

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO
BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES
AT 255 Congress St. IN PORTLAND, MAINE

Jacob Livinsky, being the owner of the
premises at 255 Congress St. in Portland, Maine hereby gives
consent to the erection of a certain sign owned by Freedman's Bakery
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

And in consideration of the issuance of said permit Jacob Livinsky
owner of said premises, in event said sign
shall cease to serve the purpose for which it was erected or shall become
dangerous and in event the owner of said sign shall fail to remove said
sign or make it permanently safe in case the sign still serves the purpose
for which it was erected, hereby agrees for himself or itself, for his
heirs, its successors, and his or its assigns, to completely remove said
sign within ten days of notice from said Inspector of Buildings that said
sign is in such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this
consent and agreement this 19 day of Dec., 1951

W. M. Young
Witness

Jacob Livinsky
Owner

RECEIVED
DEC 24
DEPT. OF P
CITY OF P.



QTR

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, December 2, 1951

02433

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location of Congress Street Use of Building Bakery No. Stories 1 Building Existing "
Name and address of owner of appliance Arthur Freedman, 255 Congress Street
Installer's name and address Shapiro Oil & Appliance, Biddeford Telephone

General Description of Work

To install oil burning equipment in connection with existing steam boiler
oil burner in connection with steamer and oil burner in connection with bake oven
and to include installation of steamer

IF HEATER, OR POWER BOILER

Location of appliance or source of heat Type of floor beneath appliance
If wood, how protected? Kind of fuel
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue Other connections to same flue
If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Permit issued with Letter

Name and type of burner 1 Petro and 2 Gould Labelled by underwriters' laboratories? yes
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? top & bottom
Type of floor beneath burner tile
Location of oil storage basement Number and capacity of tanks 2-275 gal.
If two 275-gallon tanks, will three-way valve be provided?
Will all tanks be more than five feet from any flame? yes How many tanks fire proofed?
Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance
If wood, how protected?
Minimum distance to wood or combustible material from top of appliance
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Gould oil burners are manufactured by Gould Oil Burner Co., listed by the Underwriters' Laboratories, Inc. The Gould oil burner connected in connection with bake oven does not bear Underwriters label.

Permit Issued with Letter

Permit Issued with Letter

Amount of fee enclosed? 3.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Shapiro Oil & Appliance

Signature of Installer by: [Signature]

INSPECTION COPY

NOTES

- 2 Flue Pipe
- 3 Vent Pipe
- 4 Kind of Heat
- 5 Burner Quality & Supports
- 6 Name & Address
- 7 Stack Height
- 8 Pressure
- 9 Inlet & Outlet
- 10 Valves
- 11 Capacity
- 12 Tank Height & Supports
- 13 Tank Diameter
- 14 Oil Gauge
- 15 Inspector (initials)

Permit No. 51/2483
Location 255 Conquistador St
Owner Arthur Chapman
Date of permit 12/5/51
Approved 1-16-52, W.G.

Blank lined area for notes, divided into two columns by a vertical line.

AP 255 Congress Street-1
(3 oil burners and steamer)

December 5, 1951

Mr. S. L. Shapiro
Shapiro Oil & Appliance
Brookline, Maine
Mr. Arthur Freedman
576 Blue Hill Avenue
Dorchester, Massachusetts

Copies to: Mr. Arthur Freedman
255 Congress Street
Mr. James Levisky
118 Dartmouth Street
Mr. Harry Harrison
15 Washington Avenue
Old Orchard Beach, Maine

Gentlemen:

Regarding permit to cover installation of oil burning equipment in connection with existing steam boiler in the cellar at 255 Congress Street, and oil burner to serve a bake oven to be installed in first story, and a "steamer" with oil burner in first story, is issued to Mr. Shapiro, provided, subject to the following. If this letter is not understood or if you are unable or unwilling to comply with the conditions, it is important that you refrain from starting the installation and contact this office immediately for adjustment.

1. The above application and another permit to make certain connections in the first story, and other minor alterations to be done by Harry Harrison, contractor, and I understand that Mr. Harrison is also to be responsible for putting the hollow tile insulation on the first floor beneath the bake oven and beneath the steamer. Mr. Shapiro did not include the installation of the steamer itself in his application for the permit, or the oil burning equipment, but Mr. Freedman says that he is going to install it and connect it to the chimney as well as setting up the oil burner to go with it, so we are including that work in this permit now issued. It appears that the thickness of tile insulation beneath the steamer will have to be twice as much as that beneath the bake oven, so that Mr. Shapiro will have to take this into account in working out the connections between steamer and the bake oven.

2. It is noted that the oil burner to be connected with the bake oven does not bear upon the Underwriter's label. Since that is true, irrespective of the automatic features and safety devices on the burner, we must consider it as an industrial burner. One of the conditions of installation of an industrial burner, however, is that there will be a competent attendant in the same room at all times when the burner is in operation. Fortunately Mr. Freedman has given us the assurance that will be the case, so we can issue the permit on the basis that there will always be a competent attendant in the room when the unlabelled burner is at all times when the burner is in operation.

3. All these burners require the usual shut-off valves in the fuel oil supply line and each requires a remote control switch in some easily accessible place and properly marked as to which burner they control, so located that a person may operate the switch without being exposed to the danger of any burner which may be in difficulties.

4. The application is understood to mean that the Petro burner is to be connected with the existing steam boiler in the cellar and undoubtedly does bear upon it the label of the Underwriter's Laboratories, Inc. If that burner does not carry the label, it is important that you refrain from starting its installation.

5. The application states that the oil supply lines will feed from both top and bottom of the tanks. Presumably the oil burner in the cellar is to be fed by

Mr. B. D. Shapiro
Mr. Arthur Freedman

December 5, 1951

gravity, while the two in the first story would have the oil pumped up to them. It is not clear how all of this will work out, but it does seem that the installer must be careful to get his vent lines of sufficient size that the two pumps working at the same time would have plenty of air supplied through the vent pipe.

6. It is understood that the steamer, included under this permit, is to be connected to the same chimney flue as the tank oven and to the boiler in the cellar. Whether or not a hot water heater also is to be vented to this flue, is not known, but the question arises as to whether or not all of these connections will not overload the flue. Tenant or owner will have to take the responsibility for this, and should difficulties arise, it will be necessary to make some adjustment even if it meant constructing another chimney.

7. Mr. Shapiro should make sure that there is sufficient fresh air admitted to the basement and sufficient fresh air admitted to the oven room to insure good combustion with all three burners if all three were working simultaneously.

Very truly yours,

Isaac M. Gold
Inspector of Buildings

BMKD/G



(IN) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class
Portland, Maine, December 3, 1951

PERMIT NO. 02492
DEC 5 1951

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ ~~maintain~~ ~~or~~ ~~at~~ the following building ~~structure~~ ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 255 Congress Street Within Fire Limits? yes Dist. No. _____
Owner's name and address ~~not known~~ L. Levinsky, 272 Congress St. Telephone _____
Lessee's name and address Arthur Freedman, 255 Congress Street Telephone _____
Contractor's name and address Harry Harrison, 15 Washington Avenue, Old Orchard Beach Telephone _____
Architect _____ Specifications _____ Plans no No. of sheets _____
Proposed use of building Bakery No. families _____
Last use Restaurant No. families _____
Material brick No. stories 1 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 1,500 Fee \$ 5.00

General Description of New Work

To construct non-bearing partition 16' 6" long to separate kitchen from front of store.
2x4 studs, 16" on centers, covered with plywood or wallboard on both sides.
To close in display window with sliding glass doors.
To provide 2 layers of 4" tile under new bake oven 8' x 10', 5' ~~8~~ from one wall, 3 1/2' from other side wall and 3' from back wall. Bake oven and base will weigh approximately 7 1/2 tons. There are 4 cedar posts existing under this area. Existing floor joists, 2x10, 16" on centers, 7' span.

See letter with open permit for insulation - floor and walls!

Also to include removal of concrete floor surface and all interior partitions of 1st story except partitions around toilet room and vestibule farther Permit Issued with Letter from top of cellar stairs.
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Arthur Freedman - Contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED: _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

L. Levinsky

Signature of owner by: Arthur Freedman

INSPECTION COPY

NOTES

1-27

Permit No. 51/2492

Location 255 Congress St

Owner Arthur S. Gardner

Date of permit 12/5/51

Notif. closing-in

Insprn closing-in

Final Notif.

Final Inspn. 1-27-52

Art. of Occupancy issued 1-27-52

12-19-51. Inf. to ...
some work ...
amount of ...
flashed ...
it will be done.

12-20-51. Went to ...
with Mr. ...
question ...

1-2-52. Went to ...
flashed ...
provided ...
given by ...

1-9-52. Repair of ...
not started.

1-14-52. Saw ...
will be done ...

1-21-52. Repair of ...
completed.

7-23-52



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 2 2
Portland, Maine, January 3, 1952

PERMIT ISSUED
JAN 4 1952
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 51/2492 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 255 Congress Street Within Fire Limits? Dist. No.
Owner's name and address J. Levinsky, 278 Congress Street Telephone
Lessee's name and address Arthur Freedman, 255 Congress Street Telephone
Contractor's name and address Harry Harrison, 15 Washington Avenue, Old Orchard Telephone
Architect Plans filed no. No. of sheets
Proposed use of building Bakery No. families
Last use Restaurant No. families
Increased cost of work 50 Additional fee 25

Description of Proposed Work

To repair after fire to former condition without alterations and without change of use, but if conditions in the areas of repair are found to be dangerously substandard of Building Code requirements, both Building Department and owner will be notified immediately.
No floor joists to be replaced, but flooring will be of asbestosboard.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
J. Levinsky

Approved:

Signature of Owner by: Arthur P. Harrison

Approved: 1/4/52 - [Signature] Inspector of Buildings

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FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, November 30, 1951

RECEIVED
024183
NOV 30 1951
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location, 255 Congress Street Use of Building Bakery No. Stories No. Building Existing
Name and address of owner of appliance Arthur Freedman, 255 Congress Street
Installer's name and address Roderick MacLellan, Ludnock Road, Salisbury, Maine Telephone Jacob Hammett 118 Dartmouth

General Description of Work

To install oil-fired bake oven

Arthur Freedman
5, 6 Bluebell Cr.
Dorchester, Mass

IF HEATER, OR POWER BOILER

Health Notices to Health Dept. and Fire Dept.
Location of appliance or source of heat Type of floor beneath appliance Kind of fuel
at wood, how protected?
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue Other connections to same flue
If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Name and type of burner by others Labeled by underwriters' laboratories?
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?
Type of floor beneath burner Number and capacity of tanks
Location of oil storage
If two 275-gallon tanks, will three-way valve be provided?
Will all tanks be more than five feet from any flame? How many tanks fire proofed?
Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance first floor Kind of fuel oil Type of floor beneath appliance wood
If wood, how protected? 4" of hollow tile
Minimum distance to wood or combustible material from top of appliance over 3"
From front of appliance over 4" From sides and back 4" 12" From top of smoke pipe 6"
Size of chimney flue 18x18 Other connections to same flue coal-fired furnace
Is hood to be provided? If so, how vented?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Permit Issued with Letter
See letter
I have made a preliminary plan of furnace and piping and have submitted same to you for your approval. I have also submitted same to the Health Dept. and Fire Dept. for their approval. I have also submitted same to the City Engineer for his approval. I have also submitted same to the City Inspector for his approval. I have also submitted same to the City Assessor for his approval. I have also submitted same to the City Treasurer for his approval. I have also submitted same to the City Clerk for his approval. I have also submitted same to the City Attorney for his approval. I have also submitted same to the City Council for their approval. I have also submitted same to the City Mayor for his approval. I have also submitted same to the City Board of Health for their approval. I have also submitted same to the City Board of Fire for their approval. I have also submitted same to the City Board of Education for their approval. I have also submitted same to the City Board of Public Works for their approval. I have also submitted same to the City Board of Public Safety for their approval. I have also submitted same to the City Board of Public Health for their approval. I have also submitted same to the City Board of Public Welfare for their approval. I have also submitted same to the City Board of Public Utility for their approval. I have also submitted same to the City Board of Public Works for their approval. I have also submitted same to the City Board of Public Safety for their approval. I have also submitted same to the City Board of Public Health for their approval. I have also submitted same to the City Board of Public Welfare for their approval. I have also submitted same to the City Board of Public Utility for their approval.

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Installer Roderick MacLellan

INSPECTION COPY

12/18/51 - ~~James L. ...~~
 12-18-51 construction started, floor tiles and
 over frame erected, side walls also erected
 about 6" however there was about 18" from
 hot air flue to outside using asbestos
 board material 7' in front of 1" away
 from outside wall side
 12-18-51 had a plan for the heat of over
 furnace, insulation as follows: definite
 reason, except that fire
 insulation was as much as
 required to have a short
 sufficient to be a distance of
 it was thought possible that
 a comb. with the furnace
 the flue pipe from
 chamber permitted the
 intense heat to penetrate
 to the wall of the hollow
 tile and below through
 the second floor, and heat of
 the floor of house, the
 fire. Although the
 course of hollow tile was
 recommended there was
 not done. Mr. Friedman
 and insulation - none
 provided after protection
 under floor and the
 neglect of the burner was
 alleged.

Permit No. 51/2493
 12/18/51
 Owner: Arthur Friedman
 Date: 12/5/51
 1-16-58 OK

At 255 Congress Street-I
(Bake oven)

October 12, 1951

General Bakery Sales & Service

Attn: Mr. Fuchalski

6 Sullivan Place (rear of 2048 Washington St.)

Dorchester 15, Massachusetts

Mr. Arthur Fuchalski

379 North Hill Street

Dorchester 15, Massachusetts

Mr. Harry Harrison

15 Washington Street

Old Orchard Beach, Maine

2125 Congress Street

Dorchester 15, Massachusetts

Mr. Joseph G. Gandy

2125 Congress Street

Gentlemen:

Approved consent to building permit for installation of bake oven at 255 Congress Street is issued, herewith, the applicant hereby accepting charge of installation General Bakery Sales & Service. If the records of the installing company does not have a copy of the building permit or the original building permit to Mr. Fuchalski (original applicant), he should procure a copy and study it before commencing the work.

This is particularly important because our reasoning with regard to support of the oven was based solely on Mr. Fuchalski's verbal description as to how the oven is framed and how the weight of it is deposited on the floor.

Also of particular importance is the second of the three paragraphs on second page—i.e. 1) and that Mr. Fuchalski be responsible for notice when the frame of the oven has been erected and no other part of the oven so that the question of distribution of the weight and a reworking of the floor may be cleared up after our inspector has been at the job.

Very truly yours,

Harrold McDonald
Inspector of Buildings

WJH/g

GARRISON 7-7873
" 7-8444

3-11337
NIGHT SERVICE
CHELSEA 3-558-M
CHELSEA 3-397-M
HUNTINGTON 1-6658

GENERAL BAKERY SALES & SERVICE
BAKERY CHEMICAL AND
CONFECTIONERY MACHINERY

STANLEY DEKOFSKI
REAR OF 2062 WASHINGTON ST.

6 HUNNEMAN PL.
ROXBURY 19, MASS.

AMENDMENT TO PERMIT

To _____
On December 11, 1951

PERMIT 10000
DEC 12 1951

MAINE
Permit No. 51/2493 pertaining to the building or structure comprised
of the State of Maine, the Building Code and Zoning Ordinance of the
State herewith, and the following specifications:

2062 Congress Street
Owner's name and address _____ Within Fire Limits? yes Dist. No. _____
Lesse's name and address Arthur Freeman, 255 Congress Street Telephone _____
Contractor's name and address General Bakery Sales & Service, 6 Hunnehan Place Telephone _____
Architect _____ Roxbury 19, Mass. Telephone _____
Proposed use of building Bakery Plans filed _____ No. of sheets _____
Last use _____ " _____ No. families _____
Increased cost of work _____ No. families _____
Additional fee \$25

Description of Proposed Work

To change installer of bake oven to above.

Permit issued with Letter

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimney: _____ Material of chimneys _____ of lining _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

Approved:

Permit Issued with Letter

Signature of Owner Stanley Dekofski
Permit issued with Letter

Approved: W. W. Ware
Inspector of Buildings

INSPECTION COPY



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1
Portland, Maine, December 11, 1951

PERMIT ISSUED
DEC 12 1951
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 51/2193 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 255 Congress Street Within Fire Limits? yes Dist. No. _____
Owner's name and address _____ Telephone _____
Lessee's name and address Arthur Freedman, 255 Congress Street Telephone _____
Contractor's name and address General Bakery Sales & Service, 6 Hunneman Place Telephone _____
Architect _____ Plans filed _____ No. of sheets _____
Proposed use of building Bakery No. families _____
Last use _____ No. families _____
Increased cost of work _____ Additional fee 25

Description of Proposed Work

To change installer of bake oven to above.

Permit Issued with Letter

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____ of lining _____
No. of chimneys _____ Material of chimneys _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girr or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

Approved: _____

Permit Issued with Letter

Signature of Owner Arthur Freedman
Permit Issued with Letter

Approved: W. J. Ware
Inspector of Buildings

INSPECTION COPY

AP 255 Congress Street-I
(Installation of bake oven
and physical alterations as
two partitions)

December 5, 1951

Mr. Arthur Freedman
576 Blushill Avenue
Worcester, Massachusetts
Mr. Roderick MacLellan
Hudnock Road
Salisbury, Massachusetts
Mr. Harry Harrison
15 Washington Avenue
Old Orchard Beach, Maine

Copies to: Mr. Arthur Freedman
255 Congress Street
Mr. Jacob Leviakky
118 Park South Street

Comments:

Building permit for installation of bake oven at 255 Congress Street is issued to Mr. MacLellan (this includes the hollow tile insulation under the oven and under the steamer which I understand is to be built in by Mr. Harrison), and permit for changes in partitions is issued to Mr. Harrison-Barwith, but subject to the following conditions. If these are not understood or you find yourselves unable to comply with them, it is important that you refrain from starting the work and contact this office again immediately.

1. Mr. Freedman is most interested in the closeness of the outside of the oven to the existing toilet room partition. The best we can do under the regulations is to set the outside of the oven 6" from the wooden studs in the partition, if the partition is covered with gypsum wallboard or other non-burnable material. If the partition is covered on the oven side with any type of burnable material, the 6" should be measured from the partition covering instead of the studs. In respect to the regulations, it seems to me that that much is needed to keep the place clear. This clearance is based on Mr. MacLellan's statement that there is about 11" of insulation between the interior of the oven and the outside.

2. Based on Mr. MacLellan's information that the fire chamber of the oven is so insulated and located that the heat of the flame or the hot gases will not come in contact with the base of the oven near the floor, one thickness of 4" hollow load-bearing tile will be sufficient under the entire outline of the oven. These tiles are to be laid with the flues or openings running all in one direction and continuous without obstruction so that any hot air striking downwards may circulate freely through these flues and out into the room. It seems obvious that these flues would have to run parallel to the toilet room partition, thus leaving open ends toward Congress Street and toward the cellar stairs. According to the description of the frame and supporting members of the heavy oven, about three tons over a length of about 6' will be deposited down onto this tile through a structural angle or channel under each 10-foot side. Same type of insulation is to be extended out under the outline of the oil burner assembly. This amounts to about 750 pounds per foot of length of the lowest bearing member of the oven and is a pretty heavy load to be put on tile directly. Between you, you will have to work it out so as not to overload the bearing capacity of the tile.

3. Mr. Freedman says that the frame and hot gases of the oil burner serving the steamer will be in contact with the base of the appliance. This means that two courses of similar hollow tile will be required beneath the entire outline of the steamer and the oil burner assembly serving it. The flues or openings in the upper layer must be similarly clear and open from end to end of the layer and should run

Mr. Arthur Freedman
Mr. Frederick MacLellan
Mr. Harry Harrison

-2-

December 5, 1951

at right angles to the flues in the lower layer. Obviously there should be enough space between the insulation under the steamer and the tile under the oven so that the openings in the layer of tile running across the room will have open ends so as to discharge any hot air striking downwards, out into the space between the steamer and the oven.

4. Based entirely upon the description of Mr. MacLellan as to the frame of the oven and how and at what points its six tons of weight will be deposited upon the present floor the existing girder as shown on our framing plan of the floor on spans of 5' 6" is not strong enough. You then have the option of putting additional posts beneath the center of the two spans of 6x6's over which the oven will bear, or setting up a new girder with suitable posts under each side of the oven. All of this is based, not only on the fact that the framing plan which we have here is correct (this seems to be borne out by Mr. Harrison's statement that the present floor joists are 2x10's, 16" from center to center and that there are cedar posts under the center girder) and upon Mr. MacLellan's description of how the oven is framed, assuming that the entire weight of the oven is carried down through the frame of steel just inside of the 11" thick insulation of each 10-foot long side of the oven.

Mr. Freedman's first urgency is to get the tile insulation laid so that it can set. This will not overload the floor, and I suggest that the tile beneath the oven be laid and that Mr. MacLellan erect the framework of the oven and nothing else and notify this office for inspection, and our inspector will go down there and check not only the method of the loads going down through but also our framing plan. It will then be quickly evident as to whether or not our assumptions are right, and Mr. Harrison can suggest methods which he proposes to strengthen the floor. If our assumptions are wrong, then the whole thing will have to be investigated again.

If it finally turns out that strengthening the floor is needed, Mr. Harrison should file application for amendment to the permit for alteration of partitions and with it a sketch showing what he proposes to do to strengthen the floor supports.

5. Apparently considerable dismantling or demolition has been done, perhaps by the owner, without any permit. The omission of the permit is not important now, but we are including in the permit for the partition work which Mr. Harrison is to do, the demolition of the former interior partitions except the toilet room and vestibule partitions farther from the head of the collar stairs.

Very truly yours,

Warren McDonald
Inspector of Buildings

WAC/g

Enclosure to Mr. MacLellan: Permit for oven and copy of application

Enclosure to Mr. Harrison: Permit for partition and other work and copy of application

File

INQUIRY BLANK

ZONE B

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

FIRE DIST. 1B

Verbal
By Telephone

Date _____

LOCATION 255 Congress OWNER Jacob Kinnelsky

MADE BY W. P. Stapleton TEL. _____

ADDRESS _____

PRESENT USE OF BUILDING _____

CLASS OF CONSTRUCTION _____ NO. OF STORIES _____

REMARKS: _____

INQUIRY: How do zoning laws apply to
establishing retail bakery
part of restaurant?

ANSWER: OK as long as at least half
of product sold at retail on
the premises

DATE OF REPLY 5/7/51 REPLY BY [Signature]



APPLICATION FOR PERMIT

Class of Building or Type of Structure Installation
Portland, Maine, November 5, 1947

03029
NOV 7 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~and~~ ^{and} install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 255 Congress Street Within Fire Limits? yes Dist. No. 1
 Owner's name and address Russell Mayberry, 255 Congress Street Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address General Ice Cream Corp., 329 Commercial St. Telephone 2-1372
 Architect _____ Specifications _____ Plans yes No of sheets 1
 Proposed use of building Store No. families _____
 Last use " No. families _____
 Material brick No. stories 1 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____ Fee \$ 1.00
 Estimated cost \$ _____

General Description of New Work

To install refrigeration equipment (soda fountain).
(compressor installed in basement)

NOTIFICATION BEFORE LATHING
OR CLOSING-IN IS WAIVED

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

at the request of Dept

sent to Fire Dept. 11/5/47
Rec'd from Fire Dept. 11/6/47

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO General Ice Cream Corp.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED *[Signature]*
CHIEF OF FIRE DEPT.

Russell Mayberry
General Ice Cream Corp.

Signature of owner By: *[Signature]*

Permit No. 47/3029
Location 255 Congress St.
Owner Russell Mayberry
Date of permit 11 7 14
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued _____

NOTES

[Large handwritten 'X' mark across the notes section]



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, July 19, 1946

PERMIT ISSUED 01344 JUL 24 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 255 Congress Street Use of Building Store No. Stories 1 New Building Existing Name and address of owner of appliance Carl Andren, 255 Congress Street Installer's name and address M. Cohn, 186 Darmouth Street Telephone 3-6991

General Description of Work

To install gas-fired hot water heater, vented to chimney sets on concrete floor, insulated heater

Heater to be installed on floor and thus IF HEATER, OR POWER BOILER

Location of appliance or source of heat cellar Type of floor beneath appliance Concrete If wood, how protected? Kind of fuel gas Minimum distance to wood or combustible material, from top of appliance or casing top of furnace 24" From top of smoke pipe 15" From front of appliance Brick wall From sides or back of appliance Brick wall Size of chimney flue 8x10 Other connections to same flue Steam boiler If gas fired, how vented? Chimney Rated maximum demand per hour

IF OIL BURNER

Name and type of burner Labelled by underwriters' laboratories? Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? Type of floor beneath burner Number and capacity of tanks Location of oil storage If two 27 1/2-gallon tanks, will three-way valve be provided? Will all tanks be more than five feet from any flame? How many tanks fire proofed?

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance If wood, how protected? Minimum distance to wood or combustible material from top of appliance From front of appliance From sides and back From top of smokepipe Size of chimney flue Other connections to same flue Is hood to be provided? If so, how vented? If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Water heater equipped with automatic shutoff Gas-fired appliance to be equipped with device which will automatically shut off all gas supply in case pilot flame is extinguished.

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

[Signature line for Inspector]

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES

Signature of Installer

M. Cohn

INSPECTION COPY

Permit No. 44 1344

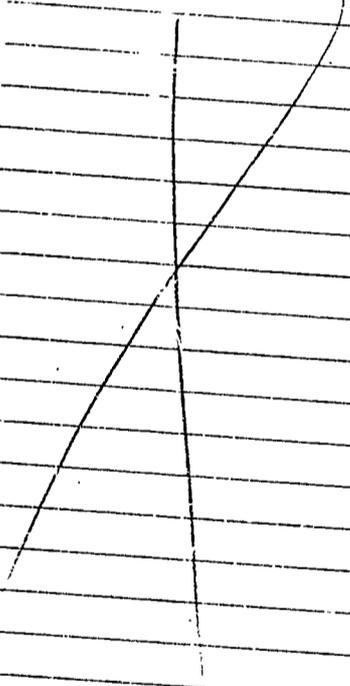
Location 255 Congress St.

Owner Carl Anderson

Date of permit 7/24/46

Approved 9-5-46 [Signature]

NOTES





FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED
Permit No. 00181

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, February 7, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 251 Congress Street Use of Building Bakery No. Stories 1 New Building
Existing " "
Name and address of owner of appliance W Park's Bakery, 251 Congress St.
Installer's name and address Community Oil Co., 512 Cumberland Ave. Telephone 2-7181

General Description of Work

To install oilburner in connection with existing bake oven

NOTIFICATION BEFORE LATHING
OR CLOSING-IN IS WAIVED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? If not, which story 1st Kind of Fuel oil
Material of supports of appliance (concrete floor or what kind) wood - 1" tile beneath oven
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace,
from top of smoke pipe from front of appliance from sides or back of appliance
Size of chimney flue Other connections to same flue

IF OIL BURNER

Name and type of burner Silent Glow Labeled and approved by Underwriters' Laboratories? yes
Will operator be always in attendance? Type of oil feed (gravity or pressure) bottom
Location oil storage basement No. and capacity of tanks 1-275 gal.
Will all tanks be more than seven feet from any flame? yes How many tanks fireproofed?

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of Installer W.R. Edward

W7288-
log

ORIGINAL

Permit No. 46/181

Location 251 Congress St

Owner Park's Bakery

Date of Permit 2/9 1946

Post Card sent _____

Notif. for insp. _____

Approval Tag issued 3-28-46

Oil Burner Check List (date)

1. Kind of heat For Bake Oven
2. Label ✓
3. Anti-siphon ✓
4. Oil storage ✓
5. Tank Distance ✓
6. Vent Pipe ✓
7. Fill Pipe ✓
8. Gunge ✓
9. Rigidity ✓
10. Feed safety ✓
11. Pipe sizes and material ✓
12. Control valve ✓
13. Ash pit vent ✓
14. Temp. or pressure safety ✓
15. Instruction card ✓
16. _____

NOTES

2-27-46 no defect about
3-15-46 fill

FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED
Permit No. 1843

DEC 29 1945

Dec. 26, 1945



APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine,

TRAVIS F. BURROUGHS, M. D.
CITY HEALTH OFFICER

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 251 Congress Street Use of Building ~~Store~~ Bakery No. Stories 1 New Building Existing
Name and address of owner of appliance James S. Parks, 251 Congress Street
Installer's name and address Community Oil Company, 512 Cumberland Avenue Telephone 2-7481

General Description of Work

To install oil burning equipment in connection with bake oven

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? No If not, which story 1st Kind of Fuel Oil
Material of supports of appliance (concrete floor or what kind) wood - 4" hollow tile
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, from top of smoke pipe from front of appliance from sides or back of appliance
Size of chimney flue Other connections to same flue

IF OIL BURNER

Name and type of burner Silent Glow Labeled and approved by Underwriters' Laboratories? Yes
Will operator be always in attendance? No Type of oil feed (gravity or pressure) Bottom
Location oil storage Basement No. and capacity of tanks 1 - 275 Gallon
Will all tanks be more than seven feet from any flame? Yes How many tanks fireproofed? 0

Amount of fee enclosed? \$1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)
Signature of Installer By: John M. [Signature]
Community Oil Company

INSPECTION COPY

20813-882
Bill [Signature]

APPLICATION BY MORE LADY
OR BEING IN IS WAIVED

Permit No. 4571843

Location 251 Congress St

Owner James S. Parker

Date of Permit 12/29/45

Post Card sent

Notif. to insp.

Approval Tag issued 1-22-46

Oil Burner Check List (date)

- 1. Kind of heat *F17 Boilers*
- 2. Label ✓
- 3. Anti-siphon ✓
- 4. Oil storage ✓
- 5. Tank Distance ✓
- 6. Vent Pipe ✓
- 7. Fill Pipe ✓
- 8. Gauge ✓
- 9. Rigidity ✓
- 10. Feed safety ✓
- 11. Pipe sizes and material ✓
- 12. Control valve ✓
- 13. Ash pit vent ✓
- 14. Temp. or pressure safety ✓
- 15. Instruction card ✓
- 16. _____

NOTES

FILL IN COMPLETELY AND SIGN WITH INK

Permit No. 78



APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Feb. 7, 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 249 Congress St. Use of Building Store No. Stories 1 New Building Existing
Name and address of owner of appliance Jack LeVineby Dartmouth St.
Installer's name and address Abraham Lourie 74 Atlantic St. Telephone 3-6911

General Description of Work

To install install heating system, steam OK 2-7-45

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? no If not, which story _____ Kind of Fuel coal
Material of supports of appliance (concrete floor or what kind) concrete
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, 24"
from top of smoke pipe 24" from front of appliance 6" from sides or back of appliance 7"
Size of chimney flue 8x10 Other connections to same flue none

IF OIL BURNER

Name and type of burner _____ Labeled and approved by Underwriters' Laboratories? _____
Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) _____
Location oil storage _____ No. and capacity of tanks _____
Will all tanks be more than seven feet from any flame? _____ How many tanks fireproofed? _____

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)
1-775P
ORIGINAL

Signature of Installer Abraham Lourie

5737

Permit No. 45178

Location 249 Congress Street

Owner Jack Levinsky

Date of Permit 7/8/45

Post Card sent

Notif. for inspn.

Approval Expires 2-13-46

Oil Burner Check List (date)

1. Kind of heat

2. Label

3. Anti-siphon

4. Oil storage

5. Tank Distance

6. Vent Pipe

7. Fill Pipe

8. Gauge

9. Rigidity

10. Feed safety

11. Pipe sizes and material

12. Control valve

13. Ash pit vent

14. Temp. or pressure safety

15. Instruction card

16.

NOTES

21345 From the double
pipe to a floor joint
is about 12 1/2" The installer

is practically parallel
to floor from floor
to burner. The
pipe of the burner
is in furnace new about
the old extends to floor
the condition is good.



APPLICATION FOR PERMIT

Permit No. _____

Class of Building or Type of Structure Second Class 31

Portland, Maine, January 13, 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 249 Congress Street Within Fire Limits? yes Dist. No. 1

Owner's or Lessee's name and address Jacob Levinsky, 249 Congress Street Telephone _____

Contractor's name and address C. Gall & Sons, 45 Portland St. Telephone 2-2158

Architect _____ Plans filed no No. of sheets _____

Proposed use of building Stores No. families _____

Other buildings on same lot _____ Fee \$ 1.00

Estimated cost \$ 150.

Description of Present Building to be Altered

Material brick No. stories 1 Heat steam Style of roof _____ Roofing _____

Last use Stores No. families _____

General Description of New Work

To construct inside brick chimney

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

STAMPED AREA LATE
ON 1/13/45
REQUIREMENT IS WAIVED

Is any plumbing work involved in this work? _____

Is any electrical work involved in this work? _____ Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys 1 Material of chimneys brick of lining tile

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

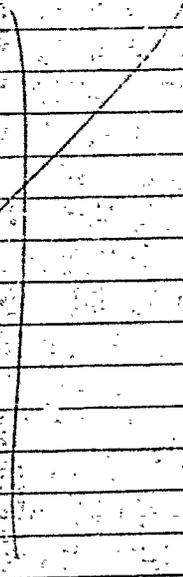
Signature of owner By: Jacob Levinsky
C. Gall & Sons

Stamp: ORIGINAL

Permit No. 45/31
Location 249 Congress Street
Owner Jacob Leminsky
Date of permit 1/13/45
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 4-7-45 P.M.S.
Cert. of Occupancy issued _____

NOTES

1-15-45 No Work started
J.P.M.



FILL IN COMPLETELY AND SIGN WITH INK

Permit No. _____



APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, July 19, 1944

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 256 Commercial Street Use of Building Restaurant No. Stories 1 ~~Existing~~ NEW BARBER

Name and address of owner of appliance Colonel F. M. ... Street

Installer's name and address _____ Telephone ro

General Description of Work

To install mechanical ventilation as per plan

INSPECTION NOT COMPLETED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? _____ If not, which story _____ Kind of Fuel _____

Material of supports of appliance (concrete floor or what kind) _____

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, _____

from top of smoke pipe _____ from front of appliance _____ from sides or back of appliance _____

Size of chimney flue _____ Other connections to same flue _____

IF OIL BURNER

Name and type of burner _____ Labeled and approved by Underwriters' Laboratories? _____

Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) _____

Location oil storage _____ No. and capacity of tanks _____

Will all tanks be more than seven feet from any flame? _____ How many tanks fireproofed? _____

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same amount at same time.)

REPRODUCTION COPY

Signature of Installer Edmond Brown

ONLY

4910

Permit No. 44
Locality 255 Congress St
Owner Salomon Baron
Date of Permit 7/14/44
Post Card sent _____
Notif. for insp. _____
Approval Tag issued _____
Oil Burner Check List (date) _____
1. Kind of heat _____
2. Label _____
3. Anti-siphon _____
4. Oil storage _____
5. Tank Distance _____
6. Vent Pipe _____
7. Ffl Pipe _____
8. Gauge _____
9. Rigidity _____
10. Feed safety _____
11. Pipe sizes and material _____
12. Control valve _____
13. Ash pit vent _____
14. Temp. or pressure safety _____
15. Instruction card _____
16. _____

NOTES
INSPECTION NOT COMPLETE



FILL IN COMPLETELY AND SIGN WITH INK

GENERAL BUSINESS ZONE

Permit No. _____

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, June 16, 1911

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 255 Congress Street Use of Building Restaurant No. Stories 1 New Building Existing "
Name and address of owner of appliance Colonel Brown, 255 Congress St.
Installer's name and address Portland Gas Light Co., 5 Temple St. Telephone 7-8121

General Description of Work

To install gas fire range

INSPECTION NOT COMPLETED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? no If not, which story 1st Kind of Fuel gas

Material of supports of appliance (concrete floor or what kind) concrete

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, 6 ft

from top of smoke pipe from front of appliance over 4 ft from sides or back of appliance 2 ft

Size of chimney flue Other connections to same flue

Hood to be provided over range vented to outside air IF OIL BURNER

Enclosed burners produce - 2 ovens 36, 200 sq. in. Labeled and approved by Underwriters' Laboratories?

Name and type of burner Type of oil feed (gravity or pressure)

Will operator be always in attendance? No. and capacity of tanks

Location oil storage Will all tanks be more than seven feet from any flame? How many tanks fireproofed?

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc. in same building at same time.)

INSPECTION COPY Signature of Installer by Carl M. Morgan Portland Gas Light Co.

W.P.S. - 1098

CONTRACT OF SALE... REQUIREMENT 1. MAIN...

47582

Permit No. 44)

Location 255 Congress St.

Owner Solomon Berman

Date of Permit 6/1/44

Post Card sent

Notif. for inspa.

Approval Tag issued

Oil Burner Check List (date)

1. Kind of heat

2. Label

3. Anti-siphon

4. Oil storage

5. Tank Distance

6. Vent Pipe

7. Fill Pipe

8. Guage

9. Rigidity

10. Feed safety

11. Pipe sizes and material

12. Contro' valve

13. Ash pit vent

14. Temp. or pressure safety

15. Instruction card

16.

NOTES

INSPECTION NOT COMPLETED



FILL IN COMPLETELY AND SIGN WITH INK

Permit No. _____

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Jun. 19, 1944

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 254 Congress Street Use of Building Restaurant No. Stories 1 New Building
 Existing
Name and address of owner of appliance Solomon Brown 254 Congress Street
Installer's name and address _____ Telephone 20

General Description of Work

To install frilator and water heater (6/26/44) **INSPECTION NOT COMPLETE**
Burner has device for automatically shutting off gas supply in case automatic heat control presents test and the supply of gas fails to ignite

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? no If not, which story 7th Kind of Fuel gas
Material of supports of appliance (concrete floor or what kind) concrete heater

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, 4'
from top of smoke pipe heater from front of appliance 3'-6" from sides or back of appliance 6'

Size of chimney flue 12x12 Other connections to same flue steam boiler
Must be provided over - vented **OIL BURNER**

Name and type of burner _____ Labeled and approved by Underwriters' Laboratories? _____
Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) _____

Location oil storage _____ No. and capacity of tanks _____
Will all tanks be more than seven feet from any flame? _____ How many tanks fireproofed? _____

Amount of fee enclosed? 50 (\$1.00 for one heater etc., 50 cents additional for each additional heater, etc., in same building at same time.)

W.B.B. bgs

W.B.B. bgs

Signature of Installer *Solomon Brown*

*475
475*

INSPECTION COPY

Permit No. 47

Location 255 Dupont St

Owner Solomon Brown

Date of Permit 6/1/44

Post Card sent

Notif. for insp.

Approval Tag issued

Oil Burner Check List (date)

1. Kind of heat
2. Label
3. Anti-siphon
4. Oil storage
5. Tank Distance
6. Vent Pipe
7. Fill Pipe
8. Gauge
9. Rigidity
10. Feed safety
11. Pipe sizes and material
12. Control valve
13. Ash pit vent
14. Temp. or pressure safety
15. Instruction card
- 16.

NOTES

INSPECTION NOT COMPLETED

Rept. 45732-1

July 14, 1941

AB
DM

Mr. William Brown,
55 Congress Street,
Portland, Maine

Subject: Building permit to cover alterations
in the two-story building at 455 Congress St.,
corner side, to make therein a restaurant.

Dear Sir:

My above building permit is herewith issued subject to the following conditions:

1. Mr. Bunting, Restaurant Inspector, tells us that Mr. Burroughs's approval is based upon the permit subject to the scheme proposed of providing light and ventilation in both kitchen and dining room being as follows: effective and satisfactory side windows in the exterior wall of the building to serve the kitchen, it is not apparent why you cannot put several windows in the exterior wall along the bath street side and thus give more light and chance for natural ventilation in dining room. There is some mention in the plan of leaving the conditions around the kitchen down from the ceiling will be satisfactory. Not familiar with inches high. I presume this note was not made to the architect. The conditions will either have to be in the ceiling or in the wall. A section of the plan shows the ceiling in the kitchen to be 12 feet air inches above the floor, so that I suppose this means that the top of the partition around the kitchen would be five feet down from the ceiling. I suggest that you cover this entire letter with Mr. Bunting before you start work on these alterations.

2. The method of venting the hood over the cooking appliances has been changed showing a duct of insulating material running to the existing chimney flue. Far on the plan goes, however, there is only one fire shown in this chimney and evidently the present heater in the cellar and the new hot water heater to be installed there are intended to be connected to this chimney. It is not allowable to connect this open hood vent to a flue to which any other appliance is connected. If it is the intention to connect this duct to a live chimney side, please revise the plan showing some other method and file it with the application for permit for installing the hood and the venting is therefore, which permit must be applied for and is issuable only to the actual installer.

3. I note that specification on the plan indicates that the steel metal to be used for reinforcing the concrete floor surface is to be installed to the existing floor before the concrete is poured, also that there is no mention of suitable form to be placed between the existing floor and the new concrete surface. These details are not stipulated by the Building Code; but the latest recommendation that we have been able to get from the Construction Engineer of the Portland Cement Association is that, although a definite specification are available for putting a concrete surface on a wooden floor, the best practice is considered to be that of sufficiently reinforcing the concrete with steel reinforcement in the existing construction and to place suitable paper or felt, water-resistant, on the wooden floor before the concrete is poured. You may not be familiar with these details, but information is given you for what it is worth.

July 20, 1941

1. Concrete walls and floors are required to have a thickness of such piece of building. The installation of a mechanical ventilation system in connection with it, you use a motor driven fan for the ceiling and any mechanical ventilation except the "grab" type, with a central unit. Its location is to be decided by the architect. You can tell whether or not the proposition will comply with the following Code. The installation details are to be decided by the architect and are to be shown in the plans.

2. If you have not already done so I recommend that you have the ventilation of both kitchen and dining room designed by you. You are to be acquainted with all the details of ventilation systems. The department is not primarily interested in the ventilation, except from the standpoint of fire hazard; but the Health Department is interested in it from all standpoints, and from that standpoint any system that you introduce will have to prove itself. If after the ventilation system at the hood can be installed and if the ventilation of the kitchen is left down from the ceiling, and if it should be later decided to put a fan in the dining room to properly ventilate it, either summer or winter, it is quite likely that you would be recreating under fire hazard, especially if for fan ventilating the dining room were more powerful than the fan used to ventilate the hood. There is a note on the plan "skylight over kitchen vent" - this skylight being for the most part over the kitchen. Presumably this means that it says and there is to be some kind of ventilating device in the skylight. Just attention to any conflicts in the ventilation and make it all the more necessary to have some one work out the entire proposition who knows what he is about.

Very truly yours,

Inspector of Buildings

CC: William E. Whitcomb,
37 West Avenue

Jacob A. Wisniewski,
115 Borthwick St.

Dr. T. E. Farnsworth,
Health Officer

P.S. With regard to strengthening the floor I note there is still one place on the plans where the architect has written "4-inch standard weight pipe column." If ordinary pipe is used it must be not pipe and at least 4-inch in outside diameter whether filled with concrete or not. Only specially manufactured columns filled at the plant with concrete can be used of less than that diameter. Also two spans of girders are still marked C&S. Presumably this is an oversight as, although on a shorter span than the others C&S all not shown.

100
11/11/34
J.M.

W. A. 12723-1

Nov 11, 1934

Mr. Norman Spies,
55 Congress Street
Portland, Maine

Subject: Application for building permit to
cover alterations in the one-story building
at 55 Congress Street, corner South to make
this a new restaurant

Dear Sir:

Approval of the Building Code is required in the building permit before it can be issued. A note from his office with the return of the unapproved permit says: "No lights shown in plan for one toilet rest room. Floor drains in toilets not shown in plan. Repetition to be so placed as to permit cleaning around same, at least eight inches from grills."

From the standpoint of Building Code requirements, please note the following:

1. Type of locksets not shown on either entrance door or rear exit door. Even with less than 50 persons accommodated "vestibule locksets" are required, all fastenings which would keep the door from opening from the inside capable of being instantly released, without special knowledge or ability, merely by turning the customary knob or by pressure on the usual thumb latch. No white light shown in rear hallway. Such a light should be provided and be an auto switch as standard (see Section 112-3-4) exit light over counter seating near rear exit door.
2. Also detailed drawings of hood and hood vent as to location and point of discharge into the open air not fully shown. Note provisions of Section 61-3-4 as to projection of hood beyond eaves, material of ducts, prohibition of ducts in enclosed spaces and as to point of discharge in the open air. Presumably the duct is to go up through an existing skylight. All of these details ought to be shown including fact that the hood will be at least nine inches below any ceiling.
3. I assure that the partitions around the new kitchen will not go close to the ceiling, will be built of no less than two studs no more than 16 inches from center to center with wall covering of a sanitary nature to satisfy the Health Department. All of these matters should also be shown. The original application says that kitchen partition will not go to the ceiling; that there will be 13 booths, 4 seats to each and 4 employees. If the partitions are to go up to the ceiling that statement on the application ought to be crossed out and the latest plans show six booths for two persons each and seven for four persons each, the portable tables and chairs having been eliminated and thus showing a total of 19 patrons with the four employees would make a total of 23 persons.
4. Although not required by law it is the precaution when putting partitions upon a wooden floor to cover the wood with water resistant paper.
5. Apparently the existing fiber joists are only 16 inches from center to center on a span of 17 feet which carries an allowance for each joist of about 1100 pounds. From the plan I understand that the CWS girder is not to be extended the entire length of the floor; but it seems necessary to extend a suitable member under the entire length of the store. Now that the store space is to be used by an activity licensed by the Municipal Office, the strength of the floor will have to be brought up to the rated live load of 75 pounds per square foot plus about 10 pounds dead load, which all adds up to about 1000 pounds on each joist.

Mr. Solomon Brosa-----

May 4, 1944

unable to check the strength of the new proposed cast iron pipe columns, they being equal to about 4000 pounds load and the theoretical load plus the dead load of the new concrete floor being about 5000 pounds on each span of 8'6". The pipe columns will either have to be specially manufactured and designed pipe columns with concrete filling as specified by the Building Code or if merely new pipe they must be at least four inches in outside diameter and must have provision for anchoring them securely at top and bottom. Secondhand pipe columns are not permitted here. A better detail should be provided of the proposed method of cantilevering the girders to make room for a steam pipe.

6. I am well aware of the need for haste on your part in getting this work done and the restaurant open. The only way that may be speeded is to have all of this information put on the original plan and new prints filed here so that we can secure the health department approval, check the new plan against the above items and then issue the permit.

7. Please note also that both doors to toilet room vestibules and both doors from toilet room vestibules to toilet rooms are required to be self-closing, equipped with some approved device so that the doors will be normally closed and kept closed.

Very truly yours,

Wich/H

Inspector of Buildings

CC: John Stokes, 37 Cumberland Ave.

William S. Millard, 37 Lane Ave.

Joe B. Levinsky, 113 Dartmouth St.

Dr. I. S. Curren, Health Officer

Post. 4775 - 1

*Draw
2/26
T.M.F.
ags*

Dr. J. H. ...
53 ...
Portland, Maine

Dear Sir:

... the building ...
... the ...
... the ...

... the Health Department ...
... the Health Department ...
... the Health Department ...

As regards specific building code requirements, it will be necessary for you to furnish a plan of the cellar, showing all equipment and arrangements proposed therein in connection with the restaurant use, including heaters for hot water and any other appliances involved; also refrigeration equipment. On the plan should appear the statement as to how the cellar is to be used, and your architect should commit the Building Code to see what, if any, additional improvements are required by the Building Code in account of that use, noting the matter from the Health inspectors relating to possibility of keeping garbage in the cellar.

If either of two windows in the rear wall are to be new and are closer than five feet to the rear property line, they are required to be standard fire windows. Capacity of persons in the application is given as 14, including four employees; but the placards capacity of at least 16 plus employees. On the latter basis both front and rear doors are required to swing outwards in such a way that they will not project over any public sidewalk. Also both front and rear doors are required to be equipped with vestibular devices which are the type whereby any person on the inside can quickly open the door without requiring a key or any special knowledge thereby by turning the usual door handle. Each door must have a standard exit door to street required over it a standard exit light as specified in Section 212-1 of the Code, the exit light to be angled so that it can be seen from all parts of the dining room. The doors to street are to be double doors and unless each door is at least 54 inches wide, the doors will have to be equipped with anti-panic hardware. If each door is at least 54 inches wide, the doors may be equipped with a vestibular device and the door to top and bottom bolts. In the case of doors to be vestibular, a fire door of at least 30 inches is required between the entry and the door to either side, bearing in mind that eighteen inches must be left from the edge of the table for chair space when a person is sitting down.

Door size, material, location and arrangement of protective devices over cooking appliances and ducts and fans, if any, required to ventilate the hood. Health Inspectors have read up to date regulations and the chances of remaining the ventilating ducts up through the roof of this low building in such a location that odors, smoke, etc., will not be offensive to the occupants of nearby buildings which are higher than this one. I recommend that you employ a competent ventilating engineer to design the ventilating system, to determine if any fan is needed and if so what type and what size. Ventilation of a kitchen and dining room.

April 9, 1936

Mr. Solomon Brown

must be to the approval of the Health Officer; separate permits are required for the installation of all cooking and heating appliances and separate permits for the ventilation system if mechanical rather than gravity. These permits to be applied for and be issued only to the actual installer. From the fact that you do not intend to build the kitchen partitions clear to the ceiling it appears that you intend to ventilate the dining room through the ventilation system over the cooking appliances. If there are to be any fixed ventilating fans outside of the kitchen, the partitions of the kitchen will have to be clear to the ceiling to prevent fire hazard in case of a quick fire on the cooking appliances.

Note that the Health inspectors call for the floor of the kitchen to be impervious as well as that of the toilet rooms. Have shown on the plan just what material is going to be used and cross sections and other details showing clearly the thickness and weight of the material intended together with the detail at the points where the floor intersects the vertical walls and partitions to show a sanitary base. It is my belief that if concrete is used for these surfaces, two inches will be the minimum thickness allowable and that, of course, would be at the floor drains with a greater thickness elsewhere to give slope to the floor drains. Also show the details of the first floor framing and supports beneath kitchen and toilet rooms, have your architect check up to see whether or not the framing is sufficiently strong according to Building Code standards to support the added dead load of the new impervious surface and the live loads. If it is not strong enough then proposed methods of strengthening should be shown in detail.

All of the above information must be shown clearly on the plan and revised prints filed here with all of the information on them printed from the original.

Also show material and thickness of wall between proposed restaurant and the next store in the same building and what type of store that is; also whether or not there are any openings in the dividing wall or partition either in the first story or the cellar. If this is an ordinary retail store next door then the restaurant, both first story and cellar, is required to be separated from it by what is called a fire resistive separation or at least one-hour fire resistance, fire resistance ratings of material being found in Section 501-a of the Code.

Very truly yours,

Inspector of buildings
Jacob Leviasky, 115 Dartmouth St.
Charles Willard, St. Regis Hotel, 116 Middle St.
Dr. Burroughs, Health Officer

3/27/44

Memo

TO

W. M. D.

Re. #255 Congress St. Rest

Electric lights in all rooms - Possibility of complaints from odors in 3 feet Hdg in rear - Possibility of seal of present chimney - Grease accumulation on roof as a specific hazard - Seating capacity in plan greater than stated in application. How about hood being 15" deep - half round with a 10" vent?

WMB

original sent to March 27, 1944

Mr. Warren McDonald
Building Inspector

of the
file the *will* *refer* *copy*

Dear Sir:

We are returning application of Solomon Brown for new restaurant at 255 Congress Street unsigned for the following reasons.

The door on Ladies toilet to be removed thus permitting lavatory to be in a ventilated room, the present door an ante room now to remain as is which is not shown on plan. The 3' passage way to be covered over, thus making this the ante room.

Lavatory to be removed from Men's ante room and placed outside therefore no need to ventilate this room. Coiler should have air inlet and outlet if garbage is to be kept here. Kitchen and toilet rooms to have impervious floors with required drains.

Application to be made to the Plumbing Inspector for permits. Question of hood ventilation to be considered.

Very truly yours

(Signed) W. D. Brantley

Restaurant Inspector

(Signed) G. J. Smith

Plumbing Inspector

APPLICATION FOR AMENDMENT TO PERMIT



Amendment No. 1

Portland, Maine, November 1, 1947

PERMIT NO. 47/2889
NOV 5 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 47/2889 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 255 Congress Street Within Fire Limits? yes Dist. No. 1
 Owner's name and address Jacob Levinsky Telephone _____
 Lessee's name and address Mayberry's Handy Store, 255 Congress St. Telephone _____
 Contractor's name and address Metro Neon, 95 Exchange St. Telephone 3-3052
 Architect John Howard Stevens 4-3157 Plans filed yes No. of sheets 1
 Proposed use of building Store No. families _____
 Increased cost of work _____ Additional fee .25

Description of Proposed Work

To erect electric sign as per plan filed today.

PERMIT TO BE ISSUED TO Metro Neon

Details of New Work

Is any plumbing work involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

Approved: [Signature]

Metro Neon
 Signature of Owner [Signature]
 By: _____
 Approved: 11/5/47 [Signature]
 Inspector of Buildings

ON COPY

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO BE
ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES
AT 255 Congress IN PORTLAND, MAINE

Jacob Lewinsky, being the owner of the
premises at 255 Congress in Portland, Maine hereby gives
consent to the erection of a certain sign owned by Grayberry's
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

And in consideration of the issuance of said permit
Jacob Lewinsky, owner of said premises, in event said sign
shall cease to serve the purpose for which it was erected or shall become
dangerous and in event the owner of said sign shall fail to remove said sign
or make it permanently safe in case the sign still serves the purpose for
which it was erected, hereby agrees for himself or itself, for his heirs,
its successors, and his or its assigns, to completely remove said sign
within ten days of notice from said Inspector of Buildings that said sign
is in such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this
consent and agreement this 7 day of Octy, 1947

W. M. McLaughlin
Witness

Jacob Lewinsky
Owner

RECEIVED
OCT 13 1947
CITY OF PORTLAND
117



(B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Permit No. 02877
OCT 25 1947

Portland, Maine, October 13 19 47

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.
The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 255 Congress Street Within Fire Limits? yes Dist. No. 1
Owner of building to which sign is to be attached Jacob Levinsky Telephone 3-3052
Name and address of owner of sign Mayberry's Handy Store, 255 Congress St.
Contractor's name and address Metro Neon, 97 96 Exchange St.
When does contractor's bond expire? January 1948

Information Concerning Building

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED
10/24/47 O.K. J.L.

No. stories 1 Material of wall to which sign is to be attached brick
Electric? yes Vertical dimension after erection 2' 3' Horizontal 5' 5'
Weight 140 lbs., Will there be any hollow spaces? yes Any rigid frame? yes
Material of frame angle iron No. advertising faces 2 material metal
No. rigid connections 2 Are they fastened directly to frame of sign? yes
No. through bolts 1 Size 3/4" Location, top or bottom top
No. guys 3 material cable angle iron Size 5/8" 1/2 x 1 1/2 x 3/16
Minimum clear height above sidewalk or street 6' 5'
Maximum projection into street 12' 6" 11'-0"

Signature of contractor By: John Cadden Metro Neon Fee \$ 1.00

Imp. GEN. AL

Permit No. 47/200
Location 250 Congress
Owner Mayberry
Date of issue 10/10
Sign Central
Final List

NOTES
[Handwritten notes and lines]



H. A. JOHNSON CO.

FOOD PRODUCTS AND EQUIPMENT FOR BAKERS · CONFECTIONERS · HOTELS AND INSTITUTIONS

BOSTON
GENERAL OFFICES
221-227 STATE ST., BOSTON
NEW YORK OFFICES
21 WORTH ST., NEW YORK

September 4, 1934

Mr. Warren MacDonald,
Building Inspector,
City Hall,
Portland, Maine.

My dear Mr. MacDonald,

At the request of our salesman, Mr. Frank Harrington I am sending you a cross section of the Johnson Junior oven, similar to the one installed at the Parks Bakery recently.

I remember your very courteous visit to us about two years ago. At that time I think we agreed that we would take up with you at each time the question of a permit for the installation of ovens. This we have tried to do and appreciate the co-operation which you have given us.

We have of course installed several of these ovens in Portland, and I think if you will refer to your records and inspect these installations I think you will find that from a safety point of view these ovens are nearly 100%. The Boston inspection which is very cautious allows us to put these ovens within 4" of any wall. As a matter of fact, if you will yourself observe the walls of these ovens at any time after an oven is in operation you will find that they are cool enough so that the hand can be constantly placed against the oven at any point.

The bottom of the oven, you will notice, is made of 3" hollow tile over which is a substantial layer of mineral wool insulation. This extends all over the bottom of the oven including the fire box, so that we have succeeded, I think, in keeping most of the heat in the oven, not only as a matter of fire safety, but also as a matter of economy in the use of fuel and satisfactory operation of the oven.

We have raised the oven up 4" from the floor. This has met with the approval of the Boston inspection department and the oven is safe to place on wood floors.

We certainly shall continue to co-operate with you, and if at any time there is any question in regard to the installation of our ovens, I hope you will feel free to call upon us. We appreciate the spirit in which you have always

H.A. JOHNSON CO.

-2-

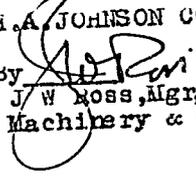
September 5, 1934.

approached us and shall try to conform to your requirements in all cases. If there is any further action to be taken in regards to Parks' I should be glad to have you write me.

Yours very truly,

H.A. JOHNSON CO.

By


J. W. Ross, Mgr,
Machinery & Oven Department.

JWR: Lal.
T F H.
Encl.

FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED



APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Permit No. 1185
AUG 21 1934

August 20, 1934

Portland, Maine

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 251 Congress Street Use of Building Stores
Name and address of owner James Parks, Jr. 102 Congress St. Ward 2
Contractor's name and address H. A. Johnson Co. 250 State St., Boston, Mass. Telephone _____

General Description of Work

To install Coal-fired Bake Oven

NOTIFICATION BEFORE LATHING OR CLOSING-IN IS WAIVED.

IF HEATER, POWER BOILER OR COOKING DEVICE REQUIREMENT IS WAIVED, COAL

Is heater or source of heat to be in cellar? no If not, which story 1st Kind of Fuel wood floor, oven set 4" above floor
Material of supports of heater or equipment (concrete floor or what kind) and has hollow tile base
Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, over 15"
from top of smoke pipe over 15" from front of heater 4" from sides or back of heater 12"
connected to center chimney which has 16x20 flue 6" of rock wool insulation
urnaces connected to it also IF OIL BURNER

Name and type of burner _____ Labeled and approved by Underwriters' Laboratories? PLP 8/22/34
Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) _____
Location oil storage _____ No. and capacity of tanks _____
Will all tanks be more than seven feet from any flame? _____ How many tanks fireproofed? _____

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)
H. A. Johnson Co.

Signature of contractor John Carter Jr

INSPECTION COPY

Ward 2 Permit No. 34/1185
Location 251 Congress St
Owner James Parker, Jr
Date of permit 8/21/34
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 9/21/34
Cert. of Occupancy issued None

NOTES

~~Permit 34/1185
Rev. 34/1140
Act. 34/1122~~
8/23/34. Oven sets on flat
4x6 under legs on wood
floor. legs about 4" high
bringing bottom of oven
8" above wood floor. O.K.
Mr Parker to call re-
garding this construction.
8/27/34. Saw Mr Parker
and told him insulation
under oven should have to
be as per code. O.K.
9/5/34. See letter to H. C.
Johnson Company about
above installation. H.C.
9/24/34. Metal on floor
O.K. O.K.

February 7, 1935

File Permit No. 34/722B-I
✓ File Permit No. 34/1140B-I

Mr. Jacob Levinsky,
273 Congress Street,
Portland, Maine.

Dear Sir:

With relation to your building at 251-255 Congress Street there are several matters still not in compliance with the Building Code.

Both men and women are being employed in the store used as a bakery. Under such circumstances you are required by Section 85 of the Building Code to provide separate toilet accommodations for men and women, each toilet room to be plainly marked. You were advised of this requirement before your building permit was issued in my letter of May 29, 1934 and again by my letter of September 12, 1934.

The smoke pipe of the new heater in the corner store and the smoke pipe of the heater in the basement of the bakery are only seven inches below the woodwork above them contrary to the requirements of the Building Code which calls for at least ten inches between the top of the smoke pipe and combustible material above it. This condition furthermore is not considered safe.

You are directed to have the ~~old~~ toilet provided in the bakery and to have the smoke pipes lowered so that the top of them will be at least ten inches below all combustible material above (and even then a shield will be required between the smoke pipe and the woodwork above) or to have the woodwork above the smoke pipe removed and replaced with concrete or other incombustible material on or before February 21, 1935, this direction being given as authorized by the Building Code of the City of Portland and as authorized and directed by Sections 27, 28, 29 and 32 of Chapter 55 of the Revised Statutes of Maine, copy attached hereto.

Very truly yours,

Inspector of Buildings.

McR/H

2/13/35 -

Under factory
clearance 90"
but pipe should
run direct
through brick
wall and into
chimney
instead of
running into
next cell
before entering
chimney.

found
3/1/35 - These are
all fixed.
except a
small piece
of wood close
to shield
under corner
stone. Perhaps
it may be
log wood.

3/1/35



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

Permit No. 1140

AUG 15 1934

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

August 15, 1934

Portland, Maine, _____

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location J. Lovinsky, 273 Congress Building _____

Name and address of owner A. Lourie, 54 North St. _____

Contractor's name and address _____

General Description of Work
To install three steam heating systems

Ward 4555
NOTIFICATION BEFORE LAYING
TELEPHONE CLOSING-IN IS WAIVED

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

IF HEATER, POWER BOILER OR COOKING DEVICE coal

Is heater or source of heat to be in cellar? _____ If not, which story _____ Kind of Fuel coal

Material of supports of heater or equipment (concrete floor or what kind) concrete if less than 15" shield will be provided

Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, _____ if less than 15" shield will be provided

from top of smoke pipe 2 ballers on 8x12 - chimney - chimney, from front of heater over 4' from sides or back of heater _____

IF OIL BURNER

Name and type of burner _____ Labeled and approved by Underwriters' Laboratories? _____

Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) _____

Location oil storage _____ No. and capacity of tanks _____

Will all tanks be more than 2.50 feet from any flame? _____ How many tanks fireproofed? _____

Amount of fee enclosed? _____ (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of contractor A. Lourie

INSPECTION COPY

Handwritten notes and stamps: "CC 8/15/34" and "24832"

Ward 2 Permit No. 34/1140
 Location 251-5 Congress St.
 Owner J. Lenzky
 Date of permit 8/15/34
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn. 3/1/35 O.P.'s (3)

NOTES
 8/15/34 Nothing done. OK.
 8/23/34 Same. OK.
 9/18/34 Shields over all
 smokepipes. OK.
 9/21/34 Copied notes
 get in - OK.
 10/10/34 Smoke pipe
 header in middle store
 only 7' below lumber.
 No shield. Smoke pipe
 of heater in basement of
 bakery only 7' below
 one lumber close to
 chimney. No shield
 smoke pipe of heater
 in corner store not
 yet connected. OK.

2/4/35. Corner
 smokepipe corner
 smokepipe 7" below
 floor joists but cannot
 be lowered. Shield has
 been provided over
 this heater and smoke
 pipe, also over the
 two other heaters in
 this building. Both
 chimneys have clean
 outs. On each chimney
 there is some space
 around the smoke-
 pipe where it enters.
 This appears to have
 been made tight but
 has dried and fallen
 out. OK.
 2/7/35 - 9' over
 1/13/35 - corner stove
 min. dist. to top of
 from wood = 7 1/2" - dist. from
 wood to top of boiler = 11 1/4"
 Best chance is to double
 2x10 over wood for
 less 2' off like this

clearance in next to
 corner stove OK at
 13" but first third (over)
 chimney

February 7, 1935

✓ File Permit No. 34/722B-I
File Permit No. 34/1140B-I

Mr. Jacob Levinsky,
27B Congress Street,
Portland, Maine.

Dear Sir:

With relation to your building at 251-255 Congress Street there are several matters still not in compliance with the Building Code.

Both men and women are being employed in the store used as a bakery. Under such circumstances you are required by Section 85 of the Building Code to provide separate toilet accommodations for men and women, each toilet room to be plainly marked. You were advised of this requirement before your building permit was issued in my letter of May 29, 1934 and again by my letter of September 12, 1934.

The smoke pipe of the new heater in the corner store and the smoke pipe of the heater in the basement of the bakery are only seven inches below the top of the combustible material above (and even then a shield will be required between the smoke pipe and the combustible material above) or to have the combustible material removed and replaced with concrete or other incombustible material on or before February 21, 1935, this direction being given as authorized by Sections 23, 29, 30 and 32 of Chapter 35 of the Revised Statutes of Maine, copy attached hereto.

You are directed to have the ~~toilet~~ toilet provided in the bakery and ~~to~~ have the smoke pipes lowered so that the top of them will be at least ten inches below all combustible material above (and even then a shield will be required between the smoke pipe and the combustible material above) or to have the combustible material removed and replaced with concrete or other incombustible material on or before February 21, 1935, this direction being given as authorized by Sections 23, 29, 30 and 32 of Chapter 35 of the Revised Statutes of Maine, copy attached hereto.

Very truly yours,

Inspector of Buildings.

McD/H

#34/722-I

September 12, 1934

Mr. Jacob Levinsky
278 Congress Street
Portland, Maine

Dear Sir:

With relation to your building at 251-255 Congress Street, one of the stores is being equipped as a bakery, and we understand that women are to be employed in the bakery as well as men. If this is the case, your attention is called to my letter of May 29th, 1934 and the requirement of the Building Code that separate toilet accommodations are required to be provided for men and women.

Your attention is also called to the fact that we have received no notification for final inspection of the building, and that a certificate of occupancy from this Department is required before the building is really occupied for any purpose. We are willing to make final inspection of a part of the building and to issue a certificate for a part of the building which may be in readiness before the entire building is ready, if this procedure is more convenient for you.

Please be governed accordingly.

Very truly yours,

Inspector of Buildings.

WL/HC

Copy to Mr. Jacob Levinsky, 278 Congress Street
#1849D-I

May 29, 1934

Mr. Lylo E. Butland
178 Gayle Street
Portland, Maine

Dear Sir:

With reference to the application for a building permit to cover demolishing the upper stories and providing a new roof with other alterations in the building owned by Jacob Levinsky at 251-255 Congress Street, there are several details that are not shown completely on the plans and also certain questions in compliance with the Building Code brought to your attention below:

The proposed skylights are required to have metal sash and wire glass at least one-quarter of an inch thick.

A masonry parapet wall at least two feet above the roof level with incombustible cap is required on all sides of the building where the wall is closer than five feet to the property line. This includes the easterly wall which is a party wall. I do not understand the details shown on the "section through roof" shown on the drawings.

How are the stores to be heated? Where are the heaters to be located? Where are the chimney or chimneys to be located, and how high are they to extend?

How are the toilet rooms in the cellar to be vented? If women are to be employed anywhere in the building, separate toilet accommodations are required to be set aside for their use exclusively. Please explain about this.

There is not sufficient details shown on the plans to indicate how the roof and walls are to be supported at the two front corners of the building where certain columns are to be removed. On account of this change, the plans should bear upon them a statement of design similar to that called for in Section 28 of the Building Code, and signed by the designer.

The detail of the roof framing around the skylights should be shown, as there is some question of the adequacy of this framing.

Please furnish this additional information promptly so that there may be no further delay in issuing the permit.

Very truly yours,

Inspector of Buildings.

22/11/33

①

Alterations by Jacob Kermishy at 251-255 Coquina
5/24/34

Wire glass 1/4" thick in highlights.

Area of store 867 sq ft. Why not rear exits?

lining of front doors.

2" paraffin wall with incombustible

top on sides where wall is closer

than 5 ft. to lot line including

easterly side wall.

How are stores to be heated; where

are heaters to be located and where

are chimney or chimneys to be

located and how high are chimneys

to extend?

How are toilet rooms to be vented.

If women employed anywhere in

blg. separate toilet to be set aside

for their use exclusively.

1st floor framing easterly store

2 x 10 - 1 8" oc. or 9' span good for

2444 #

$\frac{2444}{12} = 203 \frac{1}{2}$ # per sq ft. +

OK 6 x 8 on 8' span good for 6 x 978 = 5868

OK $\frac{5868}{8 \times 9} = \frac{733.5}{9} = 81.5$ # per sq ft.

Barnisky 251-255 Congress St (continued)

Roof 2x10 on 18' span gird for 2x679 = 1358*

6K. $9 \times 1.33 \times 50 \times 2 + 18 \times 1.33 \times 10 =$

not sufficient detail where joints are removed in corner.

question of adequacy of framing around skylights shown detail.