 | 1 BR APT                     | 540   | 1 BR                       |
| 112 | 1 BR APT                     | 576   | 1 BR                       |
| 112 | 1 BR APT                     | 576   | 1 BR                       |
| 112 | 1 BR APT                     | 576   | 1 BR                       |
| 121 | HEAD START                   | 1,244 | COMMUNITY SERVICE FACILITY |
| 122 | PHA NEIGHBORHOOD SERVICE HUB | 1,242 | COMMUNITY SERVICE FACILITY |
| 123 | COMMUNITY POLICE             | 260   | COMMUNITY SERVICE FACILITY |



**KAPLAN THOMPSON ARCHITECTS**  
424 FORE ST., PORTLAND, ME 04101  
207-842-2888 FAX: 842-2828  
jesse@kaplanthompson.com

**CARROLL ASSOCIATES LANDSCAPE ARCHITECTS**  
217 COMMERCIAL STREET, STE 200  
PORTLAND, MAINE 04101  
207.772.1552 V. F. 207.772.0112

**BECKER ENGINEERS**  
75 YORK ST.  
PORTLAND, ME 04101  
P: 207.879.1838  
F: 207.879.1822

**RANSOM Consulting Engineers and Scientists**  
400 COMMERCIAL ST.  
SUITE 404  
PORTLAND, ME 04101  
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F: 207.772.3248

**PORTLAND HOUSING DEVELOPMENT CORPORATION**  
14 BAXTER BLVD  
PORTLAND, ME 04103  
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F: 207.774.6471

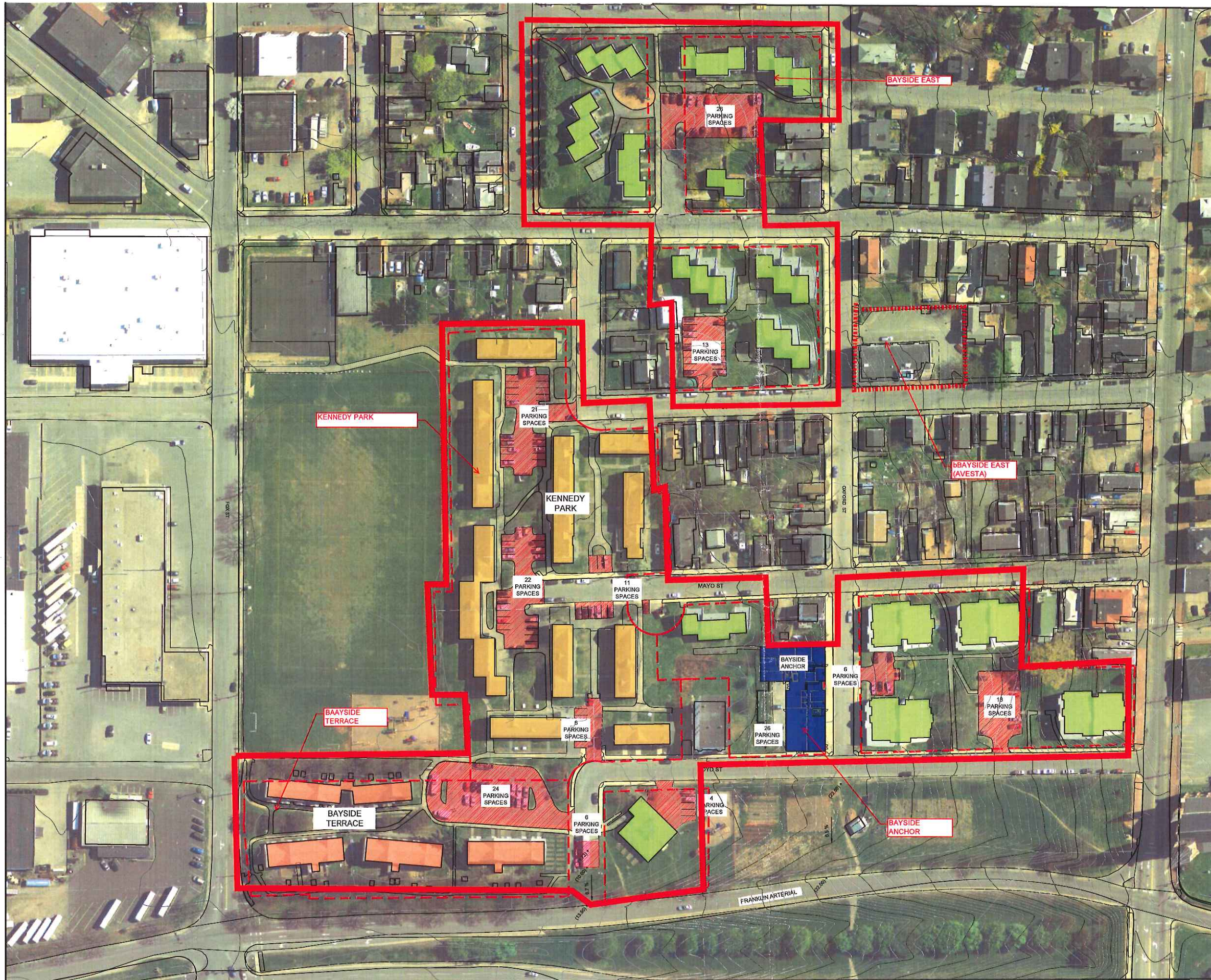
**SITE PLAN REVIEW**

PROJECT:  
BAYSIDE ANCHOR  
PORTLAND HOUSING DEVELOPMENT CORPORATION  
81 EAST OXFORD STREET  
PORTLAND, ME

DRAWING: 1st FLOOR PLAN  
SCALE:  
DATE: JUNE 30, 2014  
DRAWN BY: JJT  
REVISED:








| LEGEND |                   |
|--------|-------------------|
|        | EXISTING PARKING  |
|        | KENNEDY PARK      |
|        | BAYSIDE TERRACE   |
|        | BAYSIDE EAST      |
|        | BAYSIDE ANCHOR    |
|        | PHA LAND HOLDINGS |

| PARKING COUNT       | EX. DU | PROP. DU | EXISTING PARKING | PROPOSED PARKING |
|---------------------|--------|----------|------------------|------------------|
| KENNEDY PARK        | 45     | 45       | 60               | 60               |
| BAYSIDE TERRACE     | 24     | 24       | 30               | 30               |
| BAYSIDE EAST        | 86     | 86       | 67               | 67               |
| BAYSIDE E. OVERFLOW | /      | /        | 26               | 0                |
| BAYSIDE ANCHOR      | 0      | 46       | 0                | 0                |

|       |     |     |     |     |
|-------|-----|-----|-----|-----|
| TOTAL | 155 | 201 | 183 | 157 |
|-------|-----|-----|-----|-----|

|              |  |  |      |      |
|--------------|--|--|------|------|
| Cars / Units |  |  | 1.18 | 0.78 |
|--------------|--|--|------|------|

\* Does not include on street parking



# BAYSIDE ANCHOR

-  
PHA PARKING COUNT  
OSFORD STREET, PORTLAND MAINE  
-

DATE: JANUARY 10, 2014 BY: CARROLL ASSOCIATES

