SMITH STREET
(PAVED PUBLIC 49.5' WIDE)

EXISTING GRANITE MONUMENT, 6" SQUARE W/BRASS PLUG & FLASHER INSCRIBED CITY OF PORTLAND ROW #2239

EXISTING RAILROAD SPIKE

APPROXIMATE ZONE LINE LOCATION

RESIDENTIAL-6 (R-6) ZONE
BUSINESS-B2 (B2B) ZONE

N/F
ELIZA GRISCOM
22883/202
TAX MAP 21 BLOCK E LOT 23

N/F
MAINE MEDICAL CENTER
14026/83
TAX MAP 21 BLOCK E LOT 24

PAVED PARKING LOT

N/F
MAINE MEDICAL CENTER
14026/83
TAX MAP 21 BLOCK E LOT 15

N/F
MARC D. RICCI
12209/113
TAX MAP 21 BLOCK E LOT 29

EXISTING 3/4" IRON PIPE, FLUSH

NEW RECESSED LIGHT FIXTURE IN COVERED PORCH CEILING SEE ARCHITECTURAL PLANS

NEW 2"X2" CONCRETE/STONE PIER 1'x1' BRICK COLUMN ABOVE

OWNERSHIP OF FENCES UNKNOWN (TYPICAL)

EXISTING WOOD STRUCTURE FENCE

APPARENT BUILDING ENCROACHMENT

BICYCLE RACK FOR SIX BIKES DERO DOWNTOWN FREE STANDING BICYCLE RACK

EXISTING 5/8" REBAR, FLUSH, W/CAP. TITCOMB 1273

COORDINATE ALL WORK IN CONGRESS STREET WITH PORTLAND PUBLIC WORKS PRIOR TO CONSTRUCTION

COORDINATE NEW WATER SERVICE INSTALLATION WITH PORTLAND WATER DISTRICT PRIOR TO CONSTRUCTION

CURB CUT TO BE CLOSED AFTER INSTALLATION OF WATER LINE GRANITE BUGS TO BE RETURNED TO THE CITY, CITY WILL PROVIDE NECESSARY GRANITE CURBING TO CLOSE THE CURB CUT COORDINATE ALL WORK WITH PORTLAND PUBLIC WORKS

PAVEMENT SAWCUT / LIMIT OF DISTURBANCE LINE TYP. REPAIR PAVEMENT AFTER WATER LINE INSTALLAITON MATCH EXISTING PAVEMENT GRADES

PAVEMENT SAWCUT TYP. REPAIR PAVEMENT AFTER INSTALLATION OF WATER MAIN

LIMIT OF DISTURBANCE LINE TYP.

N/F
ROBERT J. GRESIK
15019/318
TAX MAP 21 BLOCK E LOT 14

CONCRETE PAD

DECK

RAMP

CONCRETE WALK

BRICK WALKWAY

FIRE SERVICE

GATE

CONCRETE PAD

PROPOSED BUILDING ADDITION 513 S.F. F.F.E. = 71.50

PROP. ELEV. PIT

PUMP

CONNECT ELEVATOR PUMP OUTLET TO EXISTING BUILDING ROOF DRAIN SYSTEM COORDINATE LOCATION PRIOR TO CONSTRUCTION

PROPANE TANKS

FIRE DEPARTMENT CONNECTION, CONNECTION TO MEET PORTLAND FIRE DEPARTMENT STANDARDS, COORDINATE WITH SPRINKLER CONTRACTOR PRIOR TO CONSTRUCTION

RE-SET BRICK WALKWAY AFTER INSTALLATION OF WATER MAIN MATCH EXISTING WALKWAY ELEVATIONS

EXISTING COVERED PORCH ENTRY

21" SPRUCE TREE MAY REQUIRE REMOVAL FOR INSTALLATION OF NEW WATER SERVICE. REPLACE TREE WITH SERBIAN SPRUCE 5-6' HEIGHT

NEW WALL MOUNTED EXTERIOR LIGHT FIXTURE LITHONIA WSQ LED WITH 1 MODULE 3 LEDS 1 LAMP RATED LUMENS/LAMP 210 350MA DRIVER (MOUNTING HEIGHT 6'-0")

ETZ CHAIM TEMPLE MAINE JEWISH MUSEUM 3 STORY BRICK 2,840 S.F. F.F.E. = 71.50

BENCHMARK TOP CORNER OF STEPS ELEVATION: 71.19'

EXISTING CHAIN LINK FENCE

NEW WALL MOUNTED EXTERIOR LIGHT FIXTURE LITHONIA WSQ LED WITH 1 MODULE 3 LEDS 1 LAMP RATED LUMENS/LAMP 210 350MA DRIVER (MOUNTING HEIGHT 6'-0")

BRICK WALKWAY

CONNECT 4" UNDERDRAIN TO EXISTING 4" ROOF LEADER COORDINATE CONNECTION LOCATION PRIOR TO CONSTRUCTION

RE-LOCATE EXISTING ELECTRIC METER COORDINATE WITH CENTRAL MAINE POWER PRIOR TO CONSTRUCTION

NEW BRICK WALKWAY

NEW BRICK WALKWAY

LIMIT OF DISTURBANCE LINE TYP.

EXISTING OVERHEAD AND UNDERGROUND UTILITIES TO BE RELOCATED, OWNER TO COORDINATE RELOCATIONS WITH CENTRAL MAINE POWER PRIOR TO CONSTRUCTION

MUSEUM SIGN

N/F
ROBERT J. GRESIK
15019/318
TAX MAP 21 BLOCK E LOT 14

EXISTING SHED TO BE REMOVED

CONCRETE PAD

PROPOSED BUILDING ADDITION 641 S.F. F.F.E. = 71.50

5' SIDE SETBACK TYP.

5'X5' CONCRETE PAD

CRUSHED STONE

ROOF OVERHANG

APPARENT BUILDING ENCROACHMENT

INSTALL CLEANOUT TYP. 2 LOCATIONS

LIMIT OF DISTURBANCE LINE TYP.

4" UNDERDRAIN, TYPICAL SEE DETAIL

PAVED PARKING

CONCRETE PAD

N/F
EAST END STUDIOS, LLC
13166/330
TAX MAP 21 BLOCK E LOT 18

CONGRESS STREET
(PAVED PUBLIC VARIABLE WIDTH)

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	BOUNDARY LINE/R.O.W.	
	ABUTTER LINE/R.O.W.	
	DEED LINE/ROW	
	TIE LINE	
	SETBACK	
	EASEMENT	
	CENTERLINE	
	MONUMENT	
	IRON PIPE/ROD	
	DRILLHOLE	
	BUFFER PIN	
	DEED CALL	
C1/L1	CURVE/LINE NO.	C1/L1
	BENCHMARK	
	SURVEY CONTROL	
	BUILDING	
	EDGE PAVEMENT	
	PAVEMENT PAINT	
	CURBLINE	
—122— —120—	CONTOURS	+124
x30.20	SPOT GRADE	+3020
	CHAIN LINK FENCE	
	WIRE FENCE	
	STOCKADE FENCE	
G	GAS	G
	GAS GATE VALVE	
	GAS METER	
W	WATER	W
	WATER GATE VALVE	
	WATER SHUT OFF	
S	SEWER	S
	SEWER MH	
SD	STORM DRAIN	SD
UD	UNDERDRAIN	UD
	CATCH BASIN	
	DRAINAGE MH	
OHU	OVERHEAD UTILITY	OHU
UGU	UNDERGROUND UTILITY	UGU
	TRANSFORMER PAD	
	ELECTRICAL MANHOLE	
	TELEPHONE MANHOLE	
	LIGHT POLE/WALL	
	UTILITY POLE	
	GUY	
	FILTER BARRIER	

DEVELOPMENT CALCULATIONS

|	EXISTING	PROPOSED
BUILDING AREA	2,840 S.F.	4,086 S.F.
IMPERVIOUS AREA	6,066 S.F.	7,328 S.F.
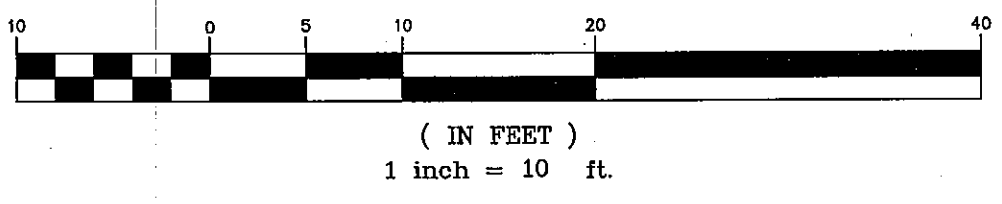
GENERAL NOTES

1. THE RECORD OWNER OF THE PARCEL IS CONGREGATION ETZ CHAIM BY DEED DATED SEPTEMBER 30, 1938 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 1484, PAGE 103.

2. THE PROPERTY IS DEPICTED AS LOT 19, IN BLOCK E ON THE CITY OF PORTLAND TAX MAP 21 AND IS LOCATED IN BOTH THE RESIDENTIAL-6 (R-6) ZONE AND THE BUSINESS-B2 (B2B) ZONE.

3. SPACE AND BULK CRITERIA FOR THE RESIDENTIAL-6 (R-6) ZONING DISTRICT ARE AS FOLLOWS:
   MINIMUM LOT SIZE: PLACES OF ASSEMBLY   7,500 SQUARE FEET (SMALL)
   MINIMUM STREET FRONTAGE: 40 FEET
   MINIMUM FRONT YARD: 10 FEET
   MINIMUM SIDE YARD: 10 FEET
   MINIMUM REAR YARD: 20 FEET
   MAXIMUM BUILDING HEIGHT: 45 FEET
   MAXIMUM LOT COVERAGE: 50%
   * SEE ORDINANCE FOR MORE PARTICULAR INFORMATION

4. SPACE AND BULK CRITERIA FOR THE BUSINESS-B2 (B2B) ZONING DISTRICT ARE AS FOLLOWS:
   MINIMUM LOT SIZE: NONE
   MINIMUM STREET FRONTAGE: 50 FEET
   MINIMUM FRONT YARD: NONE
   MINIMUM SIDE YARD: NONE
   MINIMUM REAR YARD: 20 FEET
   MAXIMUM BUILDING HEIGHT: 50 FEET
   MAXIMUM LOT COVERAGE: 50%
   * SEE ORDINANCE FOR MORE PARTICULAR INFORMATION

5. TOTAL AREA OF PARCEL IS APPROXIMATELY 17,130 SQUARE FEET AS DEPICTED ON PLAN REFERENCE 6A.

6. BOUNDARY INFORMATION DEPICTED HEREON IS AS DEPICTED ON PLAN REFERENCE 6A. SEBAGO TECHNICS, INC. HAS NOT PERFORMED ANY RECORDS RESEARCH OR PERFORMED AN INDEPENDENT BOUNDARY SURVEY. THE BOUNDARIES HAVE BEEN TIED TO FOUND MONUMENTATION. TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON FIELD WORK PERFORMED BY SEBAGO TECHNICS, INC. IN MARCH 2012.

7. PLAN REFERENCES:
   A. "BOUNDARY SURVEY AT 265 CONGRESS STREET, PORTLAND, MAINE MADE FOR WINTON SCOTT ARCHITECTS, 5 MILK ST, PORTLAND, MAINE", DATED MAY 26, 2008 AND REVISED THROUGH JUNE 15, 2009 BY OWEN HASKELL, INC. JOB NO. 2008-064 P.

8. PLAN ORIENTATION IS GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE 1802-NAD83. ELEVATIONS DEPICTED HEREON ARE BASED ON DUAL FREQUENCY GPS OBSERVATIONS AND HAVE BEEN CONVERTED TO THE THE CITY OF PORTLAND DATUM. THE CONVERSION FROM NAVD88 TO NGVD29 IS DERIVED FROM THE U.S. ARMY CORPS. OF ENGINEERS SOFTWARE CORPSCON 6.01 AND IS -0.72 FEET IN THIS LOCATION. THE CONVERSION FROM NGVD29 TO THE CITY OF PORTLAND DATUM IS -0.03 FEET.

9. UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED IN THE FIELD AND AS MARKED BY DIGSMART OF MAINE IN MARCH 2012. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS AND/OR DESIGNERS NEED TO CONTACT DIG-SAFE SYSTEMS, INC. (1-888-DIG-SAFE) AND FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION AND/OR EXCAVATION.

10. THE LOCUS PROPERTY AS DEPICTED HEREON DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD AREA AS DELINEATED ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF PORTLAND, MAINE, CUMBERLAND COUNTY, COMMNITY-PANEL NUMBER 230051 0013 B AND 230051 0014B, HAVING AN EFFECTIVE DATE OF JULY 17, 1986. THE LOCUS FALLS WITHIN AN AREA IDENTIFIED AS UNSHADED ZONE C, AREAS OF MINIMAL FLOODING.

11. STREET AND ABUTTER INFORMATION DEPICTED HEREON ARE FROM PLAN REFERENCE 6A.

GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.
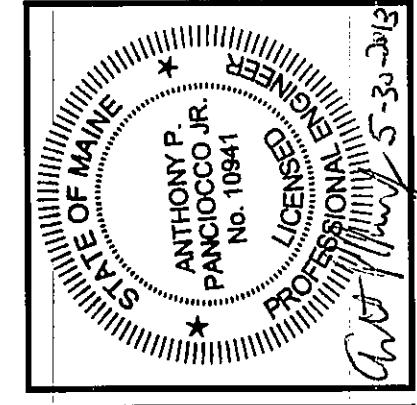
REV:			STATUS:	SUBMITTED FOR SKETCH PLAN REVIEW
B	6-29-2012	JRS		SUBMITTED FOR SITE PLAN REVIEW
C	8-3-2012	JRS		REVISED PER CITY REVIEW COMMENTS DATED 10-1-2012
D	10-23-2012	JRS		REV 1 - SITE PLAN RESUBMISSION
E	01-25-2013	JRS		REVISED PER CITY REVIEW COMMENTS
F	02-19-2013	JRS		REVISED PER 1-22-3 RESUBMISSION STAFF REVIEW
G	02-20-2013	JRS		REVISED PER STAFF REVIEW COMMENTS
	05-30-2013	JRS		

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USERS SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

PROJECT NO.	FIELD BOOK	DRAWN
11325	N/A	APP
		CHKD
		JRS
	DESIGN	
	JRS	

SITE, GRADING & UTILITY PLAN
OF:
ETZ CHIAM SYNAGOGUE
267 CONGRESS STREET
PORTLAND, MAINE
FOR:
JOHN H. LEASURE ARCHITECT, INC.
SIX Q STREET
SOUTH PORTLAND, ME 04106

DATE	SCALE
6-27-2012	1"=10'

SHEET 1 OF 3