

one solution does not have a zoning module
 comments submitted by e-mail
 comments submitted by U.I. 2/11/13
 comments submitted in U.I. 2/15/13

City of Portland
 Development Review Application
 Planning Division Transmittal form

Application Number: 2012-556 Application Date: 8/10/2012 12:00:00 AM

CBI: 021-E-019-001

Project Name: 267 Congress St.; Conditional Use and Site Plan

8/15/12

Address:

Project Description: Conditional Use for Chaim Synagogue Single Story Addition & Exterior stair addition

Zoning:

Other Reviews Required:
 Review Type:

Distribution List:

<input type="checkbox"/> Planner	Nell	<input type="checkbox"/> Parking	John Peverada
<input checked="" type="checkbox"/> Zoning	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic Engineer	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Civil Engineer	David Senus	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Chris Pirone	<input type="checkbox"/> Inspections	Tammy Munson
<input type="checkbox"/> City Arborist	Jeff Tarling	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> DRC Coordinator	Phil DiPierro
		<input type="checkbox"/> Outside Agency	

Comments needed by (7 days later): Wednesday, August 22, 2012

using 14-433

zoning req: No closer than 5' from
 The Western property line (side setback)
REAR setback: no closer than 20' as
 shown

MEMORANDUM

To: FILE

From:

Subject: Application ID: 2012-556

Date: 2/15/2013

Comments Submitted by: Marge Schmuckal/Zoning on 2/15/2013

Places of Assembly are allowed I under conditional uses to the Planning Board in the R-6 zone in which the Synagogue is located. The lot is on Congress Street which is considered to be a collector or arterial road. My mathematics for the size of the place of assembly including all three floors is 3,696 square feet. The maximum floor area for a medium size place of assembly is 4,500 square feet. This is considered to be a medium sized place of assembly. The minimum lot size for a medium place of assembly in the R-6 Zone is 15,000 square feet. The given survey lot size is 17,882 square feet. This medium sized place of assembly is meeting all the requirements of a medium sized place of assembly in the R-6 zone.

Section 14-389 of the Nonconformity section of the Land Use Zoning Ordinance states that if a structure is nonconforming as to the requirements for off-street parking (which I believe this is), it shall not be enlarged or altered to created additional dwelling units, OR SEATS AS IN THE CASE OF PLACES OF PUBLIC ASSEMBLY It is noted that there are no additional seats being proposed for the place of assembly. The plans do show approximately 337 new square footage in a meeting area, but no new seats. Therefore, I have concluded that the additions that are being proposed do not trigger a requirement to show any additional parking spaces.

Marge Schmuckal
Zoning Administrator

Sec. 14-388. Reserved.

*Editor's Note—Per Council Order 125-09/10 passed on January 4, 2010
Section 14-388 (Nonconformity as to the area of dwelling) was repealed in its
entirety.

Sec. 14-389. Nonconformity as to off-street parking.

A building or structure which is nonconforming as to the requirements for off-street parking shall not be enlarged or altered to create additional dwelling units, or seats, as in the case of places of public assembly, or floor area as in the case of industrial, business, manufacturing, institutional or recreational buildings, or accommodations as in the case of hotels, tourist homes and tourist courts, unless required off-street parking is provided for such addition or enlargement.

(Code 1968, § 602.17.I)

Sec. 14-390. Nonconformity as to off-street loading.

A building which is nonconforming as to the requirements for off-street loading shall not be enlarged or added to, unless off-street loading is provided sufficient to satisfy the requirements of this article for both the addition or enlargement and the original building or structure.

(Code 1968, § 602.17.J)

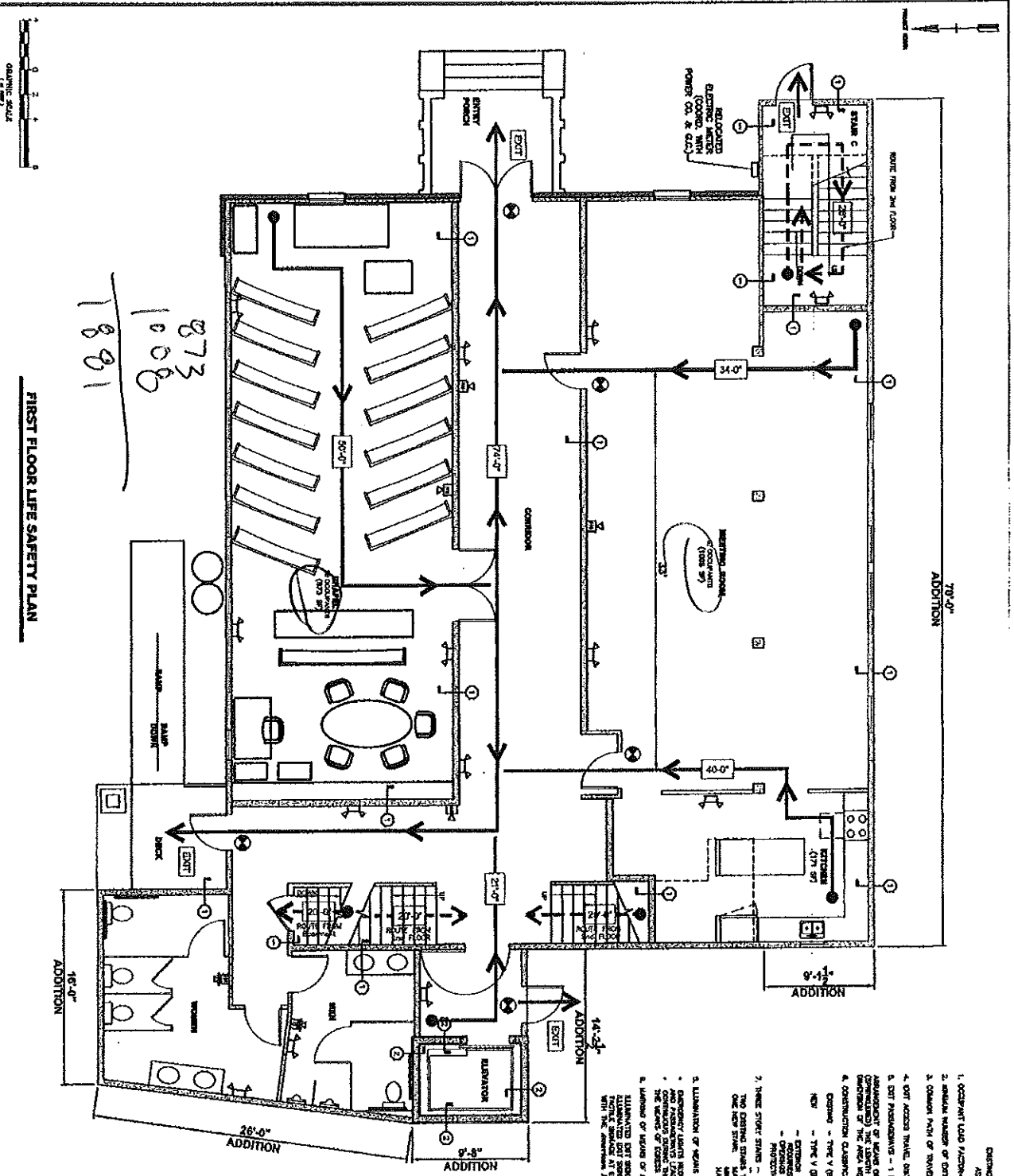
Sec. 14-391. Nonconformity as to number of dwelling units.

(a) Purpose. The purpose of this provision is to establish a process whereby certain dwellings which contain more dwelling units than the number permitted by the applicable provisions of the Land Use Code may be recognized as legal, nonconforming uses. This provision shall not apply to rooming units.

(b) Approval by Zoning Administrator.

(1) Application. Application for validation of such nonconforming dwelling units shall be on a form provided by the Division of Housing and Neighborhood Services, Inspection Services Office. The application fee will be \$300.00 for each dwelling unit which is the subject of the application, and will be accompanied by: (i) a plan, drawn to scale, which shows the location of the

1st floor
 most current printed 2/15/13

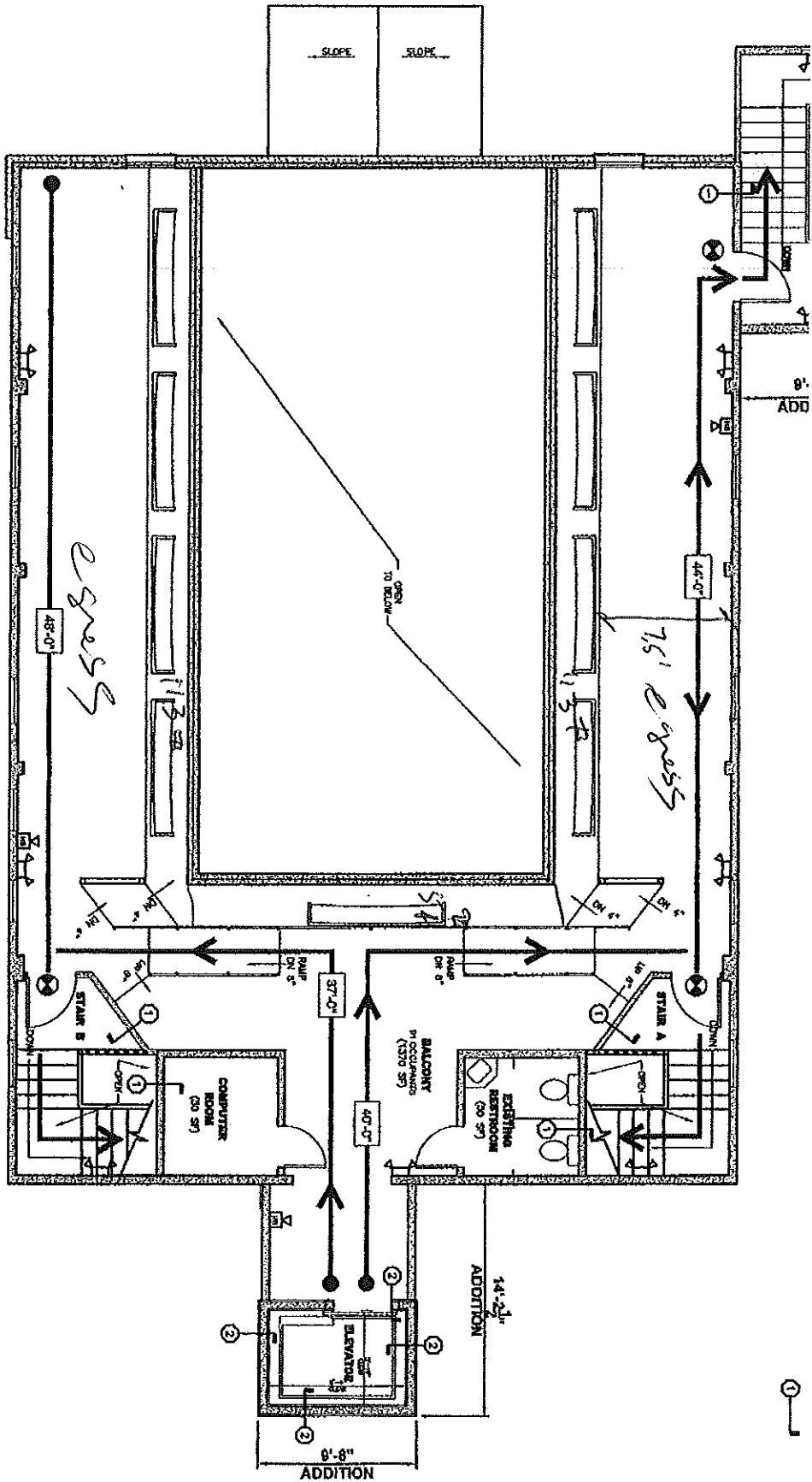


FIRST FLOOR LIFE SAFETY PLAN

873
 1008
 1881

1881
 1535
 280
 3696
 Assembly Room

- SYMBOLS:**
- DESIGN YOUR FIRST FLOOR OF WORKSPACE
- ASSUMED OCCUPANCY - 50/SQ FT
- OCCUPANT LOAD FACTOR - ISS COMBINATION WITHOUT FLOOR SEATING (24 SQUARE FEET NET PER OCCUPANT)
 - MINIMUM WIDTH OF DOORS - (1) 36" (2) 48" (3) 60" (4) 72" (5) 84" (6) 96" (7) 108" (8) 120" (9) 144" (10) 168" (11) 192" (12) 216" (13) 240" (14) 270" (15) 300" (16) 324" (17) 360" (18) 396" (19) 432" (20) 468" (21) 504" (22) 540" (23) 576" (24) 612" (25) 648" (26) 684" (27) 720" (28) 756" (29) 792" (30) 828" (31) 864" (32) 900" (33) 936" (34) 972" (35) 1008" (36) 1044" (37) 1080" (38) 1116" (39) 1152" (40) 1188" (41) 1224" (42) 1260" (43) 1296" (44) 1332" (45) 1368" (46) 1404" (47) 1440" (48) 1476" (49) 1512" (50) 1548" (51) 1584" (52) 1620" (53) 1656" (54) 1692" (55) 1728" (56) 1764" (57) 1800" (58) 1836" (59) 1872" (60) 1908" (61) 1944" (62) 1980" (63) 2016" (64) 2052" (65) 2088" (66) 2124" (67) 2160" (68) 2196" (69) 2232" (70) 2268" (71) 2304" (72) 2340" (73) 2376" (74) 2412" (75) 2448" (76) 2484" (77) 2520" (78) 2556" (79) 2592" (80) 2628" (81) 2664" (82) 2700" (83) 2736" (84) 2772" (85) 2808" (86) 2844" (87) 2880" (88) 2916" (89) 2952" (90) 2988" (91) 3024" (92) 3060" (93) 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3rd floor

280A
5A
113



PLAN ORIENTED NORTH

MEMORANDUM

To: FILE

From:

Subject: Application ID: 2012-556

Date: 2/1/2013

Comments Submitted by: Marge Schmuckal/Zoning on 2/1/2013

On 1/23/2013 I received revised plans for the synagogue. Those new plans revised the size of the additions especially the addition on the western side of the building. The plans show the addition to be 5.2' instead of the previous approximate 2 foot at the closest point to the existing property line. That revision allows me to us to approve the project without an appeal using 14-433. An appeal to the Zoning Board of Appeals is not required. So lam approving the 5.2 foot setback.

This project still needs to be approved under a Conditional Use Appeal to the Planning Board, and is now able to move forward to that end. It appears that all other R-6 Zoning requirements are being met.

Marge Schmuckal
Zoning Administrator

Marge Schmuckal - 267 Congress Street - Synagogue

From: Marge Schmuckal
To: Helen Donaldson
Date: 1/28/2013 10:24 AM
Subject: 267 Congress Street - Synagogue
CC: Barbara Barhydt

Hi Nell,

At the end of last week I received an appeal application for a setback variance for 267 Congress Street. It appears that they reworked their project and lessened the size of the side addition. Now their side setbacks are 5.2' & 5.3' to the existing side property line. That doesn't require an appeal, Section 14-433 allows me to grant a setback of not less than 5'. So I will be putting together a new zoning memo to you reflecting that change. This still will need a conditional use appeal for the expansion of their Institutional use.

Marge

Marge Schmuckal - 267 Congress Street

From: Marge Schmuckal
To: Helen Donaldson
Date: 10/10/2012 4:57 PM
Subject: 267 Congress Street

There is no module to input my zoning comments in One Solution, so here is an e-mail:

267 Congress Street - 021-E-019
2012-556 R-6 & B-2b Zones
10/10/2012

I have done my initial review on the additions to the ETZ Chiam Synagogue. The property is located in two separate zones. The front open land is located within the B-2b zone. The building at the rear of the property is located entirely in the R-6 Residential Zone. The R-6 zone requires conditional uses such as the synagogue to go before the Planning Board for any expansion of building and use.

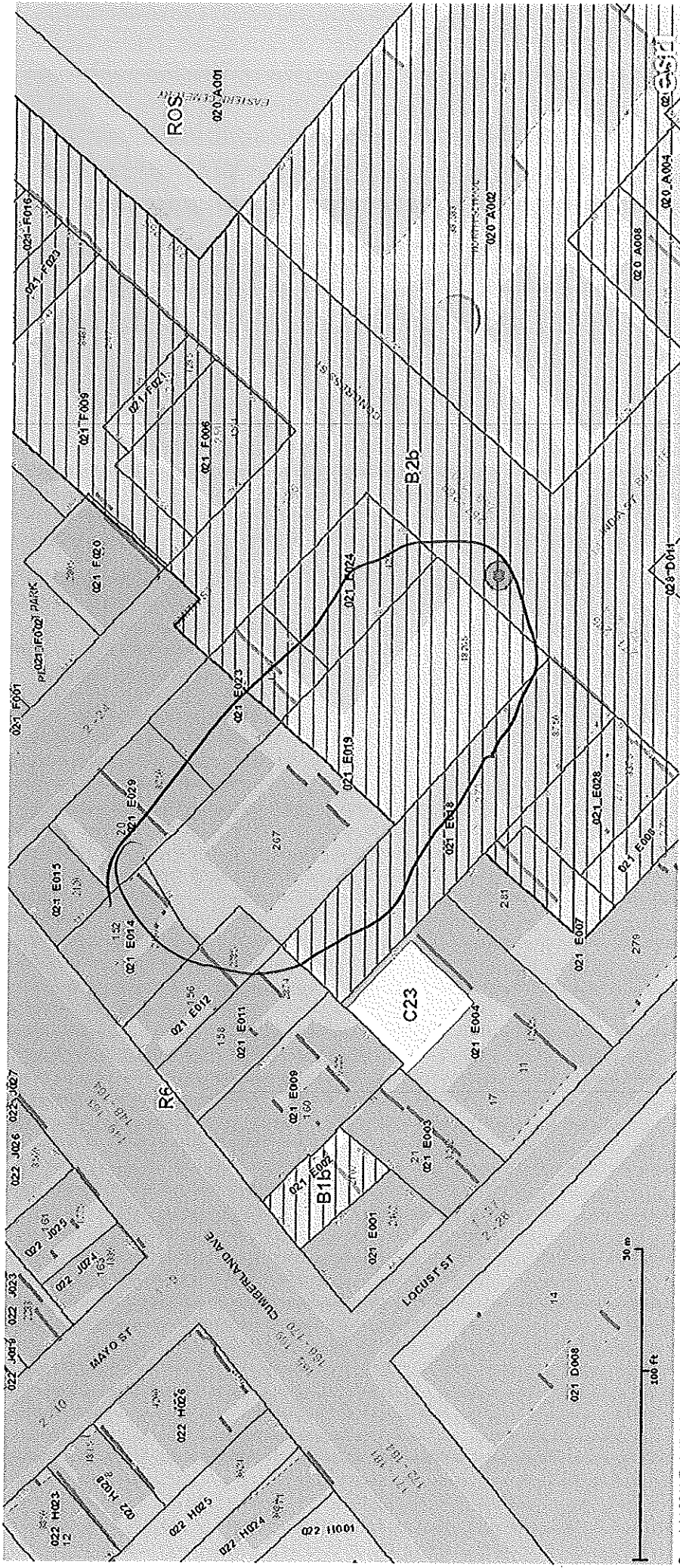
At this time I am unable to complete a zoning assessment based on required information concerning the proposed property line relocation. Without documentation of the new property line, this project is not meeting the setback requirements of the R-6 zone.

The R-6 zone has a maximum building height of 45 feet. The proposed additions are under the maximum building height at about 38'.

I am awaiting further information to complete my review.

Marge Schmuckal
Zoning Administrator

267 Congress St



Written Assessment of Zoning

The property is located within both the City of Portland's Residential-6 (R-6) and the Business B-2 (B2B) zones. There is an existing synagogue, Congregation ETZ Chaim, on the property. This project is an expansion of the existing building on the property. Based on discussions with City staff, it is our understanding that a Conditional Use Permit is not required for the portion of the project that is located in the R-6 Zone.

R, wrong - conditional use is req to PB

The southern property boundary is being relocated to the face of the abutting building, to the east, so the proposed building addition will meet the building setback requirements of the zoning.

Current Parking and Traffic Description

July 1, 2012

Subject: Etz Chaim Synagogue - Current Parking

Etz Chaim Synagogue has a plan to meet current parking needs. Presently there are regular religious services on Monday afternoons and Saturday mornings only, consisting of between 10 and 20 congregants at a time. We have secured permission to use a parking lot adjacent to the synagogue after 4:00 in the afternoon on weekdays and on Saturday mornings. The space contains space for 26 cars, including 2 spaces with handicap access closest to the ramped entrance to the synagogue. That space is more than sufficient to meet our current needs. The only other time when parking is normally needed is for religious services during the three days in September when the Jewish High Holidays occur. Those days vary according to the Gregorian calendar. We have arranged to use the parking lot at the Cathedral of the Immaculate Conception for those days. It is located one block away. We also utilize available on-street parking. We see no change whatsoever to our current automobile parking needs as a result of the renovations that are described in this application. We do plan to add a bicycle rack that will accommodate 6 bicycles.

Subject: Description of Traffic at Etz Chaim Synagogue

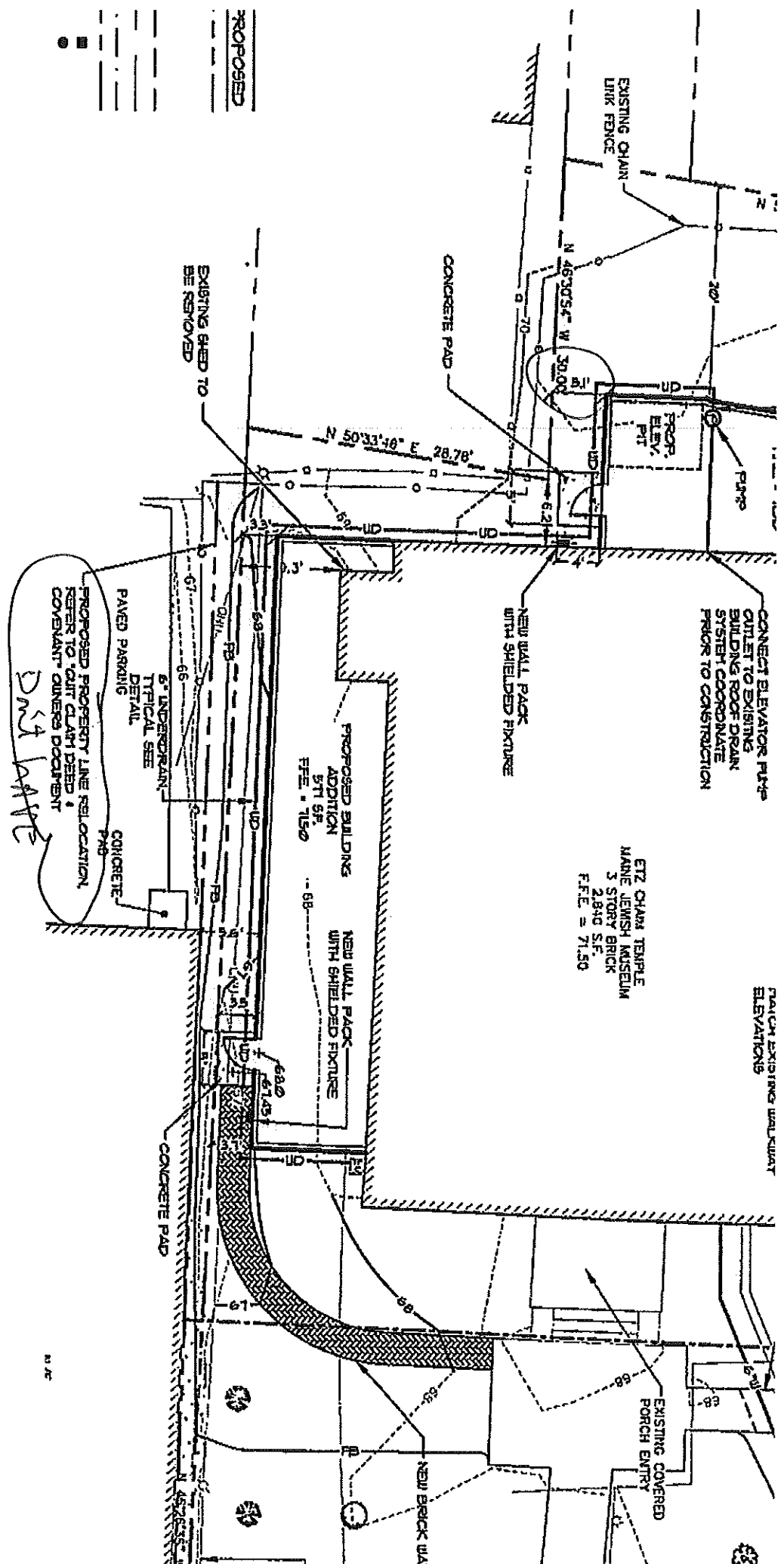
Etz Chaim Synagogue is located on Congress St where it meets Smith St., and directly opposite India St. Congress St. is a busy commuter road during the morning and evening worker commute. It is much quieter during non-commute times, and in the evening and on weekends. Smith St. is also a much quieter street, stretching between Cumberland Ave. and Congress St. only the length of 5 houses or lots. There is no access from the parking lot directly onto Congress St. All traffic enters and exits at Smith St.

Existing/Proposed Easements

The property is not subject any existing easements. Based on the survey, there appears to be two areas where adjacent buildings encroach on the subject property. As part of this project, the applicant is negotiating with the eastern abutter to relocate this property line. This relocation will also provide the necessary setback distances for the proposed eastern building addition.

PLAN OF EXISTING WALL QUART
ELEVATIONS

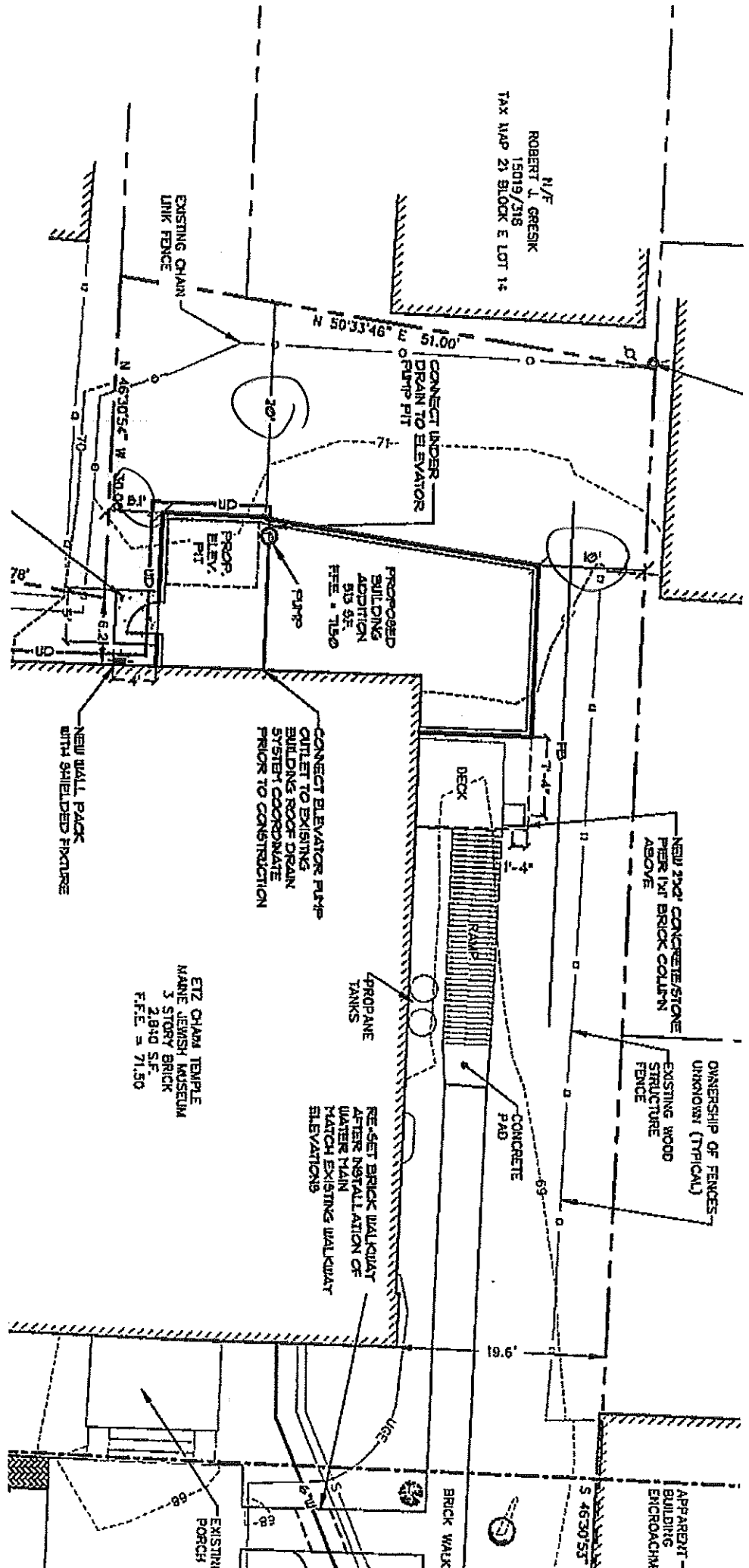
ETZ CHAM TEMPLE
MAINE JEWISH MUSEUM
3 STORY BRICK
2,840 SF
F.F.E. = 71.50



PROPOSED

-
-

N/F
ROBERT J. GRESIK
15019/218
TAX MAP 21 BLOCK E LOT 14



EXISTING CHAIN LINK FENCE

N 50°33'46" E 51.00'

N 46°30'56" W 70.00'

PROPOSED BUILDING ADDITION
515 S.F.
F.F.E. = 71.50

CONNECT ELEVATOR PUMP
OUTLET TO EXISTING
BUILDING ROOF DRAIN
SYSTEM COORDINATE
PRIOR TO CONSTRUCTION

NEW WALL PACK
WITH SHIELDED FIXTURE

NEW 2x4 CONCRETE/STONE
PERIMETER BRICK COLUMN
ABOVE

EXISTING WOOD
STRUCTURE
FENCE

OWNERSHIP OF FENCES
UNKNOWN (TYPICAL)

PROPANE
TANKS

RE-SET BRICK WALKWAY
AFTER INSTALLATION OF
WATER MAIN
TO MATCH EXISTING WALKWAY
ELEVATIONS

CONCRETE
PAD

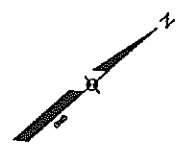
ETZ CHANA TEMPLE
MAINE JEWISH MUSEUM
3 STORY BRICK
2,840 S.F.
F.F.E. = 71.50

EXISTING
PORCH

BRICK WALK

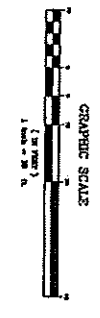
APPARENT -
BUILDING
ENCROACHMENT

S 46°30'55" W 69.00'



LEGEND

SYMBOL	DESCRIPTION	PROPOSED
(Symbol)	Proposed Building	---
(Symbol)	Proposed Foundation	---
(Symbol)	Proposed Wall	---
(Symbol)	Proposed Window	---
(Symbol)	Proposed Door	---
(Symbol)	Proposed Stair	---
(Symbol)	Proposed Elevation	---
(Symbol)	Proposed Section	---
(Symbol)	Proposed Foundation	---
(Symbol)	Proposed Wall	---
(Symbol)	Proposed Window	---
(Symbol)	Proposed Door	---
(Symbol)	Proposed Stair	---
(Symbol)	Proposed Elevation	---
(Symbol)	Proposed Section	---
(Symbol)	Proposed Foundation	---
(Symbol)	Proposed Wall	---
(Symbol)	Proposed Window	---
(Symbol)	Proposed Door	---
(Symbol)	Proposed Stair	---
(Symbol)	Proposed Elevation	---
(Symbol)	Proposed Section	---

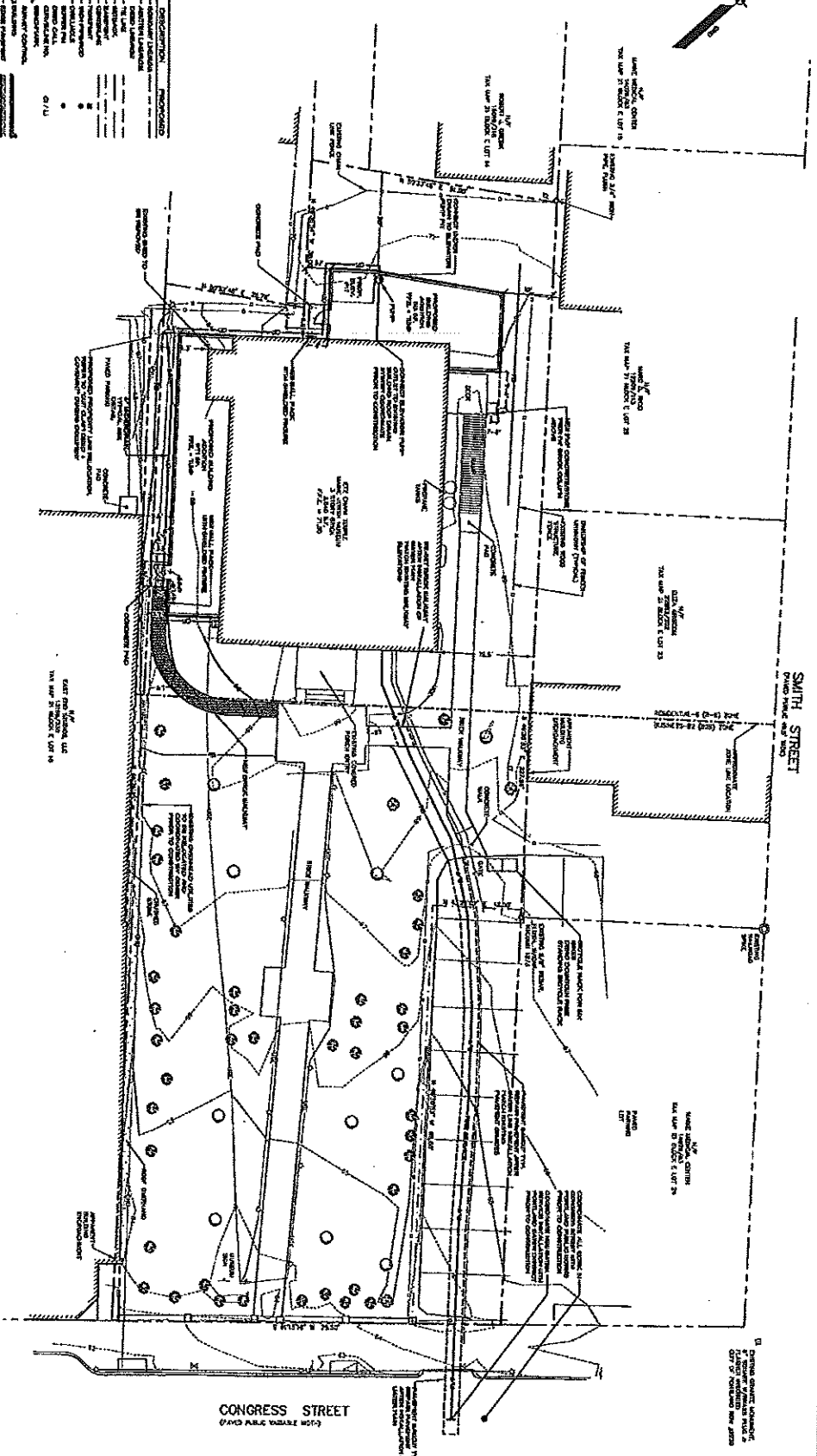


DEVELOPMENT CALCULATIONS

Item	Area (sq. ft.)	Volume (cu. yd.)
Excavation	1,200	10
Fill	1,200	10
Gravel	1,200	10
Asphalt	1,200	10
Concrete	1,200	10

GENERAL NOTES

1. The information shown on this plan is based on the information provided by the owner and is not to be used for any other purpose.
2. The owner is responsible for obtaining all necessary permits and approvals from the appropriate authorities.
3. The contractor is responsible for obtaining all necessary permits and approvals from the appropriate authorities.
4. The contractor is responsible for obtaining all necessary permits and approvals from the appropriate authorities.



GENERAL NOTES

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4. The contractor is responsible for obtaining all necessary permits and approvals from the appropriate authorities.

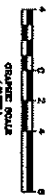
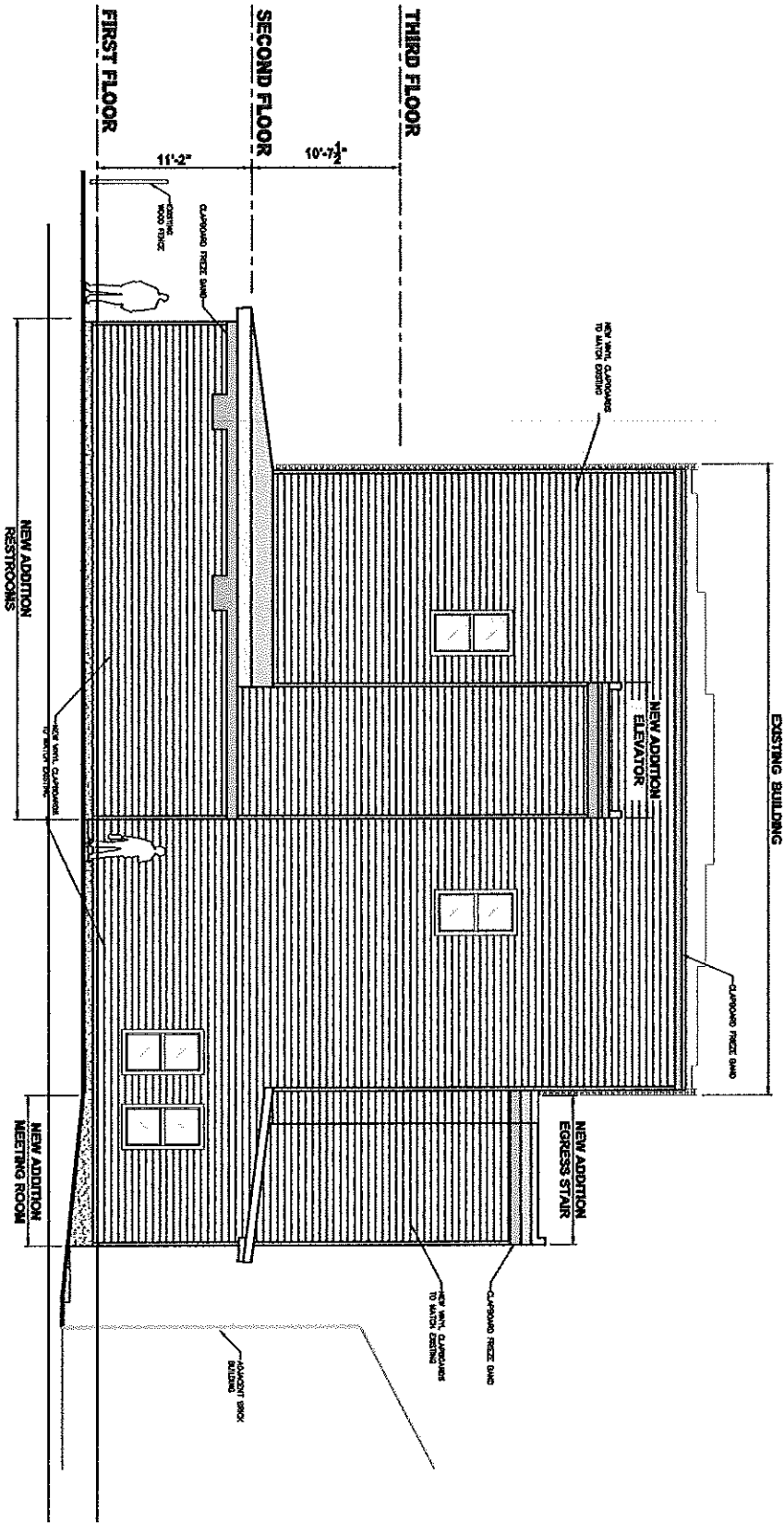
SITE, GRADING & UTILITY PLAN
ETZ CHIAM SYNAGOGUE
 800 CONGRESS STREET
 PORTLAND, ME 04101
 FOR
JOHN H. LEASURE ARCHITECT, INC.
 800 CONGRESS STREET
 PORTLAND, ME 04101

SEBAGO
 ENGINEERS
 11120
 14%
 JPB
 11/20

NO.	DATE	BY	DESCRIPTION
1	11/20	JPB	SUBMITTED FOR SITE PLAN REVIEW
2	11/20	JPB	REVISIONS FOR ARCHITECTURAL REVIEW
3	11/20	JPB	REVISIONS FOR ARCHITECTURAL REVIEW
4	11/20	JPB	REVISIONS FOR ARCHITECTURAL REVIEW
5	11/20	JPB	REVISIONS FOR ARCHITECTURAL REVIEW

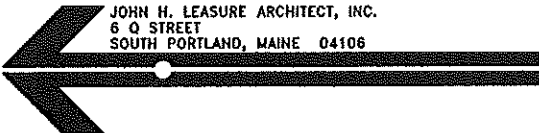
PROGRESS PRINT

WEST ELEVATION



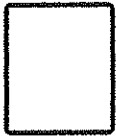
ETZ CHAIR STAIRCASE
 267 CONGRESS STREET
 PORTLAND, MAINE
 WEST ELEVATION

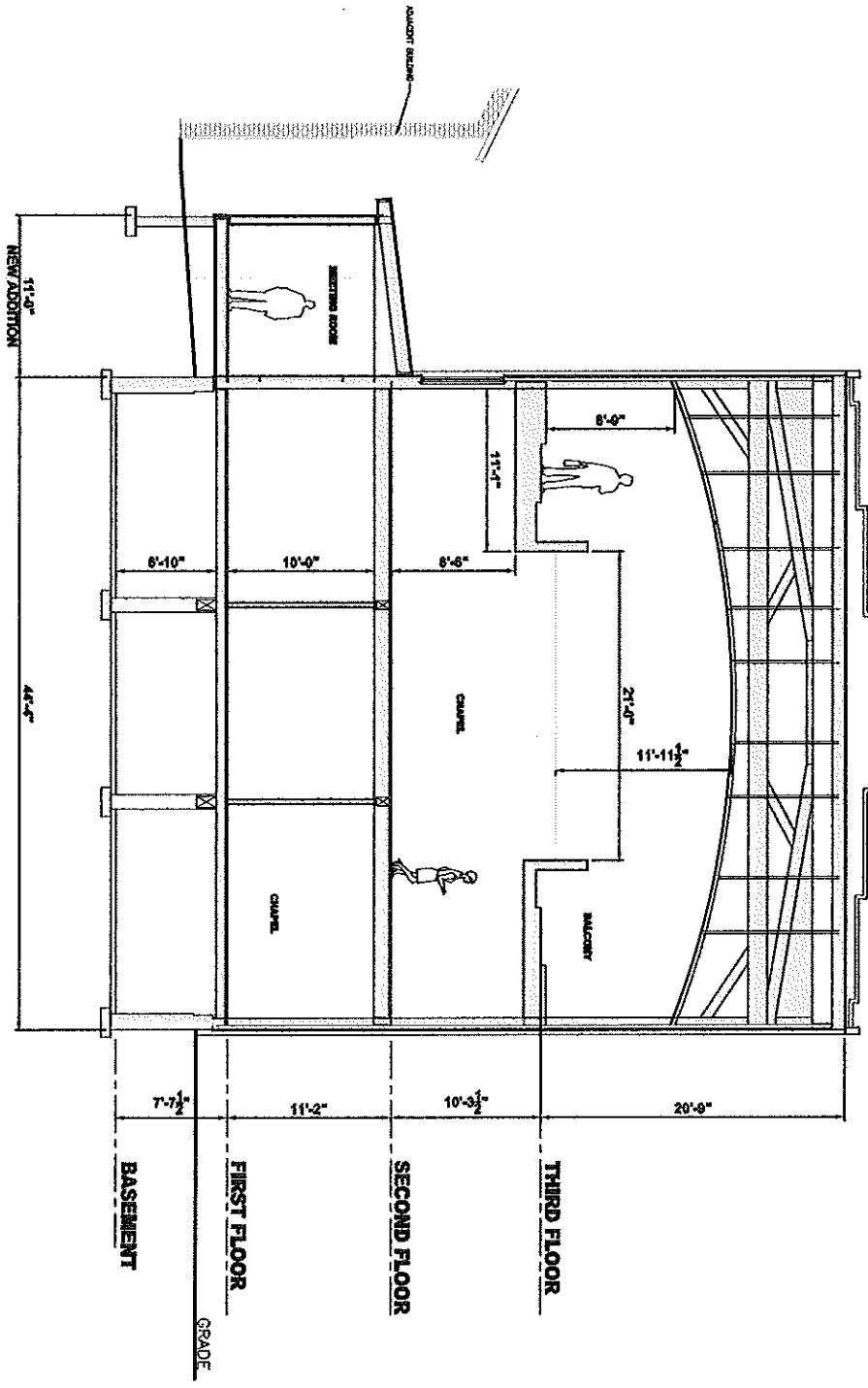
A8



JOHN H. LEASURE ARCHITECT, INC.
 6 Q STREET
 SOUTH PORTLAND, MAINE 04106

REV.	DATE	STATUS
1	8-02-17	Submitted for Staff Review



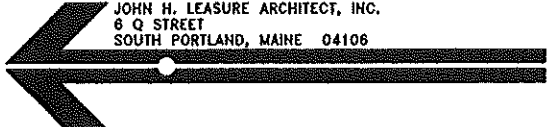


BUILDING CROSS SECTION



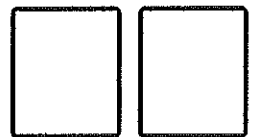
ETZ GRADE STAIRCASE
 267 CONGRESS STREET
 PORTLAND, MAINE
 BUILDING CROSS SECTION

A9

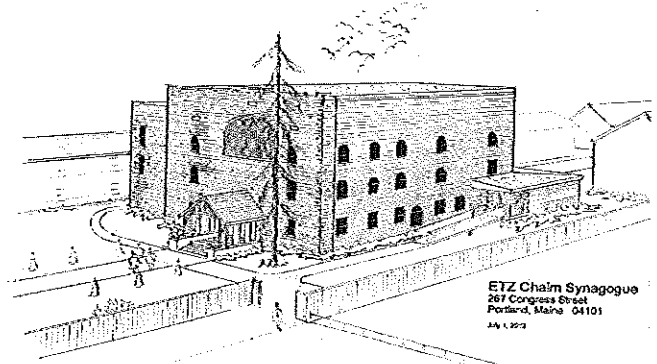


JOHN H. LEASURE ARCHITECT, INC.
 6 Q STREET
 SOUTH PORTLAND, MAINE 04106

REV.	DATE	STATUS
1	8-04-11	Submitted for Staff Review



ETZ Chaim Synagogue
267 Congress Street
Portland, ME 04101



Description of Proposed Project

Existing building is a three story wood frame place of worship assembly space with chapel and meeting rooms. Although building is not in the historic district of Portland, the brick façade facing Congress Street and the fully landscaped front entry garden space gracefully complement the Congress Street transit and pedestrian corridor while respecting the adjacent residential neighborhood as outlined in the City's master plans.

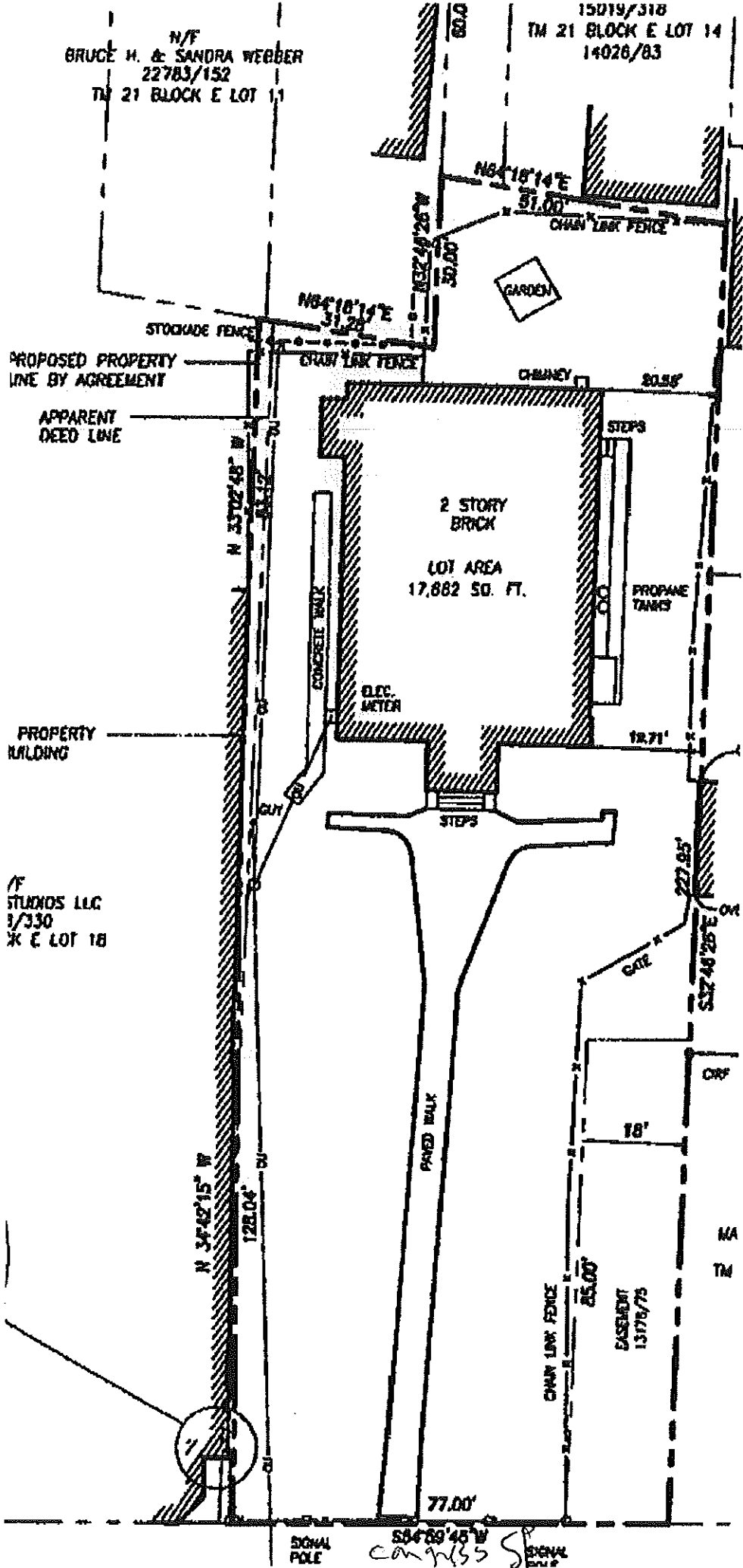
This proposed project will consist of a single story addition of meeting space on the southwesternly side of existing building together with a three story egress stair. The proposed full height brick stair addition facing Congress Street will maintain the brick facade character. The other facades facing residential neighborhoods will involve removal of the existing metal siding and application of anew clapboard siding which is in context with the residential theme. The minimal site disturbance to the front entry gardens during construction will be completely restored when building addition and utilities are completed.

On the northwesterly side, a single story relocation of restrooms and a new elevator is planned together with a new covered porch side entry. The restrooms relocation and the elevator will greatly improve accessibility for occupants on all floor levels. The new stair will provide the required second means of egress and safe exiting from all the occupied floors.

A full automatic sprinkler system is also planned for the entire building to further protect occupants, building and adjacent properties in the event of a fire.

N/F
BRUCE H. & SANDRA WEBBER
22783/152
TM 21 BLOCK E LOT 11

15019/318
TM 21 BLOCK E LOT 14
14026/83



PROPOSED PROPERTY LINE BY AGREEMENT

APPARENT DEED LINE

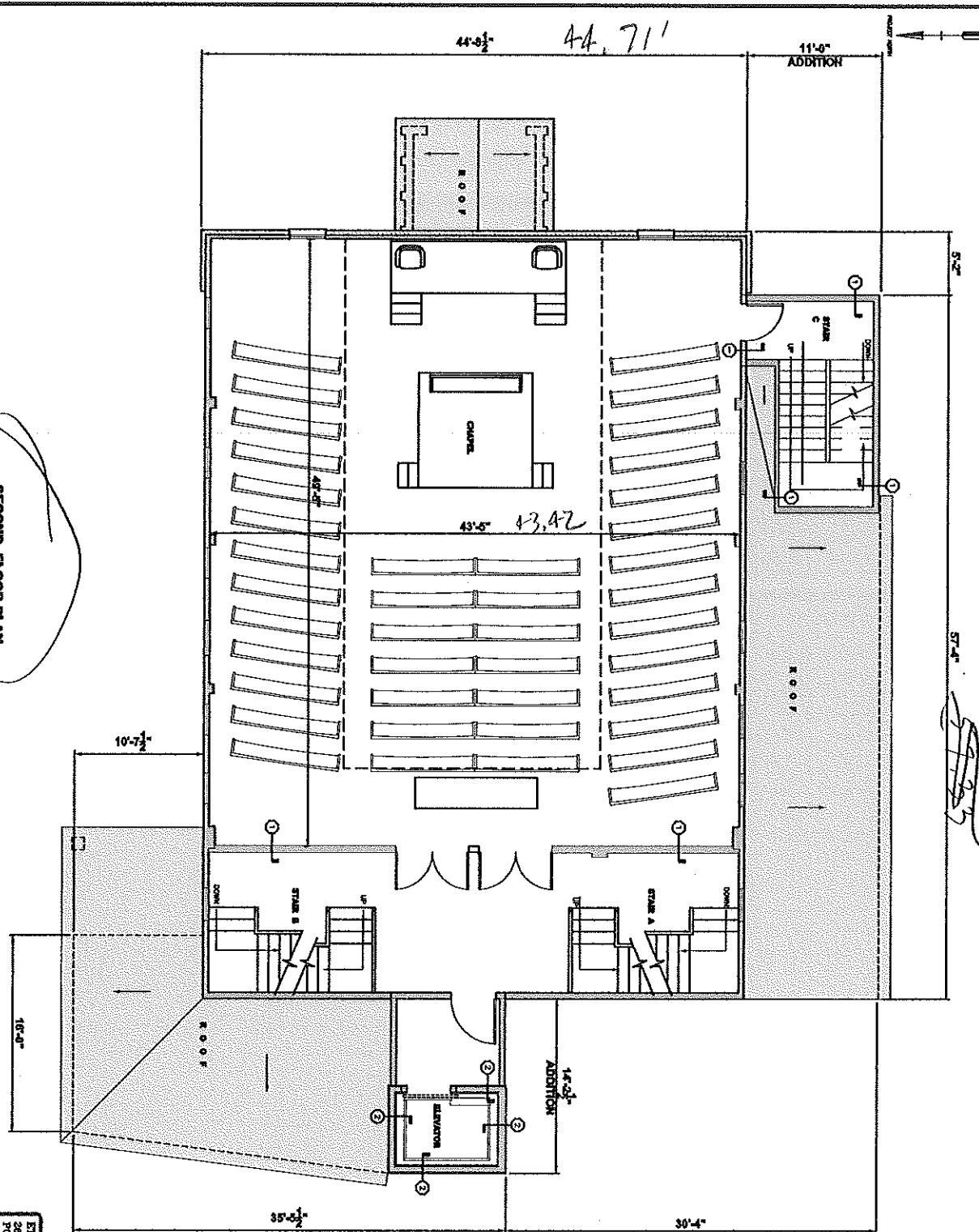
PROPERTY BUILDING

N/F
STUNOS LLC
1/330
X E LOT 18

SIGNAL POLE

S84°09'45"W
COMPASS SP
SIGNAL POLE

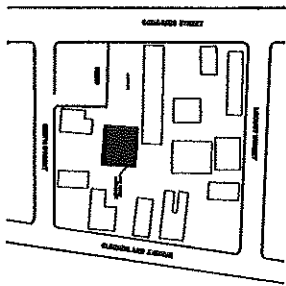
SECOND FLOOR PLAN



ETZ CHAIM SYNAGOGUE
 267 CONGRESS STREET
 PORTLAND, MAINE
 SECOND FLOOR PLAN



LOCUS MAP



44'-0 1/2" 44.71'

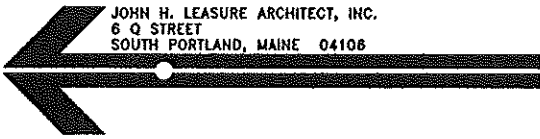
43'-5" 13.42

~~44.71 x 57.33~~

43.42 x 49.42

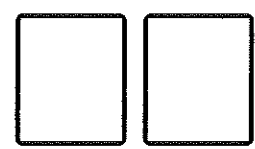
2nd floor 2145.82 sq ft

A3



JOHN H. LEASURE ARCHITECT, INC.
 6 Q STREET
 SOUTH PORTLAND, MAINE 04106

REV.	DATE	STATUS
0-00-11		Submitted for Staff Review



PROJECT NAME: ETZ CHAIM SYNAGOGUE

PROPOSED DEVELOPMENT ADDRESS:

267 Congress Street, Portland, Maine 04101

PROJECT DESCRIPTION:

Addition of meeting space and elevator.

CHART/BLOCK/LOT: 21 / E / 19

PRELIMINARY PLAN _____ (date)

FINAL PLAN 6/29/12 (date)

CONTACT INFORMATION:

	Applicant's Contact for electronic plans Name: _____ e-mail: _____ work #: _____
Applicant -- must be owner, Lessee or Buyer Name: ETZ Chiam Synagogue Business Name, if applicable: Address: 267 Congress St, Portland, Me. City/State : _____ Zip Code: _____ <u>Portland, Maine</u> <u>04101</u>	Applicant Contact Information Work # _____ Home# _____ Cell # _____ Fax# _____ e-mail: _____
Owner -- (if different from Applicant) Name: _____ Address: _____ City/State : <u>SAME</u> Zip Code: _____	Owner Contact Information Work # _____ Home# _____ Cell # _____ Fax# _____ e-mail: _____
Agent/ Representative Name: Mr. Gary Berenson Address: 267 Congress Street City/State <u>Portland, Me.</u> Zip Code: <u>04101</u>	Agent/Representative Contact Information Work # _____ Cell # _____ e-mail: _____
Billing Information Name: _____ Address: <u>SAME</u> City/State : _____ Zip Code: _____	Billing Information Work # _____ Cell # _____ Fax# _____ e-mail: _____

Engineer Name: Sebago Technics James Seymour Address: 75 John Roberts Road City/State: Portland, Maine Zip Code: 04101	Engineer Contact Information Work # 856 0277 Cell # _____ Fax# _____ e-mail: james.seymour@sebagotechnics.com
Surveyor Name: Owen Haskell, Inc John Swan Address: 390 U.S. Route One, Unit 10 City/State: Falmouth, Maine Zip Code: 04105	Surveyor Contact Information Work # 774 0424 Cell # _____ Fax# _____ e-mail: jswan@owenhaskell.com
Architect Name: John H Leasure, Architect Inc. John Leasure Address: Six Q Street City/State: South Portland Zip Code: 04106 Maine	Architect Contact Information Work # 799 6570 Cell # _____ Fax# _____ e-mail: jleasure@maine.rr.com
Attorney Name: Marshal Tinkle Tomkins, Clough, Hirson & Langer Address: 3 Canal Plaza City/State: Portland, Maine Zip Code: 04101	Attorney Contact Information Work # 874 6700 Cell # _____ Fax# _____ e-mail: _____

APPLICATION FEES:

Check all reviews that apply. (Payment may be made by Cash or Check payable to the City of Portland.)

Level II Development (check applicable reviews) <input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)	Fees Paid (office use) _____ _____	Other Reviews (check applicable reviews) ____ Traffic Movement (\$1,000) ____ Stormwater Quality (\$250) ____ Section 14-403 Review (\$400 + \$25/lot) # of Lots ____ x \$25/lot = _____ ____ Other _____ ____ Change of Use ____ Flood Plain ____ Shoreland ____ Design Review ____ Housing Replacement ____ Historic Preservation	Fees Paid (office use) _____ _____
The City invoices separately for the following: <ul style="list-style-type: none"> • Notices (\$.75 each) • Legal Ad (% of total Ad) • Planning Review (\$40.00 hour) • Legal Review (\$75.00 hour) Third party review is assessed separately.			
Plan Amendments (check applicable reviews) <input checked="" type="checkbox"/> Planning Staff Review (\$250) <input type="checkbox"/> Planning Board Review (\$500)	Fees Paid (office use) _____ _____		

APPLICATION SUBMISSION

As of December 1, 2010, all site plans and written application materials must be uploaded to a website for review. At the time of application, instructions for uploading the plans will be provided to the applicant. One paper set of the plans, written materials and application fee must be submitted to the Planning Division Office to start the review process.

Until December 1, 2010, submissions shall include seven (7) packets with folded plans containing the following materials:


1. Seven (7) full size site plans that must be folded.
2. Seven (7) copies of all written materials or as follows, unless otherwise noted:
 - a. Application form that is completed and signed.
 - b. Cover letter stating the nature of the project.
 - c. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
5. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
6. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
7. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
8. One (1) set of plans reduced to 11 x 17.

Refer to the application checklist for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Level II Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.

Signature of Applicant: 	Date: August 6, 2012
--	-------------------------

PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area	(0.41 Acres) 17,859 sq. ft.
Proposed Total Disturbed Area of the Site	(0.05 Acres) 2,174 sq. ft.
(If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)	
IMPERVIOUS SURFACE AREA	
• Proposed Total Paved Area	120 sq. ft.
• Existing Total Impervious Area	3,528 sq. ft.
• Proposed Total Impervious Area	1,261 sq. ft.
• Proposed Total Impervious Area	- sq. ft.
• Proposed Impervious Net Change	sq. ft.
BUILDING AREA	
• Proposed Building Footprint	1,090 sq. ft.
• Proposed Building Footprint Net change	3,930 sq. ft.
• Existing Total Building Floor Area	(All Floors) 10,023 sq. ft.
• Proposed Total Building Floor Area	1,364 sq. ft.
• Proposed Building Floor Area Net Change	- sq. ft.
• New Building	NO (yes or no)
ZONING	
• Existing	
• Proposed, if applicable	RG / B2b
LAND USE	
• Existing	EXISTING
• Proposed	
RESIDENTIAL, IF APPLICABLE	
• Proposed Number of Affordable Housing Units	
• Proposed Number of Residential Units to be Demolished	
• Existing Number of Residential Units	N/A
• Proposed Number of Residential Units	
• Subdivision, Proposed Number of Lots	
PARKING SPACES	
• Existing Number of Parking Spaces	
• Proposed Number of Parking Spaces	
• Number of Handicapped Parking Spaces	SEE ATTACHED Letter
• Proposed Total Parking Spaces	
BICYCLE PARKING SPACES	
• Existing Number of Bicycle Parking Spaces	0
• Existing Number of Bicycle Parking Spaces	
• Proposed Number of Bicycle Parking Spaces	SIX
• Total Bicycle Parking Spaces	SIX (6)
ESTIMATED COST OF PROJECT	

natural features listed in Section 14-526 (b)1. of the Land Use Code).

- Existing and proposed easements or public or private rights of way.

General Submittal Requirements – Final Plan (Required)
Level II Site Plan
Final Plan Phase Check list (including items listed above in General Requirements for Preliminary Plan, if applicant did not elect to submit for a preliminary plan review)

Applicant Checklist	Planner Checklist	Number of Copies	Written Submittal Requirement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Evidence of financial and technical capacity.
<input type="checkbox"/>	<input type="checkbox"/>	1	Evidence of utilities' capacity to serve the development.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual).
<input type="checkbox"/>	<input type="checkbox"/>	1	Construction management plan.
<input type="checkbox"/>	<input type="checkbox"/>	1	Traffic Plan (if development will (1) generate 100 or more PCE or (2) generate 25 or more PCE and is located on an arterial, within 1/2 mile of a high crash location, and/or within ¼ mile of an Intersection identified in a previous traffic study as a falling Intersection).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Stormwater management plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written summary of solid waste generation and proposed management of solid waste.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written assessment of conformity with applicable design standards.
<input type="checkbox"/>	<input type="checkbox"/>	1	Manufacturer's verification that HVAC and manufacturing equipment meets applicable state and federal emissions requirements.

Final Plan Phase			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Final Site Plan Including the following
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures on the site with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed site access and circulation.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed grading and contours.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways. Proposed curb lines must be shown.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed loading and servicing areas, including applicable turning templates for delivery vehicles
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed snow storage areas or snow removal plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed trash and recycling facilities.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed utilities.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Location and details of proposed infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, public transit infrastructure, roadway improvements).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed septic system, if not connecting to municipal sewer. (Portland Waste Water Application included in this application)
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed finish floor elevation (FFE).

**ETZ Chaim Synagogue
267 Congress Street
Portland, ME 04101**

Project Conformity with Design Standards

The Project will be designed to comply with all Local, State and Federal design standards including the Standards of City of Portland Building Codes and Land Use Code; specifically the B2-b Community Business Zone and the R-6 Small Residential Zone, the MUBEC- *Maine Uniform Building and Energy Code* which includes the 2009 IBC- *International Building Code* and the 2009 IECC-*International Energy Conservation Code*, 2010 ADA *Standards for Accessible Design*, *National Fire Protection Codes* and ASHRAE Standards.

Design is based on the use of exterior facades and glazing materials which will compliment the existing residential and commercial adjacent uses. The new window fenestration will be comprised of components which match the existing stained glass border detail currently present on the arched wood windows. The addition of new windows will be a betterment for energy conservaion and allow additional natural light that will promote a more desirable interior enviroment.

The existing replacement and addition of new clapboard siding will also consist of a horizontal band of solid colored clapboards and special roof line details to augment the residential character, create a distinct architectural frieze band and balance the mixed uses in this zone.

The addition of a three story egress stair and a full automatic sprinkler system will satisfy the City Fire Department concerns with life safety and code compliance as well as protect buildings and occupants.

The relocation of the restroom facilities and replacement of interior components will provide full compliance with the ADA and will improve the accessibility and functionality of the building in total.

**ETZ Chaim Synagogue
267 Congress Street
Portland, ME 04101**

Project Compatibility with City's Master Plans

Project site location in a mixed commercial and residential use area presents a unique and creative architectural design challenge.

The existing building and proposed addition will respect and enhance the existing quality of the neighborhoods by removal of the existing metal siding and adding new building façade materials of brick and clapboard siding which compliment the fabric of each adjacent neighborhood use.

The building structure is situated near the rear portion of the lot with a deep landscaped garden entry walkway, which promotes scenic pedestrian access from the Congress Street corridor as well as creates an open green area which relates to several neighboring open natural features such as Peppermint Park and the Eastern Cemetery.

The proposed addition of the covered porch at the side entrance will balance the integrity of the residential aesthetics with the assembly worship spaces and provide exterior weather protection of occupants from the elements. There will also be greater occupant and visitor handicapped accessibility to restroom facilities and to all floors of the building.

This proposed addition and exterior façade improvements will certainly revitalize the general appearance, enhance the quality and vitality of the residential neighborhood while preserving the historical and landscaped garden area that currently exist.

Written Assessment of Zoning

The property is located within both the City of Portland's Residential-6 (R-6) and the Business B-2 (B2B) zones. There is an existing synagogue, Congregation ETZ Chaim, on the property. This project is an expansion of the existing building on the property. Based on discussions with City staff, it is our understanding that a Conditional Use Permit is ~~not~~ required for the portion of the project that is located in the R-6 Zone.

It is required

The southern property boundary is being relocated to the face of the abutting building, to the east, so the proposed building addition will meet the building setback requirements of the zoning.

Existing/Proposed Easements

The property is not subject any existing easements. Based on the survey, there appears to be two areas where adjacent buildings encroach on the subject property. As part of this project, the applicant is negotiating with the eastern abutter to relocate this property line. This relocation will also provide the necessary setback distances for the proposed eastern building addition.

Waivers from Technical Standards

There are no waivers requested as part of this project.

Summary of Significant Natural Features on Site

The property is entirely developed with impervious building and pavement areas as well as landscaped areas. There are no areas of significant natural features on the property.

Utility Capacity Letter

We have submitted a request to the Portland Water District to obtain a capacity letter from them for the expanded building area. Once we receive confirmation of their ability to continue to serve the property, we will forward that along to the City.

We have also submitted a Wastewater Capacity Application to Mr. Frank Brancely, Senior Engineering Technician, City of Portland Department of Public Services, for his review of the capacity of the City's system to handle additional flows from the project. Once we receive a response from Mr. Brancely, we will forward that along to the City.

STORMWATER MANAGEMENT PLAN

Congregation ETZ Chaim Portland, Maine

I. Introduction

This Stormwater Management Plan has been prepared to address the potential impacts associated with this project due to the proposed modification in stormwater runoff characteristics. The stormwater management controls that are outlined in this plan have been designed to best suit the proposed development and to comply with applicable regulatory requirements.

II. Existing Conditions

The proposed site is located on 0.41 acres of land at 267 Congress Street in the City of Portland. The existing synagogue occupies the western portion of the site. An existing landscape/garden area with a brick walkway occupies the central and eastern portions of the site.

Land Cover

The site is currently developed and consists of impervious building, parking and brick walkways. A large landscape/garden area occupies the area adjacent to Congress Street.

A. Site Topography

Slopes on the site are moderately sloped draining easterly towards Congress Street. A small offsite area to the west drains southerly onto the existing property prior to being directed towards Congress Street.

B. Surface Water Features

There are no existing surface water features located on site.

C. Soils

Soil characteristics were obtained from the NRCS Web Soil Survey for Cumberland County. Soils identified on the site (or within close proximity) are identified below in Table 1.

Soil Type	Symbol	HSG
Hinckley Gravelly sandy loam, 3-8% Slopes	H1B	A

III. Proposed Development

Congregation ETZ Chaim is proposing to construct two new additions to their existing building. A 577 square foot (SF) addition on the eastern side of the building will include a new stairway, sitting area and small kitchen area. A 513 SF addition to the northern portion of the building will

incorporate a new elevator and new men's and women's restroom facilities. Access to the site will be maintained from the existing access points of the site.

The proposed site improvements will disturb approximately 2,174 square feet (SF) of area. The redevelopment of the site will result in the creation of approximately 1,261 SF of new impervious area, resulting from the increase in building area and walkways.

A. Alterations to Land Cover

The proposed redevelopment of the site will consist of the additions to the existing building and the installation of concrete pads and walkways. Minimal re-grading will occur as part of the site re-development.

IV. Downstream Ponds and Waterbodies

Surface runoff from the site is tributary to the City of Portland's combined sewer system located in Congress Street.

V. Regulatory Requirements

A. City of Portland, Maine

The proposed development is classified as a Level II development and must comply with Section 5 of the City of Portland's Technical Manual stating that this development "shall be required to submit a stormwater management plan pursuant to the regulations of Maine DEP Chapter 500 Stormwater Management Rules, including Basic, General and Flooding Standards". The Maine Department of Environmental Protection (Maine DEP) Chapter 500 rules describe stormwater management requirements for new development projects.

The following sections describe how this project will address these stormwater management performance standards.

B. Maine DEP

Maine DEP Rule Chapters 500 and 502 describe stormwater management requirements for new development projects. These rules describe performance standards divided into five major categories: Basic Standards, General Standards, Phosphorous Standards, Urban Impaired Stream Standards, and Flooding Standards.

Basic Standards: A project must meet Basic Standards if it disturbs an area greater than one (1) acre. As this development will disturb approximately 2,174 SF of land area, it will not be required to meet Basic Standards.

General Standards: A project is subject to the General Standards if it results in the creation of one (1) or more acres of impervious area or developed areas greater than five (5) acres. This standard requires that a minimum of 95% of all new impervious areas and at least 80% of all new developed areas are designed to be tributary to stormwater Best Management Practices (BMPs). Standard BMPs have been defined by the Maine DEP and are described thoroughly in their publication "Stormwater Management for Maine: Best Management Practices Manual" as revised in January of 2006. This project will create approximately 1,261 SF of new impervious surface and, therefore, will not be

required to meet the General Standards. The project will provide a roof dripline filtration strip along the southern and eastern portions of the building to provide water quality treatment for a portion of the project.

Phosphorous Standards: Stormwater from this project is not subject to the Phosphorus Standards.

Urban Impaired Stream Standards: Stormwater from this project is not tributary to an "Urban Impaired Stream" as defined by Maine DEP Chapter 502 and, therefore, is not subject to the Urban Impaired Stream Standards.

Flooding Standards: The Maine DEP requires that projects creating impervious areas greater than three (3) acres, or developed areas greater than twenty (20) acres, address various Flooding Standards. As this project creates approximately 1,261 SF of new impervious area it will not be required to meet the Flooding Standards.

VI. Stormwater Management BMPs

Roof Dripline Filtration Strip

In an effort to provide foundation drainage and also stormwater quality treatment for the new impervious building areas, we have incorporated a roof dripline filtration strip to the project. The dripline incorporates an 18" sand filter media above the underdrain to provide water quality treatment from runoff off the building. The underdrained will be connected to the elevator sump pit and pumped into the internal roof drainage system within the synagogue and directed to the drainage infrastructure in Congress Street.

VII. Peak Flow Analysis

This section has been prepared to discuss the proposed modifications to peak flow rates as a result of the development.

A. Pre-development

1. The entire site drains to the east towards Congress Street.

B. Post-development

1. In the post-development condition, the drainage pattern on the site remains unchanged. Runoff from the southern and a portion of the eastern building areas will be collected in the dripline filtration strip and directed to the elevator sump pit. A pump will convey the water from the elevator pit to the internal roof drains within the existing structure. The roof drains within the building convey runoff to the combined infrastructure in Congress Street.

VIII. Conclusions

The redevelopment of the site will consist of constructing two new building additions and the reconfiguring of site walkways. The proposed improvements will result in the creation of approximately 1,261 SF of new impervious area. This increase in onsite impervious area will result in an insignificant increase in the post-development peak rate of runoff.

Stormwater quality treatment has been provided for a portion of the new impervious rooftop areas through the use of a roof dripline filtration strip.

An Erosion and Sedimentation Control Plan has been developed for the project site placing emphasis on the installation of sedimentation barriers and revegetation to minimize erosion potential from development activities during and after construction. The Erosion and Sedimentation Control Plan is incorporated into the design plans.

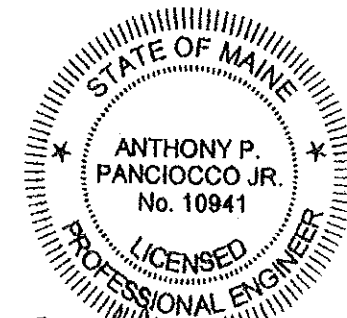
Prepared by:

SEBAGO TECHNICS, INC.



Anthony P. Panciocco, P.E.
Senior Project Engineer

APP:app/kn
August 2, 2012



Solid Waste Generation

The proposed project includes two building additions totaling 1,090 square feet. As such, we do not anticipate any significant increase in the solid waste generated by the synagogue.

Know all Men by these Presents, That

I, Bernice S. True of Portland, in the County of Cumberland and State of Maine,

in consideration of One dollar and other valuable considerations, paid by Congregation Etz Chaim, a corporation organized and existing under the laws of Maine and located at said Portland, the receipt whereof I do hereby acknowledge, do hereby give, grant, bargain, sell and convey unto the said

Congregation Etz Chaim, its successors and assigns forever, a certain lot or parcel of land situated in said Portland and being that portion of the first lot of land described in a deed from Sherman I. Gould, Administrator, to this grantor, dated June 27, 1930, and recorded in the Cumberland County Registry of Deeds in Book 1351, page 193, lying between a small stream or brook crossing the same and the rear line thereof, more particularly bounded and described as follows:

Beginning at a point in the thread of said stream in the division line between this grantor's land and land of Luella G. True et als, and running thence by said True land S. 34° W one hundred (100) feet, more or less, to the northeasterly side line of a passageway or right of way leading to and adjoining the Mount Sinai Cemetery; thence by said line of said right of way S 57° E nine (9) rods, more or less, to land now or formerly of Arthur C. Frost; thence by said Frost land N 33° E one hundred (100) feet, more or less, to the thread of said stream; thence northwesterly by the thread of said stream nine (9) rods, more or less, to the point of beginning.

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50 cts.
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On Here and in Full the aforementioned and bargained premises, with all the privileges and appurtenances thereof, to the said Congregation Etz Chaim, its successors heirs and assigns, to its and their use and behoof forever. And I do covenant with the said grantee, its successors heirs and assigns, that I am lawfully seized in fee of the premises; that they are free of all incumbrances;

that I have good right to sell and convey the same to the said grantee to hold as aforesaid; and that I and my heirs, shall and will warrant and defend the same to the said grantee, its successors heirs and assigns forever, against the lawful claims and demands of all persons.

In Witness Whereof, I the said Bernice S. True, being unmarried,

my hand and seal this twenty-eighth day of August, 1933, in the year of our Lord one thousand nine hundred and thirty-three.

Signed, Sealed and Delivered
in presence of

Sherman I. Gould

Bernice S. True

Seal

State of Maine, CUMBERLAND, ss. August 28, 1933. Personally appeared the above named Bernice S. True,

and acknowledged the above instrument to be her free act and deed. Before me, Sherman I. Gould, Justice of the Peace.

Received August 31, 1933, at 2 o'clock 5 m. P.M., and recorded according to the original.

Know all Men by these Presents, That

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We, Luella C. True and William C. True, both of Long Island, New York, and Norman E. True, of Quantico, Virginia, being the widow and children and sole heirs at law of Ernest True, deceased, late of Portland, in consideration of One dollar and other good and valuable considerations, paid by Congregation Etz Chaim, a religious and charitable corporation, duly organized, and existing by and under the laws of the State of Maine, and having its principal location in said Portland, the receipt whereof we do hereby acknowledge, do hereby give, grant, bargain, sell and convey unto the said Congregation Etz Chaim, its successors and assigns forever, A certain lot or parcel of land located in Portland and beginning at an iron stake at the southerly corner of land conveyed by Norman True to Ernest True by his deed recorded in the Cumberland County Registry of Deeds in book 803, page 253, to which deed reference is hereby made; thence running north easterly one hundred and forty-five feet (145) more or less along the boundary line of said conveyed lot to an iron stake in the small brook or stream; thence north westerly one hundred and fifty-four feet (154) more or less following an average course of the brook to an iron stake off the bank of the brook about nine feet (9) distant in a northerly direction thence southwesterly two hundred and forty-one feet (241) more or less following an average course of the brook to an iron stake, said iron stake lying in line with the picket fence now forming the northerly boundary of Mount Sinai Cemetery; thence from said iron stake southeasterly two hundred and forty-two feet (242) more or less along the line of said picket fence to the point of beginning. Containing eight tenths of an acre (8/10) more or less.

See
Book 2136
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Being a part of the premises conveyed by Norman True to Ernest True by deed recorded in the Cumberland County Registry of Deeds in Book 803, page 253.

Being also the same premises conveyed by John McIntire, et als., although described differently, to the Congregation Etz Chaim by deed dated July 13th, 1933, to be recorded herewith.

Un Have and in Hold the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said Congregation Etz Chaim, its successors heirs and assigns, to it and their use and behoof forever. And we do covenant with the said Grantee, its successors heirs and assigns, that we are lawfully seized in fee of the premises; that they are free of all in cumbrances;

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that we have good right to sell and convey the same to the said grantee to hold as aforesaid; and that we and our heirs, shall and will warrant and defend the same to the said Grantee, its successors heirs and assigns forever, against the lawful claims and demands of all persons.

In Witness Whereof, We the said Luella C. True, being a widow and unmarried and Norman E. True, being unmarried, and William C. True and Laura C. True, wife of the said William C. True, joining in this deed as grantors, and relinquishing and conveying our rights by descent and all other rights in the above described premises,

have hereunto set
our hands and seals this 16th day of August in the year of our Lord
one thousand nine hundred and thirty-three.

Signed, Sealed and Delivered
in presence of
William W. Gray
Kathleen Bay Anson
Sadie L. Chase
Sadie L. Chase

Luella C. True Seal
Norman E. True Seal
William C. True Seal
Laura C. True Seal

New York, County of Queens
State of Maine, Cumberland ss. _____ 19 33. Personally appeared
the above named Luella C. True

and acknowledged the above instrument to be her free act and deed
Before me, William W. Gray, Notary Public, Queens County, Queens Co. Clerk No. 694, Reg. No. 3187
Term expires March 30, 1934. Notarial Seal.

Received August 31, 1933, at 8 o'clock - m. A.M., and recorded according to the original.

July 16, 2012

City of Portland
400 Congress St.
Portland, ME 04101

To Whom It May Concern:

We have estimated the cost for completing this construction project to be approximately \$250,000.00. Adding a 10% cushion for contingency, we will require \$275,000.00 to complete the project. As president of Etz Chaim Synagogue, I will attest to the fact that we have set aside \$275,000.00 for the sole purpose of funding this project.

Sincerely,

Gary Berenson
President – Etz Chaim Synagogue