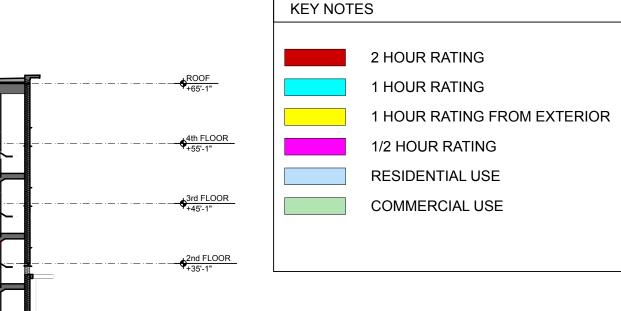




SECTION: E/W STAIR



NFPA		CODE REF.	PAGE
Occupancy	Apartment Building (3 or more dwelling units) Business Day Care Separated Occupancy Fire resistance rating may be reduced by 1 Hour if Sprinklered	3.3.17 & 6.1.8.1.5 3.3.34 & 6.1.11 3.3.50 & 6.1.4 6.1.14.2.3 6.1.14.4.3	101-42 101-42 101-43 101-43
Separation	Apartment to Business = 1 Hour with Sprinklers Apartment to Day Care = 1 Hour with Sprinklers Business to Day Care = 1 Hour with Sprinklers	Table 6.1.14.4.1(b)	101-45
Exit Access Corridor Exits	Occupant load $> 30 (6,000 \text{ SF}) = 1 \text{ Hour exit access corridors}$ If Exit is separated, 1 Hour for 3 or less stories, or sprinklered	7.1.3.1 7.1.3.2.1	
Occupant Load	Residential Apartment Buildings = 200 SF / person	Table 7.3.1.2	
# Means of Egress	2 means of egress except as under Chapter 11 -> 43	7.4.1	
Number of Exits	New Apartment Buildings 2 Means of Egress per Dwelling Unit	30.2.4.1	
	Single Exit / Unit if: 1. Exit Door opening directly to street or yard 2. Direct access to an outside stair serving max 2 units on same story 3. Direct access to interior 1 hour stair	30.2.4.2	
	Single exit for 4 Story or less Building if: 1. 4 or fewer units per Story 2. Sprinklered 4. Travel Distance from Unit Door to Exit < 35'-0" 5. Exit Stairway = 1 Hour rating 6. All openings = 1 hour rating 7. Corridors to exits = 1 hour rating 8. 1/2 hour rating horz & vert between units	30.2.4.4	
Means of Egress	Common Path of Travel $<$ 50'. Not count inside dwelling unit Dead end corridors $<$ 50' w/ sprinkler	30.2.5.3.2 30.2.5.4.2	
Travel Distance	Within dwelling unit < 125'-0" Unit entrance door to nearest exit < 200'-0" w/ sprinkler	30.2.6.2 30.2.6.3.3	
Detection & Alarm	Four or more stories or > 11 units = Section 9.6	30.3.4.1.1	

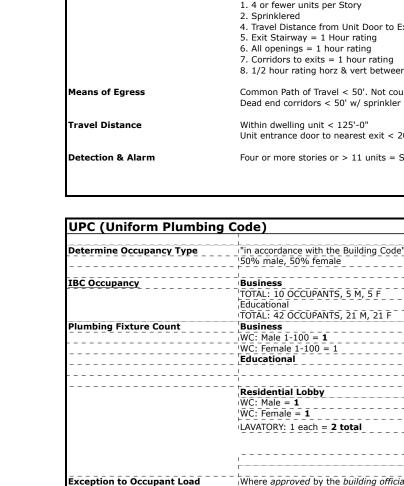
UPC (Uniform Plumbing	g Code)	CODE REF.	PAGE
Determine Occupancy Type	' ı"in accordance with the Building Code" '50% male, 50% female	T4-1 Intro	36
BC Occupancy	Business TOTAL: 10 OCCUPANTS, 5 M, 5 F Educational	!	
Plumbing Fixture Count	TOTAL: 42 OCCUPANTS, 21 M, 21 F Business WC: Male 1-100 = 1	† †	
	WC: Female 1-100 = 1 Educational	 	
	Residential Lobby WC: Male = 1 WC: Female = 1	 	
	ILAVATORY: 1 each = 2 total	1 - -	
Exception to Occupant Load	Where approved by the building official, the actual number of loccupants for whom each occupied space, floor or building is designated, although less than those determined by calculation, shall be permitted to be used in the determination of the design occupant load.	IBC 1004.1.1	IBC 2:
	' 	T4-1(12) per building official	

Code Compliance		
	Allowed	As Drawn
Dead-End Corridors	50'-0" Max.	48'-6" at longes
Building Height	70'-0" (sprinklered)	65'-1"
Stories	4 (sprinklered)	4
Area	12,000 (per floor)	9,423
Stair Width	44" Min.	44-5/8"
Corridor Width	44" Min.	64"
Exit Access	75'-0" Max.	61'-6" at longes

Code Compliance		
	Allowed	As Drawn
Dead-End Corridors	50'-0" Max.	48'-6" at longest
Building Height	70'-0" (sprinklered)	65'-1"
Stories	4 (sprinklered)	4
Area	12,000 (per floor)	9,423
Stair Width	44" Min.	44-5/8"
Corridor Width	44" Min.	64"
Exit Access	75'-0" Max.	61'-6" at longest

09/03/2015

Code Summary	Bayside Anchor	 	
Project address: Project type:	81 East Oxford St 45 Unit Multifamily Building with ground floor mixed use	+	
Square Foot Building code:	48,000 SF City of Portland IBC 2009 INFPA 101		
IBC	Maine Human Rights Commission	1 1 1	
Occupancy Type	MIXED USE: Residential R-2, Business B, Educational E	1304, 305,	PAGE 24, 35
Detailed Requirements	Dwelling Units shall be separated by Fire Partitions per 709 Floor Assemblies separating Dwelling Units shall be constructed as	420.2	76
Allowable Building Height Allowable Stories, Area	Horizontal Assemblies per Section 712 Type VA: 50-0 max height (70-0 max height if sprinklered) VA: (R-2) Stories: 3, Area: 12,000 (4 Stories & 36,000 when	1420.3 Table 503	76 80
	Sprinklered VA: (B) Stories: 3, Area: 18,000 (4 Stories & 54,000 Sprinklered	Table 503	80
Allow Area Increase	VA: (E) Stories: 1, Area: 18,500 (4 Stories & 55,500 Sprinklered) (increase by 300% when sprinklered)	 506.3	82
Incedental Accessory Occupancies Req'd Separation of Occupancies	R & E - 1 Hour when Sprinklered R & B - 1 Hour when Sprinklered	Table 508.2.5 Table 508.3.3	85 86
Construction Type	Type VA Sprinklered Primary Structural Frame: 1 Hour	Table 601	89
	Bearing Walls, Exterior & Interior: 1 Hour Non-bearing walls & partitions: 0 Hour	 	
	Floor Construction & Secondary Members: 1 Hour Roof Construction & Secondary Members: 1 Hour Exception b: Sprinklers may be substituted for 1 hour rating if no floor	 	
	area or height increase taken. 1 Hour exterior wall rating must be maintained.		
Fire Separation Distance	Occupancy R, B, E Type VA: X < 5 = 1 Hour	Table 602	90
Fire Protection: Exterior Walls	5 < X < 10 = 1 Hour 10 < X < 30 = 1 Hour Cornices, eave overhangs: $1/2$ distance to lot line where all openings	1 1 1	
The Protection: Exterior Walls	lare permitted to be to be unprotected or automatic sprinkler system per Section 705.8.2	¹ 705.2.2	97
	Type V: Projections shall be of any Approved material Exterior Walls: Fire separation > 10-0 rated from inside. Fire	705.2.2	97
Maximum Area of Exterior Opening	separation < 10-0 rated from both sides. gs 5-0 to 10-0: Unprotected & sprinklered = 25% 10-0 to 15-0: Unprotected & sprinklered = 45%	¹ 705.5 ¹ Table 705.8	97 99
	15-0 to 20-0: Unprotected & sprinklered = 75% 20-0 & greater: Unprotected & sprinklered = No Limit	1 1 1	
Sua Dauviana	Parapets: Not Required if wall is permitted to have 25% unprotected openings.	705.11.6	101
ire Barriers	Exterior Walls as part of rated shaft or exit per 705 only (exception Section 1022.6 Exit Enclosures) Incidental Accessory Occupancies: 1 Hour OR Automatic Fire	1 1707.4 +	103_
	Extinguishing System: Furnace Rm over 400Kbtu/hr, Laundry Rm >100 SF, Waste Rm >100 SF	Table 508.2.5	85 __
Shaft Enclosures	Fire Rating: Connecting 4 stories + = 2 Hours, <4 stories = 1 Hour Shaft FR = FR of floor being penetrated minimum, 2 hr max	708.4 708.4	105
	Exterior Walls: Openings protected per Section 715, doors self-closing. Elevator lobby: not required with automatic sprinkler system	708.6 708.7 708.14.1.4	105 105 107
Fire Partitions	Dwelling Units: Fire Rating not less than 1 Hour (exception Corridor walls per 1018.1)	709.1, 709.3	107
dorizontal Assemblies	Separating Dwelling Units horizontally = 1 Hour	712.3 Table 715 4	109
Fire Door Ratings	Shaft, Exit fire barriers: 1 hr Wall = 1 hr Door Assembly Other fire barriers: 1 hr Wall = 3/4 hr Door Assembly Fire Partitions: Corridor Walls: 1 hr wall = 1/3 hr door	Table 715.4	<u>114</u>
	Fire Partitions: Corridor Walls: 1/2 hr wall = 1/3 hr door Other fire partitions: 1 hr wall = 3/4 hr door		
Oucts & Air Transfer Openings	Other fire partitions: 1/2 hr wall = 1/3 hr door Fire dampers not required in corridor walls w auto sprinker and	,	130
Concealed Spaces	protected as through penetration. Horizontal Assemblies: protected by shaft enclosure per 708 Groups R-2: Draftstopping not required with automatic sprinkler	[†] 716.5.4.1 [†] 716.6 [†] 717.3.2.1	120 120 123
nterior Finishes prinklers	R-2: Wall & Ceiling Finishes: Class C throughout All Group R buildings to be sprinklered	Table 803.9 903.2.8	177 185
	Group R - up to & including 4 stories in height = NFPA-13R Quick-response & residential sprinklers: Dwelling & sleeping Units	903.3.1.2 903.3.2	187
Standpipes	Group R Height: Class 3 required for Group R if highest story >30' above lowest level of fire dept vehicle access	905.3.1	187
	Class 1 allowed if Sprinklered per NFPA 13 or 13R	905.3.1.1	190
ire Alarms & Detection Systems	One manual fire alarm box provided Not required for R-2 unless required by fire code official Group B: Manual alarm pot regird if occupant load < 500 persons	907.2 907.2 Ex 2	195 195
	Group B: Manual alarm not req'd if occupant load < 500 persons Group E: Manual alarm not req'd if occupant load <50 Group R-2: Manual fire alarm req'd if any dwelling unit 3+ stories	907.2.2 Ex 1 902.3 Ex 1	195 195
	above level of exit discharge or > 16 dwelling units Manual fire alarm not req'd with automatic sprinklers & occupant	907.2.9.1	197
	notification upon a sprinkler waterflor Group R-2: Outside of sleeping area, in bedrooms, each story	907.2.9.1 Ex2 907.2.11.2	198 199
	Interconnection required for Group R Visible Alarm in all Group R-2 req'd to have a fire alarm system	907.2.11.3	199_ 203
	B Floor 1: 1,000 SF / 100 = 10 Occupancy	Table 1004.1.1	220
Group	E Floor 1: Day Care: 1,500 SF / 35 = 42 Occupancy		
Group K-	2 Floor 1: 7,162 SF / 200 = 36 Occupancy	+	
Group K-	Floor 1: 7,162 SF / 200 = 36 Occupancy Floor 2, 3 & 4: 9,800 SF / 200 = 49 Occupancy each Total Occupancy: 235 persons	; +	
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KAPLAN THOMPSON ARCHITECTS 424 FORE ST., PORTLAND, ME 04101 207-842-2888

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P: 207.772.2891





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