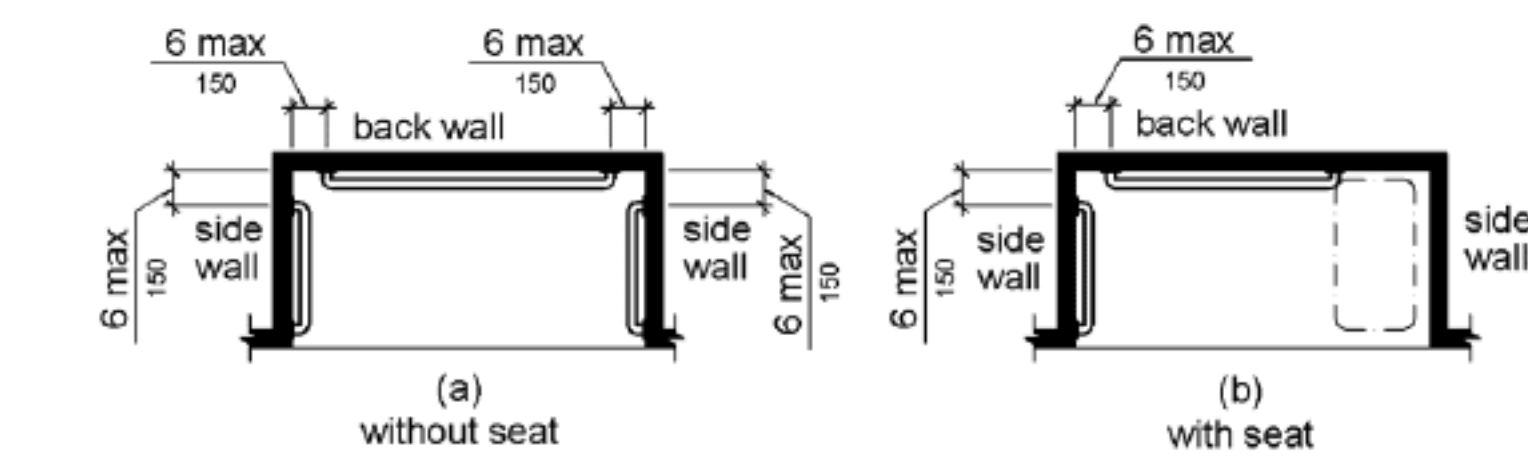
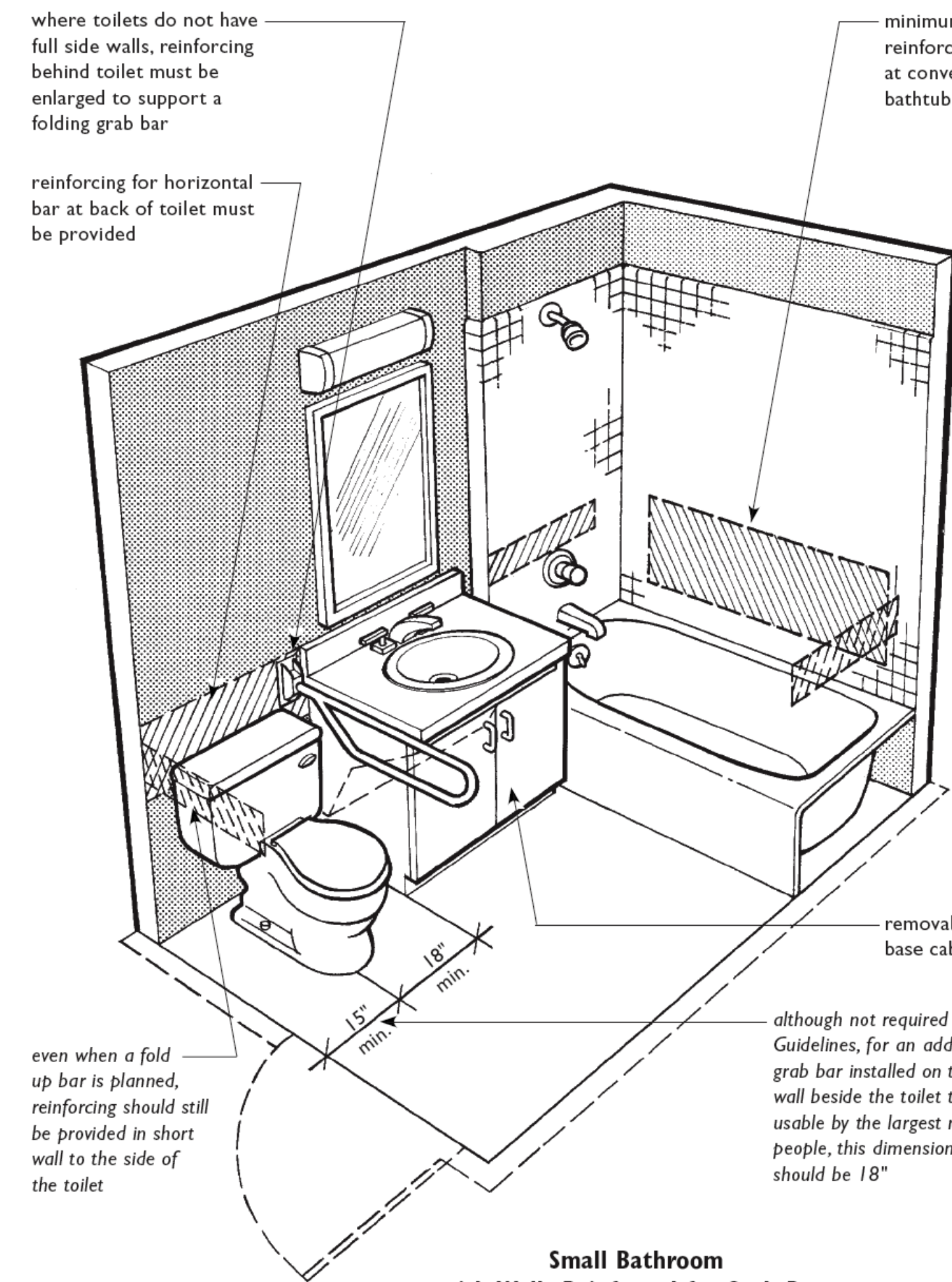
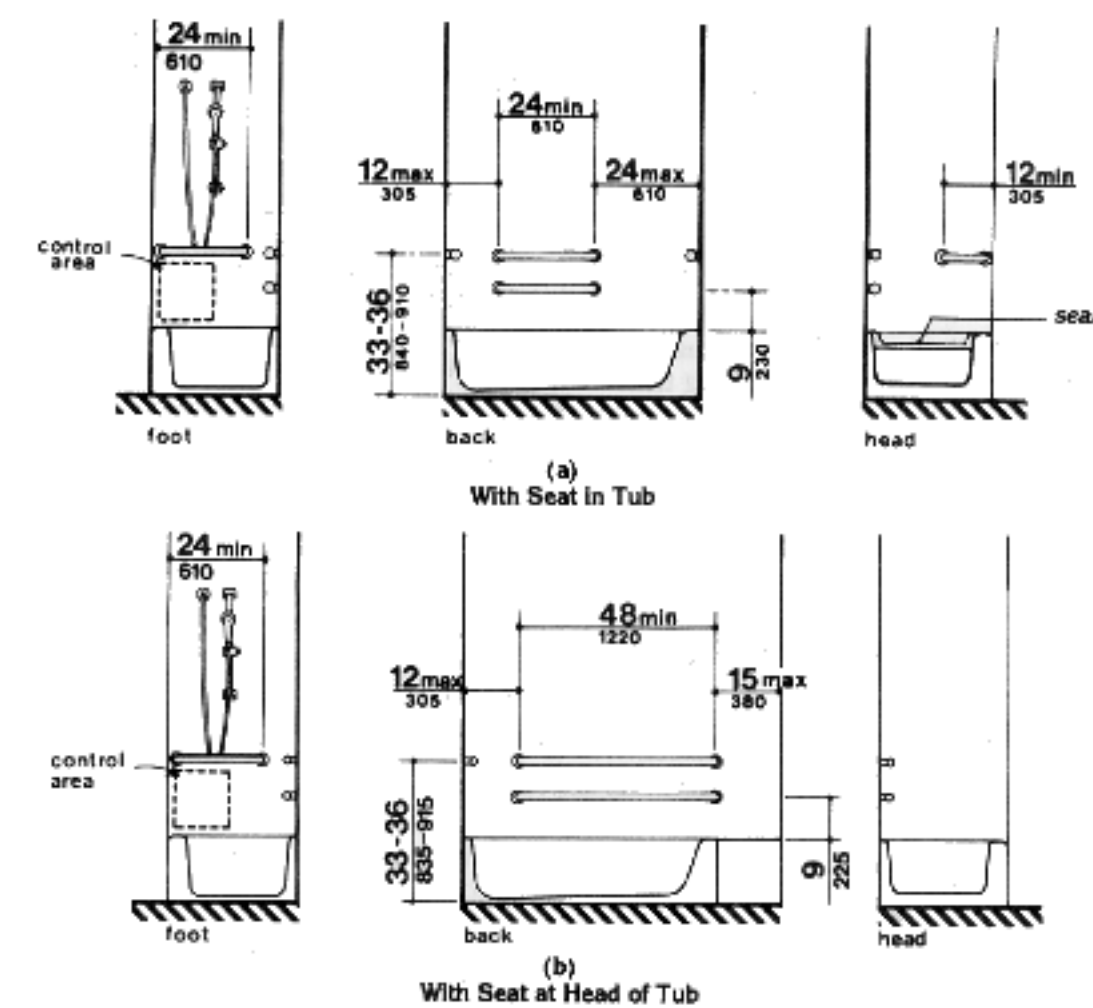


ABBREVIATIONS

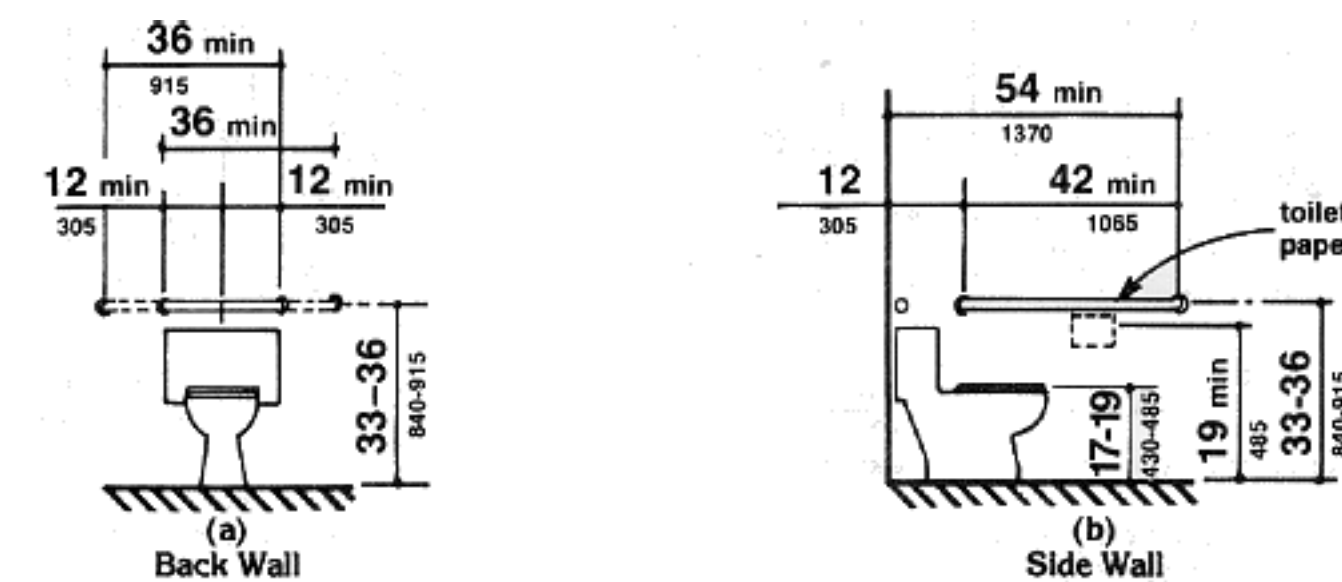
AB ANCHOR BOLT	FEC FIRE EXTINGUISHER CABINET	PART BD PARTICLE BOARD
ACT ACOUSTICAL TILE	FL, FLR FINISH FLOOR	PC PIECE
ADA AMERICANS WITH DISABILITIES ACT	FS FACE OF STUD	PL PLATE, PROPERTY LINE
ADDL ADDITIONAL	FT () FOOT	PLAS PLASTER
ADMIN ADMINISTRATION	FTG FOOTING	PLAS LAM PLASTIC LAMINATE
AFF ABOVE FINISHED FLOOR	GA GAUGE	PLYWD PLYWOOD
ALT ALTERNATE	GC GENERAL CONTRACTOR	PNT PAINT (ED)
ALUM ALUMINUM	GL GLASS	POLY POLYETHYLENE
AP ACCESS PANEL	GWB GYPSUM WALL BOARD	PRE PRE-FINISHED
APV ASPHALT PAVEMENT	GYP GYPSUM	PREP PREPARATION
ARCH ARCHITECT	HD HIGH DENSITY	PSF POUNDS PER SQUARE FOOT
BD BOARD	HR HOUR	PSI POUNDS PER SQUARE INCH
BIT BITUMINOUS	HC HANDICAPPED	P.T. PRESERVATIVE TREATED
BLDG BUILDING	HDRW HARDWARE	PVMT PAVEMENT
BLKG BLOCKING	HFS HALF FULL SCALE	QT QUARTZ TILE
BM BENCH MARK	H HGT HEIGHT	R RADIUS; RISER; RANGE
BRG BEARING	HM HOLLOW METAL	RD ROOF DRAIN
BSMT BASEMENT	HOR HORIZONTAL	REC RECREATION
BTW BETWEEN	HTG HEATING	RECT RECTANGULAR
CAB CABINET	HVAC HEATING/VENTILATION/AIR CONDITIONING	REF REFERENCE; REFER
CB CATCH BASIN	HW HOT WATER	REFR REFRIGERATOR
CEM CEMENT	HYD HYDRANT	REIN REINFORCING
CER CERAMIC	INCL INCLUDE (ID); INCLUDING	RESIL RESILIENT
CF CLJC FEET	ID INSIDE DIAMETER	REV REVISION
CJ CONTROL JOINT	IN () INCH	RFG ROOFING
CL CLOSET	INSUL INSULATE (ID); INSULATION	RHM RADIANT HEAT MANIFOLD
CLG CEILING	INT INTERIOR	RM ROOM
CMU CONCRETE MASONRY UNIT	INV INVERT	RO ROUGH OPENING
CO CLEANOUT	JAN JANITOR	RAD RADON PIPE
COL COLUMN	JT JOINT	RWL RAIN WATER LEADER
CONC CONCRETE	K, KITCHEN	S SOUTH; SINK
CONST CONSTRUCTION	KLN KILN DRYED	SAN SANITARY
CONT CONTINUE; CONTINUOUS	LAM LAMINATED	SC SOLID CORE
CORR CORRUGATED	LAV LAVATORY	SD STORM DRAIN
COORD COORDINATE	LCC LEAD-COATED COPPER	SECT SECTION
CPT CARPET	LDR LADDER	SF SQUARE FOOT
CRS CURSE (S)	LF LINEAR FOOT	SHT SHEET
CT CERAMIC TILE	LGHT LIGHT	SM SIMILAR
CTV CABLE TELEVISION LINE	LN LINEN	SPEC SPECIFICATION (S)
CUH CUBIC UNIT LEADER	MATL MATERIAL	STC STANDARD TRANSMISSION COEFFICIENT
CW COLD WATER	MAS MASONRY	STD STANDARD
CY CUBIC YARD	MAX MAXIMUM	STL STEEL
D DRYER	MASONRY MASONRY COURSE	STOR STORAGE
DBL DOUBLE	MECH MECHANICAL	SUSP SUSPENDED
DEFL DEFLECTION	MD MASONRY OPENING	T TREAD
DF DIAMETER	MR MOISTURE RESISTANT	TEL TELEPHONE
DIAG DIAGONAL	MTD MOUNTED	TEL-P PAY TELEPHONE
DM DIMENSION	MTG MOUNTING	TEMP TEMPERATURE; TEMPERED
DR DIRECTOR	MTL METAL	TAG TAG
DIV DIVISION	N NORTH	TH THICKNESS
DN DOWN	NATL NATURAL	TO TOP OF
DV DISPLACEMENT VENTILATOR	NC NOT IN CONTRACT	TV TELEVISION
DWG DRAWING	NL NIGHT LIGHT	TYP TYPICAL
E EAST	NO NUMBER	UL UNDERWRITERS LABORATORIES
EA EACH	NOUR NOURISHMENT	UTIL UTILITY
EF EXHAUST FAN	NTS NOT TO SCALE	
EJ EXPANSION JOINT	OA OVERALL	
EL ELEVATION	OC ON CENTER	
ELEV ELEVATOR	OD OUTSIDE DIAMETER	
ELEC ELECTRIC (AL)	OH OPPOSITE HAND	
EQ EQUAL	OPF OPPOSING	
EW EYE WASH	OXY OXYGEN	
EWC ELECTRIC WATER COOLER		
EXAM EXAMINATION		
EX, EXIST EXISTING		
EXP EXPANSION		
EXT EXTERIOR		
FV FIELD VERIFY		
FAP FIRE ALARM PULL STATION		
FBO FURNISHED BY OTHERS		
FCO FLOOR CLEAN OUT		
FD FLOOR DRAIN		
FDN FOUNDATION		



ADA SHOWER GRAB BARS & BLOCKING



ADA TUB GRAB BARS & BLOCKING



ADA WATER CLOSET GRAB BARS & BLOCKING

LEGEND (ARCHITECTURAL DRAWINGS)

LEVEL LINE	WINDOW TYPE	COMPACTED GRAVEL
BUILDING SECTION NUMBER	COLUMN GRID LINE	CONCRETE
SHEET NO. WHERE SHOWN	EQUIPMENT REFERENCE	BRICK
DETAIL NUMBER	REVISION	CONCRETE MASONRY UNITS
SHEET NO. WHERE SHOWN	POWER PANEL IN WALL	FINISH WOOD
WALL SECTION NUMBER	FIRE EXTINGUISHER SEMI RECESSED/RECESSED	ROUGH WOOD
SHEET NO. WHERE SHOWN	FIRE EXTINGUISHER SURFACE MOUNTED	FIBERGLASS BATT INSULATION
INTERIOR ELEVATION NUMBER	PAY TELEPHONE	RIGID INSULATION
SHEET NO. WHERE SHOWN	DRINKING FOUNTAIN	SUSPENDED ACOUSTICAL PANEL
ROOM NUMBER		RADIANT HEAT MANIFOLD
ROOM FINISH KEY		
DOOR NUMBER (RM # 101 DOOR #)		
PARTITION TYPE		

General Notes

- General contractor shall verify all dimensions and report any discrepancies to the architect before proceeding with work. Do not scale drawings. Work from dimensions only.
- All masonry dimensions are nominal and are to face of masonry. All partition dimensions are to face of stud except where noted.
- Provide appropriate reinforcing within partitions for support of all grab bars, shelving brackets, cabinets, door frames, water coolers, lockers, fire extinguishers, cork boards, writing boards, exterior lighting, siding, hose bibs, bells, and all other wall mounted equipment or appliances indicated in documents.
- All door frames shall be located a minimum of 3" off adjoining walls except where noted or dimensioned otherwise. 4" masonry at masonry veneer walls.
- All handicapped bathrooms, grab bars, public telephones, elevator, and door openings shall meet the requirements of ANSI 117.1 latest edition, and the Americans with Disabilities Act (ADA) for Handicapped Accessibility.
- All gypsum wall board within 3'-0" of plumbing fixtures shall be moisture resistant unless the wall has ceramic tile, which requires concrete backer board.
- Install GWB control joints every 25' +/- at vertical locations, meeting gypsum installation recommendations.
- Before penetrating or otherwise modifying joists, beams, or other structural members consult with the architect/structural engineer on maximum size and location.
- Concrete slabs shall slope to floor drains for positive drainage. Verify with water test. Coordinate location of floor drains with mechanical and kitchen equipment.
- Provide double wood studs at all door frames in GWB wall assemblies.
- Install pre-molded isolation strip between all foundation walls and concrete slabs.
- All materials in this building shall be new and not previously used unless approved by architect.
- All penetrations through Fire & Smoke Rated walls and floor / ceiling assemblies shall be fire-stopped by specific subcontractor requiring penetration.
- All penetrations through Air Barriers shall be air sealed by specific subcontractor requiring penetration.
- Access panels shall be fire rated where wall is fire rated.
- Coordinate recessed slab requirements with any manufacturer's recommendations.
- A 'construction permit' from the state fire marshall's office is required for this project. To be completed by architect. All other permits by contractor.
- Review and obtain building permit from Town Authority responsible for code enforcement before commencing work.
- Provide blocking in all ANSI B bathrooms for installation of future grab bars.

PRICING DOCUMENTS

PROJECT: BAYSIDE ANCHOR
PHDC & AVESTA HOUSING
81 EAST OXFORD STREET
PORTLAND, ME

DRAWING: GENERAL NOTES

DATE: SEPTEMBER 3, 2015 REVISED:

