

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

SECTION

PERMIT

Permit Number 0883
PERMIT ISSUED
JUL 28 2005
CITY OF PORTLAND

This is to certify that DUNN ALICE L /Carbone & Staff Inc
has permission to Interior renovations, add bathroom, open walls
AT 12 SMITH ST

provided that the person or persons, firm or organization accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must begin and work on permit procedure before this building or part thereof is occupied or closed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. Jay Kelley P.F.D. 7-8-05
Health Dept. _____
Appeal Board _____
Other _____
DepartmentName

[Signature]
1/28/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED		
No.:	Issue Date:	CBL:
05-0883	JUL 29 2005	021 B023001
Name:		Phone:
CITY OF PORTLAND		

Location of Construction: 12 SMITH ST	Owner Name: DUNN ALICE L	Owner Address: 12 SMITH ST	Zone: B2b K-2
Business Name:	Contractor Name: Carbone & Taft Inc	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: B2b K-2
Past Use: Multi Family 3 unit	Proposed Use: Multi Family 3 Unit / Interior renovations, add bathroom, open walls	Permit Fee: \$48.00	Cost of Work: \$3,000.00
Proposed project Description: Interior renovations, add bathroom, open walls <i>legal use: Three (3) residential dwelling units</i>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R Type: SB IBC 2003
		Signature: <i>JK: D. 7-8-05</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
Signature:		Date:	

Permit Taken By: Idobson	Date Applied For: 07/01/2005	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <input type="checkbox"/> Denied <i>ok with committee</i> Date: <i>7/7/05</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

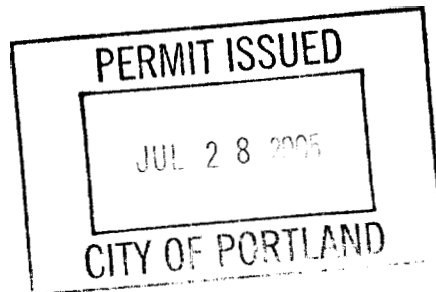
Permit No: 05-0883	Date Applied For: 0612812005	CBL: 021 E023001
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Location of Construction: 12 SMITH ST	Owner Name: DUNN ALICE L	Owner Address: 12 SMITH ST	Phone:
Business Name:	Contractor Name: Carbone & Taft Inc	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Multi Family 3 Unit I Interior renovations, add bathroom, open walls	Proposed Project Description: Interior renovations, add bathroom, open walls
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Comments:

7/27/05-trmm: need LVL's and 1 hour fire rated wall design - went over wlowner



All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>12 Smith St., Portland ME</u>		
Total Square Footage of Proposed Structure <u>2861</u>	Square Footage of Lot <u>4200</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>21</u> Block# <u>E</u> Lot# <u>23</u>	Owner: <u>Alice Dunn</u>	Telephone: <u>671-0700</u>
Lessee/Buyer's Name (if Applicable) <u>Eliza Griscan</u>	Applicant name, address & telephone: <u>Eliza Griscan</u> <u>20 Morning St</u> <u>Portland ME 04101</u>	cost Of Work: \$ <u>3,000</u> Fee: \$
Current use: <u>residential multiunit</u>		
If the location is currently vacant, what was prior use: <u>same</u>		
Approximately how long has it been vacant: <u>2-3 months</u>		
Proposed use: <u>same</u>		
Project description: <u>renovate interior, add bathroom, open wall, expand one room to include new front hallway</u>		<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;"> DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME <div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;"> JUN 28 2005 RECEIVED </div> </div>
Contractor's name, address & telephone: <u>Carbone + Taft</u>		
Who should we contact when the permit is ready: <u>Eliza Griscan</u>		
Mailing address: <u>20 Morning St</u> <u>Portland ME 04101</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permits picked up. PHONE: <u>232-9854</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: <u>6/18/05</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

BUILDING PERMIT INSPECTION PROCEDURES

Please call ~~874-8703~~ or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- ~~N/A~~ Footing/Building Location Inspection: Prior to pouring concrete
- ~~N/A~~ Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final Certificate of Occupancy: Prior to any occupancy of the structure or use. **NOTE:** There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

_____ CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]
Signature of Applicant/Designee

Date 7/20/05

signature of inspections Official

Date

CBL: 021-E-23

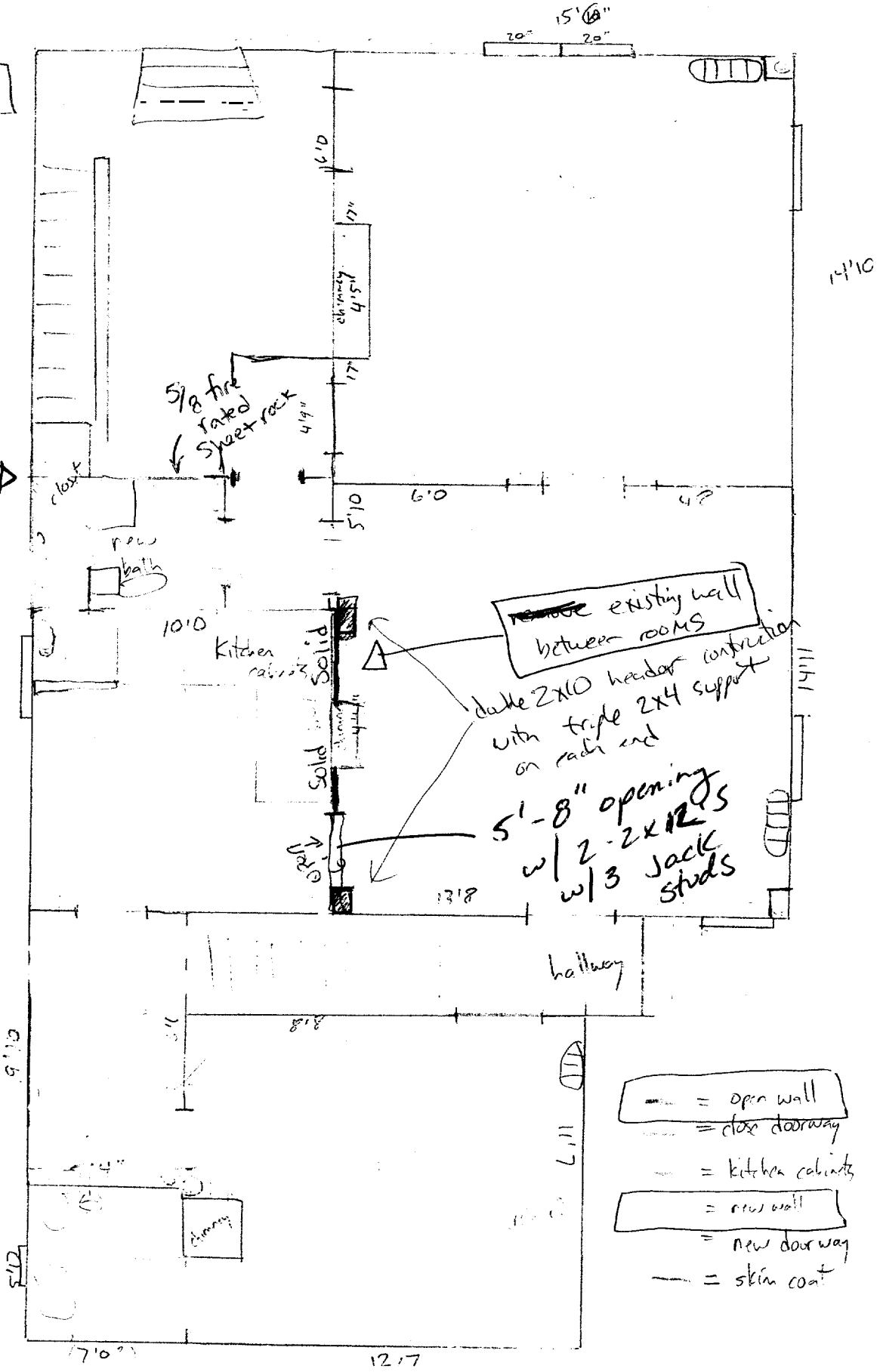
Building Permit #: 05-0883

1st Floor Smith
 #1

Floor 1

New wall/door to unit #2

- 2x4 construction insulated for noise new fire door
- fire grade sheetrock
- see drawing #4

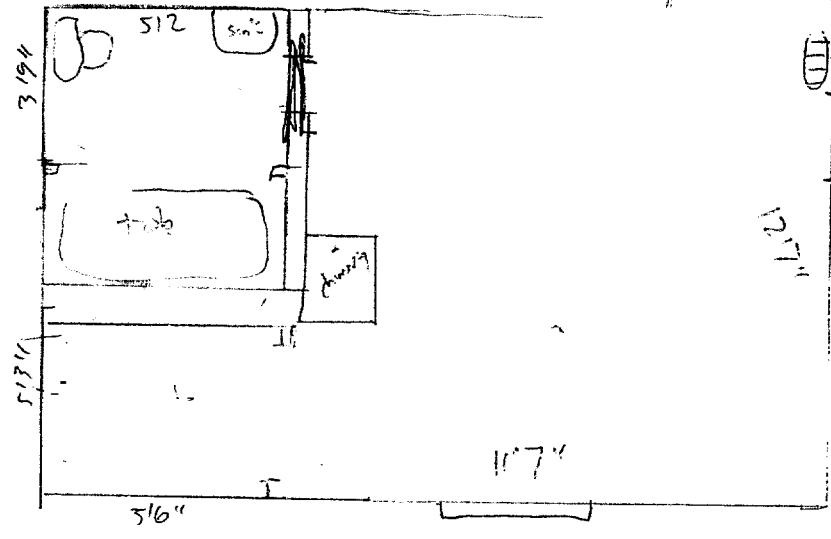
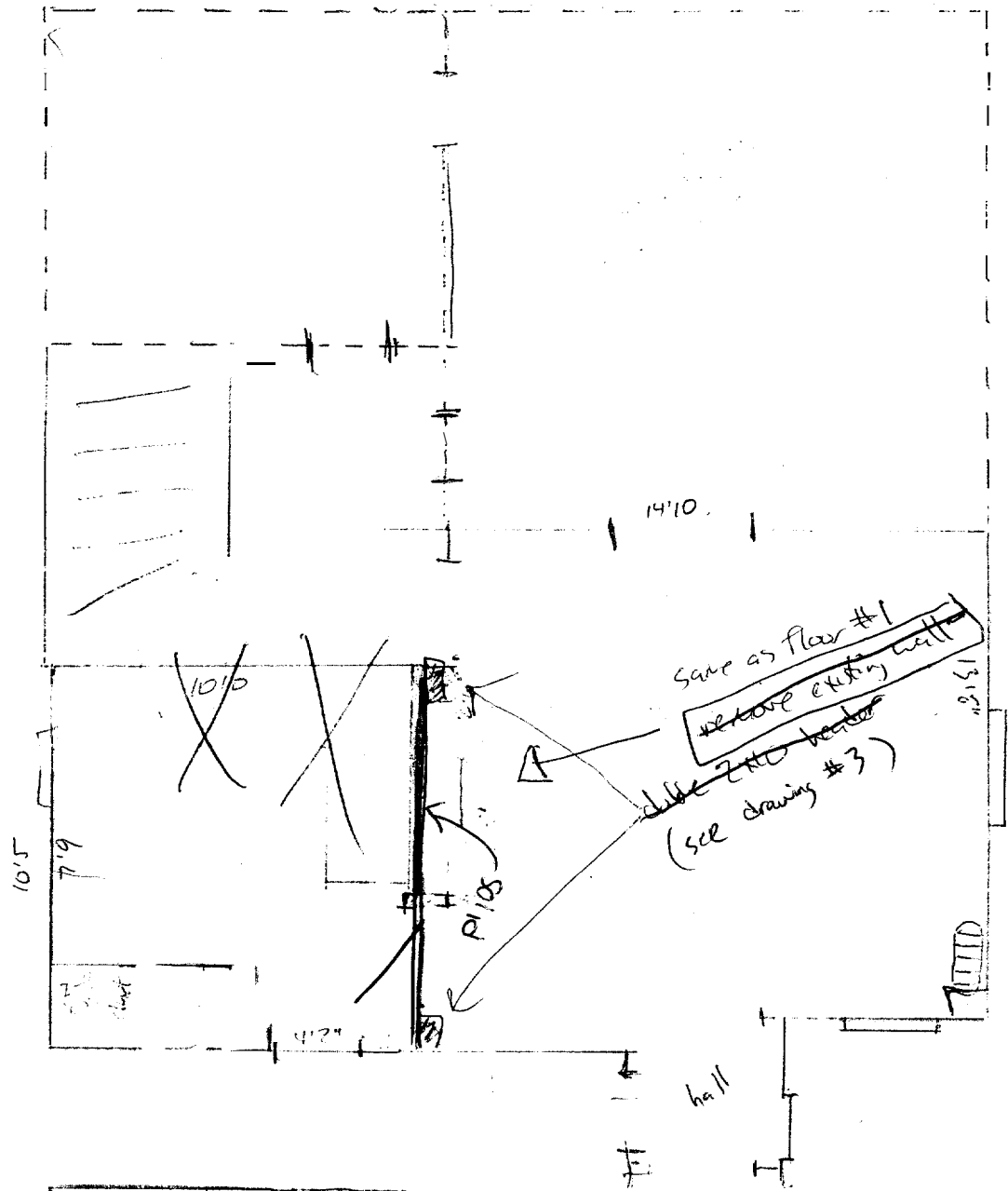


- - - = open wall
- = close doorway
- - - = kitchen cabinets
- = new wall
- = new doorway
- = skin coat

2nd Floor Suite

#2

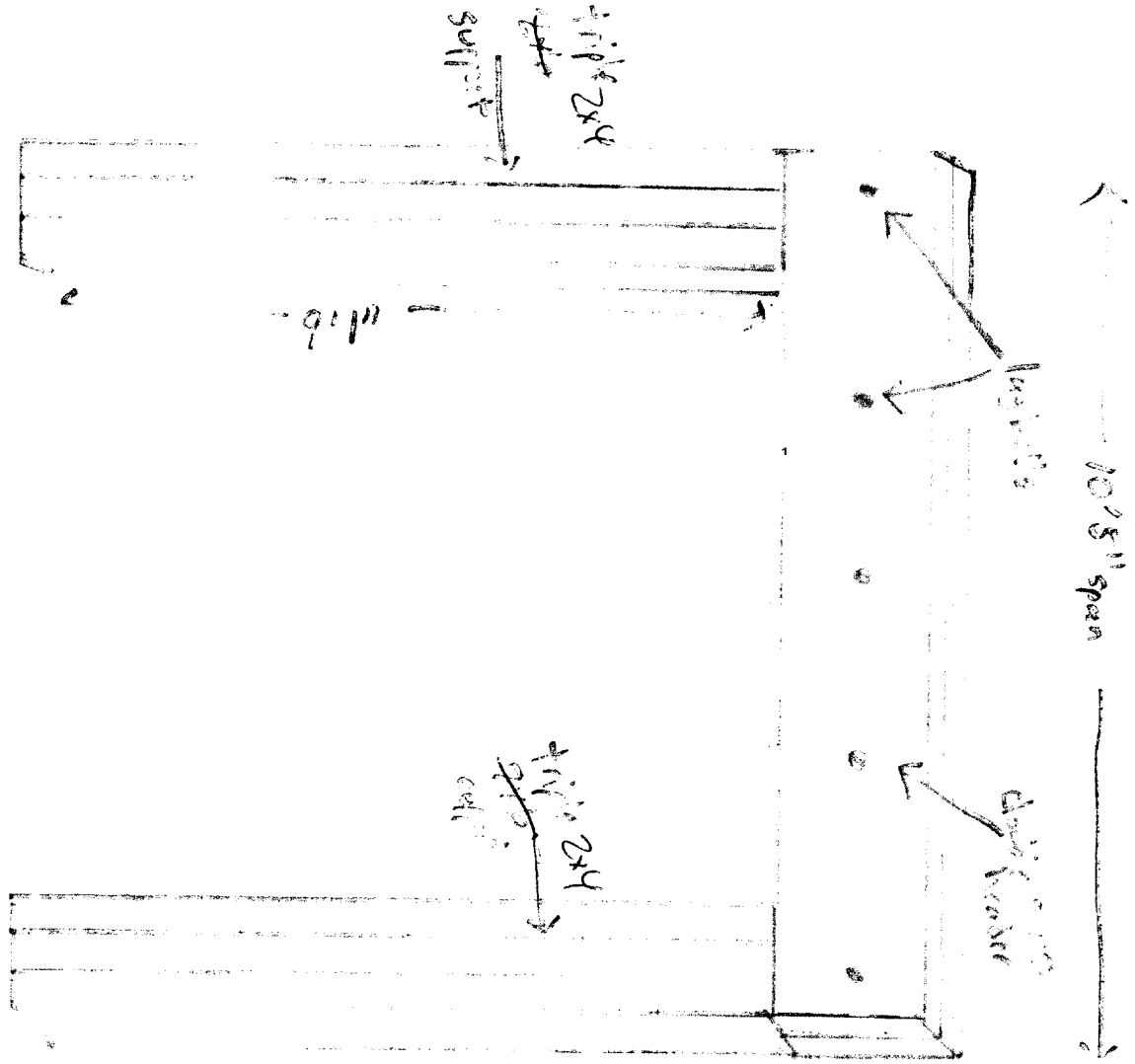
Floor 2



- - - - = open wall
- - - - = clay door
- - - - = kitchen cabinets
- - - - = skim coat/dry wall
- - - - = new door
- - - - = replace drop ceiling
- - - - = new wall

#3

Headers



⊛ lobby column support
to be added in
basement ⊛

~~...~~
... on dimensions...
... conditions.

please see next
~~...~~ →

#4

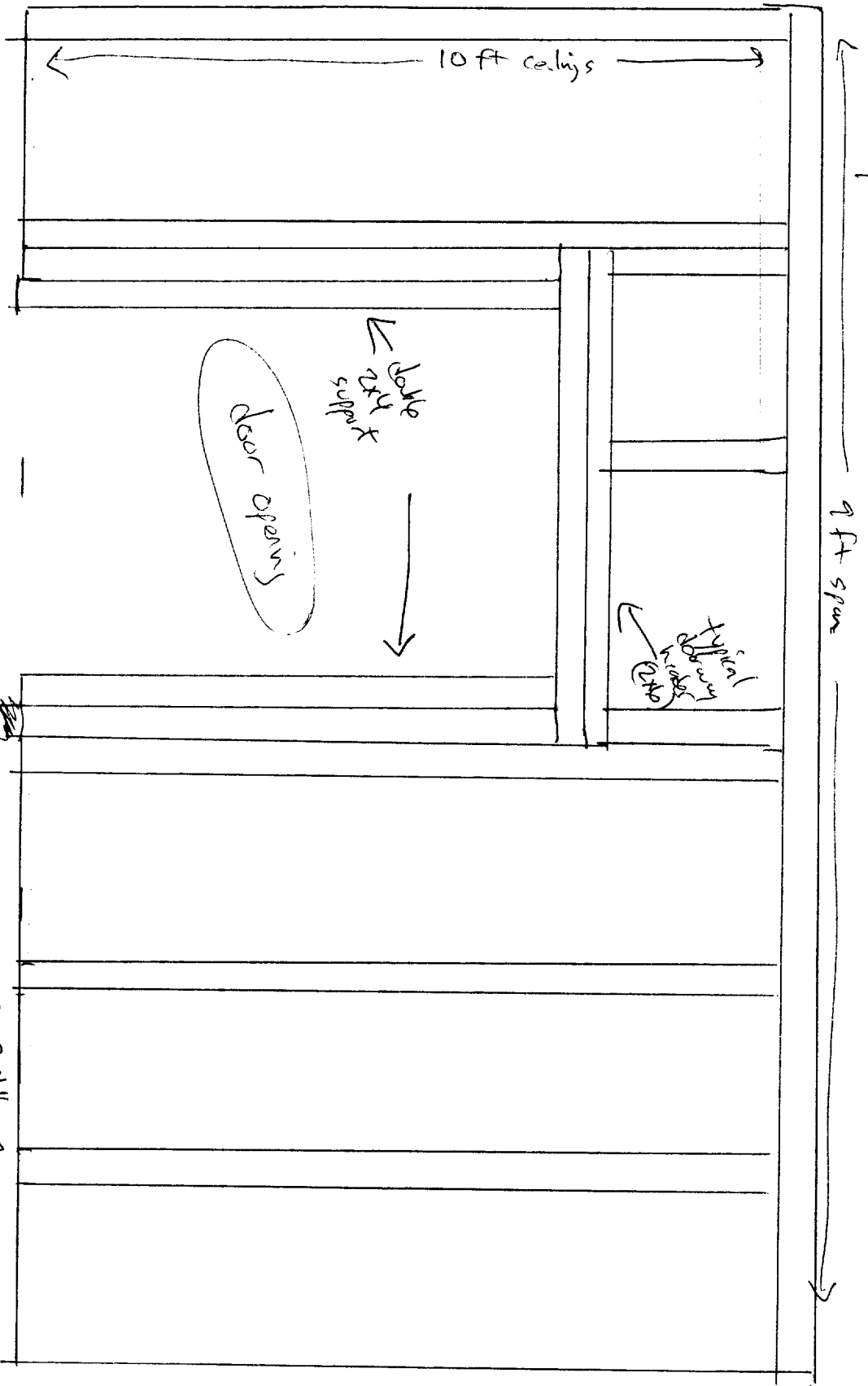
New interior wall

construction for additional bath - (see #1)
(typical interior wall construction with fire grade sheetrock)

2x4
interior
wall
construction
(non-load
bearing wall)

2x4
interior
wall

fire grade
sheetrock



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Permit No: 05-0883	Issue Date:	CBL: 021 E023001
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Location of Construction: 12 SMITH ST	Owner Name: DUNN ALICE L	Owner Address: 12 SMITH ST	Phone:
Business Name:	Contractor Name: Carbone & Taft Inc	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: B2b & R-6

Past Use: Multi Family 3 unit	Proposed Use: Multi Family 3 Unit / Interior renovations, add bathroom, open walls	Permit Fee: \$48.00	Cost of Work: \$3,000.00	CEO District: 1	Zone: using R-6 for Resid.
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Proposed project Description: <i>legal use: Three (3) residential dwelling units</i>	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R Type: 5B IBC 2003
	Signature: <i>ACK: P.R. 7-8-05</i>	Signature:

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 07/01/2005	Zoning Approval	
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Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
Date: <i>7/7/05</i>	Date:	Date:

CERTIFICATION

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SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

WALLS AND INTERIOR PARTITIONS, WOOD FRAMED

GA FILE NO. WP 3240

PROPRIETARY

RESILIENT CHANNEL

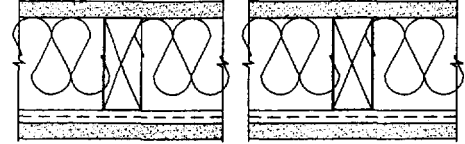
F0 16 54 FSTC SOUND

**GYPSUM WALLBOARD, RESILIENT CHANNELS,
MINERAL FIBER INSULATION, WOOD STUDS**

Resilient channels 24" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 16" or 24" o.c. with 1 1/4" Type S drywall screws. One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied parallel to channels with 1" Type S drywall screws 12" o.c. End joints backblocked with resilient channels. 3" mineral fiber insulation, 2.0 or 2.3 pcf, in stud space.

