



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 249 CONGRESS ST CBL 021 F021001
Issued to Elf Works Llc /Ryan Wallace Date of Issue 11/22/2009

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 09-0125, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

249 Congress St 1st floor

APPROVED OCCUPANCY

Commerical - Restaurant
Use Group : B/A Type : 5B
IBC 2003

Limiting Conditions: None

This certificate supersedes
certificate issued

Approved:

12-22-09

(Date)

Ben Wallace - PFD mfg

[Signature]

Inspector

[Signature]

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

ELECTRICAL PERMIT

City of Portland, Me.



87A 8716

To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date 6.8.09
 Permit # 20094352
 CBL# 21 F21

LOCATION: 249 Congress St METER MAKE & # _____
 CMP ACCOUNT # _____ OWNER Lee Farrington
 TENANT _____ PHONE # 207.730.2311

1801 F021

						TOTAL EACH FEE		
OUTLETS	<u>24</u>	Receptacles	Switches	Smoke Detector			.20	
FIXTURES	<u>12</u>	Incandescent	Fluorescent	Strips			.20	
SERVICES		Overhead	Underground	TTL AMPS <800			15.00	
		Overhead	Underground	TTL AMPS >800			25.00	
Temporary Service		Overhead	Underground	TTL AMPS			25.00	
							25.00	
METERS		(number of)					1.00	
MOTORS		(number of)					2.00	
RESID/COM		Electric units					1.00	
HEATING		oil/gas units	Interior	Exterior			5.00	
APPLIANCES		Ranges	Cook Tops	Wall Ovens			2.00	
		Insta-Hot	Water heaters	Fans			2.00	
		Dryers	Disposals	Dishwasher			2.00	
		Compactors	Spa	Washing Machine			2.00	
		Others (denote)					2.00	
	MISC. (number of)		Air Cond/win					3.00
			Air Cond/cent		Pools			10.00
<u>2</u>		HVAC	EMS	Thermostat			5.00	
		Signs					10.00	
		Alarms/res					5.00	
		Alarms/com					15.00	
		Heavy Duty(CRKT)					2.00	
		Circus/Carnv					25.00	
		Alterations					5.00	
		Fire Repairs					15.00	
<u>6</u>		E Lights					1.00	
		E Generators					20.00	
PANELS		Service	Remote	Main			4.00	
TRANSFORMER		0-25 Kva					5.00	
		25-200 Kva					8.00	
		Over 200 Kva					10.00	
						TOTAL AMOUNT DUE		
						MINIMUM FEE/COMMERCIAL	55.00	
						MINIMUM FEE	45.00	

CONTRACTORS NAME David Barrett MASTER LIC. # MS 600 18201
 ADDRESS 41 High St Hollis ME 04042 LIMITED LIC. # _____
 TELEPHONE 207.318.2927

SIGNATURE OF CONTRACTOR [Signature]

PLUMBING APPLICATION

Figa Restaurant

Department of Health and Human Services
Division of Environmental Health

PROPERTY ADDRESS

Town or Plantation	Portland, ME
Street Subdivision Lot #	249 Congress St

PROPERTY OWNERS NAME

Last: *Farrington* First: *Lee*

Applicant Name: *David Tranchemontagne*

Mailing Address of Owner/Applicant (If Different):
*21 Beugen Ave
Biddeford, ME 04005*

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

David Tranchemontagne

Signature of Owner/Applicant

Date

2009-8091

PORTLAND PERMIT # 10952 TOWN COPY

Date Permit issued: *5/5/09* \$ *1100* If Double Fee Charged

Clayton S. Na L.P.I. # *11015*
Local Plumbing Inspector Signature

21-F-21

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

12/14/09 Clean Trap seen vent face floor-sink.

Local Plumbing Inspector Signature

Date Approved

PERMIT INFORMATION

This Application is for

1. NEW PLUMBING
2. RELOCATED PLUMBING

Type of Structure To Be Served:

1. SINGLE FAMILY DWELLING
2. MODULAR OR MOBILE HOME
3. MULTIPLE FAMILY DWELLING
4. OTHER - SPECIFY *Restaurant*

Plumbing To Be Installed By:

1. MASTER PLUMBER
2. OIL BURNERMAN
3. MFG'D. HOUSING DEALER/MECHANIC
4. PUBLIC UTILITY EMPLOYEE
5. PROPERTY OWNER

LICENSE # *06639*

18718

Hook-Up & Piping Relocation Maximum of 1 Hook-Up

HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.

OR

HOOK-UP: to an existing subsurface wastewater disposal system.

PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.

OR

TRANSFER FEE
(\$6.00)

Column 2 Type of Fixture	Number	Column 1 Type of Fixture	Number
Hosebib / Sillcock		Bathtub (and Shower)	
Floor Drain	<i>0, 4</i>	Shower (Separate)	
Urinal		Sink	<i>0, 6</i>
Drinking Fountain		Wash Basin	
Indirect Waste	<i>0, 2</i>	Water Closet (Toilet)	<i>0, 2</i>
Water Treatment Softener, Filter, etc.		Clothes Washer	
Grease / Oil Separator	<i>0, 1</i>	Dish Washer	<i>0, 1</i>
Roof Drain		Garbage Disposal	
Bidet		Laundry Tub	
Other: _____		Water Heater	
Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1	
		Fixtures (Subtotal) Column 2	
		Total Fixtures	
		Fixture Fee	
		Transfer Fee	
		Hook-Up & Relocation Fee	
		Permit Fee (Total)	

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

*102
+ 10
+ 112*

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BU...TION

PERMIT

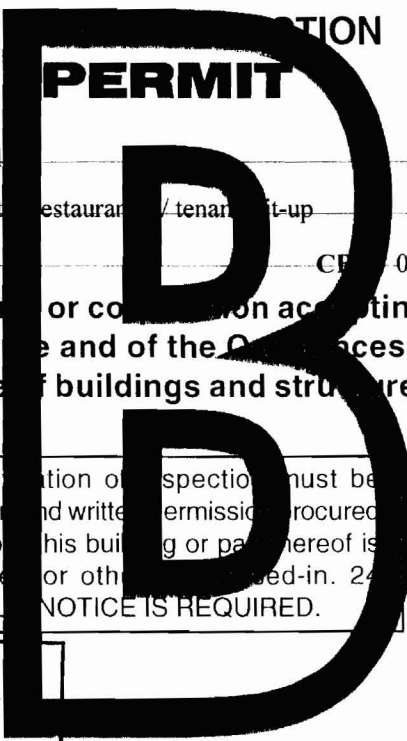
Permit Number: 090125

Please Read Application And Notes, If Any, Attached

This is to certify that ELF WORKS LLC/Ryan Wall has permission to change of use from Hair salon to restaurant / tenant fit-up

AT 249 CONGRESS ST CE 021- F021001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise worked-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. [Signature]

Health Dept. _____

Appeal Board _____

Other _____

Department Name _____

PERMIT ISSUED

MAR 17 2009

CITY OF PORTLAND

[Signature] 3/12/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

SCANNED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0125	Issue Date: 3/12/09	CBL: 021 F021001
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Location of Construction: 249 CONGRESS ST	Owner Name: ELF WORKS LLC	Owner Address: 590 SHORE RD	Phone:
Business Name:	Contractor Name: Ryan Wallace	Contractor Address: 74 Munjoy St #1 Portland	Phone: 2078071771
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B-2b

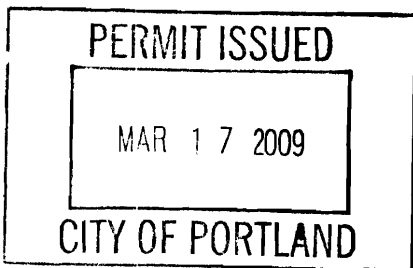
Past Use: Commercial - Hair Salon	Proposed Use: "Figa" Commercial - Restaurant - change of use from Hair salon to Restaurant w/ tenant -fit-up	Permit Fee: \$295.00	Cost of Work: \$20,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions	INSPECTION: Use Group: B/A Type: SB IB (2003)	

Proposed Project Description: change of use from Hair salon to Restaurant w/ tenant -fit-up	Signature: <i>(KG)</i>	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Ldobson	Date Applied For: 02/17/2009	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied <i>ATM</i>
Date: 3/15/09 <i>ABM</i>	Date:	Date:



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0125	Date Applied For: 02/17/2009	CBL: 021` F021001
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Location of Construction: 249 CONGRESS ST	Owner Name: ELF WORKS LLC	Owner Address: 590 SHORE RD	Phone:
Business Name:	Contractor Name: Ryan Wallace	Contractor Address: 74 Munjoy St #1 Portland	Phone (207) 807-1771
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Commercial - Restaurant "Figa" - change of use from Hair salon to Restaurant w/ tenant -fit-up	Proposed Project Description: change of use from Hair salon to Restaurant w/ tenant -fit-up
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 03/05/2009

Note: The change of use requires four off street parking spaces. Six spaces are provided behind the building in the lease. **Ok to Issue:**

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 03/17/2009

Note: **Ok to Issue:**

- 1) New restaurant, lounge or bar must meet the requirements of the City and State Food Codes
- 2) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 3) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space.
- 4) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 5) Separate permits are required for any electrical, plumbing, HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 6) Separate Permits shall be required for any new signage.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 03/10/2009

Note: **Ok to Issue:**

- 1) A separate permit will be required for the hood system.
- 2) Emergency lights and exit signs are required
- 3) All construction shall comply with NFPA 101

Comments:

2/19/2009-amachado: Left vcm for Lee. Needs four parking spaces. Plot plan says that there is leased parking at 10 Smith Street. Need more information about the leased parking.

2/19/2009-amachado: Spoke to Lee. Her lease gives her 6 spaces at 10 Smith Street. I told her that we needed a site plan that shows where the parking is located in relation to her building with dimensions.

Location of Construction: 249 CONGRESS ST	Owner Name: ELF WORKS LLC	Owner Address: 590 SHORE RD	Phone:
Business Name:	Contractor Name: Ryan Wallace	Contractor Address: 74 Munjoy St #1 Portland	Phone (207) 807-1771
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

2/20/2009-amachado: Lee dropped off the plan that shows that the parking spaces are 168' from the building. I talked to her and told her that she needed to do a miscellaneous appeal. I faxed her the application.

3/5/2009-amachado: Lee provided new lease which shows six parking spaces on the property to the left behind her building. This property is also owned by Portland Architectural Salvage, Inc.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**

NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

 3/17/09
Date

Signature of Inspections Official

Date



General Building Permit Application


If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 249 CONGRESS ST.			
Total Square Footage of Proposed Structure/Area 969 SQ FT WITH BASEMENT SAME SIZE		Square Footage of Lot 1235	Number of Stories 1
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 021 F 021	Applicant * <u>must</u> be owner, Lessee or Buyer* Name LEE FARRINGTON Address 590 SHORE RD. City, State & Zip CAPE ELIZ ME		Telephone: 730.2311
Lessee/DBA (If Applicable) FEB 17 2009	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 106,000 \$20,000 C of O Fee: \$ _____ Total Fee: \$ _____	
Current legal use (i.e. single family) _____ Number of Residential Units <u>0</u> If vacant, what was the previous use? HAIR SALON Proposed Specific use: RESTAURANT Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: INSTALL HOOD SYSTEM FOR KITCHEN, A NEW BATHROOM & A BAR, BANQUET ALONG ONE SIDE OF WALL.			
Contractor's name: RYAN WALLACE			
Address: 74 MUNJOY ST. #1			
City, State & Zip PORTLAND ME 04101		Telephone: 207.807.1771	
Who should we contact when the permit is ready: LEE FARRINGTON		Telephone: 730.2311 ←	
Mailing address: 590 SHORE RD. CAPE ELIZABETH ME 04107			

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: **1/15/2009**

This is not a permit; you may not commence ANY work until the permit is issued

MORTGAGE LOAN INSPECTION

Cumberland Title Company

P.O. Box 4843

Portland, ME 04112

1-207-774-1773

1-207-774-2278 (fax)

CL No.: 13801

Job No.: CTC27-60.

Date: 7/25/2000

County: Cumberland

Plan Bk. Pg.

Lot(S):

Scale: 1" = 20'

Borrower(S): Laura L. Buffi

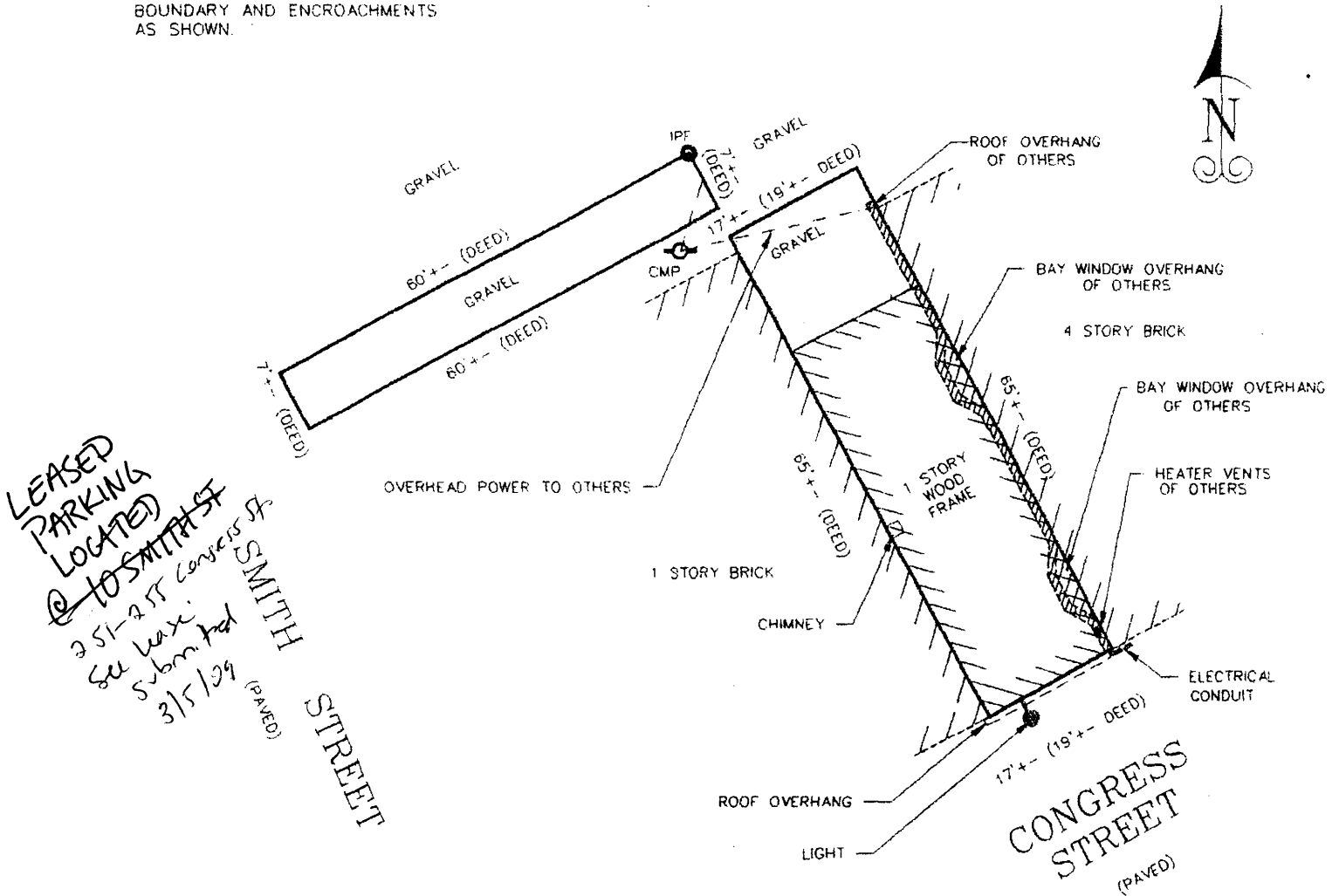
Lot No.: 249

Street: Congress St.

Town: Portland, ME

Source Deed Bk. 12583 Pg. 177

NOTE: A FULL BOUNDARY SURVEY IS RECOMMENDED TO VERIFY BOUNDARY AND ENCROACHMENTS AS SHOWN.



NOTE: THIS IS NOT A BOUNDARY SURVEY. This plan is made for the purposes of determining that the improvements are within the apparent boundary lines. **THE PREPARER IS NOT LIABLE FOR ANY OTHER USE BY ANY OTHER PERSON OR ENTITY.**

CERTIFICATION: I hereby certify to *Peoples Heritage Bank, N. A.* and its mortgage title insurer that based upon inspection made with reasonable certainty, that:

- a) this plan was made from an inspection of the site.
- b) there **ARE NO** apparent violations of municipal ordinances regarding building setbacks in effect at time of construction.
- c) the principal structure(s) located on the premises **ARE NOT** in a flood hazard zone as delineated on the flood maps used by the Federal Emergency Management Agency.

Barbara W. Jordan

COMMERCIAL LEASE

THIS LEASE AGREEMENT is made this 1st day of march, by and between **PORTLAND ARCHITECTURAL SALVAGE, INC.** ("a Maine corporation with a mailing address of 131 Preble Street, Portland, Maine 04101, and Lee Farrington also known as Figa Restaurant with a mailing address of 249 Congress St., Portland Maine 04101. The parties agree as follows:

1. **LEASED PREMISES:** Landlord leases to Tenant the following described premises (the "Leased Premises"): Parking Spaces bearing the street address of 251 253 and 255 Congress Street, in Portland, Cumberland County, Maine, these parking spaces 6 legal spots are The real property on which the Leased Premises are located is owned by Landlord by virtue of *two deeds to Portland Architectural Salvage, one from Philip H. Levinsky, Trustee of the Jacob N. Levinsky Trust and the other from Philip H. Levinsky, Personal Representative of the Estate of Goldie Levinsky, both dated June 11, 1996 and recorded in the Cumberland County Registry of Deeds in Book 12583, Pages 177 and 180, respectively.*
2. **COMMENCEMENT AND TERM:** The term of this lease shall begin on March 1st 2009 and shall continue for a period of 2 year until March 1st 2011 unless renewed or earlier terminated as provided in this Lease.
3. **RENT:** Tenant covenants and agrees to pay to Landlord during the term of this Lease total rent of 200.00 equal monthly installments totaling 2400.00 for year, without holdback or setoff, in advance on the first day of each month during the lease term. If Tenant fails to pay rent when due, Tenant shall pay to Landlord without demand a late fee of five percent (5.0%) of the overdue amount if such amount remains unpaid fifteen (15) days after the due date.
5. **SECURITY DEPOSIT:** A security deposit in the amount of nothing. Security Deposit is in addition to rental payments and shall not be substituted by the Tenant for unpaid rent. The Landlord shall hold the Security Deposit until the end of the lease term, when the Security Deposit may be used by the Landlord to repair damage to the Leased Premises and for the actual costs of unpaid rent and storage and disposal of property abandoned by the Tenant at the Leased Premises. The Security Deposit shall not be used to pay for routine cleaning or painting made necessary by normal wear and tear. The Landlord shall return the entire Security Deposit to the Tenant at the end of the tenancy if:
 - (a) The Leased Premises are good condition except for normal wear and tear;
 - (b) The Leased Premises are free of damage not caused by the Tenant, its invitees, agents, guests, servants, employees and licensees, and
 - (c) The Tenant has not caused the Landlord expenses for storage and disposal of abandoned property.

MAR - 1 2009

If Landlord deducts money from the Security Deposit, the Landlord shall provide Tenant with a list of the expenses for which the Tenant is being charged and return the balance of the Security Deposit. The Landlord shall return the Security Deposit, or the remaining balance, to the Tenant no more than thirty (30) days after the tenancy ends.

6. **RENEWAL OPTION:** Tenant shall have the right, at the expiration of the original term, to renew this Lease for 1 year consecutive renewal terms of \$2400.00 a year each. If Tenant intends to exercise its right to such renewal term(s), it shall provide Landlord written notice of *his/her/its* intention to renew the Lease no less than one (1) month prior to the end of the original or first renewal term of this Lease. Upon the giving of such notice and without any further instrument, lease or agreement, this Lease shall be so renewed, provided, however, that Tenant's renewal notice shall terminate and be of no effect if Tenant is in default of its obligations under this Lease either at the time Tenant exercises its renewal option or at the end of the original or first renewal term of this Lease. The terms and conditions of such renewal term shall be the same as the terms and conditions of the original term, including the monthly rent.

7. **HOLDOVER:** If Tenant continues to occupy the Leased Premises at the completion of the lease term and or/renewal terms as set forth herein, then at Landlord's option such continued occupancy shall be deemed a tenancy-at-will under the terms and conditions stated herein. In such an event, Tenant shall pay to Landlord rent at a rate equal to the rate of rent payable immediately prior to termination of the lease and/or renewal term until Tenant shall vacate the Leased Premises.

8. **INSURANCE:**

(a) **Landlord's Obligations:**

(i) Landlord agrees to maintain during the lease term a policy of insurance insuring the Leased Premises against loss or damage by fire and other perils under extended coverage, in a reasonable amount with such insurance companies as Landlord may choose.

(ii) Landlord shall maintain with respect to the Buildings a general comprehensive public liability insurance policy in a reasonable amount with such insurance companies as Landlord may choose.

(b) **Tenant's Obligations:**

(i) Tenant shall be responsible to insure its property that is kept on the leased premises. Tenant is responsible for glass coverage of space during lease.

(ii) Tenant further agrees to maintain in force during the term of this Lease a policy of public liability and property damage insurance under which Landlord and Tenant are named as insureds, in an amount acceptable to Landlord with such insurance

companies as Tenant may choose.

9. **INDEMNIFICATION AND LIABILITY INSURANCE:** Tenant agrees to indemnify and hold Landlord harmless from and against all liabilities, injuries, claims, losses, or damages to persons, including but not limited to other tenants on the Leased Premises, or property occurring or arising on or about the Leased Premises, during the lease term, which liabilities, losses, or damages arise as a result of Tenant's use, misuse or occupation of the Leased Premises or any part thereof, except to the extent that said liabilities, losses or damages are the result of negligence of Landlord, its agents or employees.

10. **UTILITIES:** During the lease term, Landlord shall pay no costs associated with these 6 parking spaces at leased premises.

11. **REPAIR AND MAINTENANCE:**

(a) Tenant agrees that from and after the date that possession of the Leased Premises is delivered to Tenant, and until the end of the lease term, it will keep the Leased Premises neat and clean and maintain the Leased Premises in good order, condition and repair, and in compliance with all federal, state and local statutes, ordinances, rules and regulations currently in effect or hereinafter enacted.

(b) Landlord shall be responsible to maintain in good condition and make necessary repairs to all structural elements of the Leased Premises, interior and exterior, as well as the electrical, heating and plumbing systems of the Leased Premises. Such maintenance and repairs shall be Landlord's sole responsibility and performed at Landlord's sole expense.

(c) Tenant shall be responsible for and perform at its sole expense all repairs necessitated by the actions of Tenant, its invitees, agents, guests, servants, employees and licensees, as well as maintenance and repairs of the interior of the Leased Premises other than the structural and building systems repairs and maintenance that are the Landlord's responsibility, as set forth in paragraph (b) above.

12. **ALTERATIONS, RENOVATIONS AND IMPROVEMENTS:** Tenant shall have the right, upon written consent of Landlord, which consent shall not be unreasonably withheld, to make such alterations, renovations and improvements to the Leased Premises as are necessary or desirable for Tenant's use of the Leased Premises as authorized herein, provided, however, that Tenant shall perform such alterations, renovations and improvements in a good, workmanlike and reasonable manner in compliance with all applicable codes, laws, ordinances and regulations. At the expiration of the lease term, at Landlord's option, all alterations, renovations and improvements other than those items which constitute fixtures and which are removed by Tenant in accordance with paragraph 13 herein, shall either (a) be removed by Tenant, with the Leased Premises restored to the condition prior to installation, or (b) automatically become the property of Landlord

without payment or other reimbursement therefore by Landlord to Tenant.

13. **FIXTURES:** All fixtures erected on and/or attached to the Leased Premises by Tenant may not be removed by Tenant at the termination of this Lease.

14. **SUBLETTING AND ASSIGNMENT:** Tenant shall not be entitled to assign this Lease or to sublet the Leased Premises or any portion thereof without the prior written consent of Landlord.

15. **PARKING:** This is a lease agreement for the 6 spaces at rear 251, 253 and 255 Congress Street in addition to 6 other spaces located at 10 Smith Street that additional lease was given prior to this one signed March 1st 2009.

16. **SIGN:** Tenant may post a flat sign anywhere on the leased portion and may erect a sign that is acceptable per city standards fro any other.

17. **USE AND BUSINESS OPERATION:** Tenant agrees to use and occupy the Leased Premises for *its* business, which is an art gallery. Such permitted use shall include use of the Leased Premises for *parking for her restaurant located at 249 Congress St.*, and for no other object or purpose without the written consent of Landlord. Tenant further agrees not to use the Leased Premises for any purpose deemed extra hazardous or not covered by insurance in force, without the written consent of Landlord. Tenant shall have access to the building 24 hours per day.

18. **RULES AND REGULATIONS:** Tenant agrees at all times to comply and abide by, and to cause Tenant's invitees, agents, guests, servants, employees and licensees to comply and abide by any reasonable rules and regulations adopted by Landlord and provided to Tenant, which rules and regulations shall be construed as a part of this Lease.

19. **PERMITS AND LICENSES; COMPLIANCE WITH LAWS:** Tenant agrees to maintain in full force and effect, during the lease term, at its cost and expense, any and all federal, state and local permits, licenses and registrations that are necessary for the lawful use of the Leased Premises by Tenant. Tenant further agrees at its expense to abide by and comply with all federal, state and local statutes, ordinances, rules and regulations applicable to Tenant's use of the Leased Premises.

20. **SUBORDINATION:** Tenant agrees at the request of Landlord to subordinate this Lease to any mortgage hereafter placed upon the Premises by Landlord, provided that such mortgagee agrees to enter into a nondisturbance agreement, and, if required by the mortgagee, Tenant shall agree not to prepay rent more than ten (10) days in advance, to provide said mortgagee with notice of and reasonable opportunity to cure any defaults by Landlord, not to assert any claim or setoff against such mortgagee for the default of Landlord, and not to amend, modify or cancel this Lease without mortgagee's written consent. In the event of acquisition of title to the Buildings or any portion thereof by the

holder of any such mortgage or any other person through foreclosure proceedings or otherwise, Tenant agrees to recognize such holder or any other person acquiring title to the Premises as having the rights of the Landlord and to attorn to said holder or other person if requested. Tenant and Landlord agree to execute and deliver any appropriate instruments necessary to carry out the foregoing provisions. **NULL AND VOID COMPLETELY SECTION #20**

21. TAXES: Landlord agrees to pay all real estate taxes and assessments, by whomsoever levied or assessed, which may be levied or assessed on the Leased Premises. Tenant agrees to pay and all other taxes and assessments associated with Tenant's use of the Leased Premises.

22. WAIVER OF SUBROGATION: Insofar as and to the extent that such agreement may be effective without invalidating or making it impossible to secure insurance coverage obtainable from responsible insurance companies doing business in the State of Maine, Landlord and Tenant agree that with respect to any loss covered by insurance then carried by them, respectively, the party carrying such insurance and suffering that loss releases the other party of and from any and all claims with respect to such loss; and they further agree that their respective insurance companies shall have no right of subrogation against one another on account of such agreement even though extra premiums may result there from. If an extra premium is payable by Tenant as a result of these provisions, Landlord shall not be liable to reimburse Tenant for any such extra premium.

23. LANDLORD'S REMEDIES: If Tenant defaults in the payment of any installment of rent when due and fails to cure such default within fifteen (15) days, or if Tenant defaults in the faithful performance of any other covenant to be performed by Tenant under this Lease and fails to cure such default within fifteen (15) days after Landlord has sent Tenant written notice of default, then Landlord may, at its sole election, enter the Premises and expel Tenant, and remove its effects, and/or notify Tenant that the term of this Lease has terminated, and in either case the term hereof shall terminate upon such entry or the giving of such notice, whichever shall first occur, and Tenant shall thereupon quit and surrender the Premises to Landlord. Landlord shall have the right to recover possession of the Premises in an action for forcible entry and detainer or otherwise with only such notices as are required by law.

24. NO WAIVER: No provision of this Lease shall be deemed to have been waived by Landlord or Tenant unless such waiver is in writing signed by the applicable party waiving its rights. The failure of Landlord or Tenant to seek redress for violation of, or to insist upon the strict performance of any covenant, condition or rule of this Lease, or, in the case of Landlord, failure to enforce any Rule or Regulation against Tenant or any other tenant, shall not be deemed a waiver of such breach or prevent a subsequent act, which would have originally constituted a breach, from having the effect of any original breach. Landlord's receipt of rent with knowledge of a breach by Tenant of any term or condition of this Lease shall not be deemed a waiver of such breach.

25. **NOTICES:** All notices required to be given pursuant to this Lease, to be effective, shall be in writing and shall be delivered by hand or by certified mail, postage prepaid, return receipt requested, to the addresses listed in the first paragraph herein. Either party may, by giving notice in writing at the above-listed addresses, substitute persons or addresses other than those listed above to be used for future notices.

26. **INVALIDITY OF PARTICULAR PROVISIONS:** If any term or provision of this Lease, or the application thereof to any person or circumstance shall, to any extent, be invalid or unenforceable, the remainder of this Lease, or the application of such term or provision to persons or circumstances other than those as to which it is held invalid or unenforceable, shall not be affected thereby, and each term and provision of this Lease shall be valid and be enforced to the fullest extent permitted by law.

27. **GOVERNING LAW:** This Lease shall be governed exclusively by the provisions hereof and by the laws in effect in the State of Maine as those laws may be amended from time to time.

28. **INTERPRETATION:** Whenever in this Lease provision is made for the doing of any act by any party, it is understood and agreed that said act shall be done by such party at its own cost and expense, unless a contrary intent is expressed.

29. **ENTIRE AGREEMENT, BINDING EFFECT:** All negotiations, considerations, representations and understandings between Landlord and Tenant are incorporated herein and may be modified or altered only by agreement in writing between Landlord and Tenant, and no act or omission of any employee or agent of Landlord shall alter, change or modify any of the provisions hereof. All rights, obligations and liabilities contained herein given to, or imposed upon, Landlord and Tenant shall extend to and bind their respective administrators, trustees, receivers, legal representatives, successors, heirs and permitted assigns, and if there shall be more than one tenant, they shall all be bound jointly and severally by the terms, covenants and agreements herein.

30. Landlord agrees to give Peter Eiermann and Sara Strvever Keats LL right of first refusal on the space if the building changes hand or is sold as a retail condo.

IN WITNESS WHEREOF, Landlord and Tenant have executed this Lease Agreement as an instrument under seal as of the day and year first above-written.

WITNESSE

Portland Architectural Salvage, Inc.

Landlord

By:  3/1/09
Alice Dunn, President


Lee Farrington, Figa

MAR - 5 2009



City of Portland
GIS



DISCLAIMER : This is a product of the City of Portland MIS Department. The data depicted here have been developed with cooperation from other federal, state and local agencies. The City of Portland expressly disclaims responsibility for damages or liability that may arise from the use of this map.

Copyright 2007
City of Portland
389 Congress St.
Portland, Maine
04101

↘ lease ~~is~~ for parking spaces is this area.

Sec. 14-334. To be located on lot with principal use in nonresidential zones; exceptions.

Required off-street parking in all nonresidential zones shall be located on the same lot with the principal building or use, or within one hundred (100) feet measured along lines of public access, except that where off-street parking cannot be provided within these limits, the Board of Appeals may permit such off-street parking to be located a reasonable distance from the principal building or use measured along lines of public access if the premises to be used for parking are held under the same ownership or lease. Evidence of such control, either deed or lease, shall be required. The Planning Board may be substituted for the Board of Appeals only where an applicant is otherwise before the Planning Board for site plan approval.

Whenever any exception to the parking requirements under this section has been finally denied on its merits by either the Zoning Board of Appeals or the Planning Board, a second request for an exception seeking essentially the same relief, whether or not in the same form or on the same theory, shall not be brought before either body within one (1) year of such denial unless, in the opinion of the board before which it was initially brought, substantial new evidence is available or a mistake of law or fact significantly affected the prior denial.

(Code 1968, § 602.14.D; Ord. No. 430-83, § 1, 4-25-83; Ord. No. 94-99, 11-15-99)

FAX



To: Lee Farrington

Fax Number: 767-8111

From: Ann Machado

Fax Number:

Date: 2/23/09

Regarding: miscellaneous appeal for 24A Congress St.

Total Number Of Pages Including Cover: 5

Phone Number For Follow-Up: 874-8709

Comments:

Lee - Included in the fax is Miscellaneous Appeal Application, ZBA Meeting Schedule, Application Process for the Zoning Board of Appeals & the section of the ordinance that you are appealing. Call me if you have any questions.

Ann

City Of Portland, Maine
Inspections Division Services
389 Congress St Room 315 Portland Me 04101-3509
Phone: (207) 874-8703 or (207)874-8693
Fax: (207) 874-8716
<http://www.portlandmaine.gov/>

Ann Machado - Hello

From: Lee Farrington <leefarrington@msn.com>
To: Ann Machado <amachado@portlandmaine.gov>
Date: 3/5/2009 1:10 AM
Subject: Hello

Hi Ann...

I am writing to you in reference to 249 Congress....

I need to speak to you about the parking spots

Alice Dunn has put into writing that I can utilize

to secure this thing without, hopefully, having to

have further delay and going through the appeals

procedure. I don't know if coming in person to discuss

is the best option, so you can see the spots she is letting me use...

which are behind the building on Congress St...

Please let me know your thoughts..

and if you have time for me today, Thursday, name it and I am there.

Thank you,

Lee Farrington

Figa Restaurant

767-8111 home

730-2311 cell

 **EMAILING FOR THE GREATER GOOD**
[Join me](#)

FIGA
SIMPLE
MENU

FIGA

STARTERS

WARM BEET CARPACCIO
GOAT CHEESE CAKE, INFUSED TRUFFLE OIL 8

FREEDOM FARM SUMMER GREENS
BALSAMIC VINAIGRETTE 7

SEV CRUSTED DIVER SCALLOPS
JICAMA PEAR SLAW
ROASTED CHILI OIL 11

BABY ARUGULA
TOASTED PEPITAS, GREAT HILL BLUE,
HONEY LEMON VINAIGRETTE 8

GRILLED SPICED PRAWNS
ROASTED CORN BLINI 12

SOPA DEL DIA 6

FIGA

MAINS

TANDOORI SALMON
CRANBERRY BRAISED KALE
BALSAMIC GLAZE 19

CHICKEN ROULADE
GRILLED ASPARAGUS
SWEET POTATO GRATIN 19

STEAMED HALIBUT
GREEN TEA INFUSED BROTH
QUINOA, SNOW PEAS, BOK CHOY 20

WILD BOAR RENDANG
FIVE SPICE JASMINE RICE 20

EGGPLANT GREEN CURRY
ZUCCHINI, RED PEPPER, CARROT, SWEET POTATO
BASMATI RICE 16

BLACK BEAN QUINOA CAKE
SAUTÉED SPINACH, FENNEL, ARTICHOKE
SPICY CUMIN BEURRE BLANC 14

FIGA

DESSERTS

BRIGADEIRO BRAZILIAN CHOCOLATE	6
CRÈME BRULÉE TRIO ORANGE CARDAMOM, LEMONGRASS, CHOCOLATE ESPRESSO	8
INDIAN INSPIRED RICE PUDDING COCONUT INFUSED RICE WITH CHAROLI, MOLASSES	6
CHOCOLATE SOUFFLÉ RASPBERRY MINT TEA SORBET	8
HOUSE MADE SORBET	6
HOUSE MADE ICE CREAM	6

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING PERMITS SECTION

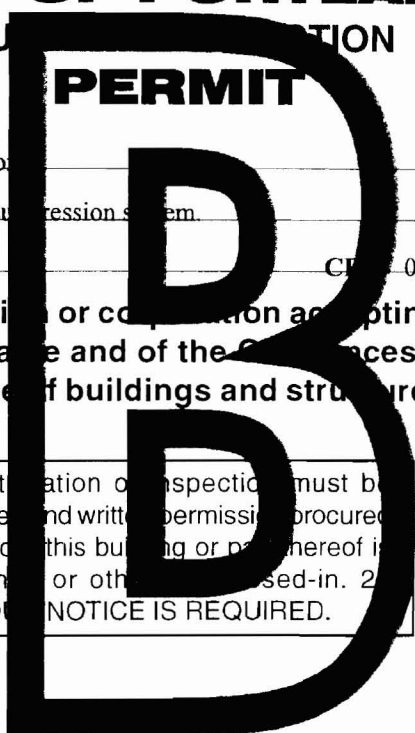
PERMIT

Permit Number: 090542

Please Read Application And Notes, If Any, Attached

This is to certify that Elf Works Llc /Bourgoin & So
has permission to Install kitchen hood and fire suppression system
AT 249 Congress St CD 021 F021001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise used-in. 2 HOUSING NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. K. Santon
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Christy L. NA
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



SCANNED

City of Portland, Maine - Building or Use Permit Application


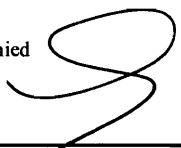
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0542	Issue Date: 6/5/09	CBL: 021 F021001
-----------------------	-----------------------	---------------------

Location of Construction: 249 Congress St	Owner Name: Elf Works Llc	Owner Address: 590 Shore Rd	Phone:
Business Name:	Contractor Name: Bourgoin & Sons	Contractor Address: 123 Davis Road Durham	Phone 2077491878
Lessee/Buyer's Name	Phone:	Permit Type: Hood Systems, Commerical	Zone: B2b

Past Use: Commercial Restaurant - "Figa"	Proposed Use: "Figa" Restaurant / Install kitchen hood and fire suppression system.	Permit Fee: \$170.00	Cost of Work: \$14,440.00	CEO District: 1
Proposed Project Description: Install kitchen hood and fire suppression system.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions	INSPECTION: Use Group: A-2 Type: 5 IMC-2003	
		Signature: 	Signature: 	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: gg	Date Applied For: 06/02/2009	Zoning Approval
------------------------	---------------------------------	------------------------

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date:  6/2/09</p>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied <p>Date: _____</p>	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <p>Date: </p>
---	---	--	---

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0542	Date Applied For: 06/02/2009	CBL: 021 F021001
------------------------------	--	----------------------------

Location of Construction: 249 Congress St	Owner Name: Elf Works Llc	Owner Address: 590 Shore Rd	Phone:
Business Name:	Contractor Name: Bourgoin & Sons	Contractor Address: 123 Davis Road Durham	Phone (207) 749-1878
Lessee/Buyer's Name	Phone:	Permit Type: Hood Systems, Commerical	

Proposed Use: "Figa" Restaurant / Install kitchen hood and fire suppression system.	Proposed Project Description: Install kitchen hood and fire suppression system.
---	---

Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 06/02/2009	Note:	Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Approved with Conditions	Reviewer: Chris Hanson	Approval Date: 06/04/2009	Note:	Ok to Issue: <input checked="" type="checkbox"/>
1) Installation shall comply with 2003 International Mechanical Code with smoke/fire dampers as required and penetrations protected per IBC Section 712. 2) The Hood shall be installed per IMC 2003 and NFPA 96 This permit is approved based on the plans submitted and updated for reductions in the clearances based on the application of a UL approved fire wrap or equivalent assembly per code. 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.					
Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Keith Gautreau	Approval Date: 06/03/2009	Note:	Ok to Issue: <input checked="" type="checkbox"/>
1) Install shall comply with all manufacture's specifications. 2) Install shall comply with NFPA 96. A compliance letter is required					

Comments:
6/2/2009-mes: Gayle mixed up the use and the contractor. This is for the "Figa" restaurant. Blue Cold Distributors is the contractor.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>249 CONGRESS ST</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>21 F 21</u>	Owner: <u>ELF WORKS, LLC</u> <u>590 SHORE RD</u> <u>CAPE ELIZABETH ME</u>	Telephone:
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>BLUE COLD DISTRIBUTORS</u> <u>10 SNOW CANNING RD</u> <u>STARBOROUGH ME 04074</u>	Cost Of Work: \$ <u>14,440.00</u> Fee: \$ _____ C of O Fee: \$ <u>170.00</u>
Current legal use (i.e. single family) <u>COMMERCIAL</u> / <u>Blue Cold Distributors</u>	If vacant, what was the previous use? <u>N/A</u>	→ This is the contractor Not to be used
Proposed Specific use: <u>Same</u>	Is property part of a subdivision? <u>NO</u> If yes, please name _____	
Project description: <u>INSTALL TYPE I KITCHEN HOOD AND FIRE SUPPRESSION SYSTEM</u>		
Contractor's name, address & telephone: <u>BENSON + SONS</u> <u>749-1878</u>		
Who should we contact when the permit is ready: <u>BILL SAWYER</u> <u>ty call</u>		JUN 2 2009
Mailing address:	Phone: <u>885-2107</u>	

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Bill Sawyer</u>	Date: <u>5-28-09</u>
--	----------------------

This is not a permit; you may not commence ANY work until the permit is issued.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Lee Urban - Director of Planning and Development
Jeanie Bourke - Inspection Division Services Director

Kitchen Exhaust System Checklist and code Provisions

Dear Applicant,

The following is a checklist to assist you in filing for a permit for a Kitchen Exhaust system. The applicable Mechanical Code provisions have also been attached. Please complete this and submit job specific construction documents that demonstrate compliance with the attached information.

Type of System:

Type I X Type II _____

Type I systems are systems that vent fryers, grills, broilers, ovens or woks.

Type II systems are systems that vent steamers and other non grease producing appliances.

Type of Materials:

Is the hood Stainless steel or other type of steel? Stainless If Other, what Type? _____

Is the duct work Stainless steel or other type of steel? _____ If Other, what type? 16ga galv Steel

Thickness of the steel for the hood 16ga

Thickness of the duct for the hood 16ga

Type of Hood and Duct Supports

3/8 threaded rod and 1/8 Angle Iron

Type of seams and Joints solid welded

Grease Gutters provided? Grease Cup mounted To fan

Hood Clearance reduction to Combustibles design /specs:

18" / Fab ceiling panel, Back wall Brack

Duct Clearance reduction to Combustibles design /specs:

Wrap 3m grease duct wrap

Vibration Isolation System:

N/A

Air Velocity within the duct system 2400 cfm S.P. -0.563

Grease accumulation prevention system:

Cleanouts Door 2100° in 90° elbows

Grease Duct enclosure 3m grease duct wrap

Exhaust Termination Roof X Wall _____

Fire Suppression System 4 gallon

Exhaust fan mounting and clearance from the roof / wall or Combustibles:

10' from wall and openings, fan off roof 51"

Exhaust fan distance from property lines 10'

Exhaust fan distance from other vents or openings 10'

Exhaust fan distance from adjacent buildings 10'

Exhaust fan height above adjoining grade 16'

Hood Specs

Style of Hood Canopy

Type of Filter Grease baffle

Height of filter above nearest cooking surface 3'

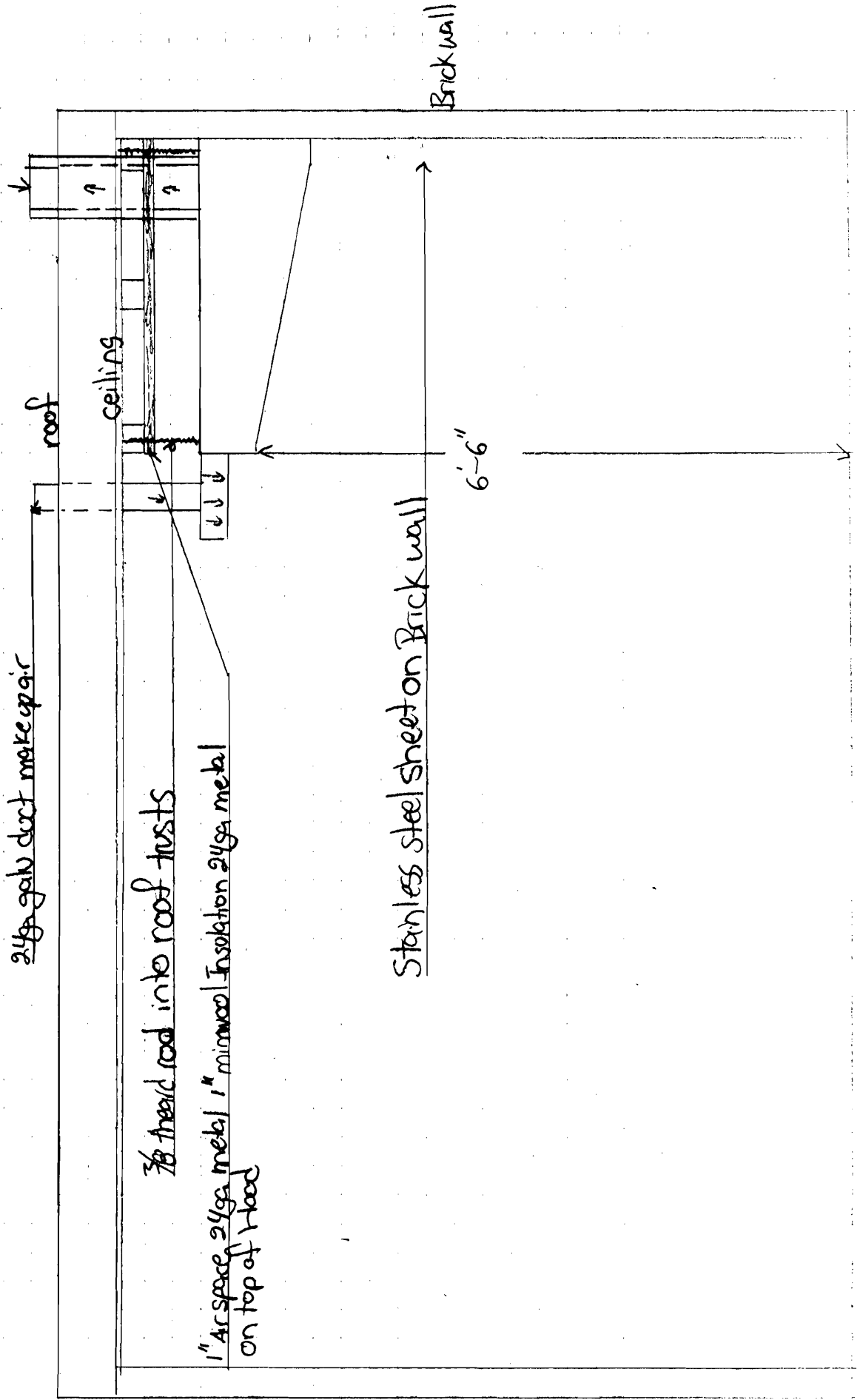
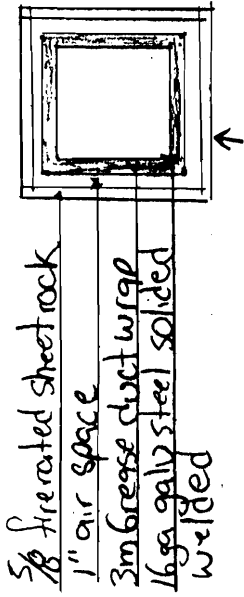
Capacity of hood CFM 2400 cfm

Make up Air system description and capacity

Heated make up air mounted on roof to being in
1800 cfm duct work to 24ga galv.

Bouillon & Sons
(207) 749-1878
Dan Bouillon

249 Congress ST



Back

L. Side

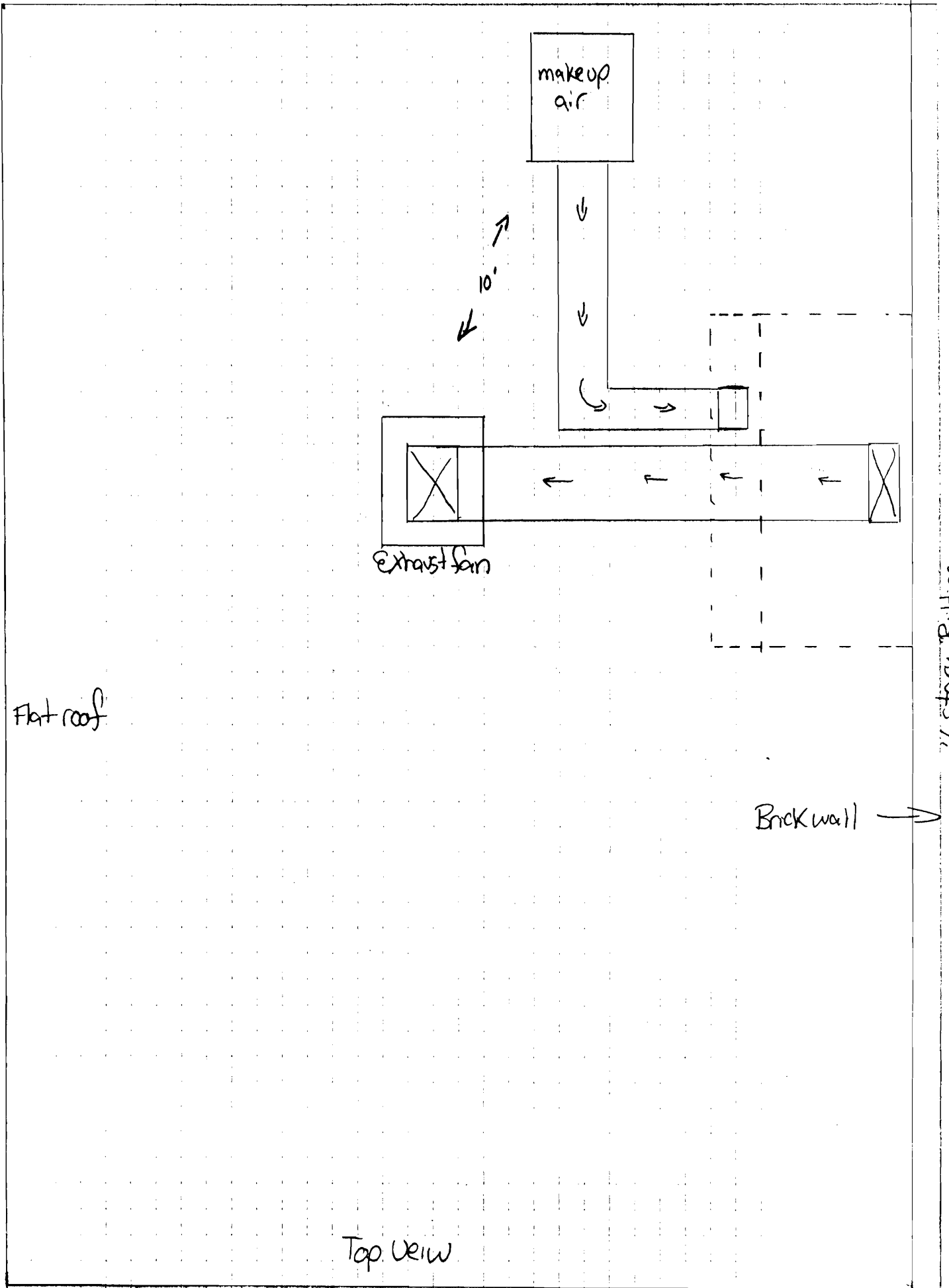
Flat roof Flat roof

4 story Building

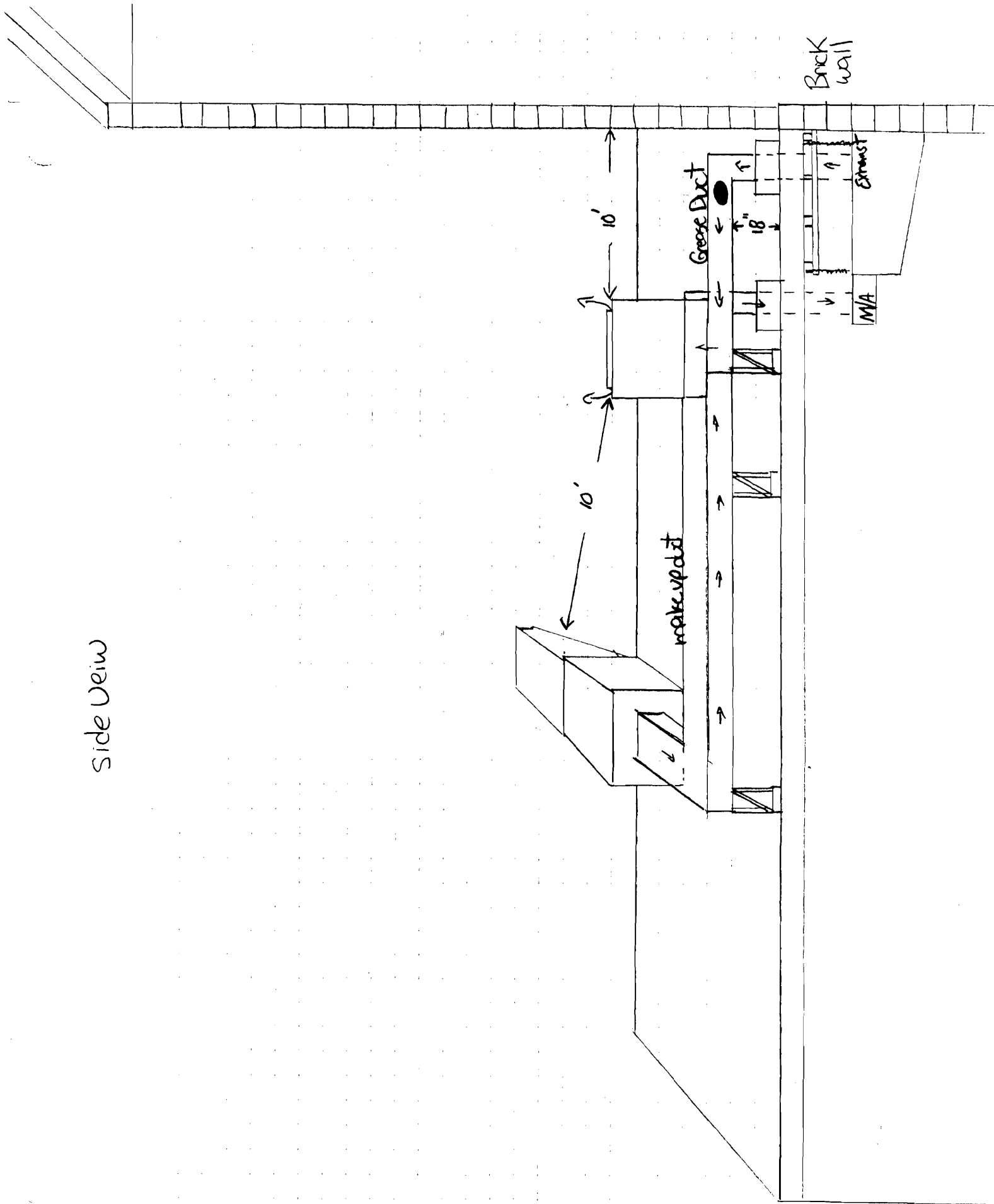
Brick wall

Top View

Congress ST 249 Front



side view



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND PERMIT ISSUED

Please Read Application And Notes, If Any, Attached

BUILDING PERMIT

Permit Number: DEC 091295

This is to certify that ELF WORKS LLC /Ryan Wall City of Portland
has permission to install a 3'4" x 3'4" Hanging Sign
AT 249 CONGRESS ST CD 021 F021001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

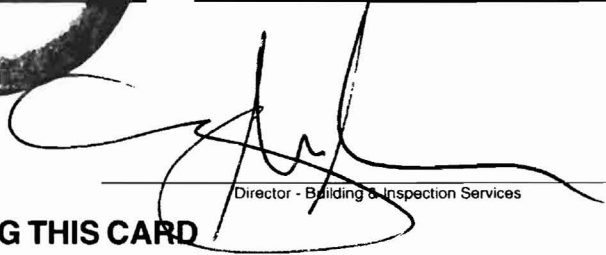
Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise dressed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name


Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1295	Issue Date:	CBL: 021 F021001
-----------------------	-------------	---------------------

Location of Construction: 249 CONGRESS ST	Owner Name: ELF WORKS LLC	Owner Address: 590 SHORE RD	Phone:
Business Name:	Contractor Name: Ryan Wallace	Contractor Address: 37 Maine Ave Portland	Phone 2078071771
Lessee/Buyer's Name	Phone:	Permit Type: Signs - Permanent	Zone: B-2b

Past Use: Commercial "Figa" Restaurant <i>change fee -09-0125</i>	Proposed Use: Commercial "Figa" Restaurant - install a 3'4" x 3'4" Hanging Sign	Permit Fee: \$52.00	Cost of Work: \$52.00	CEO District: 1
---	---	------------------------	--------------------------	--------------------

FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>U</i> Type: <i>Sign</i> <i>IBC 2003</i>
Signature:	Signature:

Proposed Project Description:
install a 3'4" x 3'4" Hanging Sign

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature:	Date:	

Permit Taken By: Ldobson	Date Applied For: 11/13/2009	Zoning Approval		
-----------------------------	---------------------------------	------------------------	--	--

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p align="center">Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>11/18/09 ABM</i>	<p align="center">Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p align="center">Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>
---	--	--	--

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

PERMIT ISSUED

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE **DEC** _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE *City of Portland* _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1295	Date Applied For: 11/13/2009	CBL: 021 F021001
-----------------------	---------------------------------	---------------------

Location of Construction: 249 CONGRESS ST	Owner Name: ELF WORKS LLC	Owner Address: 590 SHORE RD	Phone:
Business Name:	Contractor Name: Ryan Wallace	Contractor Address: 37 Maine Ave Portland	Phone (207) 807-1771
Lessee/Buyer's Name	Phone:	Permit Type: Signs - Permanent	

Proposed Use: Commercial "Figa" Restaurant - install a 3'4" x 3'4" Hanging Sign	Proposed Project Description: install a 3'4" x 3'4" Hanging Sign
--	---

Dept: Zoning	Status: Approved	Reviewer: Ann Machado	Approval Date: 11/18/2009	Ok to Issue: <input checked="" type="checkbox"/>
Note:				
Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 12/01/2009	Ok to Issue: <input checked="" type="checkbox"/>
Note:				
1) Signage Installation to comply with Chapters 31 & 32 of the IBC 2003 building code.				

PERMIT ISSUED

DEC 1 2009

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date

PERMIT ISSUED

DEC

City of Portland



Signage/Awning Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 249 CONGRESS ST. PORTLAND ME 04101		
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Owner: LEE FARRINGTON	Telephone: 730.2311
Lessee/Buyer's Name (If Applicable) LEE FARRINGTON	Contractor name, address & telephone: RYAN WALLACE 37 MAINE AVE PORTLAND ME 04103 207.807.1771	Total s.f. of signage x \$2.00 Per s.f. plus \$30.00/\$65.00 For I.D. signage= Total Fee: \$ _____ Awning Fee= cost of work _____ Total Fee: \$ _____
Who should we contact when the permit is ready: LEE FARRINGTON phone: 730.2311		
Tenant/allocated building space frontage (feet): Length: 65' Height: 19' ^{frontage 11 13'}		
Lot Frontage (feet) _____ Single Tenant or Multi Tenant Lot <u>Single</u>		
Current Specific use: RESTAURANT		
If vacant, what was prior use: _____		
Proposed Use: _____		
Information on proposed sign(s):		
Freestanding (e.g., pole) sign? Yes <input checked="" type="checkbox"/> No _____ Dimensions proposed: 3'4" x 3'4" Height from grade: 11 1/2'		
Bldg. wall sign? (attached to bldg) Yes _____ No <input checked="" type="checkbox"/> Dimensions proposed: _____		
Proposed awning? ^{N/A} Yes _____ No _____ Is awning backlit? Yes _____ No _____		
Height of awning: _____ Length of awning: _____ Depth: _____		
Is there any communication, message, trademark or symbol on it? Yes _____ No _____		
If yes, total s.f. of panels w/communications, message, trademark or symbol: _____ s.f.		
Information on existing and previously permitted sign(s): N/A		
Freestanding (e.g., pole) sign? Yes _____ No _____ Dimensions: _____		
Bldg. wall sign? (attached to bldg) Yes _____ No _____ Dimensions: _____		
Awning? Yes _____ No _____ Sq. ft. area of awning w/communication: _____		

11 x 2 + 30 = 52

RECEIVED

NOV 13 2009

Dept. of Building Inspections
City of Portland Maine

A site sketch and building sketch showing exactly where existing and new signage is located must be provided. Sketches and/or pictures of proposed signage and existing building are also required.

Please submit all of the information outlined in the Sign/Awning Application Checklist. Failure to do so may result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: *Lee Farrington* Date: **30 OCTOBER 09**

B-2- <150' This is not a permit; you may not commence ANY work until the permit is issued.
2' x 19' = 38 sq ft proposed. 40" x 40" = ~~1600~~ 1600 sq ft = 11 sq ft (OP)



Signage/Awning Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

- Certificate of Liability listing the City as additional insured if any portion of the sign abuts or encroaches on any public right of way, or can fall into any public right of way. *Sidewalk?*
- Letter of permission from the owner indicating the permissions granted and the tenant/space building frontage. *ME - N/A*
- A sketch plan of lot indicating location of buildings, driveways and any abutting streets or rights of way, lengths of building frontages, street frontages and all existing setbacks. Please indicate on the plan all existing and proposed signs with their dimensions and specific locations. Be sure to include distance from the ground and building façade dimensions for any signage attached to the building.
- A sketch or photo of any proposed sign(s) indicating content, dimensions, materials, source of illumination, construction method as well as specifics of installation/attachment.
EXISTING LIGHTS - SIGN HANGING BTW LIGHTS - Metal Arm that extends 3'4" From facade - All metal sign - non flammable
- Certificate of flammability required for awning or canopy. *N/A non flammable*
- A UL# is required for lighted signs at the time of final inspection. *LIGHTING ALREADY EXISTING ON FRONT OF BUILDING*
- Photos of existing signage *N/A*
- Details for sign fastening, attachment or mounting in the ground.
10 HEX HEAD U6 SCREWS, 3" X 3/8" BOLTED INTO FACADE STUDS - CABLE BOLTED INTO SIDE OF BLDG & EACH SIDE OF SIGN FOR XTRA SUPPORT.

Permit fee for signage or awning-with-signage: \$30.00 plus \$2.00 per square foot of sign. *30 + 13.60 = 43.60*

Permit fee for awning-without-signage is based on cost of work:
\$30.00 for the first \$1,000.00, \$10.00 per additional \$1,000.00 of cost.

Base application fee for any Historic District signage is \$65.00.



Sidewalk Signs

MORTGAGE LOAN INSPECTION

Cumberland Title Company

P.O. Box 4843

Portland, ME 04112

1-207-774-1773

1-207-774-2278 (fax)

CL No.: 13801

Job No.: CTC27-60.

Date: 7/25/2000

County: Cumberland

Plan Bk. Pg.

Lot(S):

Scale: 1" = 20'

Borrower(S): Laura L. Buffi

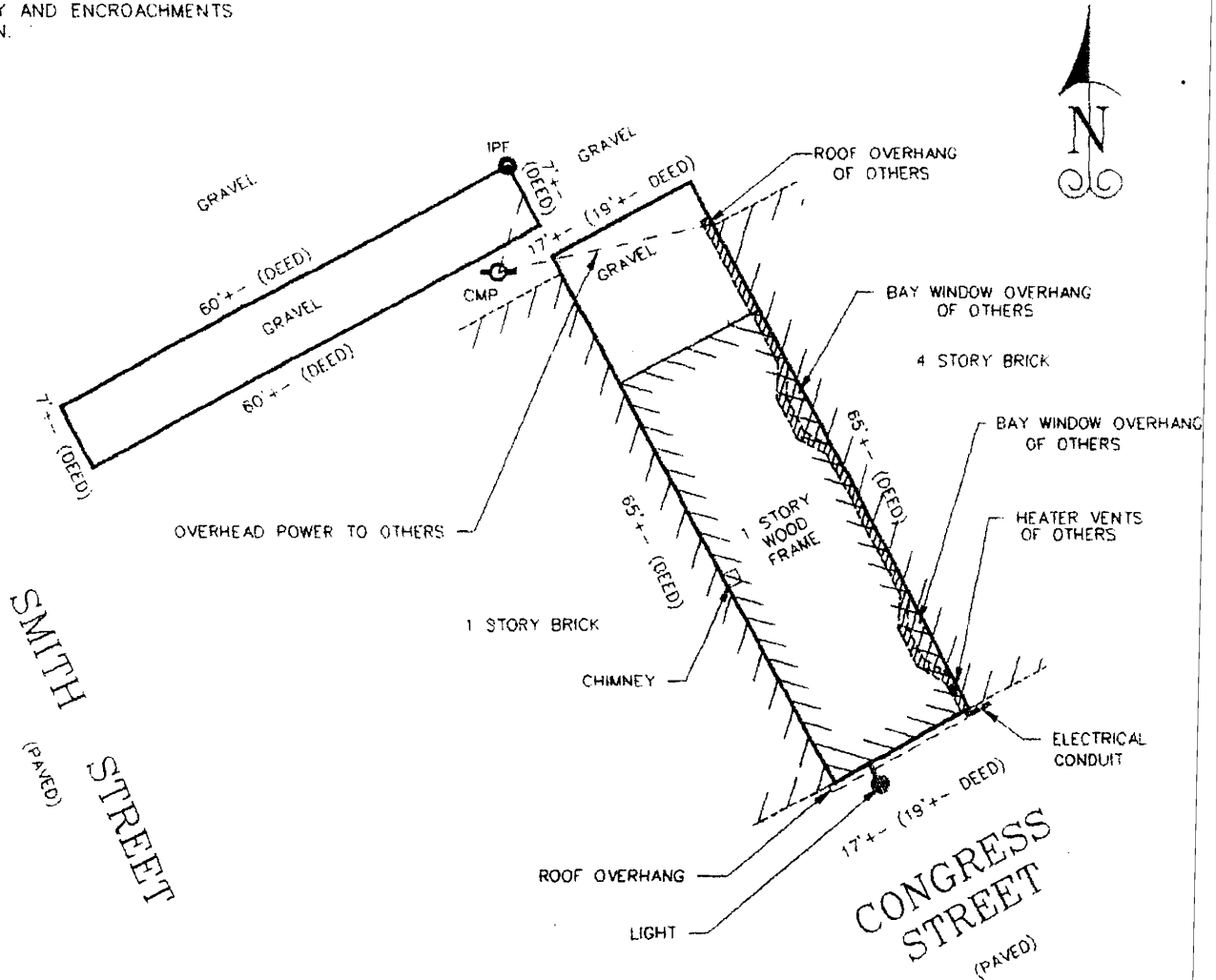
File No.: 249

Address: Congress St.

City: Portland, ME

Source Deed Bk. 12583 Pg. 177

NOTE: A FULL BOUNDARY SURVEY IS RECOMMENDED TO VERIFY BOUNDARY AND ENCROACHMENTS AS SHOWN.



NOTE: **THIS IS NOT A BOUNDARY SURVEY.** This plan is made for the purposes of determining that the improvements are within the apparent boundary lines. **THE PREPARER IS NOT LIABLE FOR ANY OTHER USE BY ANY OTHER PERSON OR ENTITY.**

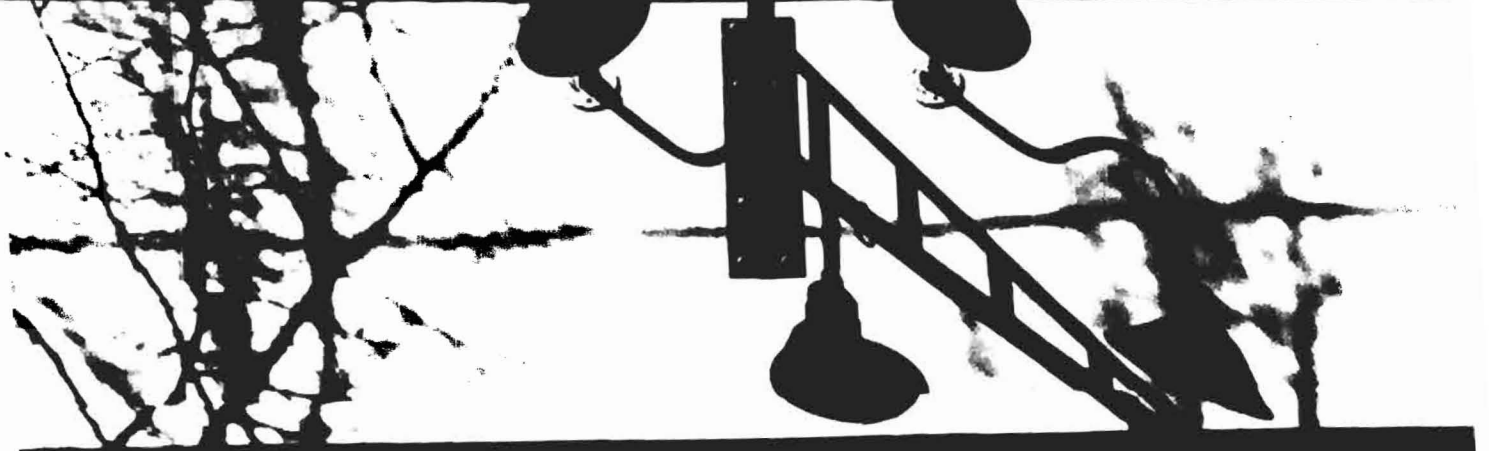
CERTIFICATION: I hereby certify to *Peoples Heritage Bank, N. A.* and its mortgage title insurer that based upon inspection made with reasonable certainty, that:

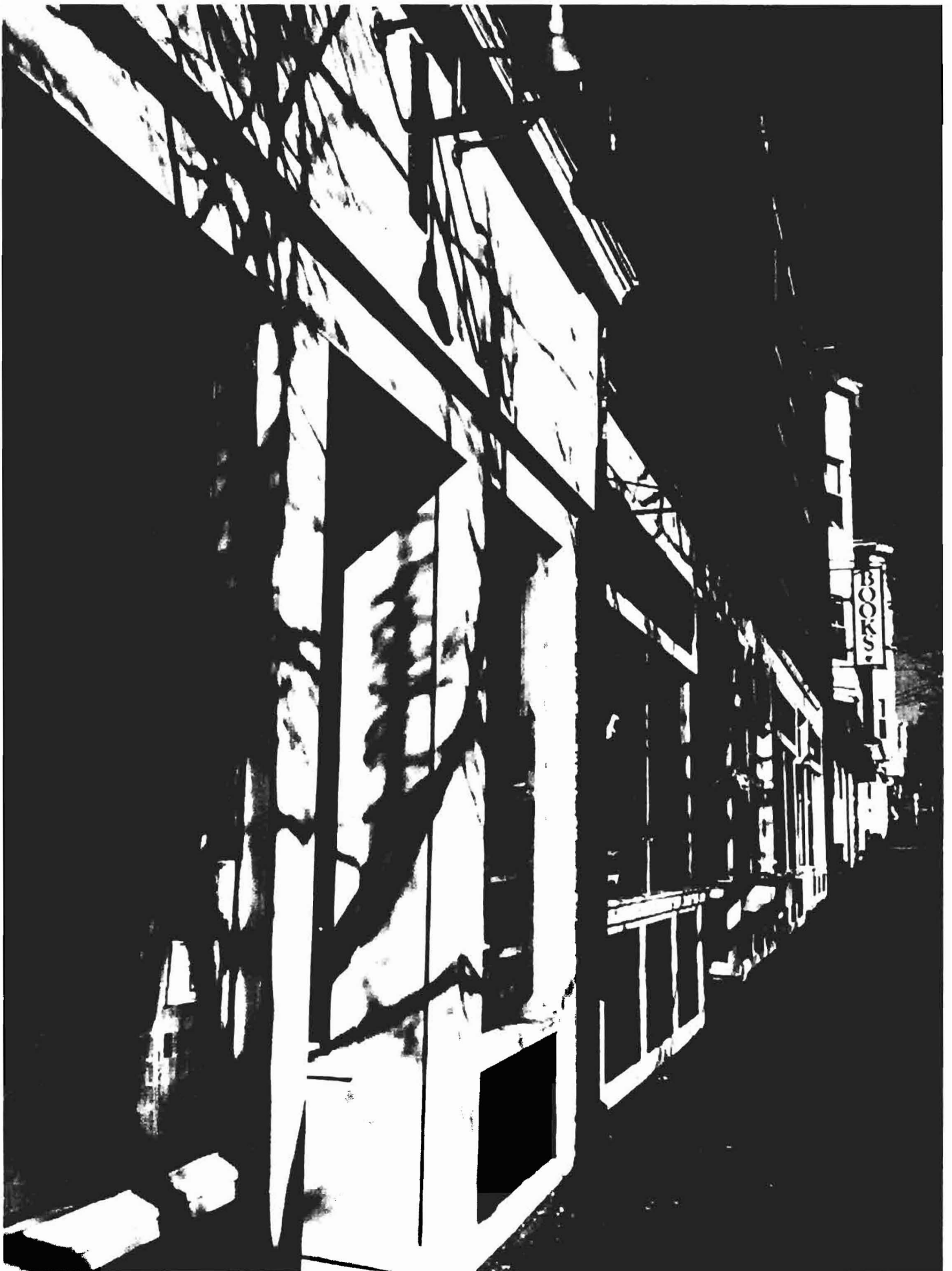
- this plan was made from an inspection of the site.
- there **ARE NO** apparent violations of municipal ordinances regarding building setbacks in effect at time of construction.
- the principal structure(s) located on the premises **ARE NOT** in a flood hazard zone as delineated on the flood maps used by the Federal Emergency Management Agency.

Bruce W. Johnson



THE CHANGING WORLD
OF THE
FUTURE
You
[Portrait of a man]











ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID JH
FIGALLC

DATE (MM/DD/YYYY)

10/30/09

PRODUCER

Turner Barker Insurance
160 Preble Street
Portland ME 04101
Phone: 207-773-8156 Fax: 207-773-6647

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED

Figa LLC
Lee Farrington
590 Shore Road
Cape Elizabeth ME 04107

INSURERS AFFORDING COVERAGE

NAIC #

INSURER A: **Travelers Insurance Co.**
INSURER B:
INSURER C:
INSURER D:
INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
X	GENERAL LIABILITY	6807555N944	10/01/09	10/01/10	EACH OCCURRENCE	\$ 1000000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 50000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 5000
	<input checked="" type="checkbox"/> Liquor				PERSONAL & ADV INJURY	\$ 1000000
	GEN'L AGGREGATE LIMIT APPLIES PER:				GENERAL AGGREGATE	\$ 2000000
	<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				PRODUCTS - COMP/OP AGG	\$ 2000000
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
	<input type="checkbox"/> HIRED AUTOS					
	<input type="checkbox"/> NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC	\$
					AUTO ONLY: AGG	\$
	EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
						\$
	<input type="checkbox"/> DEDUCTIBLE					\$
	<input type="checkbox"/> RETENTION \$					\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU-TORY LIMITS	OTH-ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$
	If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$
					E.L. DISEASE - POLICY LIMIT	\$
	OTHER					

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Certificate Holder named as additional insured with respect to general liability arising out of sidewalk sign owned by insured

CERTIFICATE HOLDER

CITY001

City of Portland
389 Congress Street
Portland ME 04101

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Joan P. Hopkins, CIC

IMPORTANT

If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).


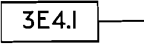


DISCLAIMER









The Certificate of Insurance on the reverse side of this form does not constitute a contract between the issuing insurer(s), authorized representative or producer, and the certificate holder, nor does it affirmatively or negatively amend, extend or alter the coverage afforded by the policies listed thereon.

FIGA

FIGA RESTAURANT
OWNER: LEE FARRINGTON
249 CONGRESS ST.
PORTLAND, ME 04101
207-730-2311
FIGARESTAURANT.COM

LEGEND:

	NEW WALL
	WALL TYPE; SEE A4
	EXISTING WALL
	DOOR NUMBER

	EXIT SIGN
	CEILING FIXTURE
	WALL MOUNT LIGHT
	SMOKE DETECTOR
	DUPLEX RECEPTACLE
	QUAD RECEPTACLE
	220 RECEPTACLE
	SWITCH

ABBREVIATIONS:

ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
C	CENTER LINE
CLR	CLEAR
DN	DOWN
e	EXISTING
EXG	EXISTING
FEC	FIRE EXTINGUISHER
MTL	METAL
O.C.	ON CENTER
TYP	TYPICAL
VIF	VERIFY IN FIELD
WD	WOOD

LIST OF DRAWINGS:

T1	TITLE SHEET
DI	DEMOLITION PLAN
A1	FLOOR PLAN; DOOR SCHEDULE
A2	REFLECTED CEILING PLAN
A3	MECHANICAL, ELECTRICAL & PLUMBING PLAN
A4	SECTIONS AND DETAILS
FSI	FOOD SERVICE EQUIPMENT PLAN AND SCHEDULE

DRAWINGS ARE NOT FOR
CONSTRUCTION PURPOSES

FIGA RESTAURANT
OWNER: LEE FARRINGTON
249 CONGRESS ST.
PORTLAND, ME 04101
207-730-2311
FIGARESTAURANT.COM

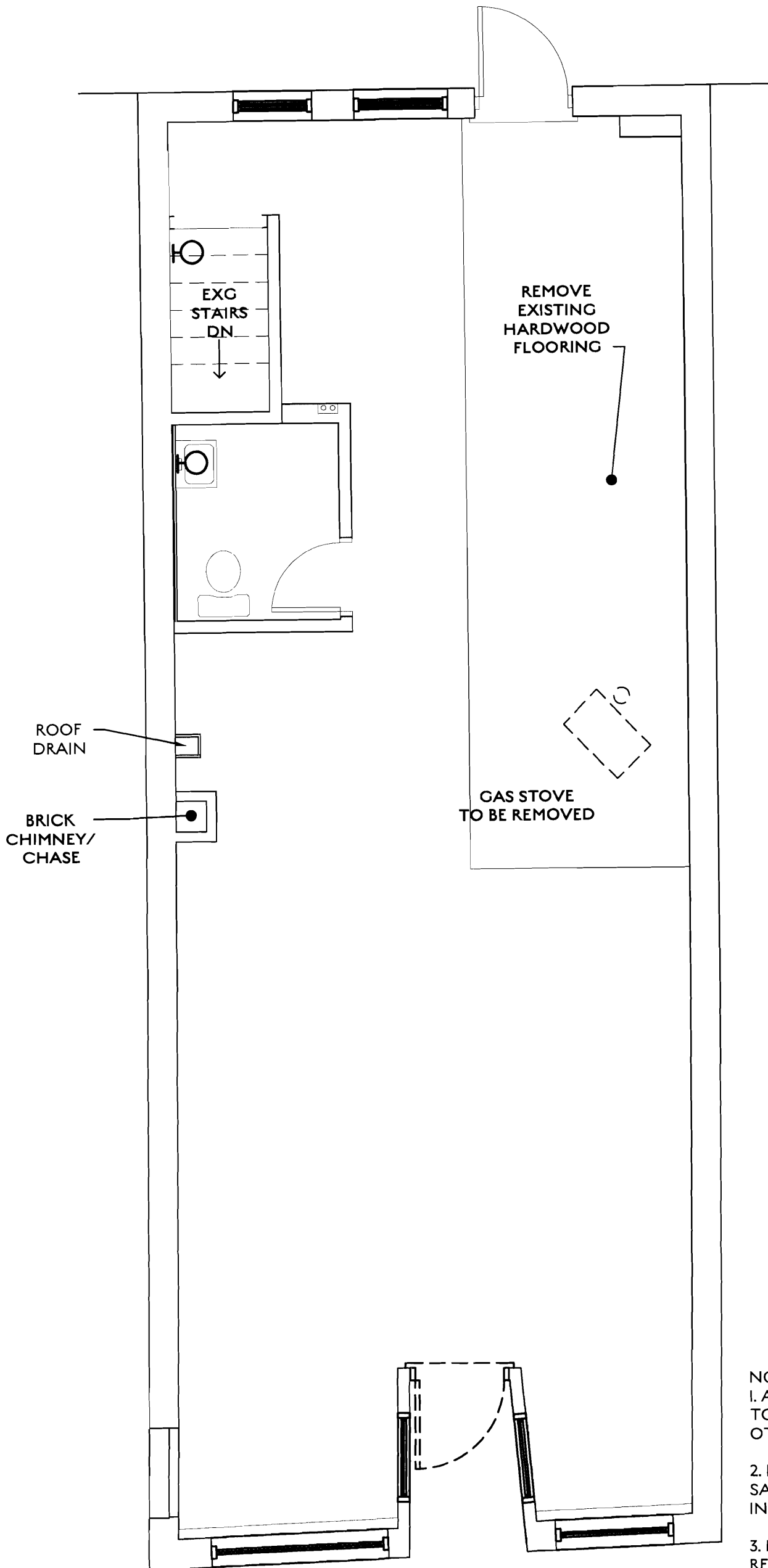
DRAFTING:
AARON KLEIN
406-570-1171
REKLEINER@HOTMAIL.COM

FIGA
PORTLAND, MAINE

TITLE
TITLE SHEET

DATE 08 FEBRUARY, 2009
SCALE 1/4"=1'-0"

SHEET
T1



- NOTES:
1. ALL SWITCHES & OUTLETS TO REMAIN UNLESS NOTED OTHERWISE.
 2. FRONT DOOR & FRAME TO BE SALVAGED, MODIFIED, AND INSTALLED TO SWING INWARD.
 3. PROTECT ALL SURFACES TO REMAIN DURING CONSTRUCTION.

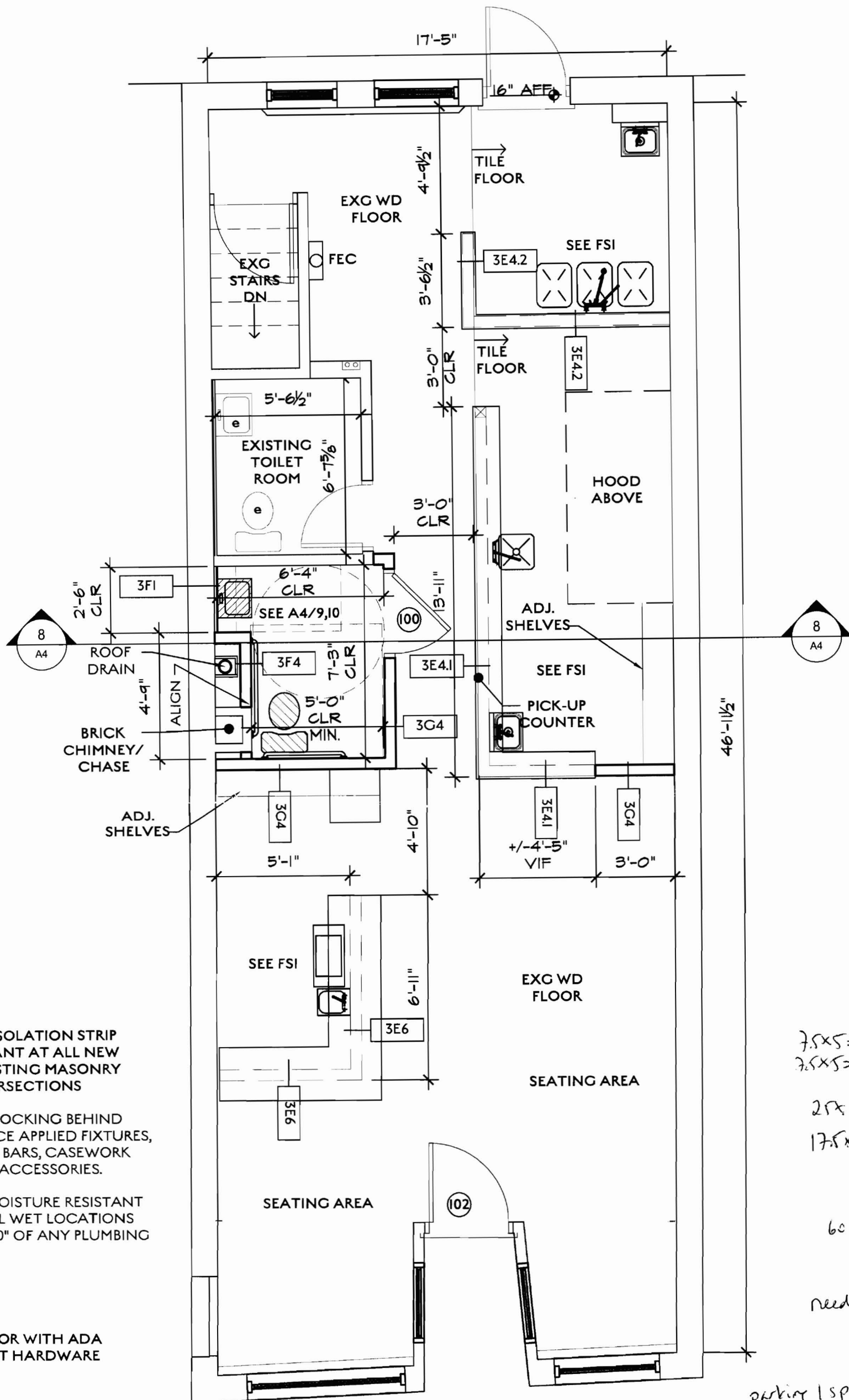
DRAWINGS ARE NOT FOR CONSTRUCTION PURPOSES

FIGA RESTAURANT
 OWNER: LEE FARRINGTON
 249 CONGRESS ST.
 PORTLAND, ME 04101
 207-730-2311
 FIGARESTAURANT.COM

DRAFTING:
 AARON KLEIN
 406-570-1171
 REKLEINER@HOTMAIL.COM

FIGA		SHEET
PORTLAND, MAINE		
TITLE	DATE	D1
DEMOLITION PLAN	08 FEBRUARY, 2009	
	SCALE 1/4"=1'-0"	

Feb 10, 2009 - 5:52pm



NOTE:
 -PROVIDE ISOLATION STRIP AND SEALANT AT ALL NEW WALL/ EXISTING MASONRY WALL INTERSECTIONS
 -INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, GRAB BARS, CASEWORK AND MISC. ACCESSORIES.
 -INSTALL MOISTURE RESISTANT GWB AT ALL WET LOCATIONS WITHIN 8'-0" OF ANY PLUMBING FIXTURE.

DOOR 100:
 3'-0"X6'-8"
 WOOD DOOR WITH ADA COMPLIANT HARDWARE

DOOR 102:
 3'-0"X6'-8"
 EXISTING FULL LITE DOOR AND FRAME TO BE MODIFIED OR REPLACED TO SWING INWARD; WITH ADA COMPLIANT HARDWARE

$7.5 \times 5 = 37.5$
 $7.5 \times 5 = 37.5$
 $25 \times 9.5 = 237.5$
 $17.5 \times 16.5 = 288.75$

 601.25
 $601.25 \div 150 = 4$
 need 4 parking spaces.

parking 1 space for each 150#

DRAWINGS ARE NOT FOR CONSTRUCTION PURPOSES

FIGA RESTAURANT
 OWNER: LEE FARRINGTON
 249 CONGRESS ST.
 PORTLAND, ME 04101
 207-730-2311
 FIGARESTAURANT.COM

DRAFTING:
 AARON KLEIN
 406-570-1171
 REKLEINER@HOTMAIL.COM

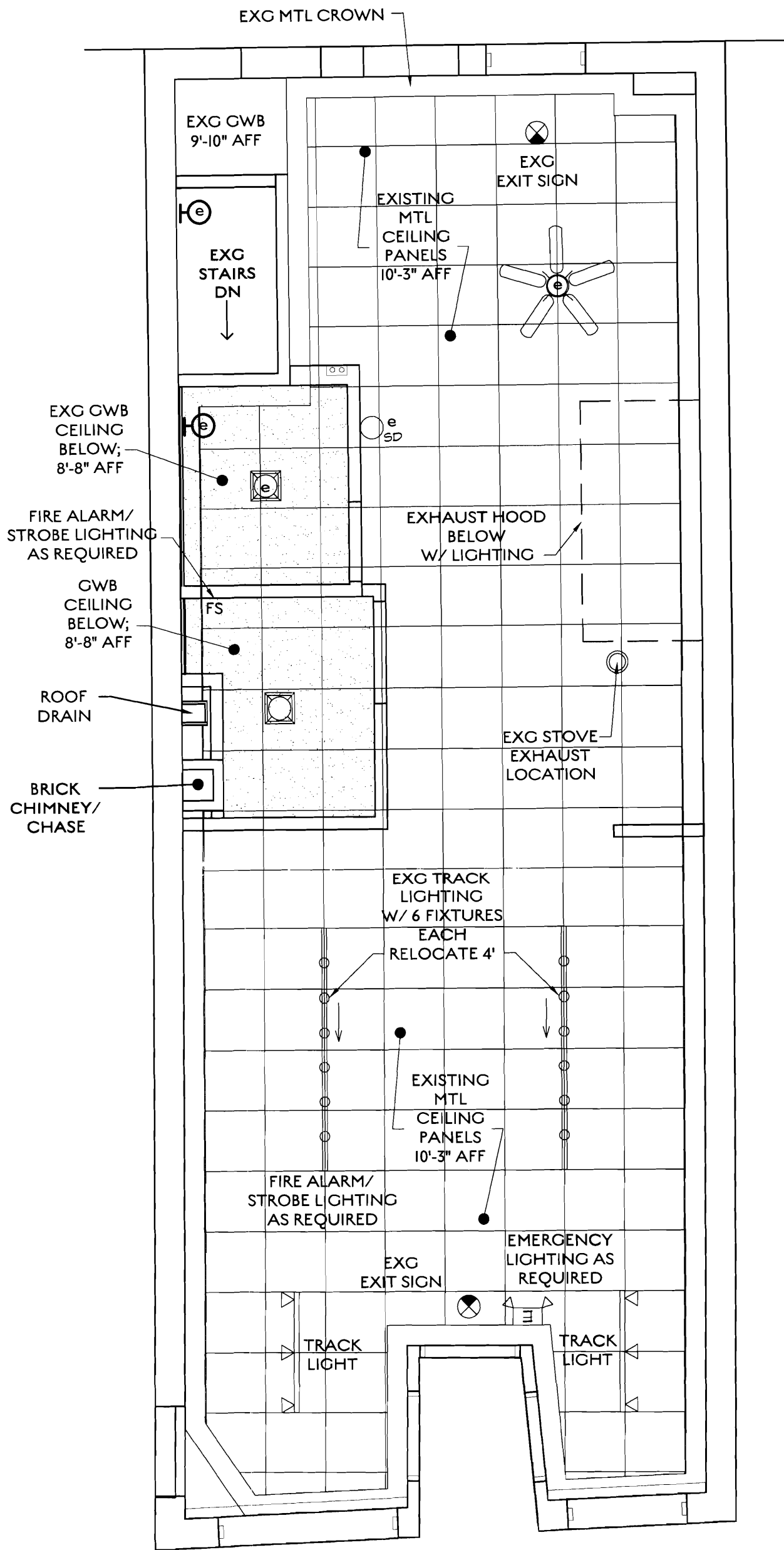
FIGA
 PORTLAND, MAINE

TITLE
FLOOR PLAN

DATE 08 FEBRUARY, 2009
 SCALE 1/4"=1'-0"

SHEET
A1

Feb 10, 2009 5:53pm



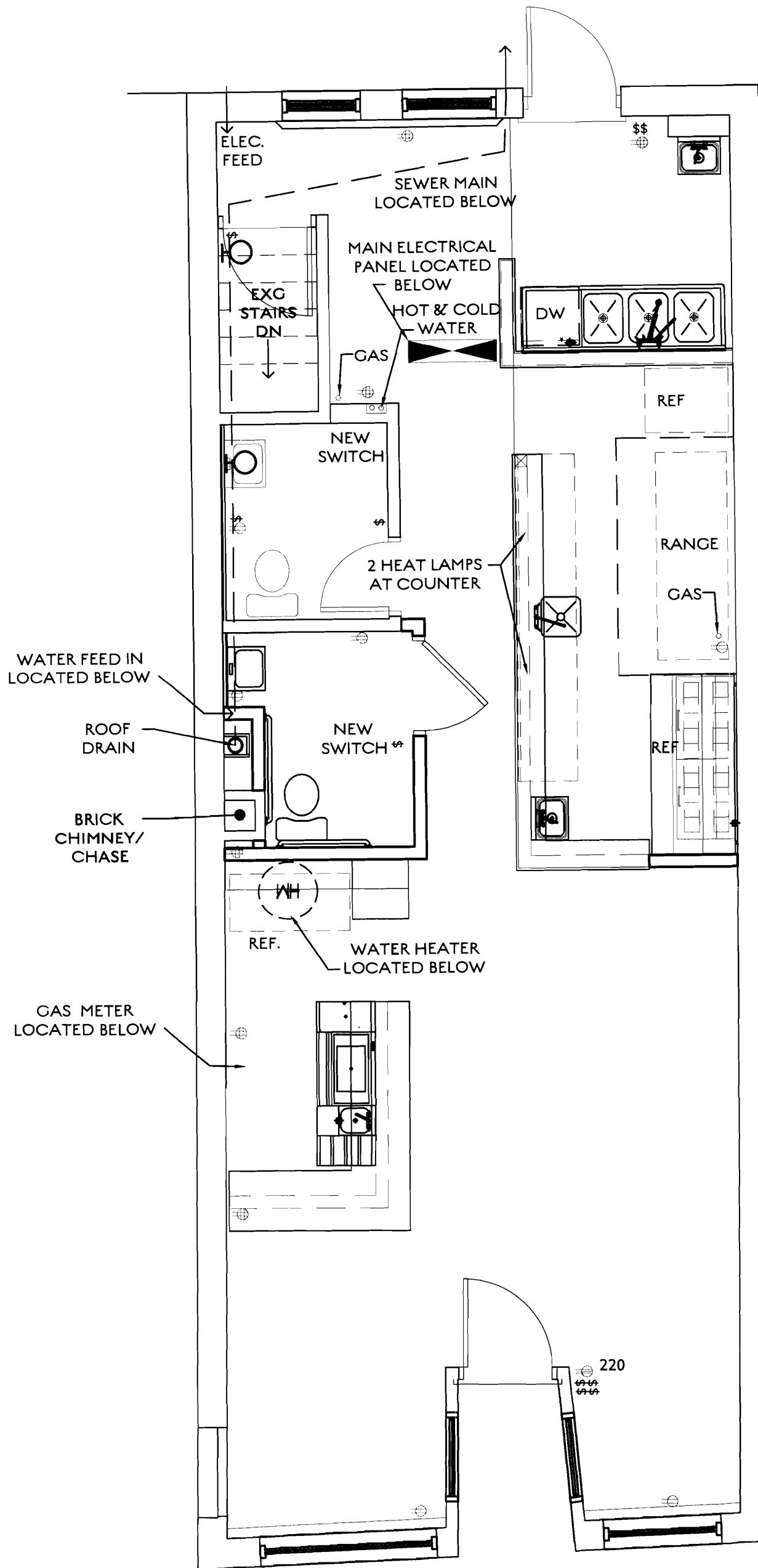
DRAWINGS ARE NOT FOR CONSTRUCTION PURPOSES

FIGA RESTAURANT
 OWNER: LEE FARRINGTON
 249 CONGRESS ST.
 PORTLAND, ME 04101
 207-730-2311
 FIGARESTAURANT.COM

DRAFTING:
 AARON KLEIN
 406-570-1171
 REKLEINER@HOTMAIL.COM

FIGA		SHEET
PORTLAND, MAINE		
TITLE	DATE	08 FEBRUARY, 2009
REFLECTED PLAN	SCALE	1/4"=1'-0"
		A2

Feb 10, 2009 - 5:53pm



NOTE:
 -PROVIDE MECHANICAL, ELECTRICAL AND PLUMBING AS SHOWN ON FOOD SERVICE PLAN AND SCHEDULE; AS NECESSARY; SEE FSI
 -ALL SWITCHES AND RECEPTACLES SHOWN ARE EXISTING TO REMAIN (UNLESS OTHERWISE NOTED) OR TO BE MODIFIED AS NECESSARY
 -ADDITIONAL ELECTRICAL TO MEET CODE REQUIREMENTS

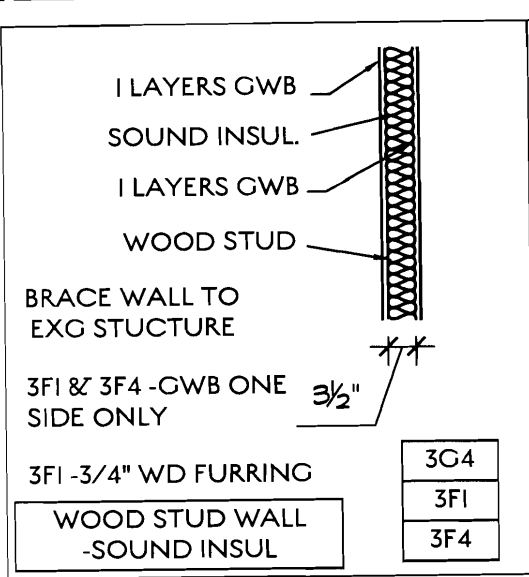
DRAWINGS ARE NOT FOR CONSTRUCTION PURPOSES

FIGA RESTAURANT
 OWNER: LEE FARRINGTON
 249 CONGRESS ST.
 PORTLAND, ME 04101
 207-730-2311
 FIGARESTAURANT.COM

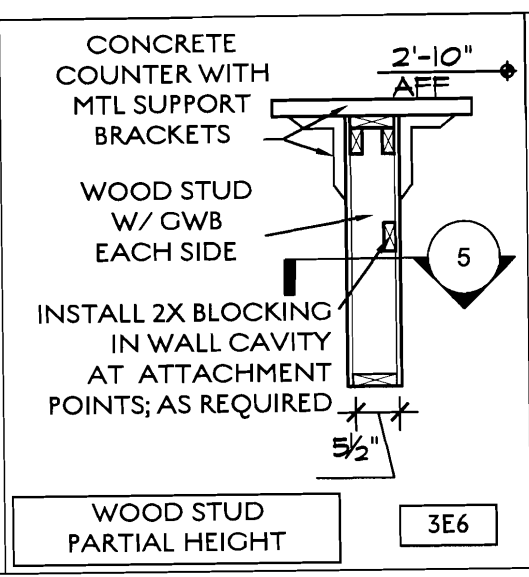
DRAFTING:
 AARON KLEIN
 406-570-1171
 REKLEINER@HOTMAIL.COM

FIGA		SHEET
PORTLAND, MAINE		A3
TITLE	DATE 08 FEBRUARY, 2009	
ELECTRICAL, AND PLUMBING	SCALE 1/4"=1'-0"	

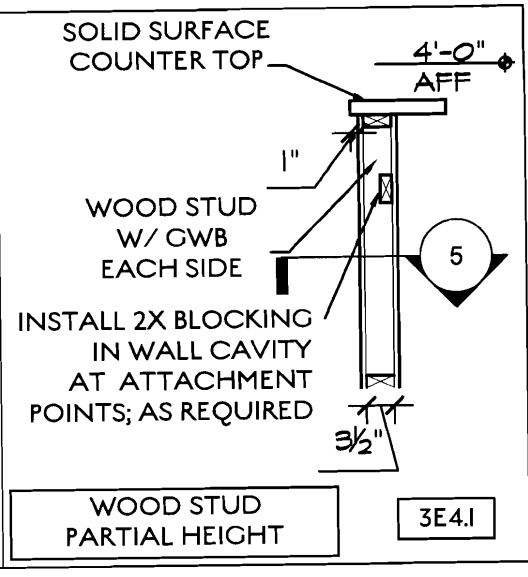
Feb 10, 2009 - 5:53pm



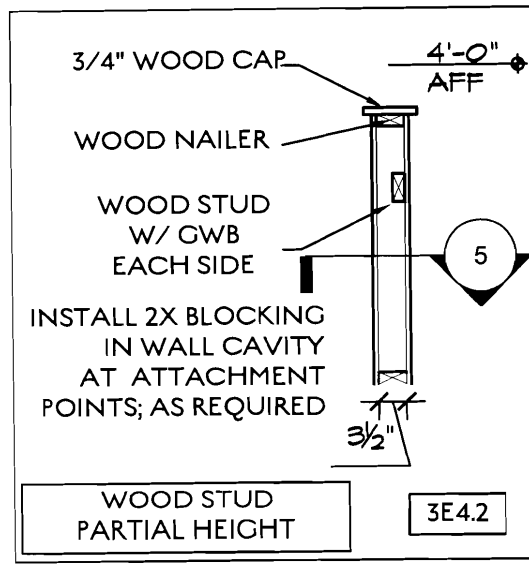
1



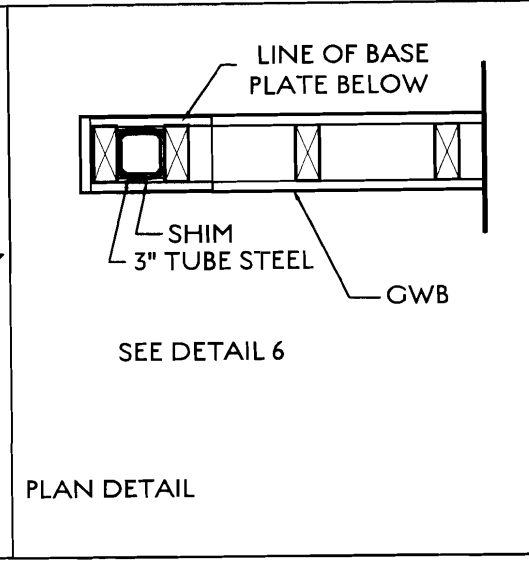
2



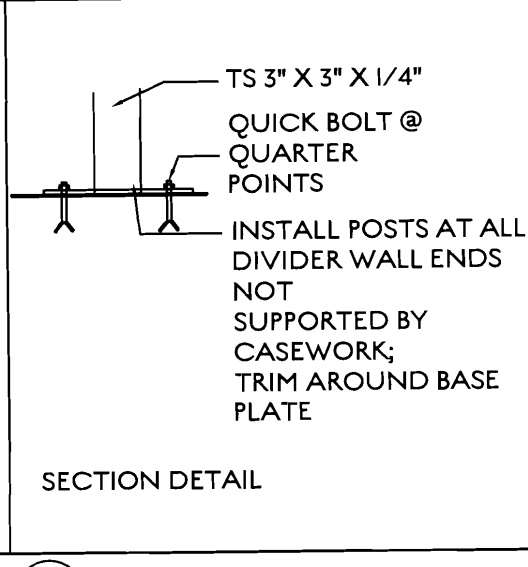
3



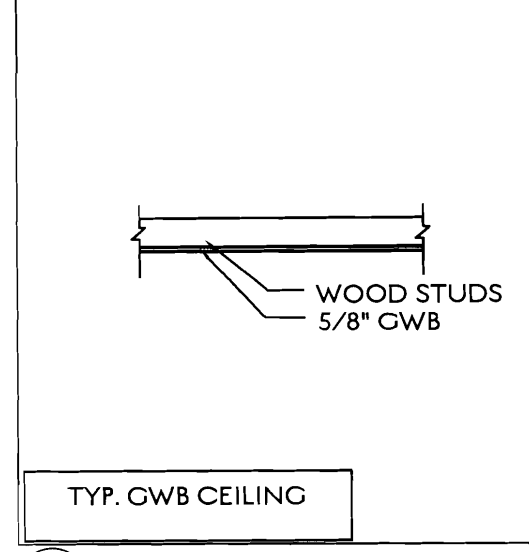
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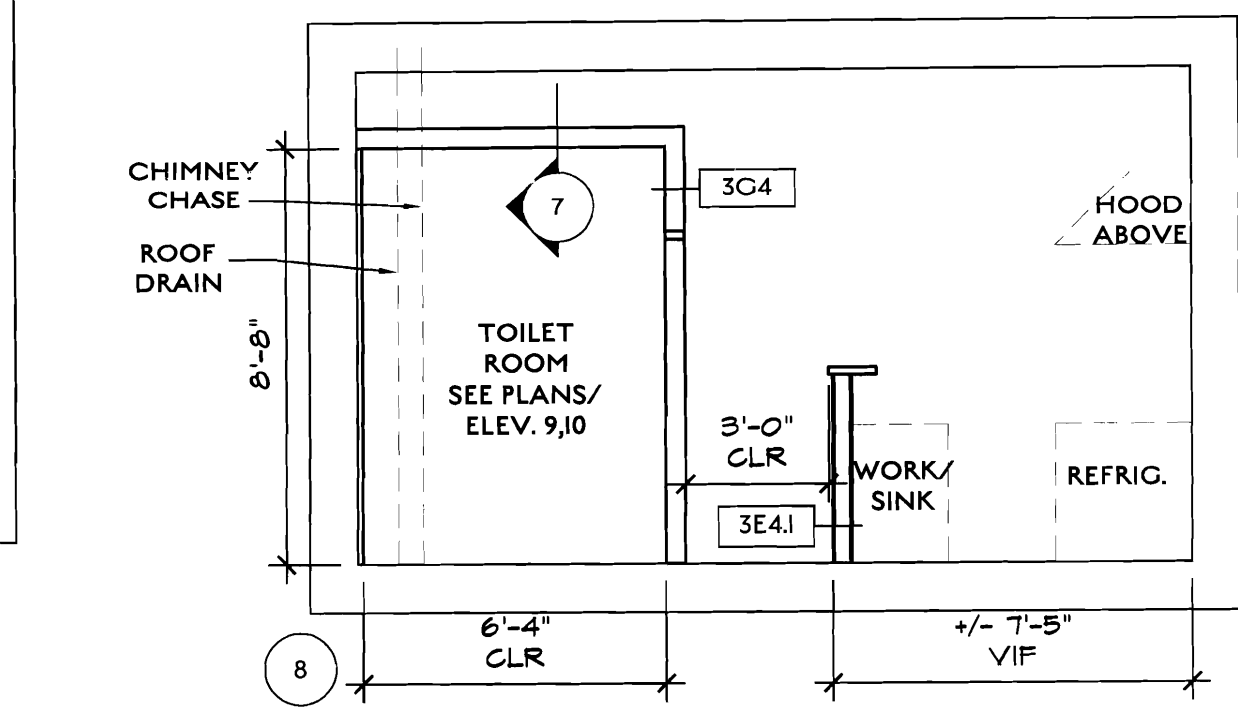
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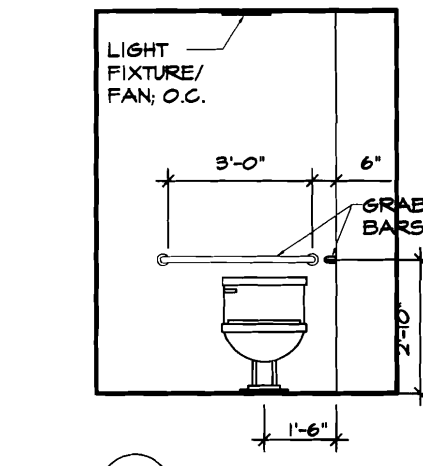
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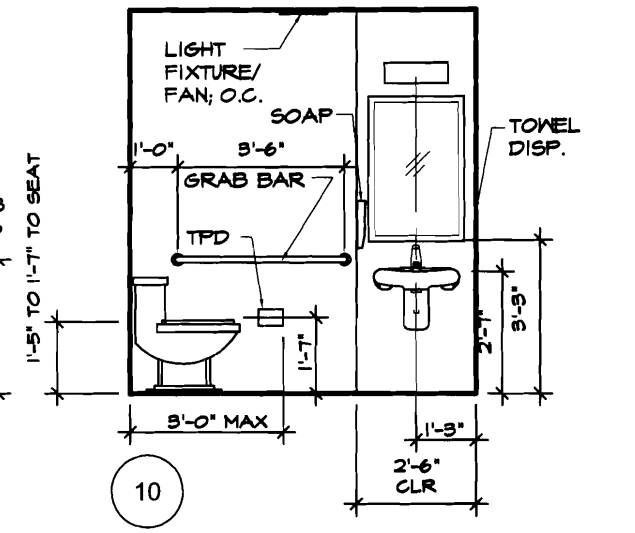
7



8



9



10

DRAWINGS ARE NOT FOR CONSTRUCTION PURPOSES

FIGA RESTAURANT
OWNER: LEE FARRINGTON
249 CONGRESS ST.
PORTLAND, ME 04101
207-730-2311
FIGARESTAURANT.COM

DRAFTING:
AARON KLEIN
406-570-1171
REKLEINER@HOTMAIL.COM

FIGA PORTLAND, MAINE		SHEET A4
TITLE SECTIONS AND DETAILS		DATE 08 FEBRUARY, 2009
		SCALE 1/4"=1'-0"

Feb 10, 2009 - 5:53pm

PLUMBING CONNECTION SCHEDULE

- P-1 1/2" COLD WATER, STUB OUT WALL AT 18"-AFF AND CONNECT AT ITEM 1, HAND SINK.
- P-1b 1/2" HOT WATER, STUB OUT WALL AT 18"-AFF AND CONNECT AT ITEM 1, HAND SINK.
- P-1c 1-1/2" DIRECT WASTE HUB, STUB OUT WALL AT 24"-AFF, CONNECT AT ITEM 1, HAND SINK.
- P-2 2" DIRECT WASTE HUB, STUB OUT WALL AT 8"-AFF, CONNECT AT ITEM 2, SINK, 3-COMPARTMENT; ALSO SERVES ITEMS 3.
- P-2b 1/2" COLD WATER, STUB OUT WALL AT 14"-AFF AND CONNECT AT ITEM 2, SINK, 3-COMPARTMENT.
- P-2c 1/2" HOT WATER, STUB OUT WALL AT 14"-AFF AND CONNECT AT ITEM 2, SINK, 3-COMPARTMENT.
- P-3 3/4" HOT WATER, STUB OUT WALL AT 8"-AFF AND CONNECT AT ITEM 3, DISHWASHER, UNDERCOUNTER.
- P-6 3/4" GAS SUPPLY, 220-MBTUH, STUB OUT WALL AT 36"-AFF AND CONNECT AT ITEM 6, RANGE, MEDIUM DUTY GAS.
- P-7 3/4" GAS SUPPLY, 60-MBTUH, STUB OUT WALL AT 36"-AFF AND CONNECT AT ITEM 7, CHAR-BROILER.
- P-10 1/2" COLD WATER, STUB OUT WALL AT 14"-AFF AND CONNECT AT ITEM 10, WORK TABLE W/SINK.
- P-10b 1/2" HOT WATER, STUB OUT WALL AT 14"-AFF AND CONNECT AT ITEM 10, WORK TABLE W/SINK.
- P-10c FLOOR SINK, HALF-GRATE, 2" INDIRECT WASTE FROM ITEM 10, WORK TABLE W/SINK.
- P-13 FLOOR SINK, HALF-GRATE, 1-1/2" INDIRECT WASTE FROM ITEM 13, UNDERBAR, ALL-IN-ONE WORKSTATION.
- P-13b 1/2" HOT WATER, STUB OUT WALL AT 14"-AFF AND CONNECT AT ITEM 13, UNDERBAR, ALL-IN-ONE WORKSTATION.
- P-13c 1/2" COLD WATER, STUB OUT WALL AT 14"-AFF AND CONNECT AT ITEM 13, UNDERBAR, ALL-IN-ONE WORKSTATION.

ELECTRICAL CONNECTION SCHEDULE

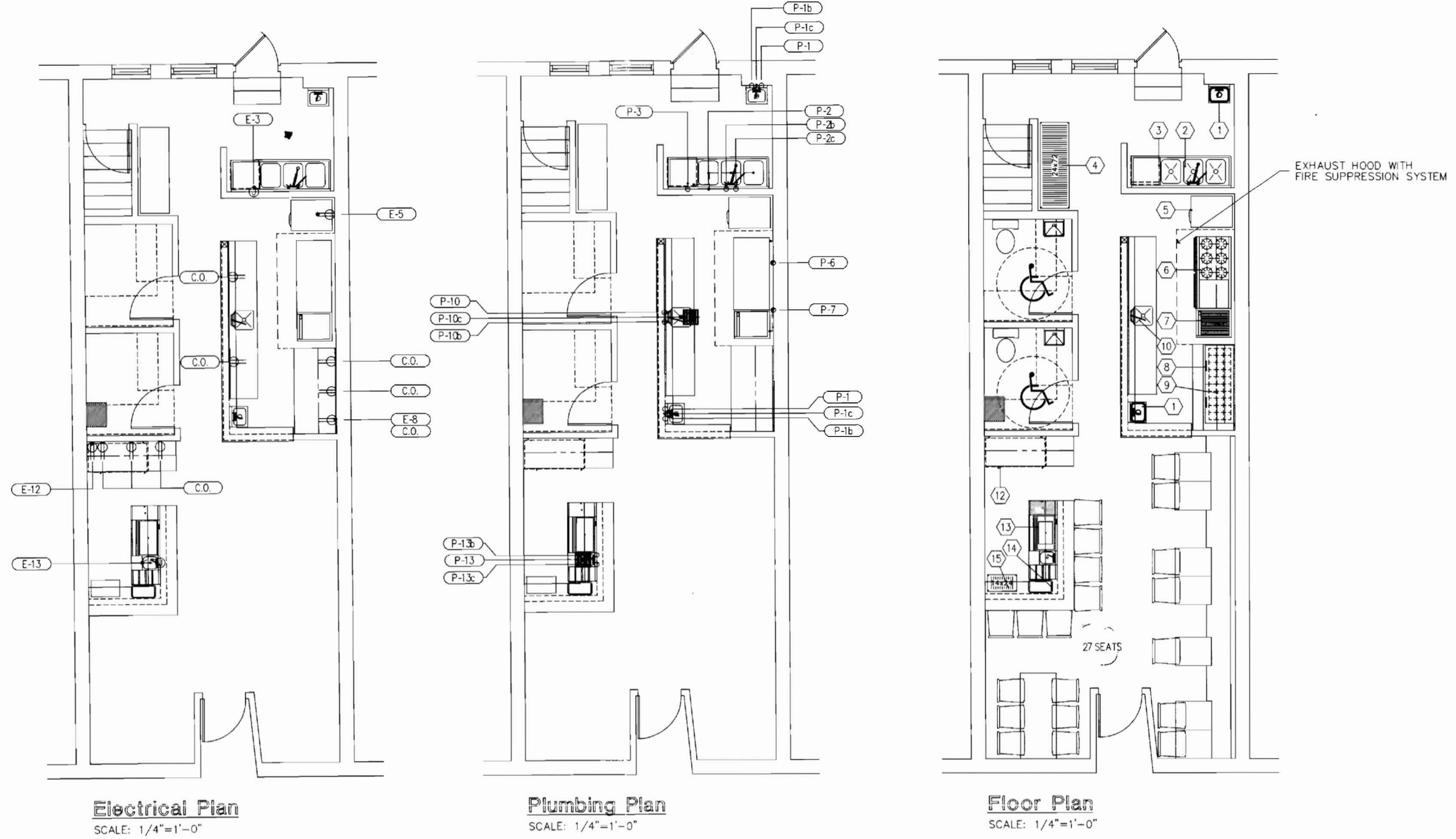
- E-3 208-V, 1-PH SERVICE, 6-KW, 3/4-HP, 36.4 FL AMPS, STUB OUT WALL AT 16"-AFF AND CONNECT AT ITEM 3, DISHWASHER, UNDERCOUNTER.
- E-5 120-V, 1-PH SERVICE, 1/3-HP, 7.6 FL AMPS, DUPLEX ELECTRIC OUTLET AT 7'-0"-AFF FOR SERVICE TO ITEM 5, REFRIGERATOR, 1-SECTION.
- E-8 120-V, 1-PH SERVICE, 1/2-HP, 10.3 FL AMPS, DUPLEX ELECTRIC OUTLET AT 16"-AFF FOR SERVICE TO ITEM 8, REFRIGERATED SANDWICH UNIT.
- E-12 120-V, 1-PH SERVICE, 1/3-HP, 7.6 FL AMPS, DUPLEX ELECTRIC OUTLET AT 16"-AFF FOR SERVICE TO ITEM 12, BACK BAR COOLER.
- E-13 120-V, 1-PH SERVICE, 15 FL AMPS, STUB OUT WALL AT 12"-AFF AND CONNECT AT ITEM 13, UNDERBAR, ALL-IN-ONE WORKSTATION.
- C.O. 120-V, 1-PH SERVICE, 15.0 FL AMPS, DUPLEX ELECTRIC OUTLET AT 50"-AFF FOR SERVICE TO CONVENIENCE OUTLET.

LEGEND - ELECTRICAL CONNECTIONS

- DUPLEX RECEPT., 20-AMP, 120-VOLT, GROUND TYPE, HORIZONTAL MOUNT
- SIMPLEX RECEPT., 20-AMP, 120-VOLT, GROUND TYPE, HORIZONTAL MOUNT
- SPECIAL PURPOSE OUTLET, 120-VOLT, GROUND TYPE, HORIZONTAL MOUNT
- SPECIAL PURPOSE OUTLET, 208/240-VOLT AS INDICATED, GROUND TYPE, HORIZONTAL MOUNT
- JUNCTION BOX
- ELECTRICAL CONDUIT, STUB AS INDICATED FOR DIRECT CONNECTION
- FLOOR/CEILING RECEPTACLE AS INDICATED
- ISOLATED GROUND - FOR POS SYSTEM
- WP WATERPROOF COVER AT RECEPTACLE
- FIELD WIRING, EXPOSED RIGID WATERTIGHT CONDUIT
- FIELD WIRING, CONCEALED IN WALL, FLOOR, OR CEILING

LEGEND - PLUMBING CONNECTIONS

- HW-HOT WATER, OR CW-COLD WATER
- S-STEAM SUPPLY, OR C-CONDENSATE RETURN
- GAS SUPPLY
- WASTE, DIRECT-CONNECTED UNLESS NOTED "OPEN HUB"
- FLOOR SINK WITH HALF GRATE UNLESS NOTED OTHERWISE
- FLOOR DRAIN
- FLOOR DRAIN W/ATTACHED FUNNEL
- FIELD CONNECTIONS



Electrical Plan
SCALE: 1/4"=1'-0"

Plumbing Plan
SCALE: 1/4"=1'-0"

Floor Plan
SCALE: 1/4"=1'-0"

FOODSERVICE EQUIPMENT SCHEDULE															
MK.	QTY	DESCRIPTION	ELECTRICAL				WATER		WASTE		GAS		STEAM		REMARKS
			FL AMPS	KW	HP	VOLTS PHASE	COLD	HOT	DIRECT	INDIRECT	SIZE	MBTUH	LBS/HR	PSIG	
1	2	HAND SINK					1/2"	1/2"	1-1/2"						
2	1	SINK, 3-COMPARTMENT					1/2"	1/2"	3 @ 2"						
3	1	DISHWASHER, UNDERCOUNTER	36.4	6.0	3/4	208	1	X							
4	1	SHELVING UNIT													
5	1	REFRIGERATOR, 1-SECTION	6.9		1/4	120	1	X							
6	1	RANGE, 6-BURNER, 24"-GRIDDLE								3/4"	220				
7	1	CHAR-BROILER								3/4"	60				
8	1	REFRIGERATED SANDWICH UNIT	10.5		1/2	120	1	X							
9	2	WALL SHELF													
10	1	WORK TABLE W/SINK							1/2"	1/2"	2"				
11	-	- SPARE NUMBER -													
12	1	BACK BAR COOLER	7.6		1/3	120	1	X							
13	1	UNDERBAR, ALL-IN-ONE WORKSTATION	15.0			120	1	X	1/2"	1/2"	1-1/2"				
14	1	SLIM-JIM WASTE CONTAINER													
15	1	SHELVING UNIT, 34"-HIGH, 3-TIER													

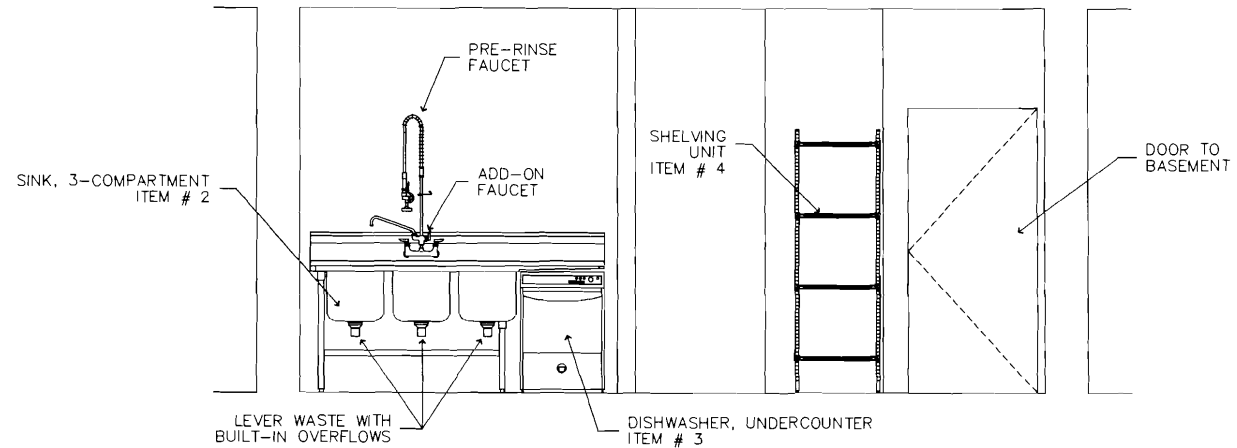
Foodservice Consultant:
TJM Consulting, Inc.
 273 Main Street, Suite 5
 Yarmouth, Maine 04096
 (207) 847-3337 tjmconsulting@maine.rr.com

Owner:
Lee Farrington
 249 Congress Street
 Portland, Maine 04101

Project:
figa restaurant
 249 Congress Street
 Portland, Maine 04101

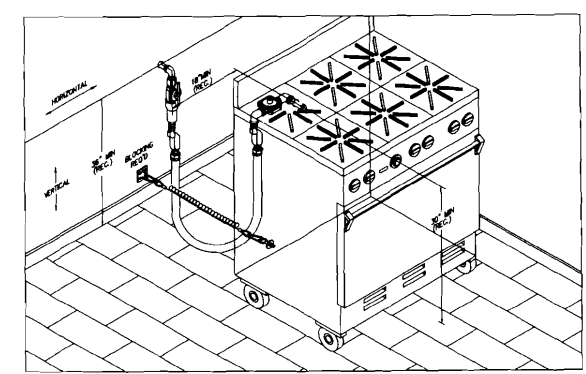
Drawing:
Foodservice Equipment Plan and Schedule
 Scale: 1/4"=1'-0"
 Date: Feb. 10, 2009

SHEET:
FS-1



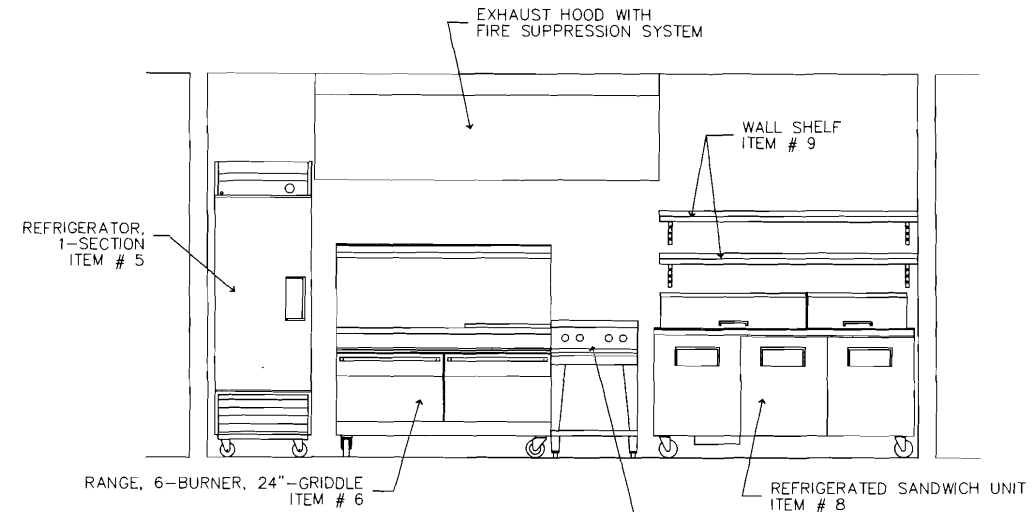
Dishwash Area Elevation

SCALE: 1/2"=1'-0"



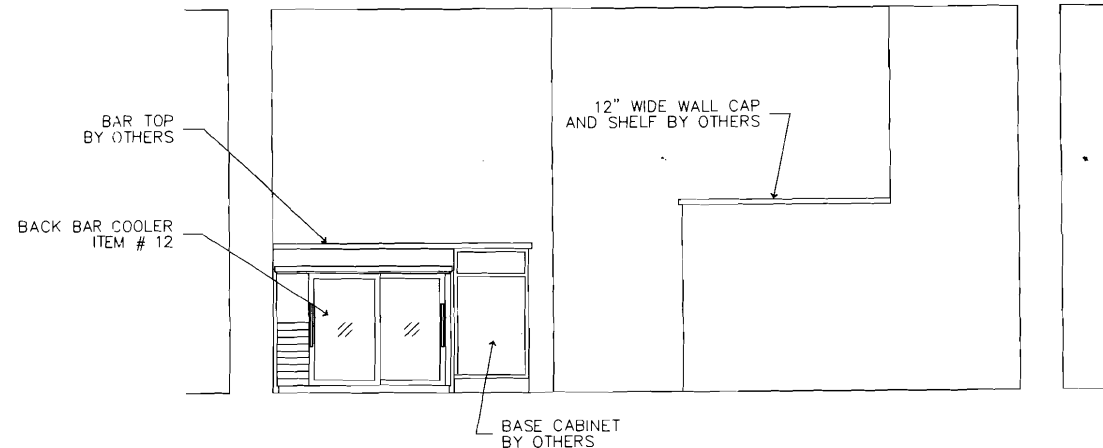
FLEXIBLE GAS CONNECTION DETAIL

SCALE: NONE



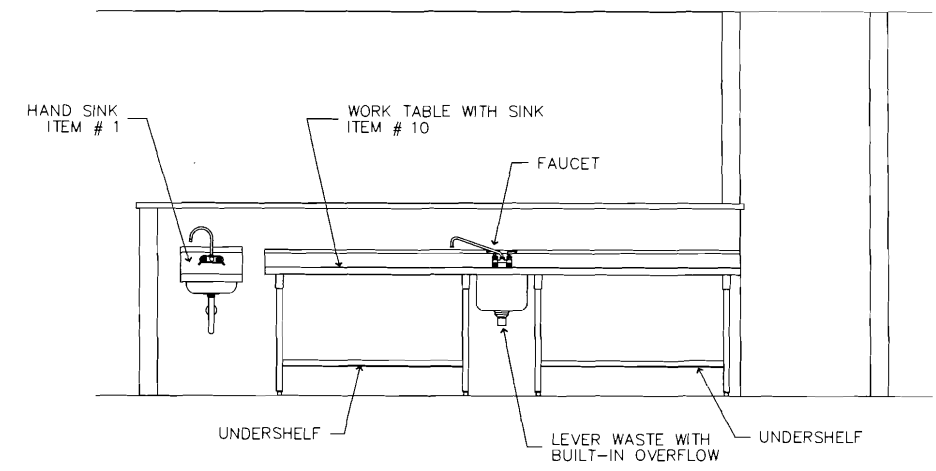
Cooking Line Elevation

SCALE: 1/2"=1'-0"



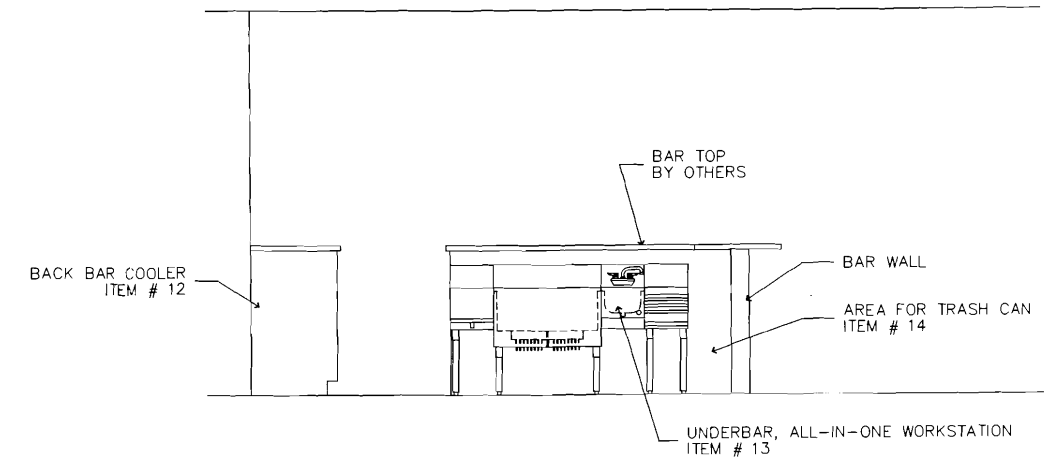
Back Bar Cooler Wall Elevation

SCALE: 1/2"=1'-0"



Cook's Prep Area Elevation

SCALE: 1/2"=1'-0"



Underbar Equipment Elevation

SCALE: 1/2"=1'-0"

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figa restaurant
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Portland, Maine 04101

Drawing:
**Foodservice Equipment
Details and Elevations**
Revisions:

Scale: 1/4"=1'-0"
Date: Feb. 10, 2009

SHEET:
FS-2

PLUMBING CONNECTION SCHEDULE

- P-1 1/2" COLD WATER, STUB OUT WALL AT 18"-AFF AND CONNECT AT ITEM 1, HAND SINK.
- P-1b 1/2" HOT WATER, STUB OUT WALL AT 18"-AFF AND CONNECT AT ITEM 1, HAND SINK .
- P-1c 1-1/2" DIRECT WASTE HUB, STUB OUT WALL AT 24"-AFF, CONNECT AT ITEM 1, HAND SINK.
- P-2 2" DIRECT WASTE HUB, STUB OUT WALL AT 8"-AFF, CONNECT AT ITEM 2 SINK, 3-COMPARTMENT; ALSO SERVES ITEMS 3.
- P-2b 1/2" COLD WATER, STUB OUT WALL AT 14"-AFF AND CONNECT AT ITEM 2, SINK, 3-COMPARTMENT.
- P-2c 1/2" HOT WATER, STUB OUT WALL AT 14"-AFF AND CONNECT AT ITEM 2, SINK, 3-COMPARTMENT .
- P-3 3/4" HOT WATER, STUB OUT WALL AT 8"-AFF AND CONNECT AT ITEM 3, DISHWASHER, UNDERCOUNTER .
- P-6 3/4" GAS SUPPLY, 220-MBTUH, STUB OUT WALL AT 36"-AFF AND CONNECT AT ITEM 6, RANGE, MEDIUM DUTY GAS.
- P-7 3/4" GAS SUPPLY, 60-MBTUH, STUB OUT WALL AT 36"-AFF AND CONNECT AT ITEM 7, CHAR-BROILER.
- P-10 1/2" COLD WATER, STUB OUT WALL AT 14"-AFF AND CONNECT AT ITEM 10, WORK TABLE W/SINK.
- P-10b 1/2" HOT WATER, STUB OUT WALL AT 14"-AFF AND CONNECT AT ITEM 10, WORK TABLE W/SINK .
- P-10c FLOOR SINK, HALF-GRATE, 2" INDIRECT WASTE FROM ITEM 10, WORK TABLE W/SINK.
- P-13 FLOOR SINK, HALF-GRATE, 1-1/2" INDIRECT WASTE FROM ITEM 13, UNDERBAR, ALL-IN-ONE WORKSTATION.
- P-13b 1/2" HOT WATER, STUB OUT WALL AT 14"-AFF AND CONNECT AT ITEM 13, UNDERBAR, ALL-IN-ONE WORKSTATION .
- P-13c 1/2" COLD WATER, STUB OUT WALL AT 14"-AFF AND CONNECT AT ITEM 13, UNDERBAR, ALL-IN-ONE WORKSTATION.

ELECTRICAL CONNECTION SCHEDULE

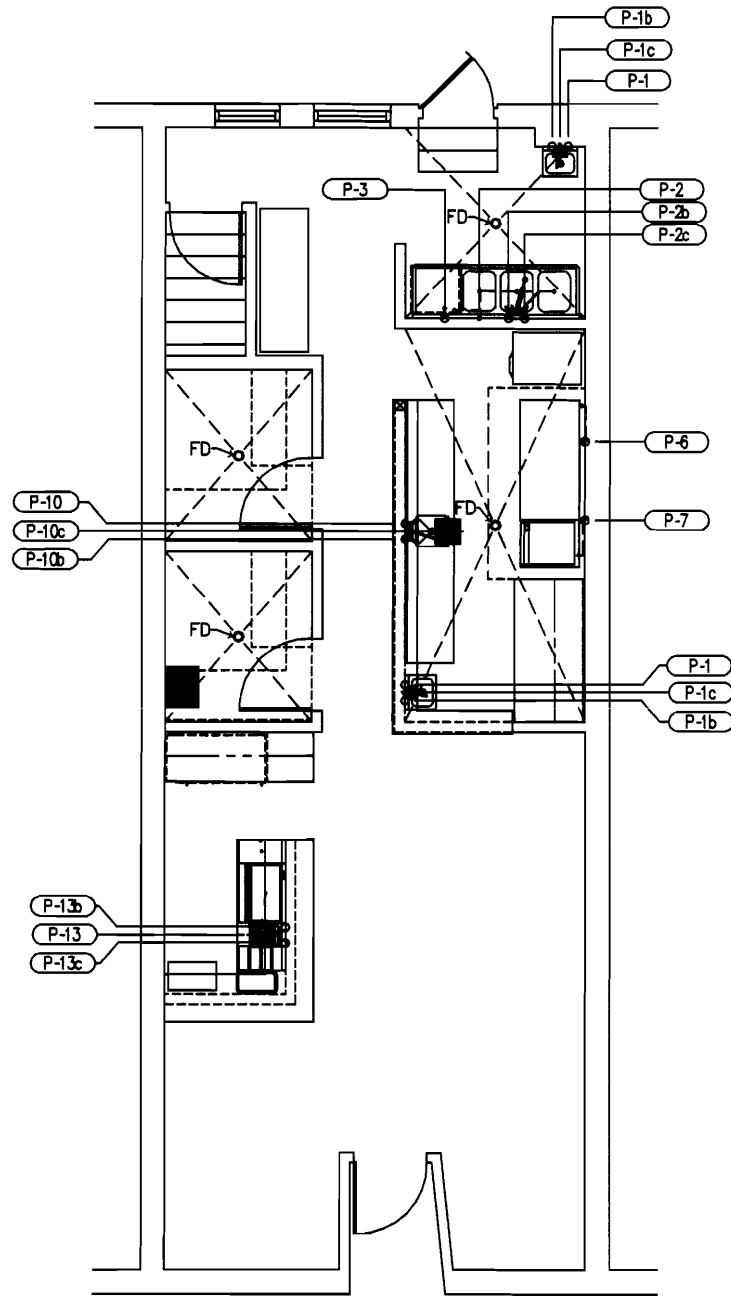
- E-3 208-V, 1-PH SERVICE, 6-KW, 3/4-HP, 36.4 FL AMPS, STUB OUT WALL AT 16"-AFF AND CONNECT AT ITEM 3, DISHWASHER, UNDERCOUNTER.
- E-5 120-V, 1-PH SERVICE, 1/3-HP, 7.6 FL AMPS, DUPLEX ELECTRIC OUTLET AT 7'-0"-AFF FOR SERVICE TO ITEM 5, REFRIGERATOR, 1-SECTION.
- E-8 120-V, 1-PH SERVICE, 1/2-HP, 10.3 FL AMPS, DUPLEX ELECTRIC OUTLET AT 16"-AFF FOR SERVICE TO ITEM 8, REFRIGERATED SANDWICH UNIT.
- E-12 120-V, 1-PH SERVICE, 1/3-HP, 7.6 FL AMPS, DUPLEX ELECTRIC OUTLET AT 16"-AFF FOR SERVICE TO ITEM 12, BACK BAR COOLER.
- E-13 120-V, 1-PH SERVICE, 15 FL AMPS, STUB OUT WALL AT 12"-AFF AND CONNECT AT ITEM 13, UNDERBAR, ALL-IN-ONE WORKSTATION.
- C.O. 120-V, 1-PH SERVICE, 15.0 FL AMPS, DUPLEX ELECTRIC OUTLET AT 50"-AFF FOR SERVICE TO CONVENIENCE OUTLET.

LEGEND - ELECTRICAL CONNECTIONS

- ⊖ DUPLEX RECEPT., 20-AMP, 120-VOLT, GROUND TYPE, HORIZONTAL MOUNT
- ⊖ SIMPLEX RECEPT., 20-AMP, 120-VOLT, GROUND TYPE, HORIZONTAL MOUNT
- ⊖ SPECIAL PURPOSE OUTLET, 120-VOLT, GROUND TYPE, HORIZONTAL MOUNT
- ⊖ SPECIAL PURPOSE OUTLET, 208/240-VOLT AS INDICATED, GROUND TYPE, HORIZONTAL MOUNT
- Ⓜ JUNCTION BOX
- Ⓜ ELECTRICAL CONDUIT, STUB AS INDICATED FOR DIRECT CONNECTION
- Ⓜ FLOOR/CEILING RECEPTACLE AS INDICATED
- IG ISOLATED GROUND - FOR POS SYSTEM
- WP WATERPROOF COVER AT RECEPTACLE
- FIELD WRING, EXPOSED RIGID WATERTIGHT CONDUIT
- FIELD WRING, CONCEALED IN WALL, FLOOR, OR CEILING

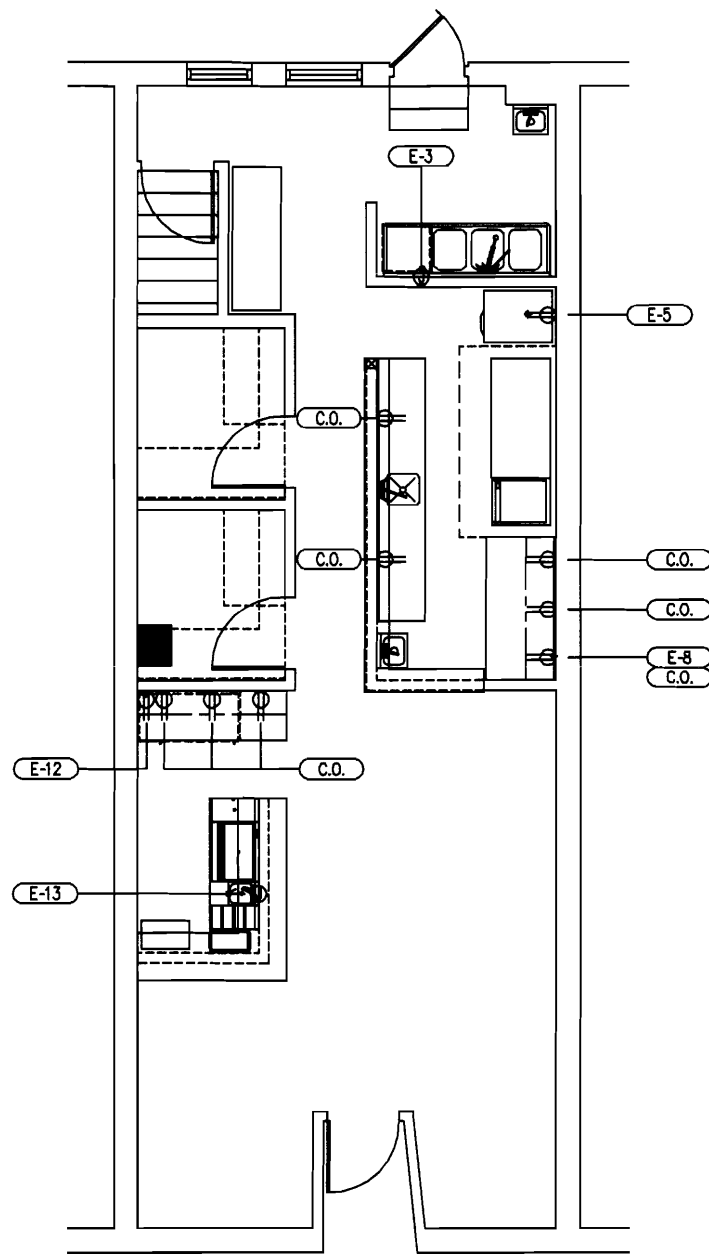
LEGEND - PLUMBING CONNECTIONS

- HW-HOT WATER, OR CW-COLD WATER
- S-STEAM SUPPLY, OR C-CONDENSATE RETURN
- GAS SUPPLY
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- Ⓜ FLOOR SINK WITH HALF GRATE UNLESS NOTED OTHERWISE
- Ⓜ FLOOR DRAIN
- Ⓜ FLOOR DRAIN W/ATTACHED FUNNEL
- FIELD CONNECTIONS



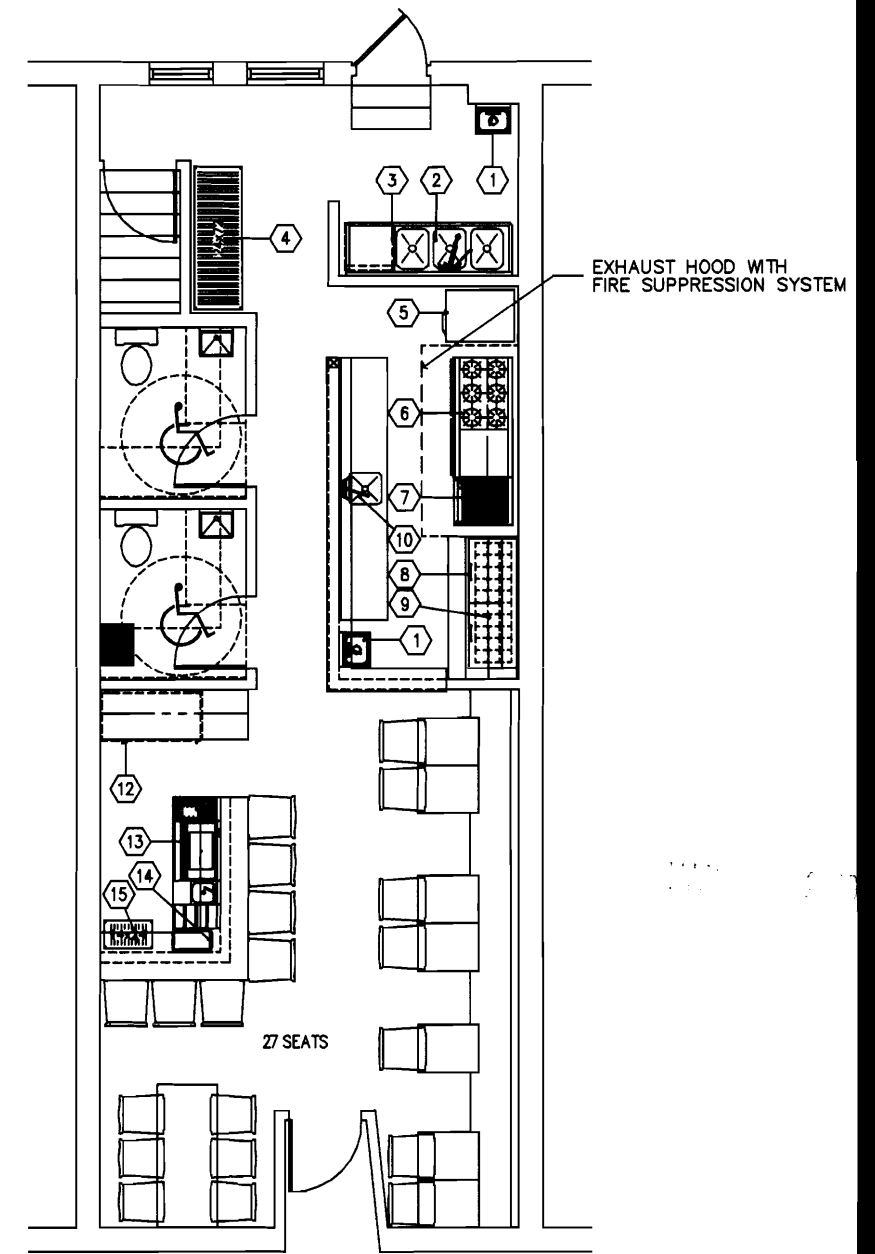
Plumbing Plan

SCALE: 1/4"=1'-0"



Electrical Plan

SCALE: 1/4"=1'-0"



Floor Plan

SCALE: 1/4"=1'-0"

FOODSERVICE EQUIPMENT SCHEDULE																			
MK.	QTY	DESCRIPTION	ELECTRICAL					WATER		WASTE		GAS		STEAM		REMARKS			
			FLAMPS	KW	HP	VOLTS	PHASE	DIRECT	PLUG	COLD	HOT	DIRECT	INDIRECT	SIZE	MBTUH		LBS/HR	PSIG	INLET
1	2	HAND SINK						1/2"	1/2"	1-1/2"									
2	1	SINK, 3-COMPARTMENT						1/2"	1/2"	3 0/2"									
3	1	DISHWASHER, UNDERCOUNTER	36.4	6.0	3/4	208	1	X		3/4"	1-1/2"								
4	1	SHELVING UNIT																	
5	1	REFRIGERATOR, 1-SECTION	6.9		1/4	120	1	X											
6	1	RANGE, 6-BURNER, 24"-GRIDDLE										3/4"	220						
7	1	CHAR-BROILER										3/4"	60						
8	1	REFRIGERATED SANDWICH UNIT	10.5		1/2	120	1	X											
9	2	WALL SHELF																	
10	1	WORK TABLE W/SINK							1/2"	1/2"		2"							
11	-	- SPARE NUMBER -																	
12	1	BACK BAR COOLER	7.6		1/3	120	1	X											
13	1	UNDERBAR, ALL-IN-ONE WORKSTATION	15.0			120	1	X	1/2"	1/2"		1-1/2"							
14	1	SLIM-JIM WASTE CONTAINER																	
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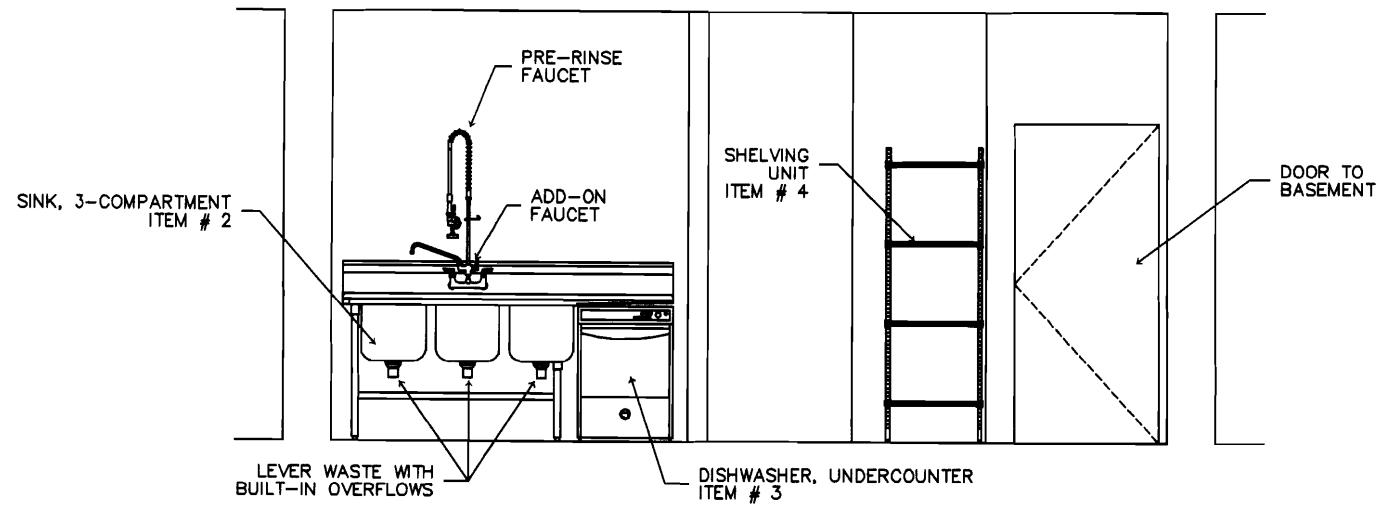
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Project:
figa restaurant
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 Portland, Maine 04101

Drawing:
Foodservice Equipment Plan and Schedule
 Scale: 1/4"=1'-0"
 Date: Mar. 16, 2009

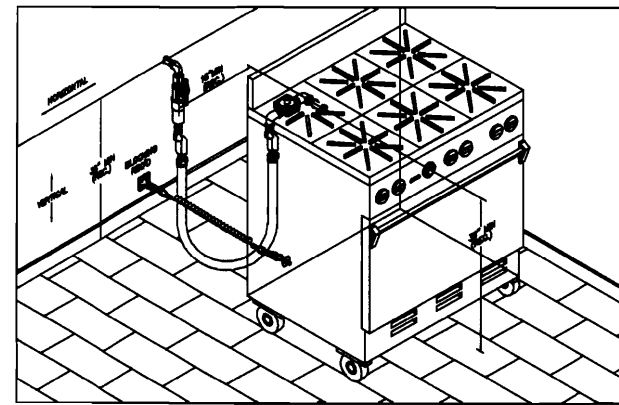
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FS-1



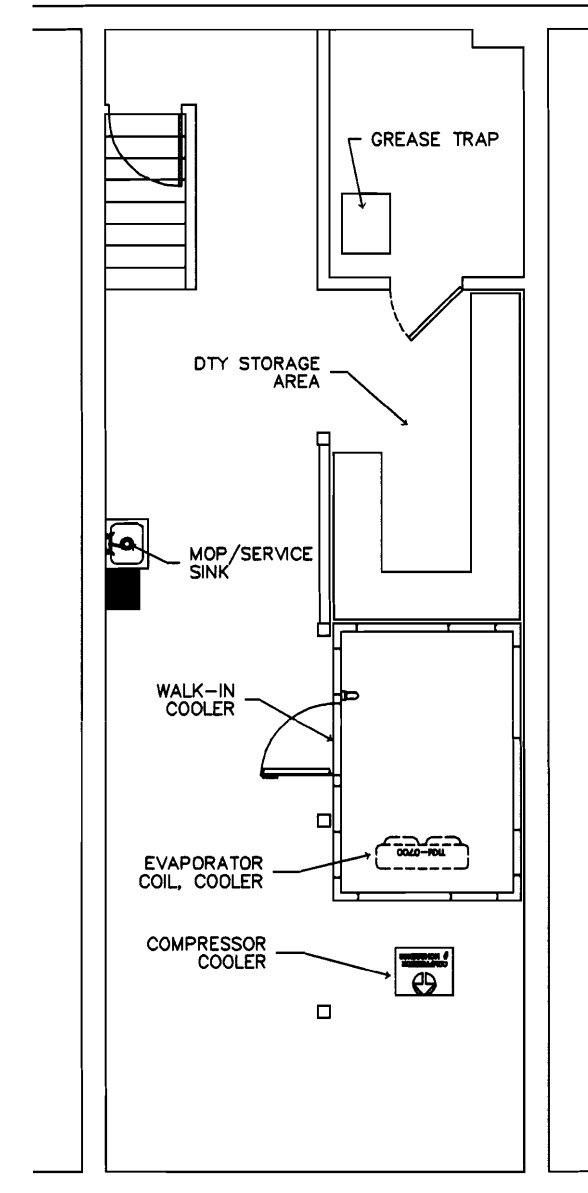
Dishwash Area Elevation

SCALE: 1/2"=1'-0"



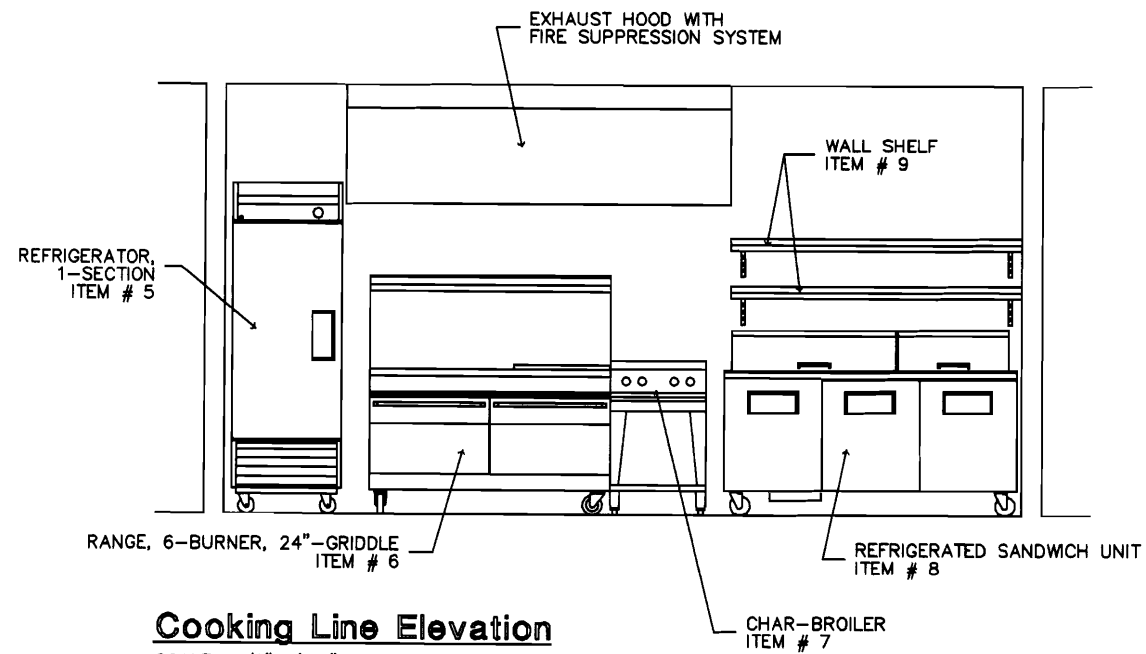
FLEXIBLE GAS CONNECTION DETAIL

SCALE: NONE



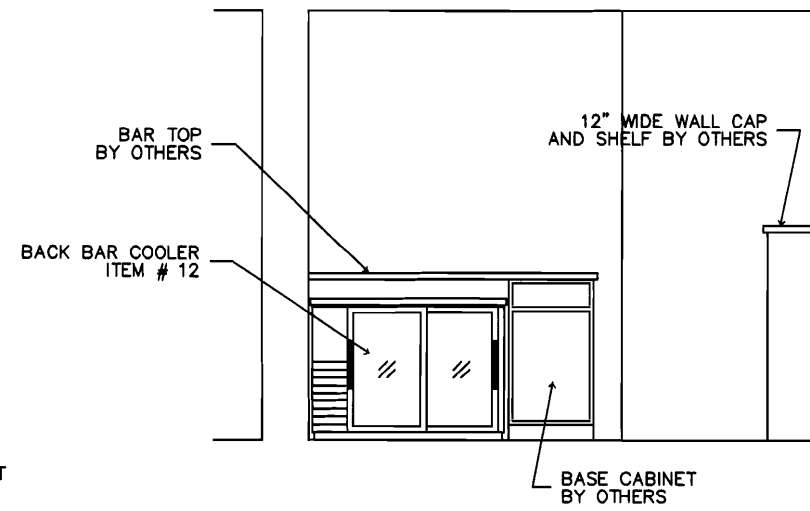
Basement Plan

SCALE: 1/4"=1'-0"



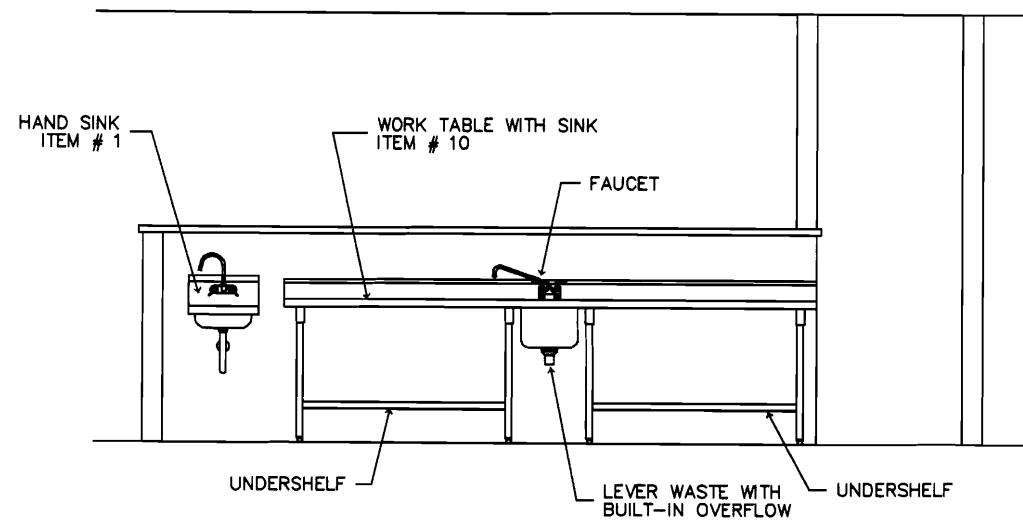
Cooking Line Elevation

SCALE: 1/2"=1'-0"



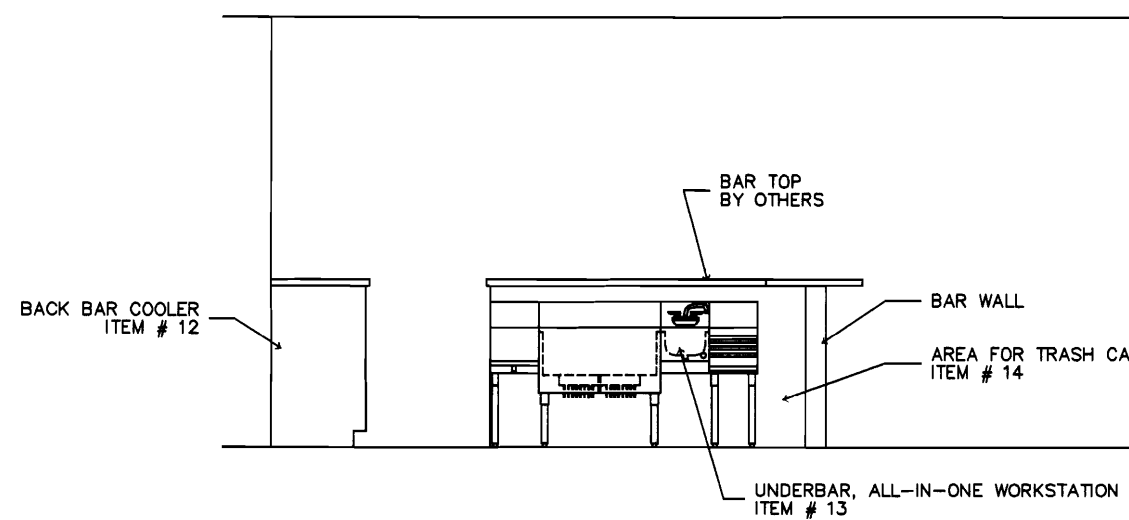
Back Bar Cooler Wall Elevation

SCALE: 1/2"=1'-0"



Cook's Prep Area Elevation

SCALE: 1/2"=1'-0"



Underbar Equipment Elevation

SCALE: 1/2"=1'-0"

12/11/09

Health Inspection

- no air flow device installed or vented on grease trap.
- fire door to basement not air tight.

12-14-09 - see list - 2nd E-Entry - ...
 previous - the beam ...

12-15-09 - OT - issue 20 - list completed ...