

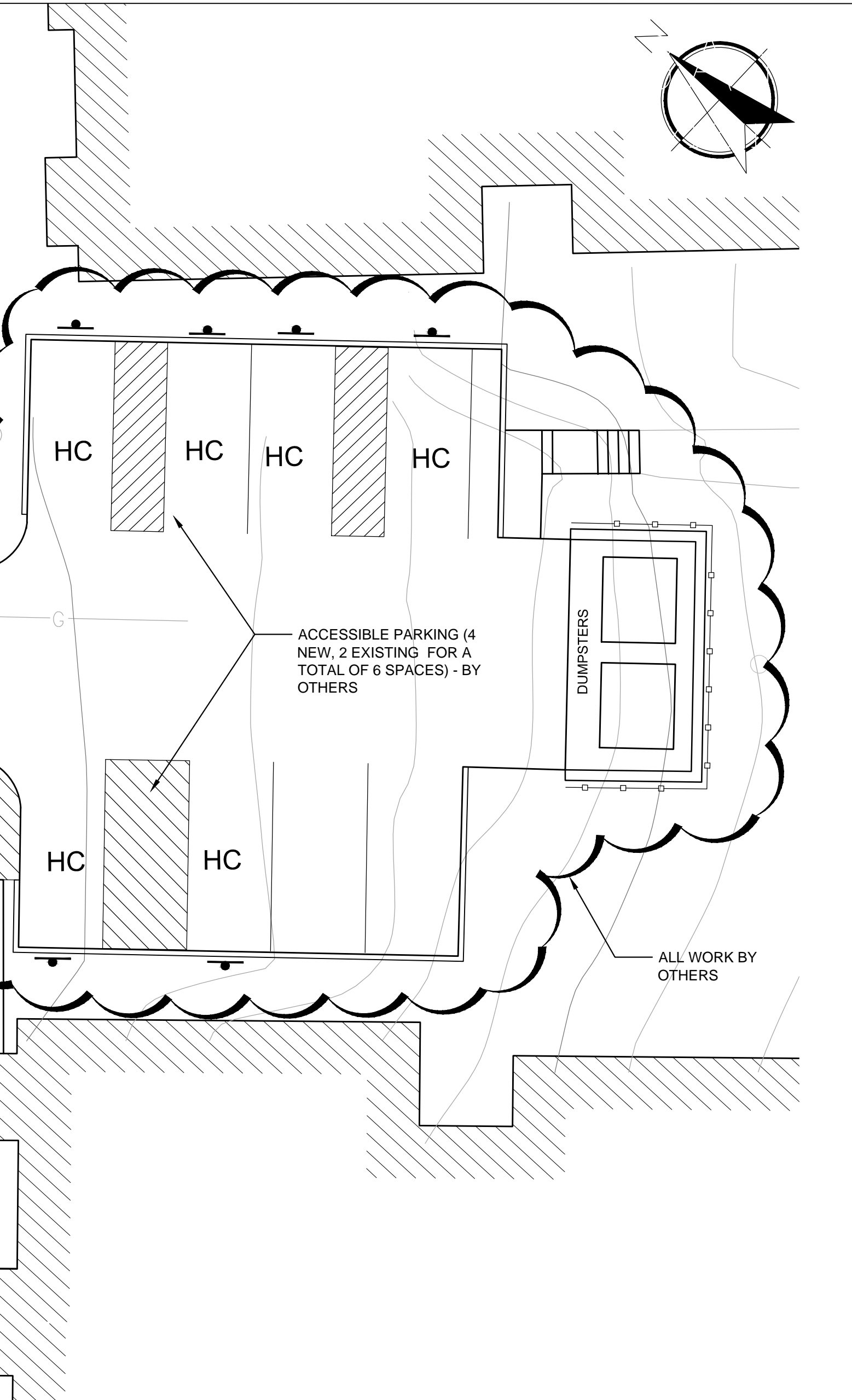
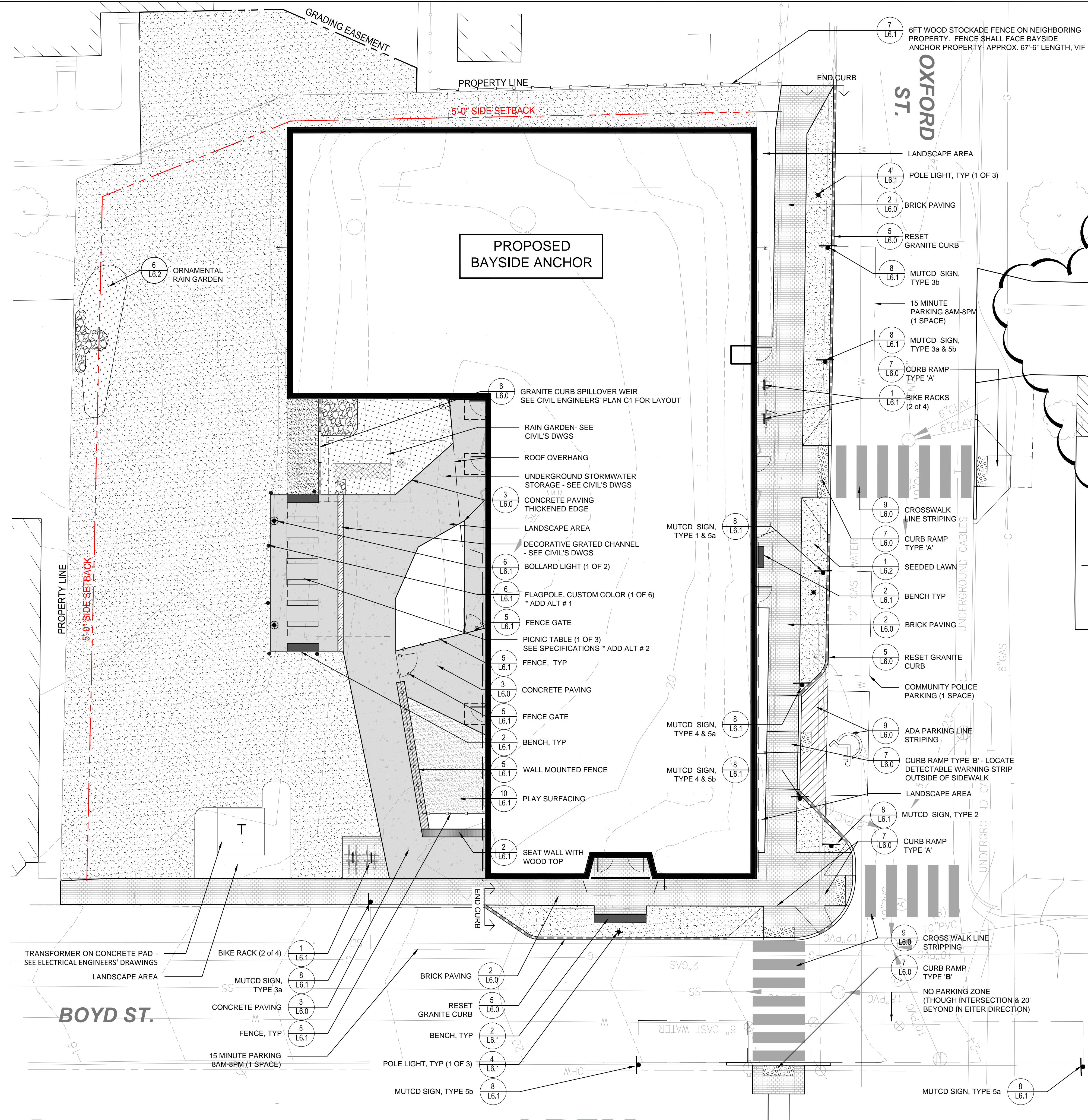
LOCUS
N.T.S.

**LEGEND
(EXISTING)**

- IRON PIPE OR ROD FOUND
- MONUMENT FOUND
- ⊗ WATER VALVE
- ⊕ HYDRANT
- UTILITY POLE
- MANHOLE
- MANHOLE
- SIGN
- DECIDUOUS TREE
- FENCE
- CURB
- OHW
- OVERHEAD WIRES
- EXISTING CONTOURS

(PROPOSED)

- 7" VERTICAL GRANITE CURB
- FLUSH / TRANSITION GRANITE CURB
- NEW TREE
- RELOCATED TREE
- SHRUBS
- LAWN
- RAIN GARDEN
- GROUND COVER
- BIT. CONC. PAVING
- BRICK PAVING
- CONCRETE PAVING
- PLAY SURFACING
- WALL W/ WOOD TOP
- WALL
- BENCH, TYP
- BIKE RACK
- POLE LIGHT
- BOLLARD LIGHT
- SIGN
- FENCE



- NOTES**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
 2. EXISTING CONDITIONS BASED ON TOPOGRAPHIC SURVEY COMPLETED BY OWEN HASKELL, INC. MAY 7, 2013 UPDATED MAY 26, 2015 AND JUNE 22, 2015. FIELD CONDITIONS MAY VARY FROM WHAT IS DEPICTED ON THE PLANS. OFF SITE EXISTING CONDITIONS ACROSS OXFORD STREET ARE BASED ON THE CITY OF PORTLAND'S GIS DATA. FIELD CONDITIONS MAY VARY SLIGHTLY FROM WHAT IS DEPICTED ON THE PLANS.
 3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION. ANY UNUSUAL CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ATTENTION OF THE OWNER.
 4. CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
 5. CONTRACTOR SHALL PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED.
 6. THE CONTRACTOR SHALL CONTACT DIG SAFE (1-888-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
 7. ALL PAVEMENT JOINTS SHALL BE SAWCUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
 8. NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
 9. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE A STREET - OPENING PERMIT FROM THE CITY OF PORTLAND AND COORDINATION WITH THE DEPARTMENT OF PUBLIC SERVICES.
 10. ALL SIGNAGE SHALL BE FIELD ADJUSTED AS NEEDED AT THE DIRECTION OF THE CITY OR PROJECT ENGINEER.
 11. THERE SHALL BE NO PAVEMENT MARKINGS FOR TEMPORARY PARKING SPACES. ANY MARKING ON PLANS ARE INTENDED TO SHOW LOCATION OF SPACES ONLY.

Scale: 1"=10'

Date: July 2, 2014

Revised: 8.31.2015

0' 10' 20'

KAPLAN THOMPSON ARCHITECTS
424 FORE ST. PORTLAND, ME 04101
P: 207-842-2888 F: 842-2828
JESSE@KAPLANTHOMPSON.COM

CARROLL ASSOCIATES LANDSCAPE ARCHITECTS
217 COMMERCIAL ST
PORTLAND, ME 04101
P: 207.772.1552 F: 207.772.0712

BECKER STRUCTURAL ENGINEERS
75 YORK ST.
PORTLAND, ME 04101
P: 207.879.1838 F: 842-2828
P: 207.879.1822

RANSOM Consulting Engineers and Scientists
400 COMMERCIAL ST. SUITE 404
PORTLAND, ME 04101
P: 207.772.2891 F: 207.772.3248

PORTLAND HOUSING MAINE DEVELOPMENT CORPORATION
14 BAXTER BLVD
PORTLAND, ME 04101
P: 207.773.4753 F: 207.774.6471

APEX ENGINEERING
190 US Route One, PMB 346 Falmouth, Maine 04105
Phone: (207) 847-3445 Fax: (207) 847-3446

PRICING DOCUMENTS

Project: BAYSIDE ANCHOR
Portland Housing Development Corporation
81 East Oxford Street
Portland, ME

Drawing: **MATERIALS PLAN**

Scale: 1"=10'

Date: July 2, 2014

Revised: 8.31.2015

Drawn by: EPK

L2.0