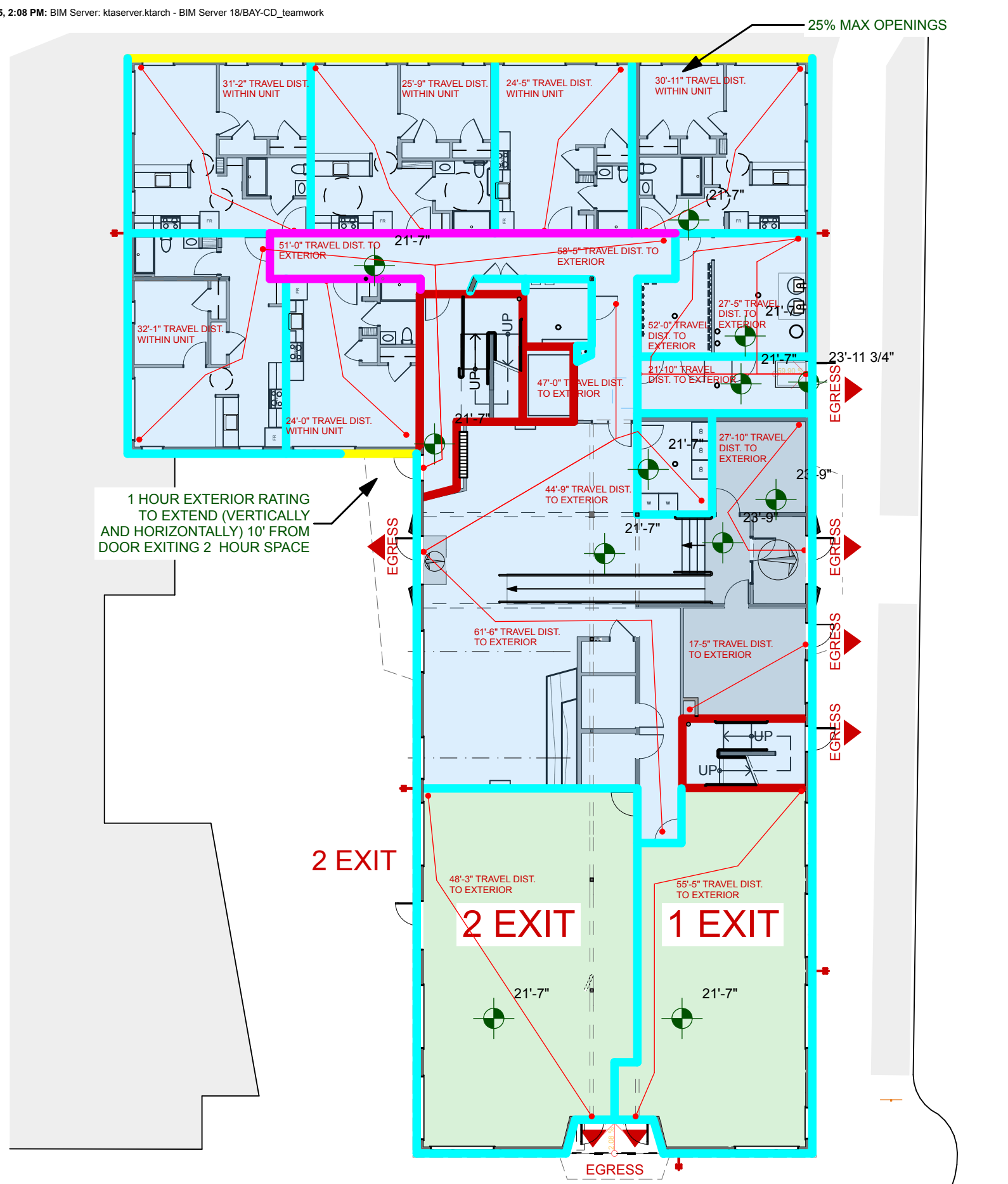


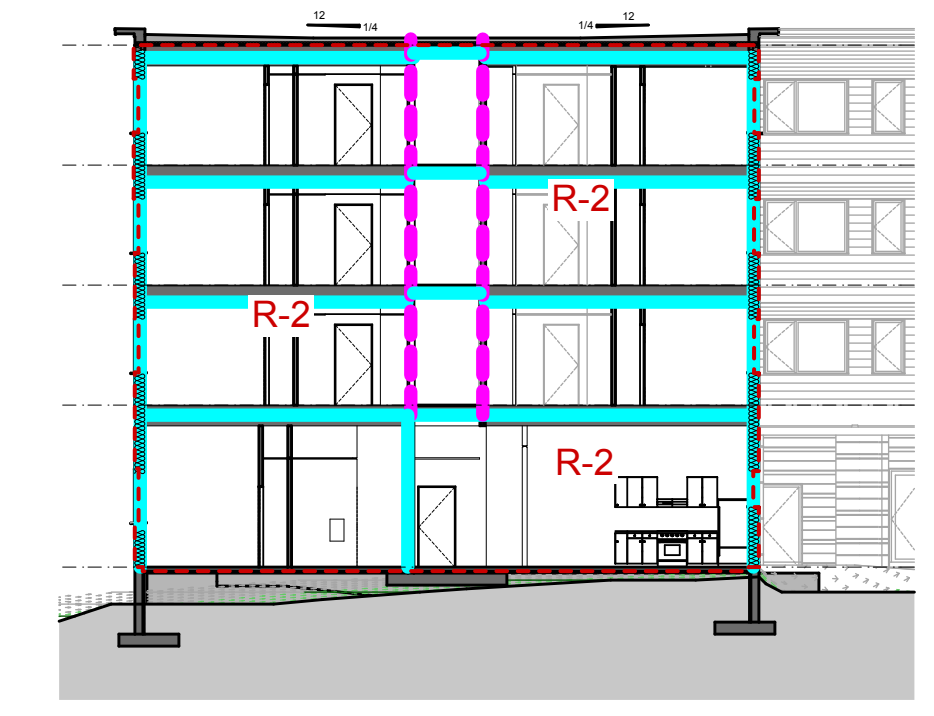
Code Compliance	Allowed	As Drawn
Dead-End Corridors	50'-0" Max.	48'-6" at longest
Building Height	70'-0" (sprinklered)	65'-1"
Stories	4 (sprinklered)	4
Area	12,000 (per floor)	9,423
Stair Width	44" Min.	44-5/8"
Corridor Width	44" Min.	64"
Exit Access	75'-0" Max.	61'-6" at longest



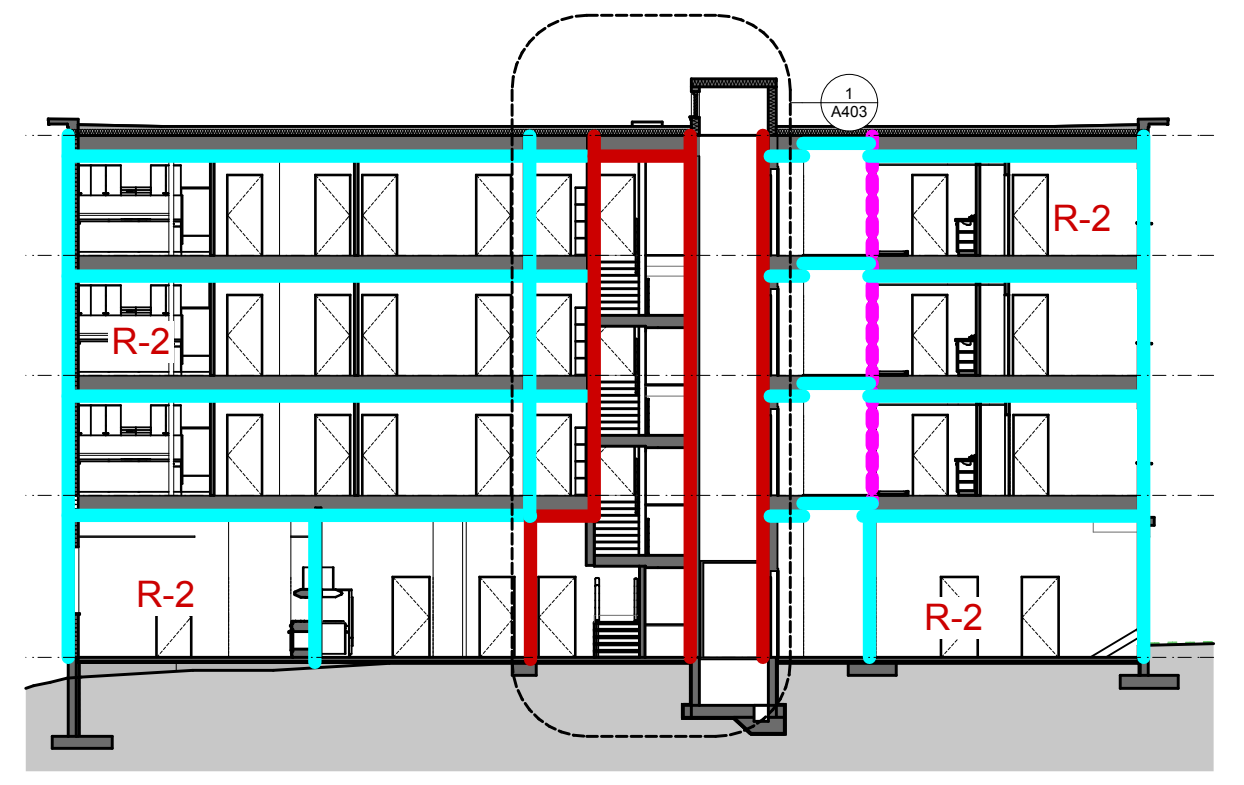
1 1st FLOOR: LIFE SAFETY
SCALE: 1/16" = 1'-0"



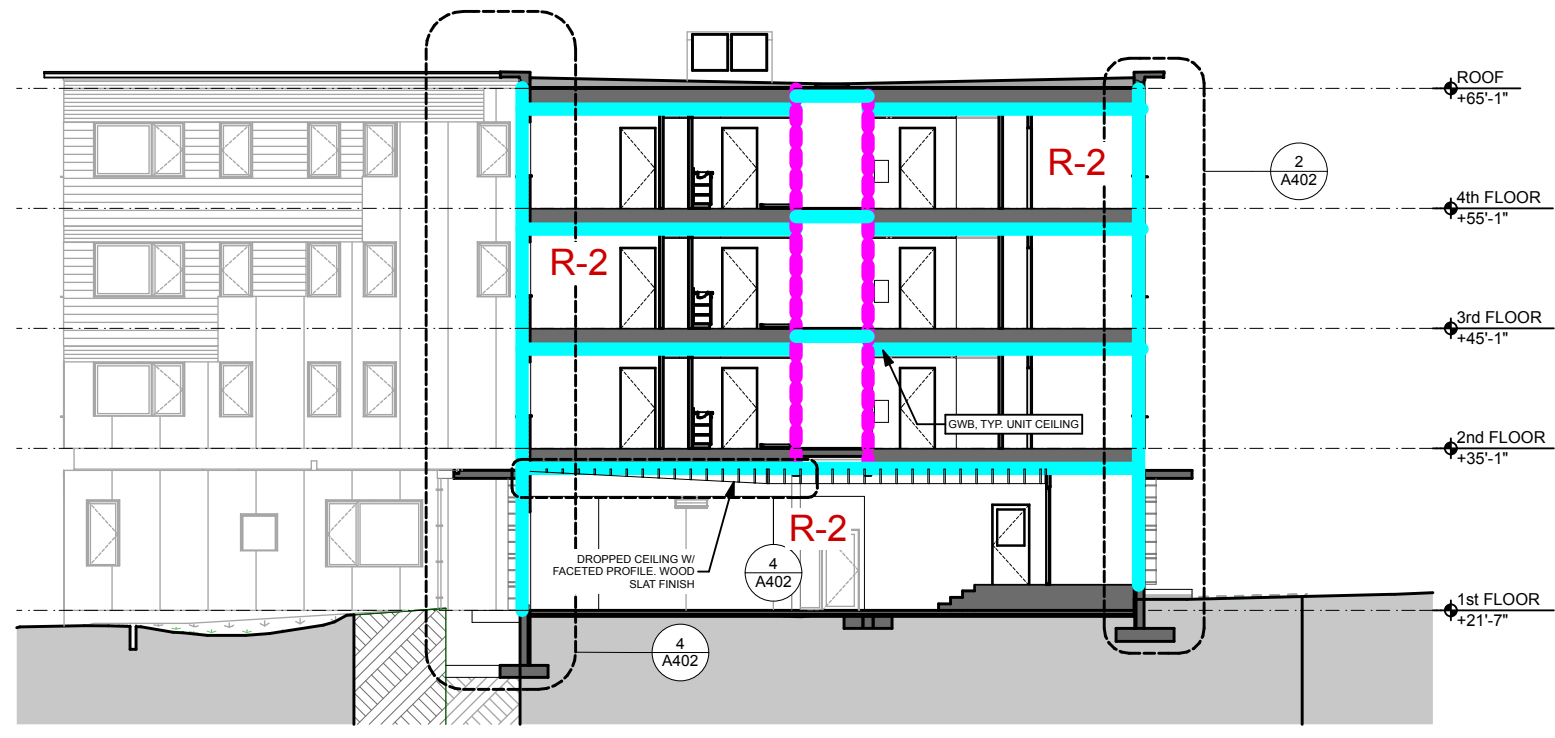
3 SECTION: N/S STAIR
SCALE: 1/16" = 1'-0"



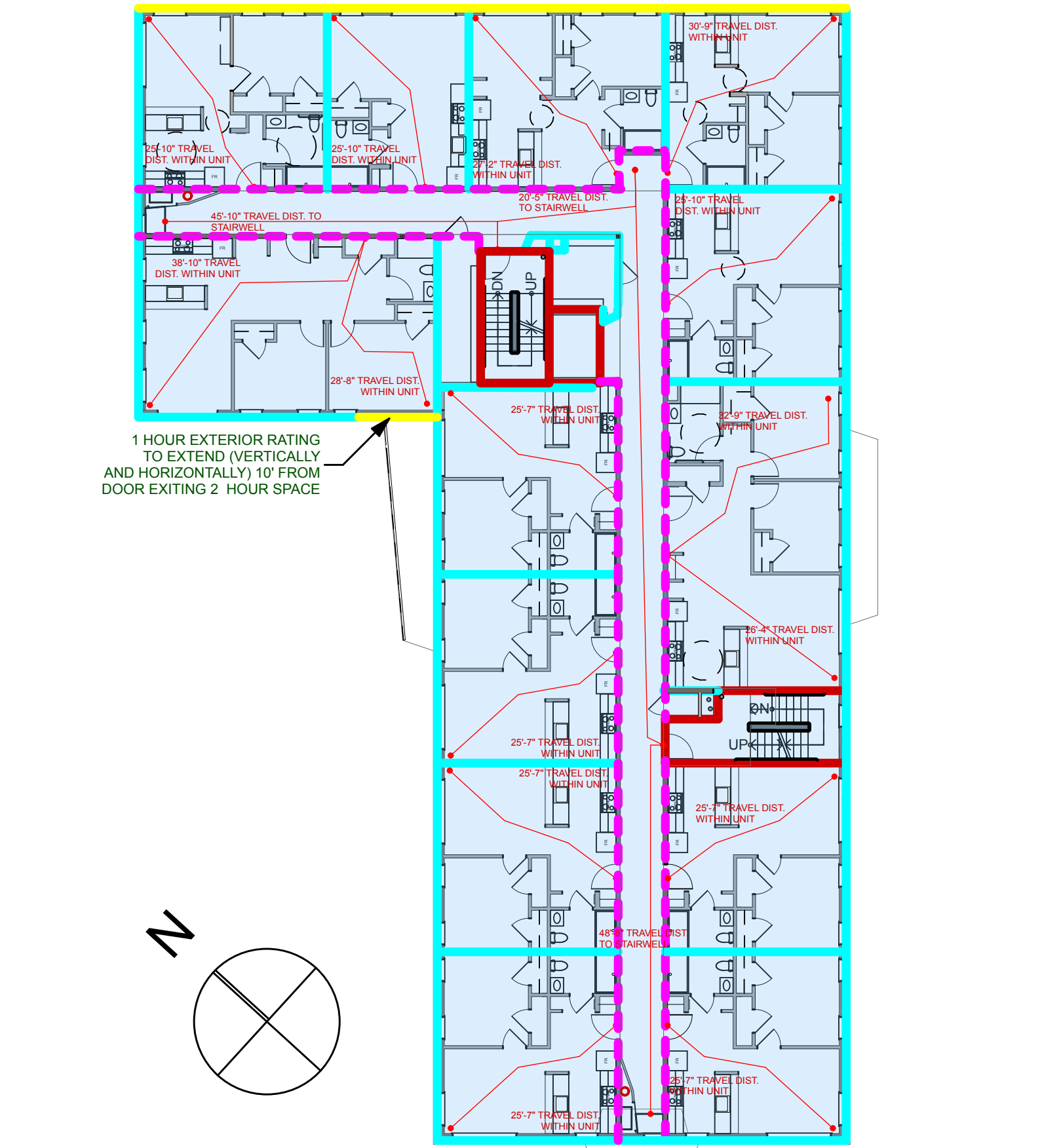
4 SECTION: N/S
SCALE: 1/16" = 1'-0"



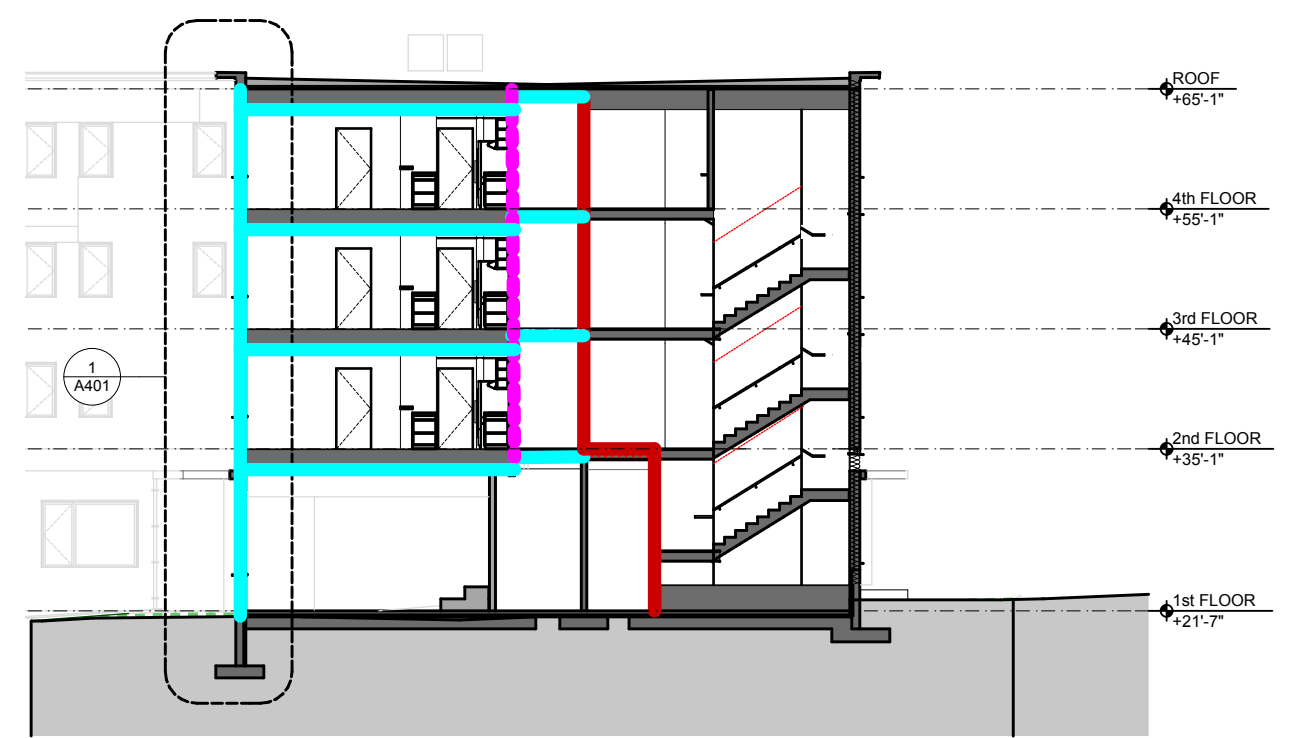
5 SECTION: E/W ELEVATOR
SCALE: 1/16" = 1'-0"



6 SECTION: E/W LOBBY
SCALE: 1/16" = 1'-0"



2 TYP. UPPER FLOOR: LIFE SAFETY
SCALE: 1/16" = 1'-0"



7 SECTION: E/W STAIR
SCALE: 1/16" = 1'-0"

KEY NOTES

- 2 HOUR RATING
- 1 HOUR RATING
- 1 HOUR RATING FROM EXTERIOR
- 1/2 HOUR RATING
- RESIDENTIAL USE
- COMMERCIAL USE

NFPA

Occupancy	Code Ref.	Page
Apartment Building (3 or more dwelling units)	3.3.17 & 6.1.8.1.5	101-42
Business	3.3.34 & 6.1.1.11	101-42
Day Care	3.3.50 & 6.1.4	101-43
Separated Occupancy	6.1.14.2.3	101-43
Fire resistance rating may be reduced by 1 hour if sprinklered	6.1.14.4.3	101-43
Apartment to Business = 1 hour with sprinklers	Table 6.1.14.4(10)	101-45
Apartment to Day Care = 1 hour with sprinklers	Table 6.1.14.4(10)	101-45
Business to Day Care = 1 hour with sprinklers	Table 6.1.14.4(10)	101-45
Occupant load > 30 (6,000 SF) = 1 hour exit access corridors	7.1.3.1	
If Exit is separated, 1 hour for 3 or less stories, or sprinklered	7.1.3.2.1	
Residential Apartment Buildings = 200 SF per person	Table 7.3.1.2	
Business to Day Care = 1 hour with sprinklers	7.4.1	
2 means of egress except as under Chapter 11 > 43		
New Apartment Buildings	49 / 2 + 0.3" = 1"	1005.1
2 Means of Egress per Dwelling Unit	30.2.4.1	1005.1
Single Exit / Unit If:	30.2.4.2	1007.2.1
1. Exit Door opening directly to street or yard		
2. Direct access to an outside stair serving max 2 units on same story		
3. Direct access to interior 1 hour stair		
Single exit for 4 story or less building if:	30.2.4.4	1008.1.1 Ex 1
1. 4 or fewer units per story		
2. Sprinklered		
3. Travel Distance from Unit Door to Exit < 35'-0"		
4. Exit Stairway = 1 hour rating		
5. All openings = 1 hour rating		
6. Corridors to exits = 1 hour rating		
7. 1/2 hour rating hore & vent between units		
Common Path of Travel < 50'. Not count inside dwelling unit	30.2.5.3.2	
Dead end corridors < 50' w/ sprinkler	30.2.5.4.2	
Within dwelling unit = 125'-0"	30.2.6.2	
Unit entrance door to nearest exit < 200'-0" w/ sprinkler	30.2.6.3.3	
Detection & Alarm	30.3.4.1.1	
Four or more stories > 11 units = Section 9.6		

UPC (Uniform Plumbing Code)

Determine Occupancy Type	Code Ref.	Page
"in accordance with the Building Code"	T4-1 Intro	36
50% male, 50% female		
Business		
TOTAL: 10 OCCUPANTS, 5 M, 5 F		
Education		
TOTAL: 42 OCCUPANTS, 21 M, 21 F		
Plumbing Fixture Count		
Business		
WC: Male 1-100 = 1	T4-1	38
WC: Female 1-100 = 1		
Educational		
Residential Lobby		
WC: Male = 1		
WC: Female = 1		
LAVATORY: 1 each = 2 total		
Where approved by the building official, the actual number of occupants for whom each occupied space, floor or building is designated, although less than those determined by calculation, shall be permitted to be used in the determination of the design occupant load.	T4-1(1) per building official	
Exception to Occupant Load	T4-1(1) per building official	T4-1(1) per building official



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PRICING DOCUMENTS

PROJECT: BAYSIDE ANCHOR
PHDC & AVESTA HOUSING
81 EAST OXFORD STREET
PORTLAND, ME

DRAWING: LIFE SAFETY PLANS & SECTIONS
SCALE:
DATE: 9/3/15
DRAWN BY: JJT
REVISED:

