



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

*entered 7/8/11
60*

2011 07 17 11

07/18/11

PROJECT NAME: *Etz Chaim Synagogue*

PROJECT ADDRESS: *265 Congress St* CHART/BLOCK/LOT: *21-E-19*

APPLICATION FEE: _____ (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

Build 57'10" x 11'3 1/2" addition (1 story)

CONTACT INFORMATION:

OWNER/APPLICANT

Name: *Etz Chaim Synagogue*

Address: *265 Congress St*
Portland

Work #: _____

Cell #: _____

Fax #: _____

Home #: _____

E-mail: _____

CONSULTANT/AGENT

Name: *Gary Beronsen*

Address: *265 Congress St.*
Portland

Work #: *329-9854*

Cell #: _____

Fax #: _____

Home #: _____

E-mail: _____

*Contractor:
Arte Garland
PO Box 1204
Gray, ME
347-0928*

Criteria for an Administrative Authorizations:

(see section 14-523(4) on pg .2 of this appl.)

Applicant's Assessment Planning Division

Y(yes), N(no), N/A

Y(yes), N(no), N/A

- | | | |
|---|-------------------|--|
| a) Is the proposal within existing structures? | <u><i>NO</i></u> | _____ |
| b) Are there any new buildings, additions, or demolitions? | <u><i>yes</i></u> | _____ |
| c) Is the footprint increase less than 500 sq. ft.? | <u><i>NO</i></u> | <i>addition greater than 500 sq ft requires site plan review</i> |
| d) Are there any new curb cuts, driveways or parking areas? | <u><i>NO</i></u> | _____ |
| e) Are the curbs and sidewalks in sound condition? | <u><i>yes</i></u> | _____ |
| f) Do the curbs and sidewalks comply with ADA? | <u><i>N/A</i></u> | _____ |
| g) Is there any additional parking? | <u><i>NO</i></u> | _____ |
| h) Is there an increase in traffic? | <u><i>NO</i></u> | _____ |
| i) Are there any known stormwater problems? | <u><i>NO</i></u> | _____ |
| j) Does sufficient property screening exist? | <u><i>yes</i></u> | _____ |
| k) Are there adequate utilities? | <u><i>yes</i></u> | _____ |
| l) Are there any zoning violations? | <u><i>NO</i></u> | _____ |
| m) Is an emergency generator located to minimize noise? | <u><i>N/A</i></u> | _____ |
| n) Are there any noise, vibration, glare, fumes or other impacts? | <u><i>NO</i></u> | _____ |

Signature of Applicant: <i>Arte Garland</i>	Date: <i>7/15/11</i>
--	-------------------------

Planning Division Use Only

Authorization Granted

Partial Exemption

Exemption Denied

Aug 3, 2011

Barbara Berlydt, Dev. Review Services Mgr

Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

**PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: Administrative Authorization**

Sec. 14-523 (b). Applicability

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

Criteria for an Administrative Authorizations:
(See Section 14-523 (4) on page 2 of this application)

Applicant's Assessment
Y(yes), N(no), N/A

Planning Division
Use Only

a) Is the proposal within existing structures?	N	
b) Are there any new buildings, additions, or demolitions?	Y	
c) Is the footprint increase less than 500 sq. ft.?	N	Addition greater than 500 square feet – a Level II site plan is required
d) Are there any new curb cuts, driveways or parking areas?	N	
e) Are the curbs and sidewalks in sound condition?	Y	
f) Do the curbs and sidewalks comply with ADA?	N/A	
g) Is there any additional parking?	N	
h) Is there an increase in traffic?	N	
i) Are there any known stormwater problems?	N	
j) Does sufficient property screening exist?	Y	
k) Are there adequate utilities?	Y	
l) Are there any zoning violations?	N	
m) Is an emergency generator located to minimize noise?	N/A	
n) Are there any noise, vibration, glare, fumes or other impacts?	N	

The request for an administrative authorization for 265 Congress Street was denied by Barbara Barhydt on 8-4-11. The proposed addition exceeds the 500 square foot limit, so a Level II: Site Plan application is required.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning and Urban Development Department
Penny St. Louis, Director

Planning Division
Alexander Jaegerman, Director

August 3, 2011

Gary Beronson 265 Congress Street Portland, ME	Arte Gailand P.O Box 1204 Gray, ME
--	--

RE: Etz Chaim Synagogue, 265 Congress Street

Dear Mr. Beronson and Mr. Gailand:

Thank you for your recent administrative authorization application for an addition to the Etz Chaim Synagogue. I must deny your request for an administrative authorization and advise you to apply for a Level II Site Plan. The proposed addition exceeds the maximum footprint of 500 square feet allowed under the regulations for an administrative authorization. Attached please find the Level II application. The Site Plan ordinance is Article V of the Land Use Code and may be found on the City's web site <http://www.portlandmaine.gov/planning/default.asp>

Thank you for your attention to this matter and if you have any questions, please contact me at 874-8699.

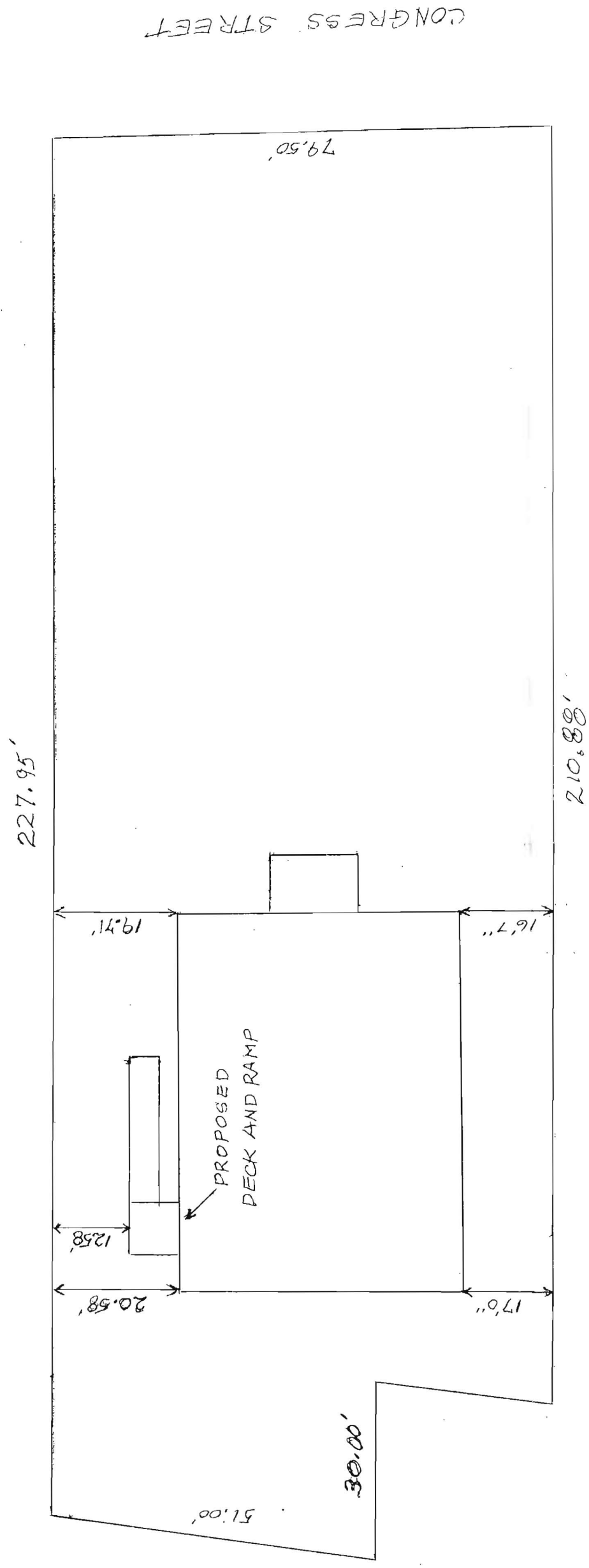
Sincerely,

Barbara Barhydt
Development Review Services Manager

Electronic Distribution

cc: Penny St. Louis, Director, Department of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator

PLOT PLAN
ETZ CHAM SYNOGOGUE
265 CONGRESS STREET
PORTLAND, MAINE
PAGE 1 OF 6 PAGES



SCALE 1 inch = 20 FEET

RAMPED ENTRANCE ↓

CHAPEL

MEETING ROOM

SERVING COUNTER

STORAGE CHAIRS TABLES

NEW KITCHEN

COAT CLOSET

NEW WOMEN'S TOILET

NEW MENS TOILET

Floor Plan
Scale 1/8" = 1'

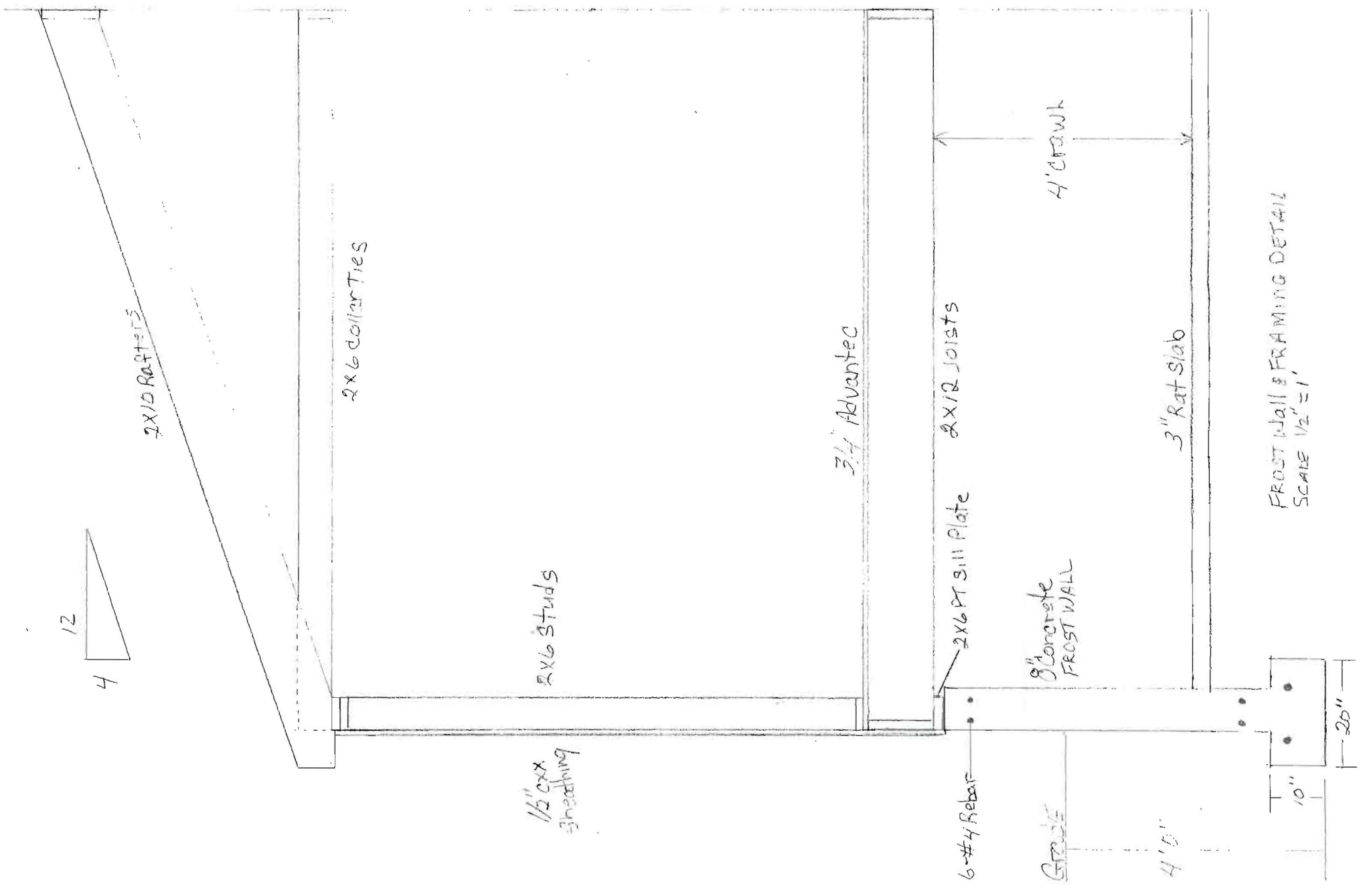
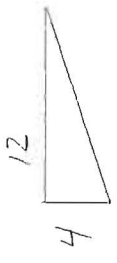
Floor Plan - Proposed 57'10" x 11'3 1/2" Addition
Scale 1/8" = 1'
ETZ CHAM SYNAGOGUE
265 Congress St.
Page 3 of 6

11'3 1/2"

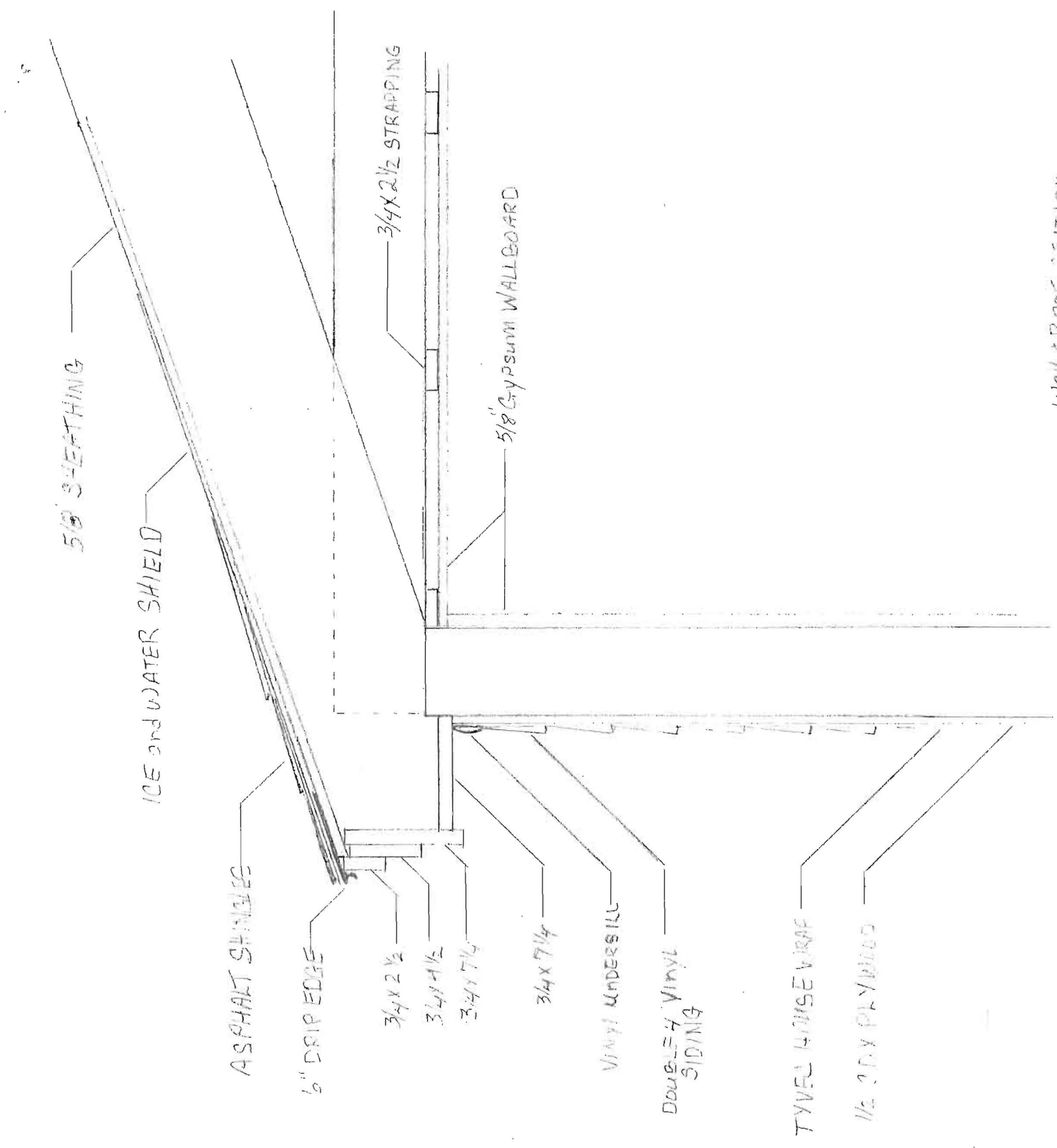
5'0"

57'10"

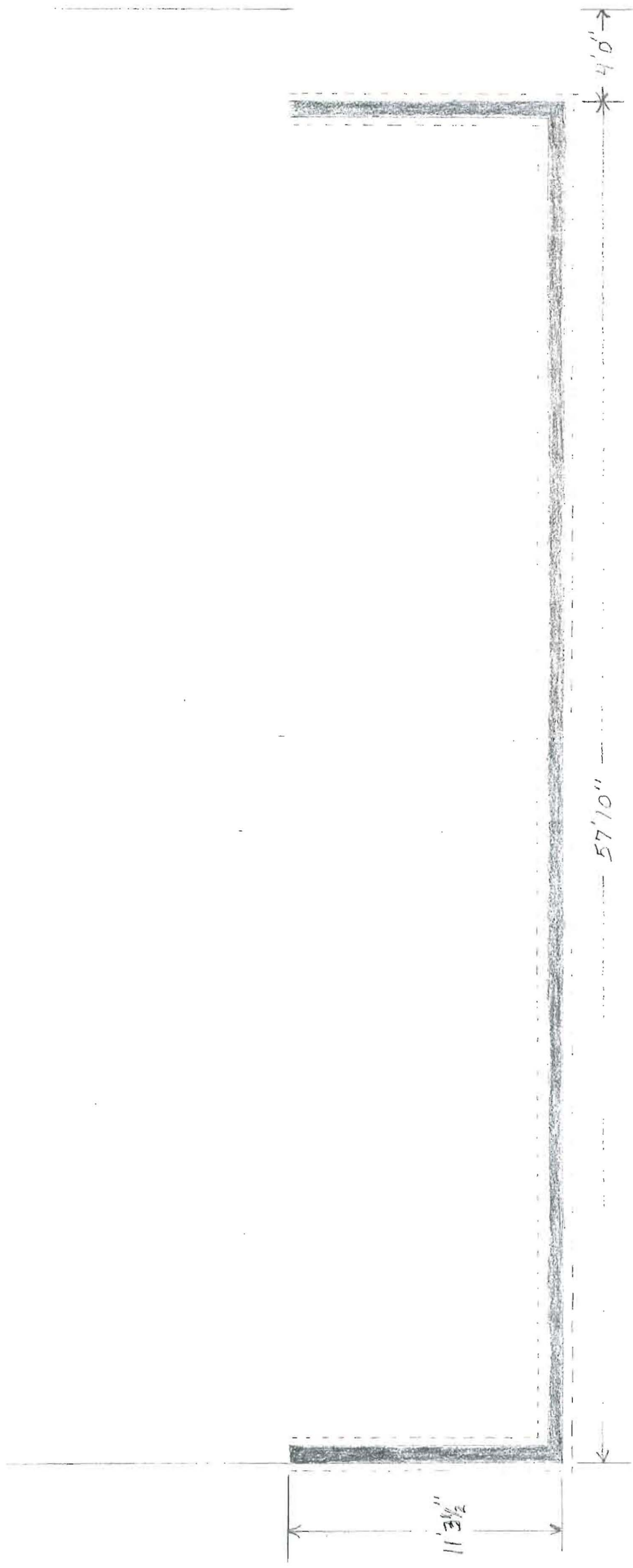
5'0"



FROST WALL & FRAMING DETAIL
SCALE 1/2" = 1'



WALL & ROOF SECTION
EXT. TRIM & SIDING DETAIL
SCALE 1/2" = 1'
ETZ CHAIN SYNDOGONE
265 CONGRESS ST.
Page 7 of 6



Frost wall & Footing layout

Scale 3/16" = 1'

Page 6 of 6