OPPOSITE SIDE: One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to studs with 1 1/4" Type W drywall screws 12" o.c.

Vertical joints staggered 48" on opposite sides. Sound tested with studs 16" o.c. and open face of mineral fiber insulation blankets toward resilient channel-side of stud space. (LOAD-BEARING)



Thickness: 5 3/8"
Approx. Weight: 7 psf
Fire Test: ULR1319-93, 94, 129;
8-10-66;
UL Design U311;
ULC Design U311
Field Sound Test: BBN 760903, 9-17-76

PROPRIETARY GYPSUM BOARD

United States Gypsum Company 5/8" SHEETROCK® Brand Gypsum Panels, FIRECODE® C Core

GA FILE NO. WP 3241

PROPRIETARY

RESILIENT CHANNEL

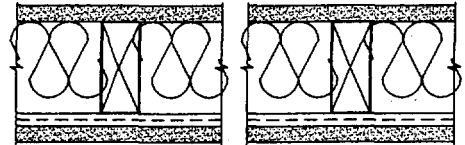
F0 16 54 FSTC SOUND

**GYPSUM WALLBOARD, RESILIENT CHANNELS,
MINERAL FIBER INSULATION, WOOD STUDS**

Resilient channels 24" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 16" or 24" o.c. with 1 1/4" Type S drywall screws. One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied parallel to channels with 1" Type S drywall screws 12" o.c. End joints backblocked with resilient channels. 3" mineral fiber insulation, 2.0 or 2.3 pcf, in stud space.

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Vertical joints staggered 48" on opposite sides. Sound tested with studs 16" o.c. and open face of mineral fiber insulation blankets toward resilient channel-side of stud space. (LOAD-BEARING)

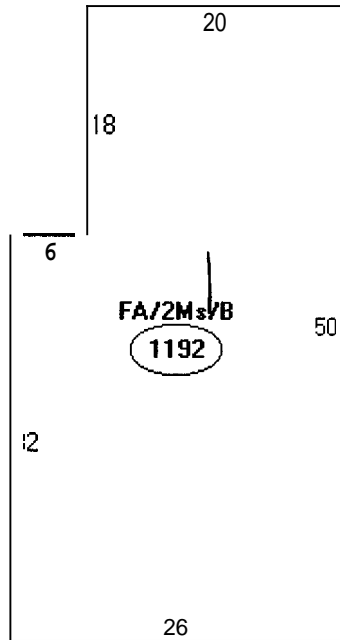


Thickness: 5 3/8"
Approx. Weight: 7 psf
Fire Test: Based on UL R3660-7,
11-12-87; UL R2717-61,
8-18-87; UL R7094,
10-24-90;
UL Design U 311
Sound Test: Estimated

PROPRIETARY GYPSUM BOARD

American Gypsum Company	5/8" FIREBLOC TYPE C
Celotex Corporation	5/8" FI-ROKPLUS™
Continental Gypsum	5/8" MoreRock® FireBar® Type C (CGTC-C)
G-P Gypsum	5/8" GyProc® Fireguard® C
James Hardie Gypsum	5/8" Hardirock® Brand Max "C"™ Gypsum Panels
Lafarge Gypsum	5/8" Firecheck® Type C
Pabco Gypsum	5/8" FLAME CURB® Super 'C'
Republic Gypsum	5/8" FIRE-ROC RG-C
Temple-Inland Forest Products Corporation	5/8" TG-C

This Space Left Blank



Descriptor/Area

A:FA/2Ms/B
1192 sqft



CITY OF PORTLAND, MAINE
Department of Building Inspections

20

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (IL) ____ Plumbing (IS) ____ Electrical (I2) ____ Site Plan (U2) ____

Other _____

CBL: _____

Check #: _____

Total Collected \$ _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy