

21-E-18

2015-195

273 Congress St.

9 Unit - East End lofts

Clean and Simple Living

City of Portland  
 Development Review Application  
 Planning Division Transmittal Form

**Application Number:** 2015-195                      **Application Date:** 11/03/2015  
**CBL:** 021 E018001                      **Application Type:** Level III Site Plan Under 50,000 sq f  
**Applicant:** Clean and Simple Living, LLC. /Kevin Dwyer  
**Project Name:** East End Lofts  
**Address:** 273 CONGRESS ST  
**Project Description:** Redevelopment of existing building into 9 residential units and 1 retail unit.  
**Zoning:** B2 and HP

**Other Required Reviews:**

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> Traffic Movement       | <input type="checkbox"/> 14-403 Streets | <input type="checkbox"/> Housing Replacement              |
| <input type="checkbox"/> Storm Water            | # Units _____                           | <input checked="" type="checkbox"/> Historic Preservation |
| <input checked="" type="checkbox"/> Subdivision | <input type="checkbox"/> Flood Plain    | <input type="checkbox"/> Other:                           |
| # Lots <u>11</u>                                | <input type="checkbox"/> Shoreland      |   |
| <input type="checkbox"/> Site Location          | <input type="checkbox"/> Design Review  |   |
| # Unit _____                                    |   |   |

**Distribution List:**

<b>Planner</b>	Barbara Barhydt	<b>Parking</b>	John Peverada
<b>Zoning</b>	Ann Machado	<b>Design Review</b>	Caitlin Cameron
<b>Traffic Engineer</b>	Tom Errico	<b>Corporation Counsel</b>	Jennifer Thompson
<b>Civil Engineer</b>	David Senus	<b>Sanitary Sewer</b>	John Emerson
<b>Fire Department</b>	Keith Gautreau	<b>Inspections</b>	Tammy Munson
<b>City Arborist</b>	Jeff Tarling	<b>Historic Preservation</b>	Deb Andrews
<b>Engineering</b>	David Margolis-Pineo	<b>DRC Coordinator</b>	Phil DiPierro
		<b>Outside Agency</b>	

**Comments needed by 11/10/2015**



# **Site Plan Application City of Portland, Maine**

for

**East End Lofts  
273 Congress Street  
Portland Maine**

November 3, 2015

Applicant

Clean and Simple Living, Inc.  
315 16<sup>th</sup> Street  
Boulder, CO 80302

Prepared By

Walsh Engineering Associates, Inc.  
1 Karen Drive, Suite 2A  
Westbrook, Maine 04092



November 3, 2015

Ms. Barbara Barhydt  
Development Review Manager  
City of Portland Planning Division  
389 Congress Street  
Portland, Maine 04101

**RE: Level III Site Plan Application  
East End Lofts  
273 Congress Street  
Portland, Maine**

Dear Ms. Barhydt,

Walsh Engineering Associates, Inc. (WEA) is pleased to submit this Level III Site Plan Application on behalf of Clean and Simple Living, Inc. (Applicant) for the East End Lofts project located at 273 Congress Street, in Portland. The proposed project includes the conversion of the existing building into a mixed-use residential and commercial condominium complex. The Applicant currently owns the subject property, which lies in the City's B2b Business Community Zoning District. The proposed project complies with permitted uses of the B2b zone.

On behalf of the Applicant, we look forward to working with you to make this project a success. We request that the project be placed on the next available Planning Board agenda. Please find enclosed the required Level III Site Plan application materials, full and reduced plan sets, and a CD with the electronic submission. Please contact us at your earliest convenience if you require any additional information.

Respectfully,

A handwritten signature in cursive script that reads "Silas Canavan".

Silas Canavan, PE  
Walsh Engineering Associates, Inc.

cc: Kevin Dwyer, Clean and Simple Living, Inc.  
Evan Carroll, bild ARCHITECTS

enc: Letter to Fire Department  
Site Plan Application  
Site Plans (1 full size, 1 reduced)  
CD with electronic submission



Jeff Lenzag, AICP, Director  
Planning & Urban Development Department



### Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.


By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a legal signature per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no Site Plan or Historic Preservation Applications can be reviewed until payment of appropriate application fees are paid in full to the Inspections Office, City of Portland Maine by method noted below:

Within 24-48 hours, once my complete application and corresponding paperwork has been electronically delivered, I intend to call the Inspections Office at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.

Within 24-48 hours, once my application and corresponding paperwork has been electronically delivered, I intend to call the Inspections Office at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.

I intend to deliver a payment method through the U.S. Postal Service mail once my application paperwork has been electronically delivered.

  
Applicant Signature:

11/3/15  
Date:

  
I have provided digital copies and sent them on:

11/3/15  
Date:

**NOTE:** All electronic paperwork must be delivered to [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov) or by physical means i.e. a thumb drive or CD to the Inspections Office, City Hall, 3<sup>rd</sup> Floor, Room 315.



**PROJECT NAME:** East End Lofts

**PROPOSED DEVELOPMENT ADDRESS:**

273 Congress Street, Portland, Maine

**PROJECT DESCRIPTION:**

Redevelopment of existing building into 9 residential units and one retail unit.

**CHART/BLOCK/LOT:** 21/E/18

**PRELIMINARY PLAN** \_\_\_\_\_ (date)  
**FINAL PLAN** 11/3/15 (date)

**CONTACT INFORMATION:**

<b>Applicant – must be owner, Lessee or Buyer</b> Name: Kevin Dwyer Business Name, if applicable: Clean and Simple Living, LLC Address: 315 16th Street City/State : Boulder, CO Zip Code: 80302	<b>Applicant Contact Information</b> Work # Home# Cell # 802-578-5585 Fax# e-mail: dwyerkf@msn.com
<b>Owner – (if different from Applicant)</b> Name: Kevin Dwyer, East End Lofts, LLC (a subsidiary of Clean and Simple Living, LLC) Address: 315 16th Street City/State : Boulder, CO Zip Code: 80302	<b>Owner Contact Information</b> Work # Home# Cell # 802-578-5585 Fax# e-mail: dwyerkf@msn.com
<b>Agent/ Representative</b> Name: Silas Canavan, PE Walsh Engineering Associates, Inc. Address: 1 Karen Drive, Suite 2A City/State : Westbrook, ME Zip Code: 04092	<b>Agent/Representative Contact information</b> Work # 207-553-9898 Cell # 802-989-2337 e-mail: silas@walsh-eng.com
<b>Billing Information</b> Name: Kevin Dwyer Clean and Simple Living, LLC Address: 315 16th Street City/State : Boulder, CO Zip Code: 77380	<b>Billing Information</b> Work # Cell # 802-578-5585 Fax# e-mail: dwyerkf@msn.com



**APPLICATION SUBMISSION:**

1. All site plans and written application materials must be submitted electronically on a CD or thumb drive with each plan submitted as separate files, with individual file which can be found on the Electronic Plan and Document Submittal page of the City's website at <http://www.portlandcityplus.com/764/Electronic-Plan-and-Documents-Submittal>
2. In addition, one (1) paper set of the plans (full size), one (1) paper set of plans (11 x 17), paper copy of written materials, and the application fee must be submitted to the Building Inspections Office to start the review process.

The application must be complete, including but not limited to the contact information, project data, application checklists, wastewater capacity, plan for fire department review, and applicant signature. The submissions shall include one (1) paper packet with folded plans containing the following materials:


1. One (1) full size site plan that must be folded.
2. One (1) copy of all written materials or as follows, unless otherwise noted:
  - a. Application form that is completed and signed.
  - b. Cover letter stating the nature of the project.
  - c. All Written Submittals (Sec. 14-525 Z, (c), including evidence of right, title and interest.
3. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 50 feet.
4. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
5. One (1) set of plans reduced to 11 x 17.

Please refer to the application checklist (attached) for a detailed list of submission requirements.

**APPLICANT SIGNATURE:**

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Level III Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.

Signature of Applicant: 	Date: 11/3/15
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<b>FINAL PLAN - Level III Site Plan</b>			
<b>Applicant Checklist</b>	<b>Planner Checklist</b>	<b># of Copies</b>	<b>GENERAL WRITTEN SUBMISSIONS CHECKLIST (* If applicant chooses to submit a Preliminary Plan, then the * items were submitted for that phase and only updates are required)</b>
X		1	* Completed Application form
X		1	* Application fees
X		1	* Written description of project
X		1	* Evidence of right, title and interest
N/A		1	* Evidence of state and/or federal permits
X		1	* Written assessment of proposed project's specific compliance with applicable Zoning requirements
X		1	* Summary of existing and/or proposed easements, covenants, public or private rights-of-way, or other burdens on the site
X		1	* Evidence of financial and technical capacity
X		1	Construction Management Plan
N/A		1	A traffic study and other applicable transportation plans in accordance with Section 1 of the technical Manual, where applicable.
N/A		1	Written summary of significant natural features located on the site (Section 14-526 (b) (a))
N/A		1	Stormwater management plan and stormwater calculations
X		1	Written summary of project's consistency with related city master plans
X		1	Evidence of utility capacity to serve
X		1	Written summary of solid waste generation and proposed management of solid waste
X		1	A code summary referencing NFPA 1 and all Fire Department technical standards
X		1	Where applicable, an assessment of the development's consistency with any applicable design standards contained in Section 14-526 and in City of Portland Design Manual
N/A		1	Manufacturer's verification that all proposed HVAC and manufacturing equipment meets applicable state and federal emissions requirements.

X		Location of all existing and proposed fire hydrants and a life safety plan in accordance with Section 3 of the Technical Manual;
X		Location, sizing, and directional flows of all existing and proposed utilities within the project site and on all abutting streets;
X		Location and dimensions of off-premises public or publicly accessible infrastructure immediately adjacent to the site;
N/A		Location and size of all on site solid waste receptacles, including on site storage containers for recyclable materials for any commercial or industrial property;
X		Plans showing the location, ground floor area, floor plans and grade elevations for all buildings;
N/A		A shadow analysis as described in Section 11 of the Technical Manual, if applicable;
X		A note on the plan identifying the Historic Preservation designation and a copy of the Application for Certificate of Appropriateness, if applicable, as specified in Section Article IX, the Historic Preservation Ordinance;
X		Location and dimensions of all existing and proposed HVAC and mechanical equipment and all proposed screening, where applicable;
N/A		An exterior lighting plan in accordance with Section 12 of the Technical Manual;
N/A		A signage plan showing the location, dimensions, height and setback of all existing and proposed signs;
X		Location, dimensions and ownership of easements, public or private rights of way, both existing and proposed.



November 3, 2015

Captain Chris Pirone  
City of Portland Fire Department  
380 Congress Street  
Portland, ME 04101

**RE: Level III Site Plan Application  
East End Lofts  
273 Congress Street  
Portland, Maine**

Dear Captain Pirone,

In accordance with the requirements of the City's Site Plan review application, we have provided the enclosed drawing necessary for your review of the East End Lofts project located at 273 Congress Street in Portland. We have also provided the necessary information in the narrative below.

1. Name, address and telephone number of applicant  
*Kevin Dwyer  
Clean and Simple Living, Inc.  
315 16<sup>th</sup> Street  
Boulder, CO 8030  
802-578-5585*
2. Name address and telephone number of architect.  
*Evan Carroll, bild ARCHITECTS  
PO Box 8235  
Portland, Maine 04104  
207-408-0168*
3. Proposed use of any structures.  
*The interior of the existing building will be converted to condominium units. There will be a total of 10 residential condominiums (1 bedroom and studios) and one retail/commercial unit.*
4. Square footage of all structures  
*The footprint of the existing 3-story structure is approximately 6,040 square feet. The gross floor area is approximately 12,343 square feet. The existing building will not be expanded.*
5. Elevations of all structures  
*The peak height of the existing building is approximately 54'-2" above ground level. The height of the building will not change.*





## TABLE OF CONTENTS

### SECTION

---

- 1 Development Description**
  - 1.1 Project Overview
  - 1.2 Existing Conditions
  - 1.3 Proposed Development
- 2 Evidence of Right, Title, and Interest**
- 3 Evidence of State and/or Federal Approvals**
- 4 Assessment of Compliance with Zoning Requirements**
- 5 Summary of Existing and/or Proposed Easements, Covenants, Right-of-Way, or other Burdens on the Site**
  - 5.1 Existing Access Easement
- 6 Written Requests for Waivers**
- 7 Evidence of Financial and Technical Capacity**
  - 7.1 Financial Capacity
  - 7.2 Technical Capacity
- 8 Construction Management Plan**
- 9 Boundary Survey**
- 10 Site Plans**

### Attachments

#### **Section 2**

Attachment A: Quitclaim Deed

#### **Section 4**

Attachment B : Requests for Utility 'Ability to Serve' Letters

#### **Section 5**

Attachment C: Easement Information

#### **Section 7**

Attachment D: Letter of Financial Capacity

## **1 Development Description**

### **1.1 Project Overview**

Clean and Simple Living, Inc. (Applicant) currently owns the subject property located at 273 Congress Street identified by the City Tax Assessor as Map 21 Block E Lot 18 through its subsidiary company East End Lofts, LLC. The lot currently contains a commercial building with a footprint of approximately 6,040 square feet. The Applicant intends to renovate the existing building into a mixed-use condominium complex with 10 residential units and one commercial unit. The project requires Level III Site Plan approval from the City of Portland Planning Department.

### **1.2 Existing Conditions**

The site is comprised of one 0.2 acre parcel identified on the City of Portland Assessor's Map as Tax Map 21, Block E, Lot 18 and lies within the B2b Business Community Zone and the India Street Historic Preservation District. The parcel is located on the northern side of the intersection of Congress Street and India Street and has 42.93 feet of frontage along Congress Street. The parcel is bordered to the northeast by the Etz Chaim Synagogue/Maine Jewish Museum; to the northwest by residential properties; to the southwest by St. Paul's Church, and to the southeast by Congress Street, beyond which is a Maine Medical Center Family Medicine Center.

The site is entirely developed with the building and associated sidewalk and parking lot, rendering the site 100% impervious. The three story building has a footprint of approximately 6,040 square feet and a total floor area of approximately 12,343 square feet.

The topography of the site slopes gently from the back of the property to the southeast towards Congress Street. Stormwater flows overland and is collected in the municipal stormwater collection system in Congress Street.

The site is currently connected to public sewer, public water, natural gas, electrical, and communication services from Congress Street.

### **1.3 Proposed Development**

The Applicant intends to renovate the existing building into a mixed-use condominium complex with 10 residential units and one commercial unit. The footprint of the building will not be changed. Building renovations will be on the interior of the buildings, with the exception of installation of new windows and improvements to the building façade.

Limited exterior site work is proposed, including installation of new domestic water and fire suppression services. Separate fire protection and domestic service lines will be provided.

The site is currently 100% impervious. As such, there will be no increase in impervious area, which in turn, results in no impacts to stormwater conditions as the site.



## **2 Evidence of Right, Title, and Interest**

The Applicant, Clean and Simple Living, Inc., currently owns the subject property through its subsidiary company East End Lofts, LLC. The applicable deed is attached.

**Attachment A**  
**Quitclaim Deed**

WITNESS:

Rebecca H. Freed

EAST END STUDIOS, LLC,  
a Maine limited liability company

By: Sherwood Hamill  
Sherwood Hamill, Sole Member &  
Sole Manager

COUNTY OF CUMBERLAND )  
STATE OF MAINE ) ss.:

On September 18, 2015, personally appeared the above-named Sherwood Hamill, Sole Member and Sole Manager of EAST END STUDIOS, LLC and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said EAST END STUDIOS, LLC.

Before me,

Rebecca H. Freed  
~~Notary Public~~/Maine Attorney  
Printed Name: Rebecca Freed  
My Commission Expires: \_\_\_\_\_



TOGETHER WITH all right, title and interest in and to the land described in that certain Quitclaim Deed Without Covenant (Release Deed) from Congregation Etz Chaim to Grantor, dated August 27, 2015 and recorded in the Cumberland County Registry of Deeds in Book 32546, Page 302.

EXCEPTING from the Premises herein conveyed that certain land conveyed by Grantor to Congregation Etz Chaim in that certain Quitclaim Deed Without Covenant (Release Deed), dated August 26, 2015 and recorded in the Cumberland County Registry of Deeds in Book 32546, Page 299.

ALSO RELEASING to Grantee, without any covenant of title whatsoever, all right, title and interest of Grantor in and to the following described property (the "Survey Description"):

A certain lot or parcel of land, with the buildings thereon, situated on the northwesterly sideline of Congress Street, in the City of Portland, County of Cumberland, and State of Maine, being more particularly bounded and described as follows:

Beginning at a #5 steel rebar with survey cap #2124 or MagNail with survey washer #2124 to be set on the apparent northwesterly sideline of Congress Street at the southerly corner of the herein described parcel and the southeasterly terminus of a twelve (12') foot wide lane as described in Cumberland County Registry of Deeds (CCRD) Book 31, Page 38, dated September 7, 1797, and being depicted on a plan entitled, "*Plan Depicting The Results Of A Boundary Survey & Boundary Line Agreement Made For East End Studios, LLC, Northwesterly Sideline Of Congress Street, Portland, Maine*", dated August 27, 2015 by Nadeau Land Surveys, Portland, Maine (the "Plan");

Thence N54°16'18"E, a distance of forty-two and ninety-three hundredths (42.93') feet to the easterly corner of the herein described parcel and the southerly corner of land of Congregation Etz Chaim as shown on the Plan;

Thence N33°20'39"W, along said land of Congregation Etz Chaim, a distance of twenty-six hundredths (0.26') feet to a found ¾" drill hole in concrete walk at or near the southerly corner of said land of Congregation Etz Chaim;

Thence along the following six courses:

N22°08'42"W, a distance of eight and fifty-seven hundredths (8.57') feet;  
N33°52'28"W, a distance of seventy-two and fifty-three hundredths (72.53') feet;  
S54°26'28"W, a distance of one and thirteen hundredths (1.13') feet;  
N33°50'34"W, a distance of eighty-two and seventy-nine hundredths (82.79') feet;  
N36°02'26"W, a distance of thirty-two and forty-two hundredths (32.42') feet;  
N17°05'41"W, a distance of eight and fifty-one hundredths (8.51') feet, to a found #5 steel rebar with survey cap #1252 depicted on said Owen Haskell plan as a point on the southwesterly sideline of said land of Congregation Etz Chaim;



Thence southeasterly along or through said land now or formerly of St. Paul's Parish Church and land now or formerly of 277 Congress Street, LLC (Book 29339, Page 235), keeping a distance of twelve (12) feet at all times from the first bound described above, to a point on the apparent northwesterly sideline of Congress Street;

Thence northeasterly along the northwesterly sideline of Congress Street to the point of beginning.

The above described right of way is subject to the rights of other abutters in and to such 12' Wide Lane to the use thereof.

Reference is made to a plan entitled "*Plan Depicting The Results Of A Boundary Survey & Boundary Line Agreement Made For East End Studios, LLC, Northwesterly Sideline Of Congress Street, Portland, Maine*", dated August 27, 2015 by Nadeau Land Surveys, Portland, Maine.

Received  
Recorded Register of Deeds  
Sep 25, 2015 03:09:12P  
Cumberland County  
Nancy A. Lane

**3 Evidence of State and/or Federal Approvals**

No state or federal approvals are required for this project.

## 4 Assessment of Compliance with Zoning Requirements

The following narrative demonstrates that the project conforms to the applicable design standards of Section 14-526 of the City of Portland Zoning Ordinance.

### a) Transportation Standards

#### 1. Impact on surrounding Street Systems

*The project has been designed to provide adequate vehicular access. The project will result in the change of use of the office space and wood shop portions of the building to residential use. The retail portion of the building will remain the same. The residential use in the downtown location with easy pedestrian access and public transportation is not anticipated to increase the number of vehicular trips generated by the project from the existing condition. Therefore, the project is not anticipated to have an adverse impact on the surrounding street system.*

#### 2. Access and Circulation

##### a. Site Access and Circulation

- i. The site access and internal circulation has been designed based on the City Technical Manual and standard engineering practice.*
- ii. Site access and egress are located at existing access/egress locations for the existing building and will not conflict with existing turning movements and traffic flows.*
- iii. No drive up features are proposed.*

##### b. Loading and Servicing

- i. It is anticipated that delivery vehicles for the retail space will be primarily box trucks and/or vans. Delivery vehicles will be able to park in the on-street loading zone in front of the property.*

##### c. Sidewalks

- i. A brick sidewalk with granite curb currently exists along the entire lot frontage.*
- ii. The existing brick sidewalk is in acceptable condition and replacement is not necessary.*
- iii. Internal sidewalks within the site are not necessary and are not practical based on existing site constraints.*

#### 3. Public Transit Access

- a. N/A: The development consists of less than 20 dwelling units and less than 20,000 square feet of commercial area. However, the development is located along an existing public transit route. An existing bus stop is*

1. Preservation of Significant Natural Features:

- a. No significant natural features are located on the site.*
- b. Not applicable*
- c. No waivers are being requested for the project.*

2. Landscaping and Landscaping Preservation

a. Landscaping preservation

- i. There is currently no landscaping on the property. The site is 100% impervious.*
- ii. Not Applicable (see above)*
- iii. Not Applicable (see above)*
- iv. No waivers are being requested.*
- v. Not applicable. The site is not located within the Shoreland Zone.*

b. Site Landscaping

i. Landscaped Buffers

- a. Dumpsters are not proposed for this project. Trash and recycling will be stored indoors.*
- b. The property has 42.93' of frontage. Therefore, 6 shrubs will be required for understory plantings. As there is no room onsite for understory plantings, the Applicant will pay into the City's tree fund.*
- c. Not Applicable. The project is not located within an industrial or commercial zone.*
- d. Not Applicable. There are no detrimental impacts of surrounding development that would necessitate buffers.*

ii. Parking lot landscaping

- a. The project will maintain the five (5) existing exterior parking spaces onsite. Therefore, 2 trees will be required for parking lot landscaping. As there is no room onsite for tree plantings, the Applicant will pay into the City's tree fund.*
- b. No landscape islands are proposed.*
- c. No landscape islands are proposed.*
- d. No vehicle display lots proposed.*
- e. Site constrains prevent the installation of understory and parking lot plantings. Therefore, the Applicant respectfully requests a waiver from the landscaping requirements and will pay in to the City's tree fund.*



*system is located approximately 85 feet from the building at the southeast corner of the intersection of India Street and Congress Street.*

3. Availability and Adequate Capacity of Public Utilities

- a. The applicable utility companies have been notified of the project and 'Ability to Serve' letters have been requested. The proposed utility services have been designed to provide adequate capacity for the proposed project.*
- b. The overhead electrical and communication service connections to the building will be maintained.*
- c. Utility installations within the Congress Street right-of-way meet the requirements of Sections 2 and 9 of the Technical Manual.*
- d. The project will maintain the current connection to the public sanitary sewer collection system.*
- e. The project will maintain the current connection to the public sanitary sewer collection system. There are no existing or proposed connections to the public stormwater collection system.*
- f. Trash and recycling will be stored indoors by the tenants until collection days.*

d) Site Design Standards

1. Massing, Ventilation, and Wind Impact:

- a. The building's bulk, location, and height will not change from the existing condition and will not have an adverse effect on the ventilation or wind climate of the site or abutting properties.*
- b. The building's bulk, location, and height will not change from the existing condition and will not have an adverse effect on the value of the abutting structures.*
- c. Wall hung heat pump condensing units will be installed on the west side of the building towards the parking lot. These are electric units and will not produce exhaust.*

2. Shadows

- a. The height and shape of the building will not change from the existing condition. Therefore, the shadows cast from the building will not be affected.*

3. Snow and Ice Loading

- a. The roof size and pitch will not change from the existing condition. Therefore, there will be no change in the volume or direction of snow and ice falling from the building.*

4. View Corridors

*a. A street wall with entrances to the public portion of the building accessible from the street is already provided in the existing building and will be maintained.*

e) Conditions

*1. No conditions have been imposed by the Planning Authority or Planning Board*

f) General Waivers

*1. No general waivers are being requested.*





**Attachment B**  
**Requests for Utility Ability to Serve Letters**

If you have any questions, please contact me.

Regards,

Jamie

Jamie Cough  
Energy Services Advisor  
Central Maine Power Company  
162 Canco Road  
Portland, ME 04103  
207-842-2367 office  
207-458-0382 cell  
207-626-4082 fax



CENTRAL MAINE  
POWER

=====  
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**W A L S H**  
ENGINEERING ASSOCIATES, INC.

October 14, 2015

Portland Water District  
225 Douglass Circle  
Portland, ME 04102

**RE: Ability to Serve  
273 Congress Street  
Portland, Maine  
Tax Map 21, Block E, Lot 18**

To Whom It May Concern,

Walsh Engineering Associates, Inc. (WEA) is requesting an "Ability to Serve" letter from the Portland Water District for domestic water and fire services for a multi-use residential and retail condominium building located at 273 Congress Street in Portland, Maine. The existing building will be renovated to house 10 studio/one bedroom residential units and 2,550± square feet of retail space. It is assumed that the domestic service will require approximately 1,585 gallons/day.

If available, please provide any information regarding the existing service line to the building and the location, size, and material of the water main in Congress Street.

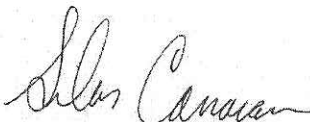
Automatic sprinkler systems will be installed throughout the building. WEA is requesting existing pressure and flow information from the nearest available hydrant to verify that there is adequate flow capacity for the sprinkler systems.

A site plan is attached showing the conceptual locations of the water service connections. A copy of the City of Portland Tax Map indicating the project location is also attached.

**The Applicant would like to submit their application to City of Portland by October 30, 2015. If you could provide the requested information prior to October 30, 2015 it would be greatly appreciated.**

Please contact me if you require any additional information.

Respectfully,



Silas Canavan, PE  
Walsh Engineering Associates, Inc.

**4. Please, Submit External Grease Interceptor Calculations.**

Total Drainage Fixture Unit (DFU) Values:

N/A - Commercial space will consist of retail space only. No food preparation.

Size of External Grease Interceptor:

Retention Time:

Peaking Factor/ Peak Times:

*(Note: In determining your restaurant process water flows, and the size of your external grease interceptor, please use The Uniform Plumbing Code. Note: In determining the retention time, sixty (60) minutes is the minimum retention time. Note: Please submit detailed calculations showing the derivation of your restaurant process water design flows, and please submit detailed calculations showing the derivation of the size of your external grease interceptor, either in the space provided below, or attached, as a separate sheet)*

**5. Please, Submit Industrial Process Wastewater Flow Calculations**

Estimated Industrial Process Wastewater Flows Generated:

N/A

         GPD

Do you currently hold Federal or State discharge permits?

         Yes

         No

Is the process wastewater termed categorical under CFR 40?

         Yes

         No

OSHA Standard Industrial Code (SIC):

<http://www.osha.gov/oshstats/sicser.html>

Peaking Factor/Peak Process Times:

*(Note: On the submitted plans, please show where the building's domestic sanitary sewer laterals, as well as the building's industrial-commercial process wastewater sewer laterals exits the facility. Also, show where these building sewer laterals enter the city's sewer. Finally, show the location of the wet wells, control manholes, or other access points; and, the locations of filters, strainers, or grease traps)*

*(Note: Please submit detailed calculations showing the derivation of your design flows, either in the space provided below, or attached, as a separate sheet)*

Notes, Comments or Calculation

See attached design flow calculations.

**5 Summary of Existing and/or Proposed Easements, Covenants, Right-of-Way, or other Burdens on the Site**

**5.1 Existing Access Easement**

A 12-foot wide access easement is provided for access to the subject property at the site entrance from Congress Street as described in General Note #17 on the Boundary Survey included with this submission. A memo from Drummond Woodsum Attorneys at Law verified the existence of this easement. A copy of the memo is included in this section.

**Attachment C**  
**Easement Information**



**6 Written Requests for Waivers**

The applicant is respectfully requesting waivers from the understory planting, parking lot landscaping, and street tree planting requirements of section 14-526(b)2.



## 7 Evidence of Financial and Technical Capacity

### 7.1 Financial Capacity

The applicant has the capacity to obtain the necessary financing for the project. A letter of financial capacity from Androscoggin Bank is attached. The estimated construction cost for the project is approximately \$800,000.

### 7.2 Technical Capacity

The Applicant has assembled a team of qualified professionals for the design and permitting of the project. Each team member has extensive experience in the design and permitting of project in Portland and throughout the State of Maine. The consultant team consists of the following members:

Civil Engineer: Silas Canavan, PE  
Walsh Engineering Associates, Inc.  
1 Karen Drive, Suite 2A  
Westbrook, Maine 04092  
207-553-9898  
[silas@walsh-eng.com](mailto:silas@walsh-eng.com)

Architect: Evan Carroll, AIA  
bild ARCHITECTURE  
PO Box 8235  
Portland, Maine 04104  
207-408-0168  
[evan@bildarchitecture.com](mailto:evan@bildarchitecture.com)

Surveyor: James Nadeau, PLS  
Nadeau Land Surveys  
918 Brighton Avenue  
Portland, Maine 04102  
207-878-7870  
[jim@nadeaulandsurveys.com](mailto:jim@nadeaulandsurveys.com)

Attorney: Gary Vogel  
Drummond Woodsum Attorneys at Law  
84 Marginal Way, Suite 600  
Portland, Maine 04101  
207-257-0518  
[gvogel@dwmlaw.com](mailto:gvogel@dwmlaw.com)



## **8 Construction Management Plan**

The Applicant intends to begin construction immediately following approval of all applicable permit applications.

Limited exterior site work is proposed, therefore, minimal exterior impacts are anticipated for the project as it consists primarily of interior building renovations and exterior building façade improvements. Construction equipment and vehicles will be primarily contained to the existing parking lot adjacent to the building, which will not impact surrounding traffic patterns. Due to the proximity of the front of the building to the Congress Street sidewalk, pedestrian traffic may be temporarily redirected by signage at the nearest intersections during façade improvements to the front of the building.

The installation of new water service lines will require street opening within Congress Street. Associated lane closures and traffic management will be coordinated with the City by the selected contractor.



## **9      Boundary Survey**

Boundary and Topographic surveys performed by Nadeau Land Surveys are enclosed with the Plan Set in Section 10.



## 10 Site Plans

The following plans are included with this submission.

Cover Sheet

Existing Conditions and Topographic Survey

Boundary Survey

C1.0 Existing Conditions and Removals Plan

C2.0 Site Layout, Utility, and Grading Plan

1 of 1 Subdivision Plat

C3.0 Site Details

C3.1 Erosion and Sedimentation Control Notes

A2.1 Elevations





**TRANSMITTAL**

**Date:** February 16, 2016                      **Project Number:** 310

**Project:** East End Lofts  
273 Congress Street  
Portland, Maine

**To:** Shukria Wiar

**From:** Silas Canavan

**Copy:**

**Enc:**        **Recording Plat**

**Message:**

Hi Shukria,

Please find one (1) paper copy and two (2) mylar copies of the recording Plat to be signed by the Planning Board for the East End Lofts project at 273 Congress Street in Portland. Please let me know when the plats are signed so we can pick them up and record them at the registry.

Thanks,

Silas

Mailed  
 Delivered

Fax        Number \_\_\_\_\_  
No. of Pages (including cover) \_\_\_\_\_



25 January 2016

Shukria Wiar  
Planner  
City of Portland  
389 Congress Street  
Portland, ME 04101

Greater Portland Landmarks encourages the Planning Board to support the Level III Site Plan and Subdivision application for the redevelopment of 273 Congress Street. The return of housing to this 19<sup>th</sup> century site is an exciting project in the newly designated India Street Historic District. The project brings new life to an historic building that has been compromised by past alterations, and successfully blends elements of contemporary design with sympathetic alterations that enhance the Congress Street façade. The result is a project that is compatible with the scale, character, and traditional development patterns of this portion of Congress Street and will contribute to the revitalization of the streetscape and the neighborhood as a whole. The proposed mixed use of the building is fitting to the historic mix of uses in the India Street neighborhood, meets the goals of the B2b Zone, and provides much needed housing in the city.

Thank You,

Julie Ann Larry  
Director of Advocacy  
Greater Portland Landmarks  
93 High Street  
Portland, ME 04101



12/14/15

## Accessibility Narrative

The proposed project at 273 Congress Street has two components: The private condos portion, and the public retail portion. The 2010 ADA Standards for Accessible Design only applies to public spaces, or only the retail unit.

The retail unit currently has an accessible entrance and bathroom. The ADA document is a scoping document and asks that certain numbers of accessible parking spaces be provided WHEN parking spaces are provided. As none of the on-site parking will be for retail use, no accessible spaces are required for the retail space.

The condo units are not governed by ADA but are often governed by Fair Housing. However, the Fair Housing guidelines do not apply to buildings that were occupied before 1991. The International Building Code has accessibility standards, but these standards have been written out of the code in the state of Maine. There are no accessibility standards that apply to the private condos portion of the building.

November 19, 2015

Dear Neighbor,

On behalf of Clean and Simple Living, Inc., I invite you to a neighborhood meeting to discuss their plans for East End Lofts conversion to a mixed-use residential and commercial condominium complex, located at 273 Congress Street, Portland, Maine 04101.

**Meeting Location:** 273 Congress Street, Portland, Maine 04101

**Meeting Date:** Tuesday, December 1, 2015

**Meeting Time:** 6 pm

Under Section 14-32(C) and 14-524(a)d The City Code of Ordinances, an applicant for Level III development, subdivision of over five lots/units, or zone change is required to hold a neighborhood meeting within 30 days of submitting a preliminary application or 21 days of submitting a final site plan application, if a preliminary plan was not submitted. The neighborhood meeting must be held at least seven days prior to the Planning Board public hearing on the proposal. Should you wish to offer additional comments on this proposed development, you may contact the Planning Division at 874-8721 or send written correspondence to the Planning and Urban Development Department, Planning Division, 4<sup>th</sup> floor, 389 Congress Street, Portland, ME 04101 or by email to: [bab@portland.maine.gov](mailto:bab@portland.maine.gov).

If you have any questions, please call Silas Canavan at Walsh Engineering Associates, Inc. at 207-553-9898 or [silas@walsh-eng.com](mailto:silas@walsh-eng.com).

Sincerely,



Silas Canavan, PE  
Walsh Engineering Associates, Inc.  
(Agent for Clean and Simple Living, Inc.)

cc: Kevin Dwyer, Clean and Simple Living, Inc.  
Evan Carroll, bild Architecture  
Shukria Wiar, City Planner



**East End Lofts**  
**273 Congress Street**  
**Portland, Maine**  
**Level III Site Plan Application**

Prepared For:  
**Clean and Simple Living, Inc.**  
**315 16<sup>th</sup> Street**  
**Boulder, CO 80302**

**Design Consultants:**

Civil Engineer  
 Walsh Engineering Associates, Inc.  
 One Karen Drive, Suite 2A  
 Westbrook, Maine 04092  
 207-553-9898

Architect  
 bild ARCHITECTURE  
 PO Box 8235  
 Portland, Maine 04104  
 207-408-0168

Surveyor  
 Nadeau Land Surveys  
 918 Brighton Ave  
 Portland, ME 04102  
 207-878-7870

**Utilities:**

Sewer  
 City of Portland  
 Public Services Department  
 55 Portland Street  
 Portland, Maine 04101  
 207-874-8493

Water  
 Portland Water District  
 225 Douglass Street  
 P.O. Box 3553  
 Portland, Maine 04102  
 207-774-5961 x3199

Electric  
 Central Maine Power Co.  
 162 Canco Road  
 Portland, Maine 04103  
 800-750-4000

Telephone  
 Fairpoint  
 45 Forest Avenue  
 Portland, Maine 04101  
 800-240-5019

Cable  
 Time Warner Cable  
 118 Johnson Road  
 Portland, Maine 04101  
 800-892-2253

Natural Gas  
 Unitil  
 1075 Forest Avenue  
 Portland, Maine 04103-3586  
 207-541-2543

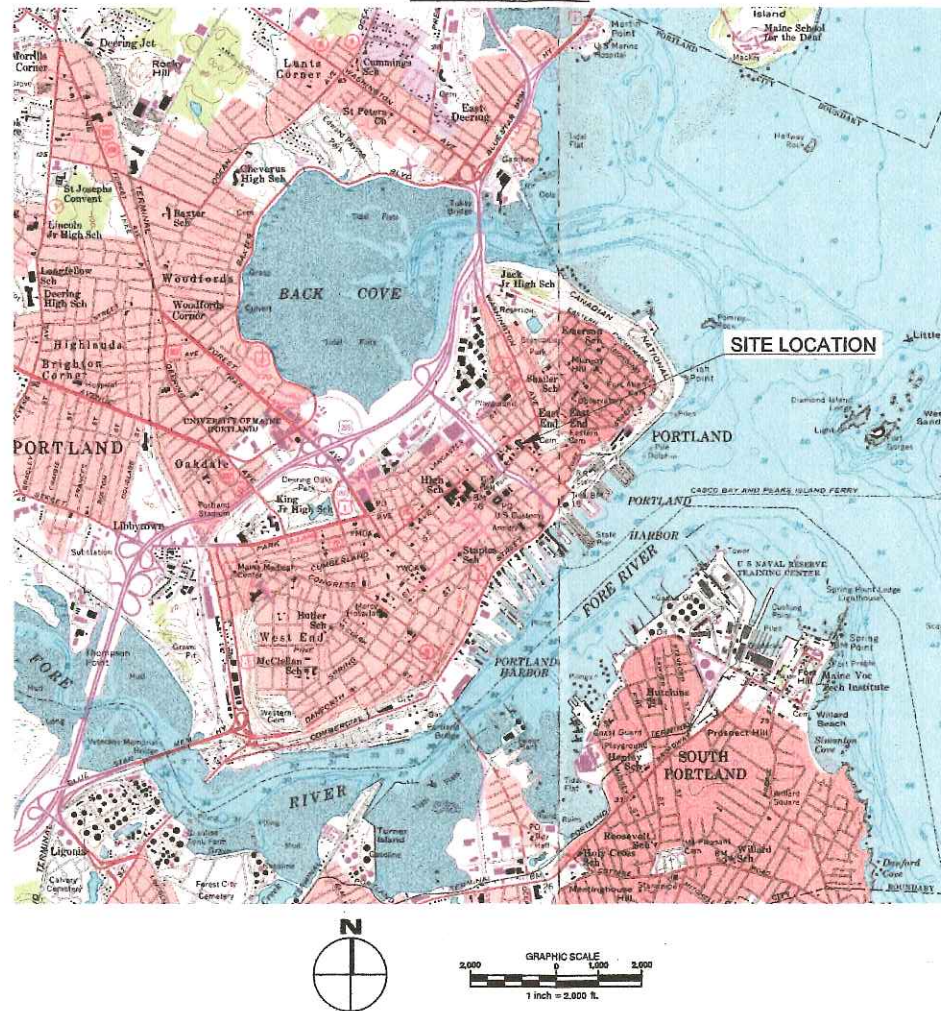
**Permits:**

Type	Jurisdiction	Status
Level III Site Plan	City of Portland Planning Department	Submitted November 3, 2015

Record Owner  
 East End Lofts, LLC  
 (Subsidiary of Clean and Simple Living, Inc.)  
 315 16th Street  
 Boulder, CO 80302

Parcel ID  
 Map 21  
 Block E  
 Lot 18

**Vicinity Map:**



**List of Drawings:**

Sheet No.	Sheet Title
	Cover Sheet
	Existing Conditions & Topographic Survey
	Boundary Survey
C1.0	Existing Conditions and Removals Plan
C2.0	Site Layout, Utility, and Grading Plan
1 of 1	Subdivision Plat
C3.0	Site Details
C3.1	Erosion and Sedimentation Control Notes
A2.1	Elevations

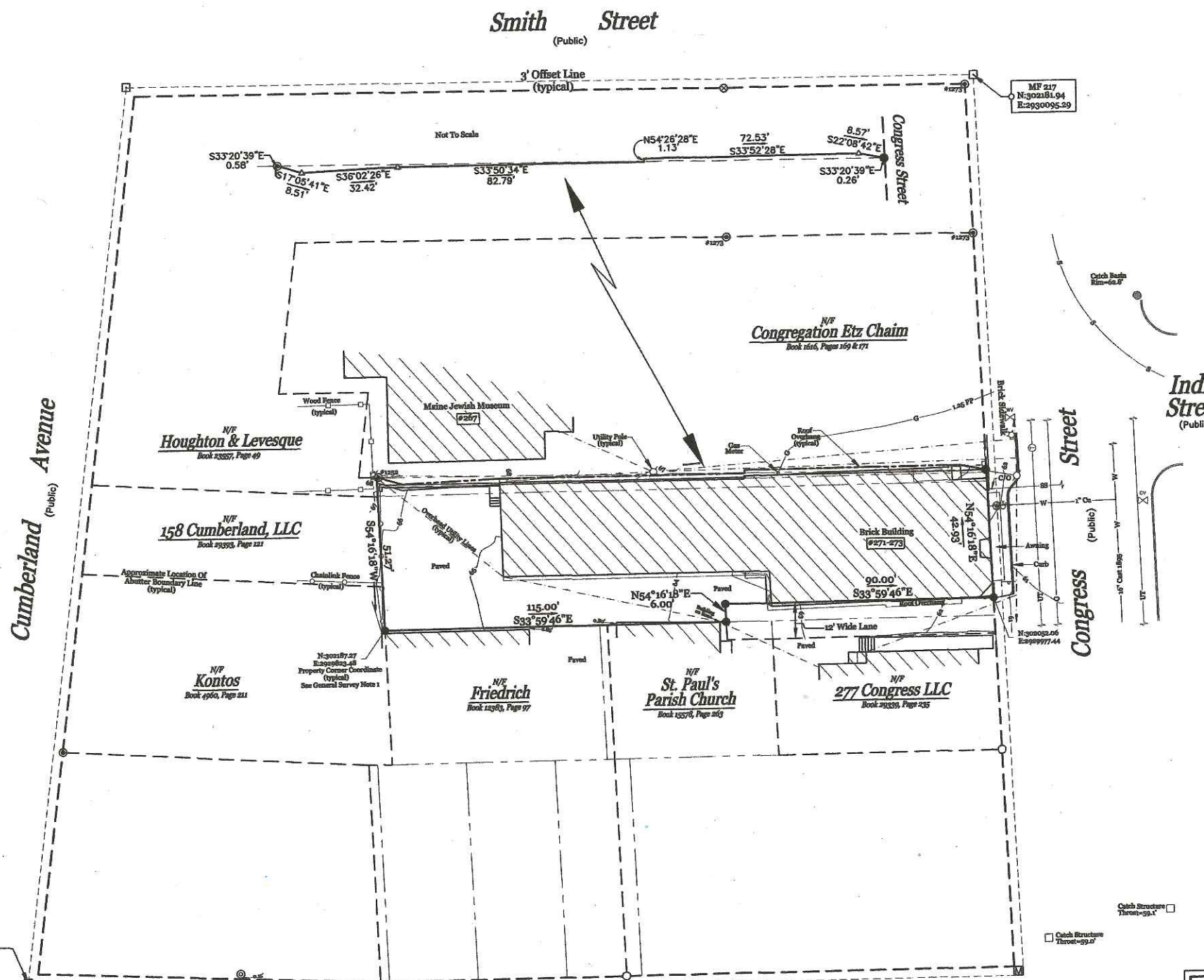


**Survey Plan Reference:**

1. Plan Depicting The Results Of A Boundary Survey & Proposed Boundary Line Agreement Made For East End Studios, LLC Northwestern Sideline Of Congress Street, Portland, Maine, dated August 27, 2015 by Nadeau Land Surveys, Professional Land Surveyors Portland, Maine.

**Legend:**

- #5 Steel Rebar w/Survey Cap #2124 To be Set
- Found Monument
- Found Steel Rebar w/Survey Cap
- Found Drill Hole
- Found Iron Pipe
- Found Steel Rebar
- Found Railroad Spike
- Catch Basin
- Sanitary Manhole
- Drain Manhole
- Manhole
- Water Meter
- Communications Manhole
- Fire Hydrant
- Utility Pole w/Guy Wire
- Water Shutoff
- Water Valve
- Gas Valve
- Traffic Light Pole
- Sign
- W — Water Line
- G — Gas Line
- SS — Sewer Line
- OHE & T — Overhead Utility Line
- UT — Underground Communications



**General Notes:**

1. This plan is not intended to depict limits or extent of fee title ownership. An opinion of title should be rendered by a title attorney.
2. This office reserves the right to be held harmless by all 3rd party claims.
3. This survey does not purport to reflect any of the following:
  - a. easements other than those that are visible or specifically stated in the referenced documents.
  - b. building setback compliance or restrictive covenants.
  - c. zoning or other land use regulations.
  - d. the location of any underground utilities or structures.
4. This office reserves the right to be held harmless for unknown or unobtainable private records which could affect the results of this survey.
5. Reference is made to "Letter Of Agreement" dated October 30, 2015 between Nadeau Land Surveys and the below listed client(s), which shall be considered an integral part of this survey.
6. N/F is an abbreviation for Now or Formerly.
7. All deeds referenced on this plan are recorded at the Cumberland County Registry of Deeds (CCRD).
8. Locus Parcel is shown on the City of Portland Assessor's Map #1, Block E, as Lot 18, and is listed as 273 Congress Street.

**Survey General Notes:**

1. This project has been submitted digitally on City of Portland Horizontal Datum, Maine State Plane Coordinates, West Zone, NAD83. GPS base point, DFG MF 10, N: 302186.81, E: 2930655.01, GPS station point DFG MF 217, N: 302181.94, E: 2930095.29, azimuth between GPS points used 869°21'56" E, computed distance 440.30'.
2. City of Portland Vertical Benchmark, TBM 1: 3' Offset monument along the northwesterly sideline of Locust Street, located 213' northerly from Congress Street, City Datum elevation 63.562'.
3. For source of horizontal and vertical reference marks, see plan entitled "Locust Street, Existing Conditions Plan And Profile", dated October 8, 2015 by City of Portland, Public Services Department, Engineering Section, DWG: "Locust St CSO 2015.dwg".
4. Spot grades are for engineering purposes only, and shall not be used as project benchmarks.
5. The coordinates depicted on our plan are for municipal approval purposes only and should not be used for construction layout. This office assumes no liability and/or responsibility if used for construction purposes.
6. Bearing Basis: The project is submitted digitally to the City of Portland on State Plane Coordinates, but the bearings on the plans are magnetic per the Survey Plan Reference and for survey boundary retracement considerations.
7. The above ground utilities shown have been located from field survey. This office make no guarantees that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The apparent underground utilities depicted hereon have been located as accurately as possible from information available. Since no underground utilities were exposed, this office has not physically located any underground utilities.
8. Call 1-888-DIGSAFE at least three business days before performing ANY excavation.
9. The perimeter boundary depicted hereon is based solely on the Survey Plan Reference. See said plan reference for more information.

**Graphic Scale:**



**Locust Street**  
(Public)

**Locus Deed Reference:**  
East End Studios, LLC  
To  
East End Lofts, Inc.  
dated September 24, 2015 and recorded September 25, 2015 at the Cumberland County Registry of Deeds in Book 3267, Page 34.



Nadeau Land Surveys hereby states exclusively to the client listed hereon, that this plan is based on, and the result of, an on the ground field survey and that to the best of our knowledge, information, and belief, it conforms to the Maine Board of Licensure For Professional Land Surveyors Standards of Practice.

This plan is not valid without the signature and embossed seal of the below listed Professional Land Surveyor who prepared this plan as it may contain unauthorized alterations unknown to this office.  
Nadeau Land Surveys  
James D. Nadeau, P.L.S. #2124 (agent) Date: 10/30/15

Plan Depicting The Results Of A Existing Conditions & Topography Survey Made For  
**Walsh Engineering Associates, Inc.**  
Northwesterly Sideline Of Congress Street  
Portland, Maine

PREPARED BY: <b>Nadeau Land Surveys</b> Professional Land Surveyors Certified Floodplain Managers 918 BRIGHTON AVENUE PORTLAND, ME 04102			PH: (207) 878-7870 FAX: (207) 878-7871
RECORD OWNER: East End Lofts, Inc. 245 16th Street Boulder, Colorado 80302	DRAWN BY: MLC CHECKED BY: JDN/TPB INSTR: Topcon GPT-3003W	PLAN DATE: 10/30/2015 SURVEY DATE: October 2015 SCALE: 1" = 20'	FIELD BOOK: FB 404 & Topcon Ranger JOB No: 215622EC SHEET No: 1 of 1

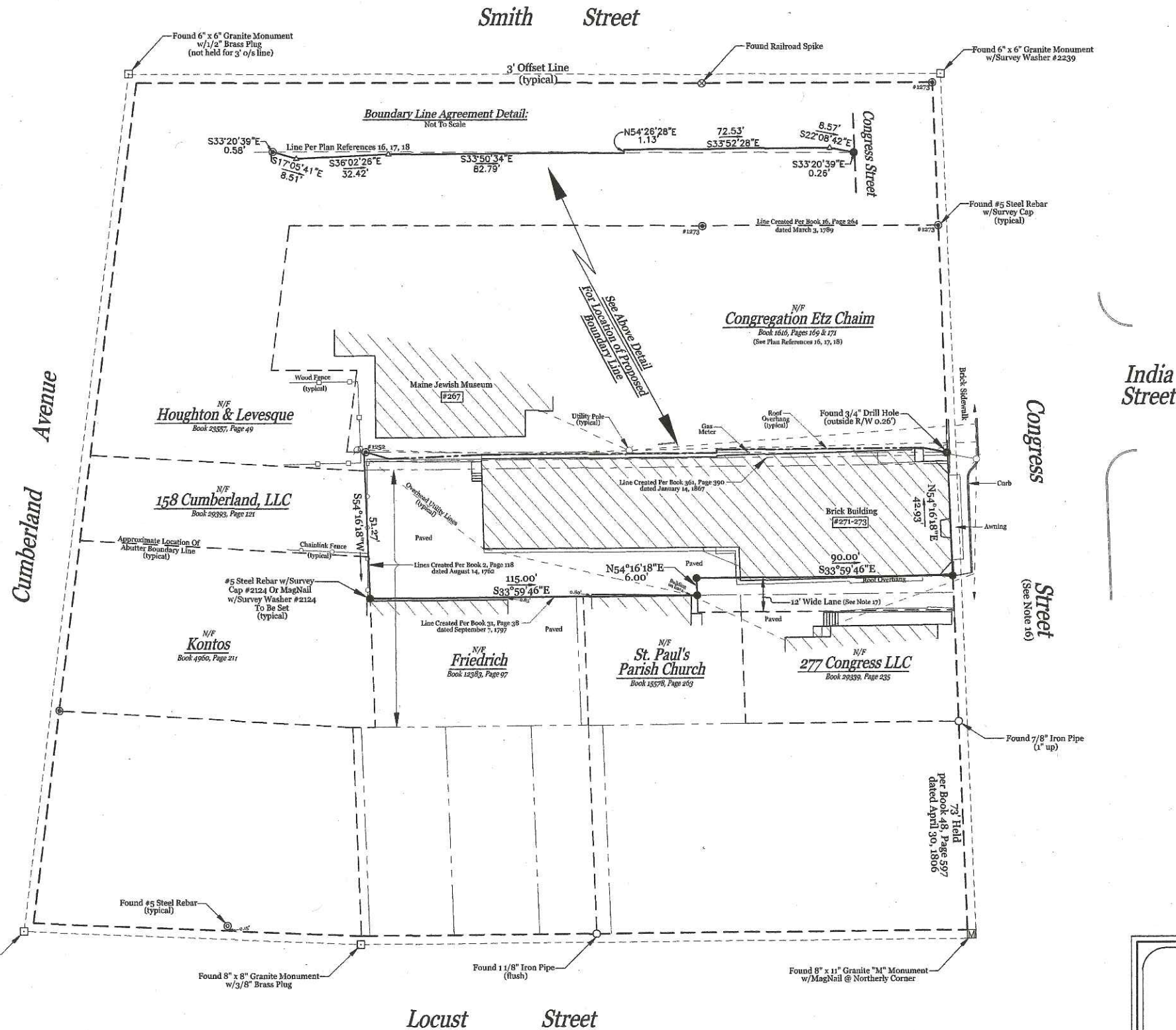


**Plan References:**

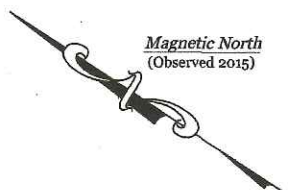
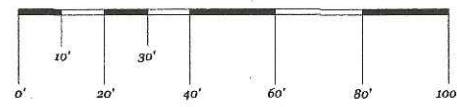
- "Grants Made By The Proprietors Of Falmouth (On The Neck) Now Portland: Principally Between 1720 & 1728 Inclusive - For Willis's History Of Portland".
- "Falmouth Neck, As It Was When Destroyed By Mowett, Oct. 18, 1775".
- "Plan Of Portland, Engraved As A Directory, Pub. By S.H. Colesworthy, 1856".
- "Map Of Cumberland County Maine From Actual Surveys, by Sidney Baker, C.E. And Others, J. Chace, Jr., Publisher, 1857".
- "Plan Of Lot Of Land In Portland Surveyed For Oliver Gorriah Esqr", dated February 25, 1867 by Cha's. H. Howe, C.E., copied by E.B. Cummings, recorded April 16, 1873 in CCRD Plan Book 3, Page 41.
- "Atlas Of Cumberland Co. Maine From Actual Surveys By And Under The Direction Of F.W. Beers Assisted By Geo. F. Sanford And Others, 1871".
- Plan depicting land along Cumberland and Locust Streets, dated April 1876 by E.C. Jordan.
- City Of Portland Revaluation Plans, dated 1882 by Wm. A. Goodwin, City Engineer, Sheet 21, recorded October 24, 1884 in CCRD Plan Book 5, Page 21.
- "Portland, Maine Published By The Sanborn Map And Publishing Co.", dated October 1886, corrected August 1894, Plate 30.
- "Insurance Maps, Portland, Maine Volume One Published By The Sanborn Map Company", dated 1909, last revised 1951, Plate 14.
- "Richards Standard Atlas Of The City Of Portland", dated 1914, Plate 3.
- "City Of Portland, Maine Department Of Public Works Recreation Center At Congress And India Sts, Federal Works Agency - Project ME 17-176", dated September 25, 1944, City Plan 409/99.
- "City Of Portland, Maine Parks And Public Works Department Engineering Division, Smith Street Reconstruction (Congress St. To Cumberland Avenue) Plan And Profile", Sheet 2 of 8, dated August 1993, City Plan 941/8.
- "City Of Portland, Maine Public Works Department Engineering Section, Plan Showing New Monumentation Set On Smith Street, Congress St. To Cumberland Ave.", dated February 1999, City Plan 954/5.
- "City Of Portland, Maine Public Services Department Engineering Section, Peppermint Park Boundary Markers Set At #11 Smith Street", dated February 2010, City Plan 1010/10.
- "Site Grading & Utility Plan Of Etz Chaim Synagogue, 267 Congress Street Portland, Maine For John H. Leasure Architect, Inc.", Sheet 1 of 3, dated June 27, 2012, last revised May 30, 2013 by Sebago Technics.
- "Boundary Survey On 265 Congress Street, Portland, Maine Made For Winton Scott Architects", dated May 28, 2008, revised February 26, 2013 by Owen Haskell, Inc. Professional Land Surveyors, Falmouth, Maine.
- "Boundary Survey On 265 Congress Street, Portland, Maine Made For Winton Scott Architects", dated May 28, 2008, revised June 15, 2009 by Owen Haskell, Inc. Professional Land Surveyors, Falmouth, Maine.

**General Notes:**

- This plan is not intended to depict limits or extent of fee title ownership. An opinion of title should be rendered by a title attorney.
- This office reserves the right to be held harmless by all 3rd party claims.
- This survey does not purport to reflect any of the following:
  - assessments other than those that are visible or specifically stated in the referenced documents.
  - building setback compliance or restrictive covenants.
  - zoning or other land use regulations.
  - the location of any underground utilities or structures.
- This office reserves the right to be held harmless for unknown or unobtainable private records which could affect the results of this survey.
- Reference is made to "Letter Of Agreement" dated May 8, 2015 between Nadeau Land Surveys and the below listed client(s), which shall be considered an integral part of this survey.
- N/F is an abbreviation for Now or Formerly.
- All deeds referenced on this plan are recorded at the Cumberland County Registry of Deeds (CCRD).
- This office does not accept any liability for errors in the Plan References listed herein.
- Locus Parcel is shown on the City of Portland Assessor's Map 21, Block E, as Lot 18, and is listed as 273 Congress Street.
- Area of Locus Parcel will be 9,726 square feet (0.22 acre) upon execution of the depicted Boundary Line Agreement.
- The apparent right of way lines depicted on this plan are based on the Plan References listed herein and monumentation found in the field, and City of Portland Engineering Street Notes.
- The Locus Parcel does not scale in a Special Flood Hazard Area per FEMA Flood Insurance Rate Map Community-Panel Number 230051 0014E, dated July 17, 1986. The parcel scales in Zone C.
- All building corner offsets to boundary lines are from cornerboards and not building foundation, unless noted.
- Call 1-888-DIGSAFE at least three business days before performing ANY excavation.
- Portland separated from the Town of Falmouth on July 4, 1786.
- Congress Street was formerly known as Queen Street and Back Street. Per Falmouth Records 1-70 & 71, Back Street was laid out April 1, 1724, and re-defined as four rods (66 feet) wide per Sessions Records Vol. 1, Page 170, dated October 1768.
- Per Book 31, Page 38, dated 9-7-1797, Enoch Lowell conveyed to Amos Greenleaf a parcel of land 45 feet in width and 205 feet in depth, being half of the parcel conveyed by Rev. Thomas Smith per Book 2, Page 118, dated 8-14-1762. Enoch Lowell excepted and reserved two strips of land 6 feet wide and 90 feet deep, creating a "Lane" 12 wide and 90 feet deep. A title attorney should be consulted regarding rights, title, and interest for this Lane.
- This office has not been contracted to determine if the Proposed Boundary Line Agreement requires and/or meets all municipal Space & Bulk requirements or any other applicable regulations. This office does not accept any liability and/or responsibility if found non-compliant.



**Graphic Scale:**



**Locus Deed Reference:**

273 Congress Street Associates  
TO  
East End Studios, LLC  
dated June 26, 1997 and recorded June 30, 1997 at the  
Cumberland County Registry of Deeds in Book 13166, Page 330.

Nadeau Land Surveys hereby states exclusively to the client listed herein, that this plan is based on, and the result of, an on the ground field survey and that to the best of our knowledge, information, and belief, it conforms to the Maine Board of Licensure For Professional Land Surveyors Standards of Practice.

This plan is not valid without the signature and embossed seal of the below listed Professional Land Surveyor who prepared this plan as it may contain unauthorized alterations unknown to this office.

Nadeau Land Surveys  
James D. Nadeau, P.L.S. #2124 (agent) Date: 8-27-15

Plan Depicting The Results Of A Boundary Survey  
& Proposed Boundary Line Agreement Made For  
**East End Studios, LLC**  
Northwesterly Sideline Of Congress Street  
Portland, Maine

PREPARED BY:



**Nadeau Land Surveys**

918 BRIGHTON AVENUE  
PORTLAND, ME 04102

Professional Land Surveyors  
Certified Floodplain Managers

PH: (207) 978-7870  
FAX: (207) 878-7871

RECORD OWNER:

East End Studios, LLC  
273 Congress Street  
Portland, Maine 04101

DRAWN BY:

TPB

PLAN DATE: 8/27/2015

CHECKED BY:

JDN/MLC

SURVEY DATE: June 2015

INSTR:

Topcon GPT-3003W

SCALE: 1" = 20'

FIELD BOOK:

FB 403 &  
Topcon Ranger

JOB No:

21515848

SHEET No: 1 of 1



**LEGEND**

EXISTING	PROPERTY LINE
	PROPERTY LINE
	ABUTTER LOT LINE
	PROPERTY CORNER
	SANITARY SEWER LINE
	SANITARY SEWER CLEANOUT
	WATERLINE
	WATER SHUTOFF
	WATER LINE METER PIT
	GAS LINE
	OVERHEAD UTILITY LINE
	UNDERGROUND COMMUNICATIONS
	UTILITY POLE
	BUILDING
	METAL FENCE
	WOOD FENCE
	EDGE OF PAVEMENT
	EDGE OF CONCRETE
	GRANITE CURB
	BRICK SIDEWALK

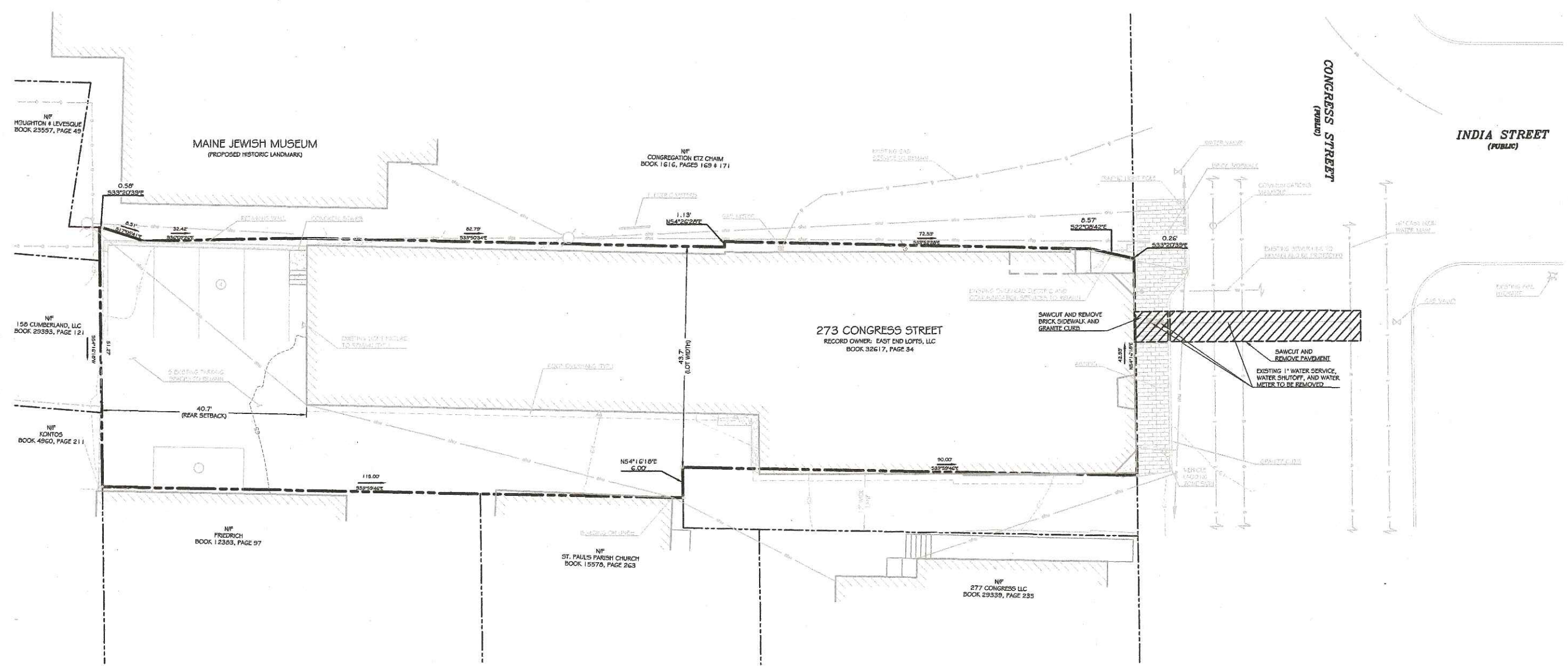
**PARCEL INFORMATION**

- SITE AREA: 9,726 SF
- APPLICANT: CLEAN AND SIMPLE LIVING, INC.  
C/O KEVIN DAVYER  
315 16<sup>TH</sup> STREET  
BOULDER, CO 80302
- OWNER: EAST END LOFTS, LLC (A SUBSIDIARY OF CLEAN AND SIMPLE LIVING, INC.)  
C/O KEVIN DAVYER  
315 16<sup>TH</sup> STREET  
BOULDER, CO 80302
- ZONING DISTRICTS:  
D-2b COMMUNITY BUSINESS ZONE  
INDIA STREET HISTORIC DISTRICT
- SPACE AND BULK STANDARDS
 

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE	NONE	9,726 SF	NO CHANGE
MINIMUM LOT WIDTH	NONE	43.7'	NO CHANGE
MINIMUM STREET FRONTAGE	20'	42.93'	NO CHANGE
FRONT YARD SETBACK	NONE	0'	NO CHANGE
REAR YARD SETBACK	10'	40.7'	NO CHANGE
SIDE YARD SETBACK	NONE	0'	NO CHANGE
SIDE YARD ON SIDE STREET	NONE	N/A	N/A
MAXIMUM IMPERVIOUS SURFACE RATIO	90%	100%	NO CHANGE
MAXIMUM HEIGHT OF STRUCTURES	45'	35.7'±	NO CHANGE
MINIMUM LOT AREA PER DWELLING (ON PENINSULA)	435 SF	9,726 SF/UNIT	972.6 SF/UNIT

- PLAN REFERENCES:**
- ONSITE TOPOGRAPHIC AND PROPERTY BOUNDARY INFORMATION TAKEN FROM THE FOLLOWING:
    - A PLAN TITLED "PLAN DEPICTING THE RESULTS OF AN EXISTING CONDITIONS & TOPOGRAPHY SURVEY MADE FOR WALSH ENGINEERING ASSOCIATES, INC.", PREPARED BY NADEAU LAND SURVEYS OF PORTLAND, MAINE, DATED OCTOBER 30, 2015.
    - A PLAN TITLED "PLAN DEPICTING THE RESULTS OF A BOUNDARY SURVEY & PROPOSED BOUNDARY LINE AGREEMENT MADE FOR EAST END STUDIOS, LLC", PREPARED BY NADEAU LAND SURVEYS OF PORTLAND, MAINE, DATED AUGUST 27, 2015.
    - FIELD OBSERVATION BY WALSH ENGINEERING ASSOCIATES, INC. IN SEPTEMBER AND OCTOBER 2015.
  - PLAN IS REFERENCED TO CITY OF PORTLAND HORIZONTAL DATUM, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE, NAD83.
  - BASIS OF PROPERTY LINE BEARINGS IS MAGNETIC NORTH PER PLAN REFERENCE 1.2 ABOVE.
  - ELEVATIONS ARE BASED ON CITY OF PORTLAND VERTICAL BENCHMARK, TBM 11.3' OFFSET MONUMENT ALONG THE NORTHEASTERLY SIDELINE OF LOCUST STREET, LOCATED 21.3' NORTHERLY FROM CONGRESS STREET, CITY DATUM ELEVATION 63.562.
- EXISTING UTILITY NOTES:**
- THE UNDERGROUND UTILITIES HEREON SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE DESIGN ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE DESIGN ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION.

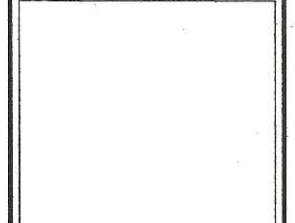
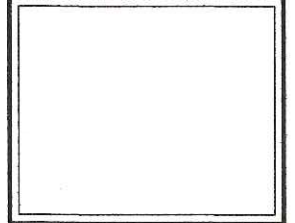
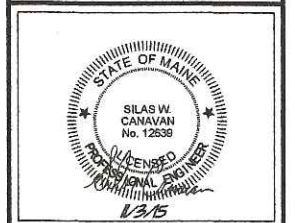
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  - ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
  - ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND REQUIREMENTS.
  - THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
  - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
  - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.
  - THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAPS.
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  - ALL PROPOSED WORK WITHIN THE CONGRESS STREET RIGHT-OF-WAY SHALL MEET THE CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
  - INSTALL CATCH BASIN INLET PROTECTION IN DOWNGRADIENT CATCH BASINS IN ALL DIRECTIONS PRIOR TO EXCAVATION IN STREET.



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Portland, Maine

**Clean and Simple Living, Inc.**  
315 16th Street  
Boulder, CO 80302

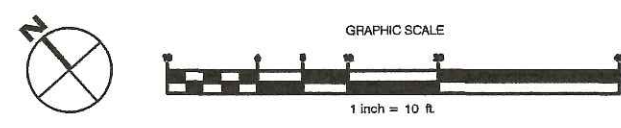
ISSUED FOR PERMITTING - NOT FOR CONSTRUCTION

Rev.	Date	Description	Drawn	Check
1	11/03/15	Issued for Permit - Final Plan Review	SWC	NGC

Sheet Title:  
**Existing Conditions and Removals Plan**

Job No.: 310      Sheet No.:  
Date: Nov. 3, 2015  
Scale: 1" = 10'  
Drawn: SWC  
Checked: NGC

**C1.0**





LEGEND	
EXISTING	PROPOSED
	PROPERTY LINE
	ABUTTER LOT LINE
	PROPERTY CORNER
	SANITARY SEWER LINE
	SANITARY SEWER CLEANOUT
	WATERLINE
	WATER SHUTOFF
	WATER LINE METER FIT
	GAS LINE
	OVERHEAD UTILITY LINE
	UNDERGROUND COMMUNICATIONS
	UTILITY POLE
	BUILDING
	METAL FENCE
	WOOD FENCE
	EDGE OF PAVEMENT
	EDGE OF CONCRETE
	GRANITE CURB
	BRICK SIDEWALK

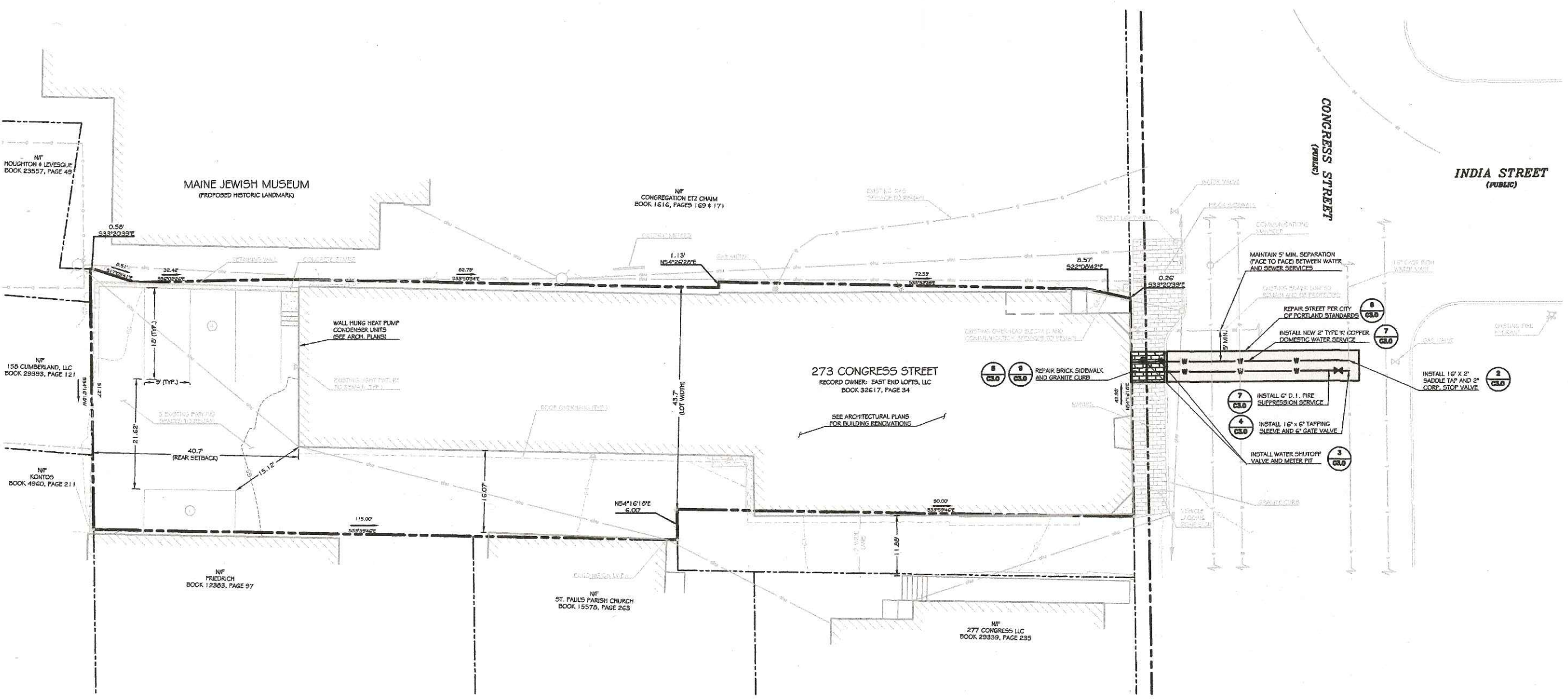
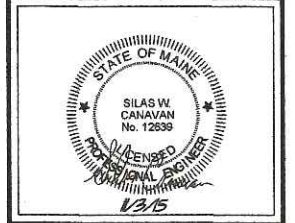
PARCEL INFORMATION			
1. SITE AREA:	9,726 SF		
2. APPLICANT:	CLEAN AND SIMPLE LIVING, INC. C/O KEVIN DWYER 315 16 <sup>TH</sup> STREET BOULDER, CO 80302		
3. OWNER:	EAST END LOFTS, LLC (A SUBSIDIARY OF CLEAN AND SIMPLE LIVING, INC.) C/O KEVIN DWYER 315 16 <sup>TH</sup> STREET BOULDER, CO 80302		
4. ZONING DISTRICTS:	D-2B COMMUNITY BUSINESS ZONE INDIA STREET HISTORIC DISTRICT		
5. SPACE AND BULK STANDARDS:		REQUIRED	EXISTING
		NONE	9,726 SF
		20'	43.7'
		20'	42.97'
		10'	0'
		10'	40.7'
		NONE	0'
		NONE	N/A
		90%	100%
		45'	35.72'
		435 SF	9,726 SF/UNIT
6. PROPOSED NUMBER OF UNITS:	10 RESIDENTIAL UNITS 1 RETAIL UNIT		
7. OFF-STREET PARKING REQUIREMENTS:	THE SITE CURRENTLY CONTAINS 5 EXTERIOR PARKING SPACES. NO ADDITIONAL PARKING SPACES ARE REQUIRED BECAUSE THE STRUCTURE IS A "CONTRIBUTING STRUCTURE" LOCATED WITHIN AN HISTORIC DISTRICT (PER SECTION 14-332.2(d)).		
8. BICYCLE PARKING:	NO ADDITIONAL VEHICULAR PARKING SPACES ARE REQUIRED PER SECTION 14-332.2(d). THEREFORE, NO BICYCLE PARKING SPACES ARE REQUIRED.		
9. SNOW STORAGE AREA IS LIMITED ON-SITE. THE APPLICANT INTENDS TO CONTRACT WITH A SNOW REMOVAL COMPANY FOR STORM EVENTS IN EXCESS OF 1" AND AS NEEDED.			

- PLAN REFERENCES:**
- ON-SITE TOPOGRAPHIC AND PROPERTY BOUNDARY INFORMATION TAKEN FROM THE FOLLOWING:
    - A PLAN TITLED "PLAN DEPICTING THE RESULTS OF AN EXISTING CONDITIONS & TOPOGRAPHY SURVEY MADE FOR WALSH ENGINEERING ASSOCIATES, INC.", PREPARED BY NADEAU LAND SURVEYS OF PORTLAND, MAINE, DATED OCTOBER 30, 2015.
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    - FIELD OBSERVATION BY WALSH ENGINEERING ASSOCIATES, INC. IN SEPTEMBER AND OCTOBER 2015.
  - PLAN IS REFERENCED TO CITY OF PORTLAND HORIZONTAL DATUM, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE, 114883.
  - BASIS OF PROPERTY LINE BEARINGS IS MAGNETIC NORTH PER PLAN REFERENCE 1.2 ABOVE.
  - ELEVATIONS ARE BASED ON CITY OF PORTLAND VERTICAL BENCHMARK, TBM1: 3' OFFSET MONUMENT ALONG THE NORTHEASTERLY SIDELINE OF LOCUST STREET, LOCATED 213' NORTHERLY FROM CONGRESS STREET, CITY DATUM ELEVATION 63.562.
- EXISTING UTILITY NOTES:**
- THE UNDERGROUND UTILITIES HEREON SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE DESIGN ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE DESIGN ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION.
- LAYOUT, MATERIALS, AND UTILITY NOTES:**
- ALL DIMENSIONS, LOCATIONS AND CONTROLS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE.
  - ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE SHOWN.
  - PROVIDE A SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING.

- GENERAL NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-888-344-7233.
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  - INSTALL CATCH BASIN INLET PROTECTION IN DOWNGRADIENT CATCH BASINS IN ALL DIRECTIONS PRIOR TO EXCAVATION IN STREET.

UNIT AREA TABLE		
UNIT NAME	USE	AREA (SQ. FT.)
UNIT 1	STUDIO APARTMENT	635
UNIT 2	STUDIO APARTMENT	633
UNIT 3	1-BEDROOM APARTMENT	636
UNIT 4	STUDIO APARTMENT	704
UNIT 5	STUDIO APARTMENT	661
UNIT 6	STUDIO APARTMENT	571
UNIT 7	STUDIO APARTMENT	584
UNIT 8	STUDIO APARTMENT	709
UNIT 9	1-BEDROOM APARTMENT	1,043
UNIT 10	STUDIO APARTMENT	791
RETAIL SPACE	RETAIL SHELL SPACE	2,551
DOG/BIKE WASH	AMENITY	245

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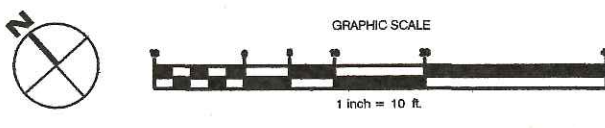
**East End Lofts**  
273 Congress Street  
Portland, Maine

**Clean and Simple Living, Inc.**  
315 16th Street  
Boulder, CO 80302

Rev.	Date	Description	Drawn	Check
1	11/04/15	Issued for Level B Site Plan Review	SWC	NGC

Sheet Title:  
**Site Layout, Grading, and Utilities Plan**

Job No.:	310	Sheet No.:	<b>C2.0</b>	
Date:	Nov. 3, 2015	Scale:		1" = 10'
Drawn:	SWC	Checked:		NGC



P:\151\_273 Congress Street - Portland, ME\151\_273 Congress Street - Portland, ME.dwg, 11/03/15 9:58 AM



LEGEND	
EXISTING	PROPOSED
	PROPERTY LINE
	ADJOINING LOT LINE
	PROPERTY CORNER
	SANITARY SEWER LINE
	SANITARY SEWER CLEANOUT
	WATERLINE
	WATER SHUTOFF
	WATER LINE METER PIT
	GAS LINE
	OVERHEAD UTILITY LINE
	UNDERGROUND COMMUNICATIONS
	UTILITY POLE
	BUILDING
	METAL FENCE
	WOOD FENCE
	EDGE OF PAVEMENT
	EDGE OF CONCRETE
	GRANITE CURB
	BRICK SIDEWALK

PARCEL INFORMATION			
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3. OWNER:	EAST END LOFTS, LLC (A SUBSIDIARY OF CLEAN AND SIMPLE LIVING, INC.) C/O KEVIN DWYER 315 16 <sup>TH</sup> STREET BOULDER, CO 80302		
4. ZONING DISTRICTS:	0-2b COMMUNITY BUSINESS ZONE INDIA STREET HISTORIC DISTRICT		
5. SPACE AND BULK STANDARDS		REQUIRED	EXISTING
MINIMUM LOT SIZE	NONE	NONE	9,726 SF
MINIMUM LOT WIDTH	NONE	NONE	43.7'
MINIMUM STREET FRONTAGE	20'	NONE	42.93'
FRONT YARD SETBACK	NONE	0'	NO CHANGE
REAR YARD SETBACK	10'	40.7'	NO CHANGE
SIDE YARD SETBACK	NONE	0'	NO CHANGE
SIDE YARD ON SIDE STREET	NONE	N/A	N/A
MAXIMUM IMPERVIOUS SURFACE RATIO	30%	100%	NO CHANGE
MINIMUM LOT AREA PER DWELLING (ON PENINSULA)	435 SF	9,726 SF/UNIT	972.6 SF/UNIT
6. PROPOSED NUMBER OF UNITS:	1 RESIDENTIAL UNIT 1 RETAIL UNIT		
7. OFF-STREET PARKING REQUIREMENTS:	THE SITE CURRENTLY CONTAINS 5 EXTERIOR PARKING SPACES. NO ADDITIONAL PARKING SPACES ARE REQUIRED BECAUSE THE STRUCTURE IS A "CONTRIBUTING STRUCTURE" LOCATED WITHIN AN HISTORIC DISTRICT (PER SECTION 14-332.2(a)).		
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  - ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE SHOWN.
  - PROVIDE A SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING.

**Approved by Portland Planning Board**

Date: \_\_\_\_\_

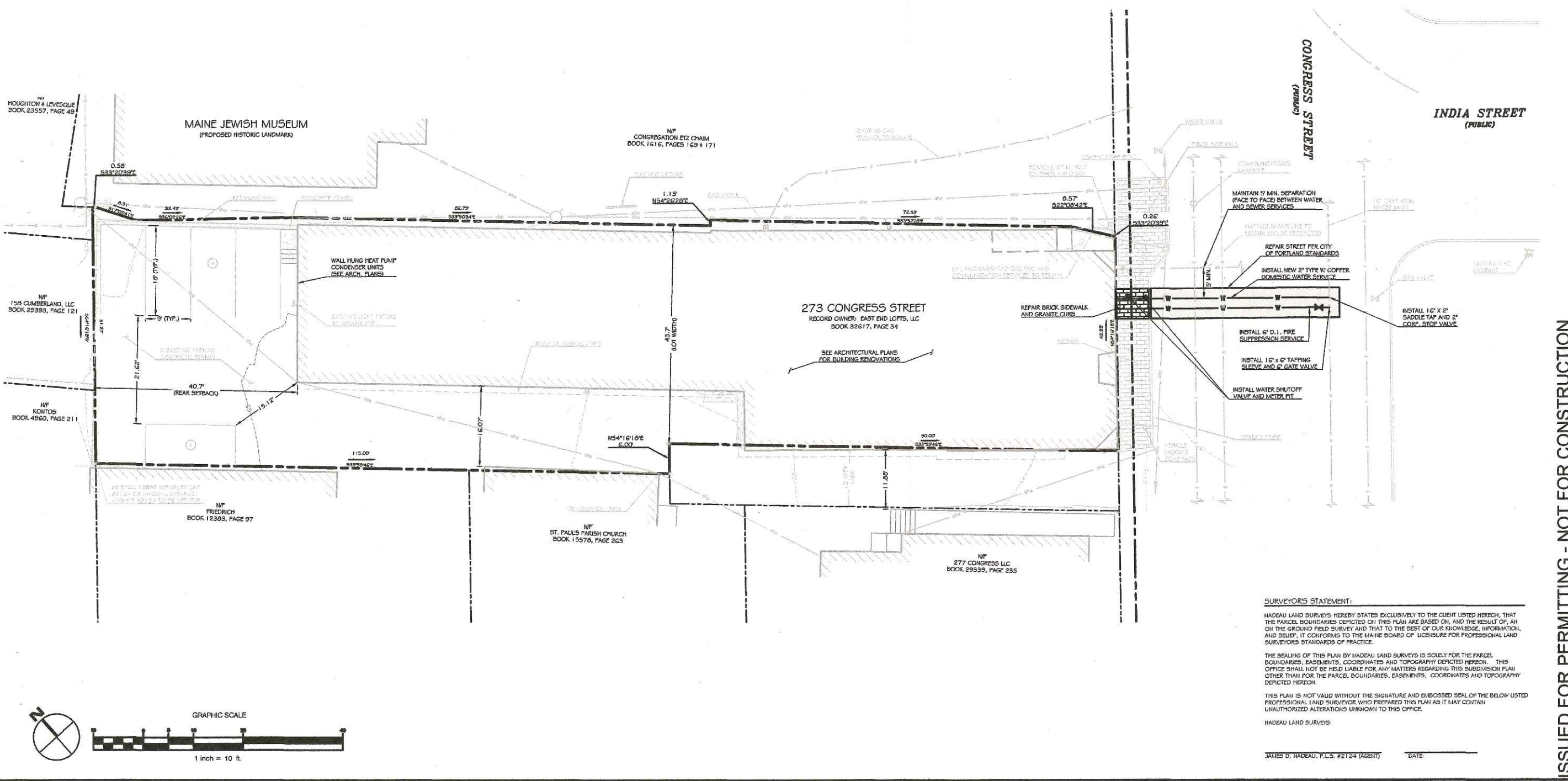
Chair: \_\_\_\_\_

Board Members: \_\_\_\_\_

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One Karen Dr., Suite 2A | Westbrook, Maine 04092  
ph: 207.553.9998 | www.walsh-eng.com

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273 Congress Street  
Portland, Maine

**Clean and Simple Living, Inc.**  
315 16th Street  
Boulder, CO 80302

Rev.	Date	Description	Drawn	Check
1	N/A	Issued for Level II Site Plan Review	SWC	NGC

Sheet Title:  
**Subdivision Plat**

Job No.: 310  
Date: Nov. 3, 2015  
Scale: 1" = 10'  
Drawn: SWC  
Checked: NGC

Sheet No.:  
**1 of 1**

**SURVEYORS STATEMENT:**

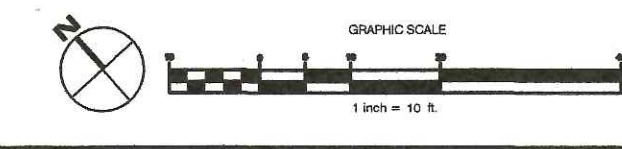
HADAU LAND SURVEYS HEREBY STATES EXCLUSIVELY TO THE CLIENT LISTED HEREON, THAT THE PARCEL BOUNDARIES DEPICTED ON THIS PLAN ARE BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION, AND BELIEF, IT CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE.

THE SEALING OF THIS PLAN BY HADAU LAND SURVEYS IS SOLELY FOR THE PARCEL BOUNDARIES, EASEMENTS, COORDINATES AND TOPOGRAPHY DEPICTED HEREON. THIS OFFICE SHALL NOT BE HELD LIABLE FOR ANY MATTERS REGARDING THIS SUBDIVISION PLAN OTHER THAN FOR THE PARCEL BOUNDARIES, EASEMENTS, COORDINATES AND TOPOGRAPHY DEPICTED HEREON.

THIS PLAN IS NOT VALID WITHOUT THE SIGNATURE AND EMBOSSED SEAL OF THE BELOW LISTED PROFESSIONAL LAND SURVEYOR WHO PREPARED THIS PLAN AS IT MAY CONTAIN UNAUTHORIZED ALTERATIONS UNKNOWN TO THIS OFFICE.

HADAU LAND SURVEYS

JAMES D. HADAU, P.L.S., #2124 (AGENT)      DATE: \_\_\_\_\_



PLAN: 273 Congress Street, Portland, ME04103. Date: 11/03/15 08:58 AM



**EROSION AND SEDIMENTATION CONTROL NOTES**

**INTRODUCTION**

THE FOLLOWING PLAN FOR CONTROLLING SEDIMENTATION AND EROSION IN THIS PROJECT IS BASED ON CONSERVATION PRACTICES FOUND IN THE MAINE EROSION & SEDIMENT CONTROL BMP MANUAL, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003, OR LATEST EDITION. THE CONTRACTOR WHO IMPLEMENTS THIS PLAN SHALL BE FAMILIAR WITH THIS PUBLICATION AND ADHERE TO IT AND THE PRACTICES PRESENTED HEREIN.

REFERENCE IS MADE TO THE GRADING AND DRAINAGE PLANS (C3.0) WITHIN THE PLAN SET, SHOWING THE LOCATIONS AND TYPES OF PROPOSED MEASURES TO BE IMPLEMENTED.

**GENERAL EROSION AND SEDIMENTATION CONTROL PRACTICES**

THE FOLLOWING IS A LIST OF GENERAL EROSION CONTROL PRACTICES THAT WILL BE USED TO PREVENT EROSION AND SEDIMENTATION BEFORE, DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT. IN ADDITION, SPECIAL CARE SHALL BE USED AT ALL TIMES TO:

- 1) LIMIT DISTURBANCE AND, HENCE, EROSION
- 2) CORRECT ANY EROSION PROBLEMS IMMEDIATELY
- 3) REGULARLY MONITOR THE IMPLEMENTED PRACTICES, ESPECIALLY AFTER EVERY RAINFALL
- 4) REVEGETATE DISTURBED AREAS AS SOON AS POSSIBLE AFTER CONSTRUCTION
- 5) CONFORM TO ALL REQUIREMENTS/STANDARDS OF THE STATE OF MAINE DEP EROSION & SEDIMENT CONTROL BMP MANUAL

**SILT FENCE AND/OR EROSION CONTROL MIX SEDIMENT BARRIERS**

SILT FENCE AND/OR EROSION CONTROL MIX SEDIMENT BARRIERS WILL BE INSTALLED ALONG THE DOWN GRADIENT SIDE OF THE PROPOSED GROUND DISTURBANCE AREAS PRIOR TO ANY CONSTRUCTION ACTIVITIES.

**CATCH BASIN PROTECTION**

CATCH BASIN PROTECTION WILL BE INSTALLED AT THE FIRST DOWNGRADIENT CATCH BASIN IN STREET ADJACENT TO ANY CONSTRUCTION ACTIVITIES.

**CONSTRUCTION PHASE**

THE FOLLOWING GENERAL PRACTICES WILL BE IMPLEMENTED TO PREVENT EROSION DURING CONSTRUCTION ON THIS PROJECT.

1. ONLY THOSE AREAS UNDER ACTIVE CONSTRUCTION WILL BE CLEARED AND LEFT IN AN UNVEGETATED OR UNVEGETATED CONDITION. ONCE CONSTRUCTION OF AN AREA IS COMPLETE, FINAL GRADING, LOAMING AND SEEDING SHALL OCCUR IMMEDIATELY (REFER TO "POST CONSTRUCTION REVEGETATION" SECTION). IF DURING FINAL GRADING, LOAMING AND SEEDING CAN NOT OCCUR IMMEDIATELY, IT SHALL BE DONE PRIOR TO ANY STORM EVENT AND WITHIN 15 DAYS OF COMPLETING CONSTRUCTION IN THE AREA. IF FINAL GRADING, LOAMING AND SEEDING CANNOT OCCUR WITHIN 7 DAYS, OR IF THE AREA IS NOT UNDER ACTIVE CONSTRUCTION FOR A PERIOD LONGER THAN 7 DAYS, SEE ITEM NO. 4 BELOW.
2. PRIOR TO THE START OF CONSTRUCTION IN A SPECIFIC AREA, SILT FENCING SHALL BE INSTALLED ON DOWNGRADIENT PORTIONS OF THE SITE AS LOCATED ON THE PLANS TO PROTECT AGAINST ANY CONSTRUCTION RELATED EROSION.
3. TOPSOIL WILL BE STOCKPILED WHEN NECESSARY IN AREAS WHICH HAVE MINIMUM POTENTIAL FOR EROSION AND WILL BE KEPT AS FAR AS POSSIBLE FROM EXISTING DRAINAGE AREAS AND WETLANDS. ALL STOCKPILES EXPECTED TO REMAIN LONGER THAN 7 DAYS SHALL BE:

- A. TREATED WITH ANCHORED MULCH (WITHIN 5 DAYS OF THE LAST DEPOSIT OF STOCKPILED SOIL).
- B. SEEDING WITH CONSERVATION MIX AND MULCHED IMMEDIATELY.

STOCKPILES SHALL BE EITHER PLACED UPHILL OF AN EXISTING SEDIMENT BARRIER ON THE SITE OR ENCLOSED BY A HAY BALE OR SILT FENCE BARRIER THE FIRST DAY THAT STOCKPILING COMMENCES.

4. ALL DISTURBED AREAS EXPECTED TO REMAIN LONGER THAN 7 DAYS SHALL BE:

- A. TREATED WITH STRAW AT A RATE OF 70-90 LBS. PER 1,000 SQUARE FEET FROM 4/16 TO 1/0/1, OR AT A RATE OF 150-200 LBS. PER 1,000 SQUARE FEET FROM 1/0/1 TO 4/1/5.
- B. SEEDING WITH CONSERVATION MIX OF PERENNIAL RYE GRASS (1.0 LBS/1,000 SQ. FT.) AND MULCHED IMMEDIATELY. FROM 1/0/1 TO 4/1/5, FOLLOW THE SEEDING RATES AS OUTLINED BELOW IN SUB-SECTION 4.D. OF THE "POST CONSTRUCTION REVEGETATION" SECTION.
- C. MONITORED EVERY TWO WEEKS UNTIL SEEDING CAN OCCUR AND REMULCHED AS NEEDED TO PROTECT SLOPES.

5. ALL GRADING WILL BE HELD TO A MAXIMUM 3:1 SLOPE WHERE PRACTICAL. GREATER SLOPES MAY BE USED WHERE THE BANKS ARE PROTECTED WITH SOFT ARMOUR MATTING, EROSION CONTROL MATTING, OR RIPRAP. ALL SLOPES WILL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY AFTER FINAL GRADING IS COMPLETE. (IT IS UNDERSTOOD THAT IMMEDIATELY MEANS WITHIN 5 DAYS OF THE COMPLETION OF WORK. SEE POST-CONSTRUCTION REVEGETATION FOR SEEDING SPECIFICATION.)

6. CONSTRUCTION TRAFFIC WILL BE DIRECTED OVER THE EXISTING SITE ENTRANCE. THE ROAD SHALL BE SWEEPED DAILY SHOULD SEDIMENT BE TRACKED ONTO IT.

**DEWATERING**

1. ALL DEWATERING DISCHARGE LOCATIONS SHALL BE LOCATED ON RELATIVELY FLAT GROUND AT LEAST 75' FROM STREAMS AND 25' FROM WETLANDS. THE CONTRACTOR SHALL UTILIZE DIRTBAGS, EROSION CONTROL MIX BERMES, OR SIMILAR METHODS FOR FILTRATION OF DEWATERING AND SHALL CONFORM TO THE MAINE EROSION AND SEDIMENT CONTROL BMPS G-1, G-2, AND G-3.

**POST CONSTRUCTION REVEGETATION**

THE FOLLOWING GENERAL PRACTICES WILL BE IMPLEMENTED TO PREVENT EROSION AS SOON AS AN AREA IS READY TO UNDERGO FINAL GRADING:

1. A MINIMUM OF 6" OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH AND NATURAL APPEARANCE.
2. LAWN AREAS: "ESTATE GREEN" GRASS SEED BY ALLEN, STERLING & LOthrop (FALMOUTH, MAINE), OR APPROVED EQUAL.
3. MULCH SHALL BE HAY OR STRAW MULCHES THAT ARE DRY AND FREE FROM UNDESIRABLE SEEDS AND COARSE MATERIALS.
  - A. APPLICATION RATE MUST BE 2 BALE (70-90 LBS.) PER 1,000 SQUARE FEET OR 1.5 TO 2 TONS (90-100 BALES) PER ACRE TO COVER 75 TO 90% OF THE GROUND SURFACE.
  - B. DRIVE OVER WITH TRACKED CONSTRUCTION EQUIPMENT ON GRADES OF 5% AND LESS.
  - C. BLANKET WITH TACKED PHOTODEGRADABLE/BIODEGRADABLE NETTING ON GRADES GREATER THAN 5%.

4. HYDRO-MULCH SHALL CONSIST OF A MIXTURE OF ASPHALT, WOOD FIBRE OR PAPER FIBRE AND WATER, WHICH IS SPRAYED OVER A SEEDED AREA. HYDRO-MULCH SHALL NOT BE USED BETWEEN 1/0/1 AND 4/1/5.
5. CONSTRUCTION SHALL BE PLANNED TO ELIMINATE THE NEED FOR SEEDING BETWEEN OCTOBER 1ST AND APRIL 15TH. SHOULD SEEDING BE NECESSARY BETWEEN THESE DATES, THE FOLLOWING PROCEDURE SHALL BE FOLLOWED:

- A. ONLY UNFROZEN LOAM SHALL BE USED.
  - B. LOAMING, SEEDING AND MULCHING WILL NOT BE DONE OVER SNOW OR ICE COVER. IF SNOW EXISTS, IT MUST BE REMOVED PRIOR TO PLACEMENT OF SEED.
  - C. WHERE PERMANENT SEEDING IS NECESSARY, ANNUAL WINTER RYE (1.2 LBS/1,000 S.F.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
  - D. WHERE TEMPORARY SEEDING IS REQUIRED, ANNUAL WINTER RYE (2.5 LBS/1,000 S.F.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
  - E. FERTILIZING, SEEDING AND MULCHING SHALL BE DONE ON LOAM THE DAY THE LOAM IS SPREAD.
  - F. HAY MULCH SHALL BE SECURED WITH PHOTODEGRADABLE/BIODEGRADABLE NETTING. TRACKING BY MACHINERY ALDIE WILL NOT SUFFICE. WINTER MULCHING RATES, AS SPECIFIED ABOVE IN SUBSECTION 5.A. OF THE "CONSTRUCTION PHASE" SECTION, SHOULD BE APPLIED DURING THIS PERIOD.
5. FOLLOWING FINAL SEEDING, THE SITE WILL BE INSPECTED EVERY 30 DAYS UNTIL 80% COVER HAS BEEN ESTABLISHED. RESEEDING WILL BE CARRIED OUT BY THE CONTRACTOR WITHIN 10 DAYS OF NOTIFICATION BY THE DESIGN PROFESSIONAL THAT THE EXISTING CATCH IS INADEQUATE.

**MONITORING SCHEDULE**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, MONITORING, MAINTAINING, REPAIRING, REPLACING AND REMOVING ALL OF THE EROSION AND SEDIMENTATION CONTROLS OR APPOINTING A QUALIFIED SUBCONTRACTOR TO DO SO.

MAINTENANCE MEASURES WILL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL, AND AT LEAST ONCE A WEEK, A VISUAL INSPECTION WILL BE MADE OF ALL EROSION AND SEDIMENTATION CONTROLS AS FOLLOWS:

1. SILT FENCE SHALL BE INSPECTED AND REPAIRED. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REDISTRIBUTED TO AREAS UNDERGOING FINAL GRADING.
2. CONSTRUCTION ENTRANCE SHALL BE VISUALLY INSPECTED AND REPAIRED AS NEEDED. ANY AREAS SUBJECT TO RUTTING SHALL BE STABILIZED IMMEDIATELY. IF THE VOIDS OF THE CONSTRUCTION ENTRANCE BECOME FILLED WITH MUD, MORE CRUSHED STONE SHALL BE ADDED AS NEEDED. THE PUBLIC ROADWAY SHALL BE SWEEPED SHOULD MUD BE DEPOSITED/TRACKED ONTO THEM.

**STANDARDS FOR STABILIZING SITES FOR THE WINTER**

THE FOLLOWING STANDARDS AND METHODOLOGIES SHALL BE USED FOR STABILIZING THE SITE DURING THE WINTER CONSTRUCTION PERIOD

1. STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SLOPES (ANY AREA HAVING A GRADE GREATER THAN 25%) - THE CONTRACTOR WILL SEED AND MULCH ALL SLOPES TO BE VEGETATED BY SEPTEMBER 15TH. IF THE CONTRACTOR FAILS TO STABILIZE ANY SLOPE TO BE VEGETATED BY SEPTEMBER 15TH, THEN THE CONTRACTOR WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER.
  - A. STABILIZE THE SOIL WITH TEMPORARY VEGETATION AND EROSION CONTROL MATS - BY OCTOBER 1ST THE CONTRACTOR WILL SEED THE DISTURBED SLOPE WITH WINTER RYE AT A RATE OF 3 POUNDS PER 1000 SQUARE FEET AND THEN INSTALL EROSION CONTROL MATS OR ANCHORED HAY MULCH OVER THE SEEDING. THE CONTRACTOR WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS.
  - B. STABILIZE THE SLOPE WITH WOOD-WASTE COMPOST - THE CONTRACTOR WILL PLACE A SIX-INCH LAYER OF WOOD-WASTE COMPOST ON THE SLOPE BY NOVEMBER 15TH. THE CONTRACTOR WILL NOT USE WOOD-WASTE COMPOST TO STABILIZE SLOPES HAVING GRADES GREATER THAN 50% (2H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.
  - C. STABILIZE THE SLOPE WITH STONE RIPRAP - THE CONTRACTOR WILL PLACE A LAYER OF STONE RIPRAP ON THE SLOPE BY NOVEMBER 15TH. THE DEVELOPER'S OWNER WILL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY ON THE SLOPE AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIPRAP.

2. STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SOILS - BY SEPTEMBER 15TH THE CONTRACTOR WILL SEED AND MULCH ALL DISTURBED SOILS ON THE SITE. IF THE CONTRACTOR FAILS TO STABILIZE THESE SOILS BY THIS DATE, THEN THE CONTRACTOR WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SOIL FOR LATE FALL AND WINTER.
  - A. STABILIZE THE SOIL WITH TEMPORARY VEGETATION - BY OCTOBER 1ST THE CONTRACTOR WILL SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1000 SQUARE FEET. LIGHTLY MULCH THE SEEDED SOIL WITH HAY OR STRAW AT 75 POUNDS PER 1000 SQUARE FEET, AND ANCHOR THE MULCH WITH PLASTIC NETTING. THE CONTRACTOR WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR FAILS TO COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE NOVEMBER 1, THEN THE CONTRACTOR WILL MULCH THE AREA FOR OVER-WINTER PROTECTION AS DESCRIBED IN ITEM III OF THIS STANDARD.
  - B. STABILIZE THE SOIL WITH SOD - THE CONTRACTOR WILL STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOD BY OCTOBER 1ST. PROPER INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL.
  - C. STABILIZE THE SOIL WITH MULCH - BY NOVEMBER 15TH THE CONTRACTOR WILL MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150 POUNDS PER 1000 SQUARE FEET ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. IMMEDIATELY AFTER APPLYING THE MULCH, THE CONTRACTOR WILL ANCHOR THE MULCH WITH NETTING OR OTHER METHOD TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.

**EROSION CONTROL REMOVAL**

AN AREA IS CONSIDERED STABLE IF IT IS PAVED OR IF 80% GROWTH OF PLANTED SEEDS IS ESTABLISHED. ONCE AN AREA IS CONSIDERED STABLE, THE EROSION CONTROL MEASURES CAN BE REMOVED AS FOLLOWS:

1. SILT FENCE  
SILT FENCE SHALL BE DISPOSED OF LEGALLY AND PROPERLY OFF-SITE. ALL SEDIMENT TRAPPED BEHIND THESE CONTROLS SHALL BE DISTRIBUTED TO AN AREA UNDERGOING FINAL GRADING OR REMOVED AND RELOCATED OFF-SITE.
2. CATCH BASIN PROTECTION  
CATCH BASIN RILET PROTECTION SHALL BE REMOVED FOLLOWING PERMANENT STABILIZATION OF UPGRADED AREAS. SEDIMENT SHALL BE REMOVED FROM THE SACK AND LEGALLY DISPOSED. SEDIMENT SHALL NOT BE WASHED INTO THE CATCH BASIN.
3. MISCELLANEOUS  
ONCE ALL THE TRAPPED SEDIMENTS HAVE BEEN REMOVED FROM THE TEMPORARY SEDIMENTATION DEVICES THE DISTURBED AREAS MUST BE REGRADED IN AN AESTHETIC MANNER TO CONFORM TO THE SURROUNDING TOPOGRAPHY. ONCE GRADED THESE DISTURBED AREAS MUST BE LOAMED (IF NECESSARY), FERTILIZED, SEEDED AND MULCHED IN ACCORDANCE WITH THE RATES PREVIOUSLY STATED.

THE ABOVE EROSION CONTROLS MUST BE REMOVED WITHIN 30 DAYS OF FINAL STABILIZATION OF THE SITE. CONFORMANCE WITH THIS PLAN AND FOLLOWING THESE PRACTICES WILL RESULT IN A PROJECT THAT COMPLIES WITH THE STATE REGULATIONS AND THE STANDARDS OF THE NATURAL RESOURCES PROTECTION ACT, AND WILL PROTECT WATER QUALITY IN AREAS DOWNSTREAM FROM THE PROJECT.

**1** EROSION AND SEDIMENTATION CONTROL NOTES  
**C3.1** NOT TO SCALE

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SILAS W. CANAVAN  
No. 12639  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF MAINE  
1/3/15

East End Lofts  
273 Congress Street  
Portland, Maine

Clean and Simple Living, Inc.  
3015 16th Street  
Boulder, CO 80302

ISSUED FOR PERMITTING - NOT FOR CONSTRUCTION

Rev.	Date	Description	Drawn	Check
1	RAW	Issued For Permitting - Site Plan Review	SWC	NGC

Sheet Title:  
**Erosion and Sedimentation Control Notes**

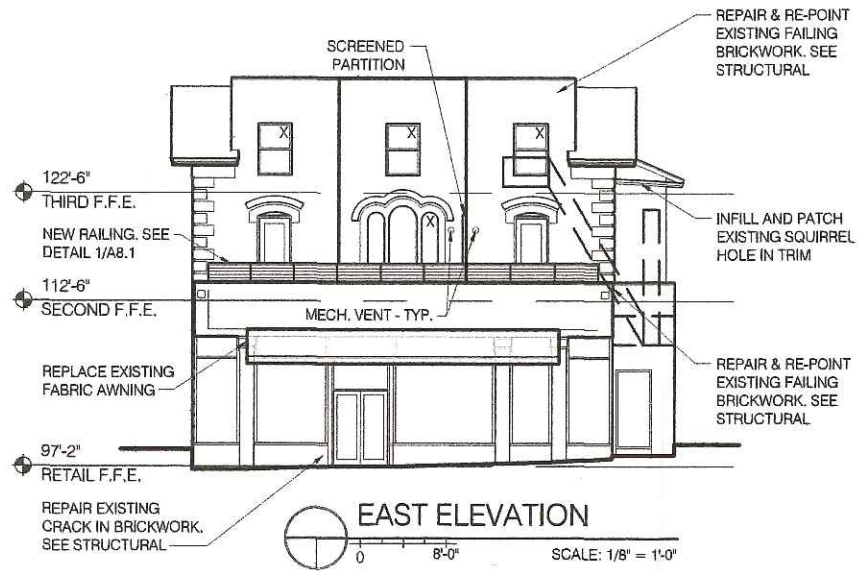
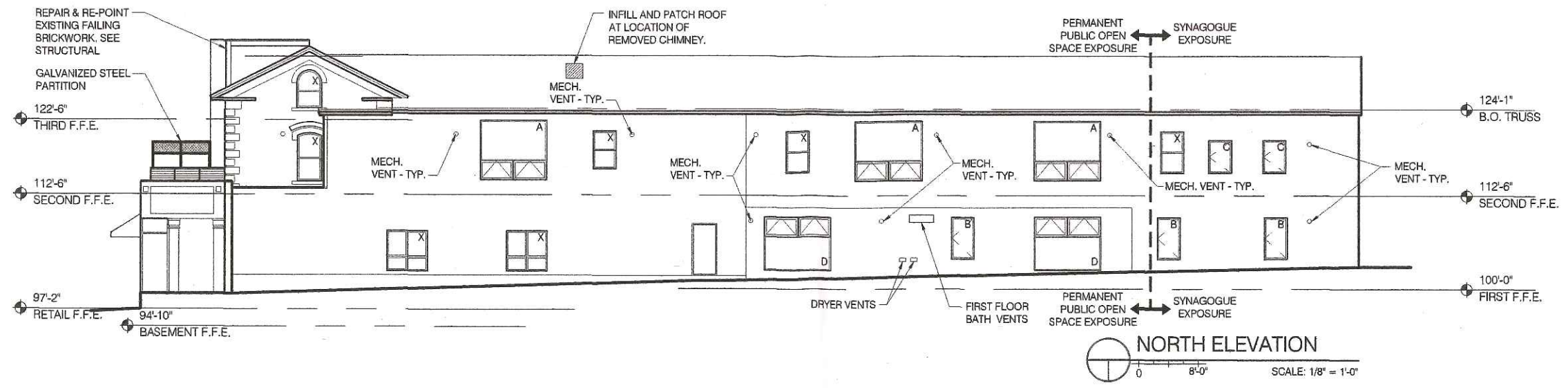
Job No.: 310    Sheet No.:  
Date: Nov. 3, 2015  
Scale: N.T.S.  
Drawn: SWC  
Checked: NGC

**C3.1**

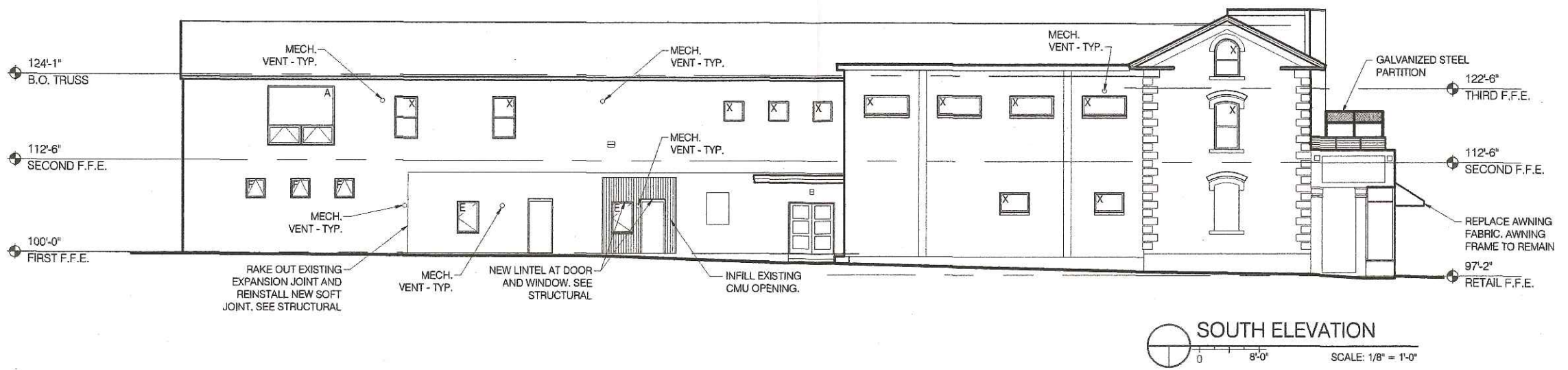
01/10/15 2:11 PM Project: 310 - Portland, ME - East End Lofts - Permitted, C3.1 - Erosion and Sedimentation Control Notes - 11/03/15 5:30 AM



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Elevation	Separation Distance	Elevation Exposure	NFPA 13 Sprinkler?	Protected Opening?	Allowable Opening Area	Wall Area Per Story	Existing Opening Area Per Story (by rough opening)	New Opening Area Per Story (by rough opening)	% of Existing Opening Area	% of New Opening Area
West (Primary)	30 or greater	Parking Lot	yes	no	No Limit	n/a	n/a	n/a	n/a	n/a
West (Dog/Bike Wash)	30 or greater	Parking Lot	yes	no	No Limit	n/a	n/a	n/a	n/a	n/a
South (Primary)	15 to less than 20	Alley Way	yes	no	75%	976	57.6	72	6%	7%
South (House)	10 to less than 15	Alley Way	yes	no	45%	696	85.3	0	12%	0%
East (Retail)	30 or greater	Public Way (Congress St)	yes	no	No Limit	n/a	n/a	n/a	n/a	n/a
East (House)	30 or greater	Public Way (Congress St)	yes	no	No Limit	n/a	n/a	n/a	n/a	n/a
North (Garden)	30 or greater	Permanent Public Open Space	yes	no	No Limit	n/a	n/a	n/a	n/a	n/a
North (Synagogue)	0 to less than 3	Existing Synagogue	yes	no	Not Permitted	304.5	46.5	0	15%	0%
North (Retail)	30 or greater	Permanent Public Open Space	yes	no	No Limit	n/a	n/a	n/a	n/a	n/a



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**11/3/15**  
 EVAN A. CARROLL  
 No. 3687  
 STATE OF MAINE

PROJECT NO. 15019  
 PROJECT NAME EAST END LOFTS  
 PORTLAND, ME 04101

BUILDING PERMIT SET

ISSUE DATE 11/3/15  
 SHEET SCALE 1/8" = 1'-0"

REVISIONS  
 1  
 2  
 3  
 4  
 5

**ELEVATIONS**

**A**

**2.1**



# East End Lofts

273 Congress Street  
Portland, Maine  
Level III Site Plan Application

Prepared For:  
Clean and Simple Living, Inc.  
315 16<sup>th</sup> Street  
Boulder, CO 80302

Design Consultants:

Civil Engineer  
Walsh Engineering Associates, Inc.  
One Karen Drive, Suite 2A  
Westbrook, Maine 04092  
207-553-9898

Architect  
bild ARCHITECTURE  
PO Box 8235  
Portland, Maine 04104  
207-408-0168

Surveyor  
Nadeau Land Surveys  
918 Brighton Ave.  
Portland, ME 04102  
207-878-7870

Utilities:

Sewer  
City of Portland  
Public Services Department  
55 Portland Street  
Portland, Maine 04101  
207-874-8493

Water  
Portland Water District  
225 Douglass Street  
P.O. Box 3553  
Portland, Maine 04102  
207-774-5961 x3199

Electric  
Central Maine Power Co.  
162 Cameo Road  
Portland, Maine 04103  
800-750-4000

Telephone  
Fairpoint  
45 Forest Avenue  
Portland, Maine 04101  
800-240-5019

Cable  
Time Warner Cable  
118 Johnson Road  
Portland, Maine 04101  
800-892-2253

Natural Gas  
Unitil  
1075 Forest Avenue  
Portland, Maine 04103-3586  
207-541-2543

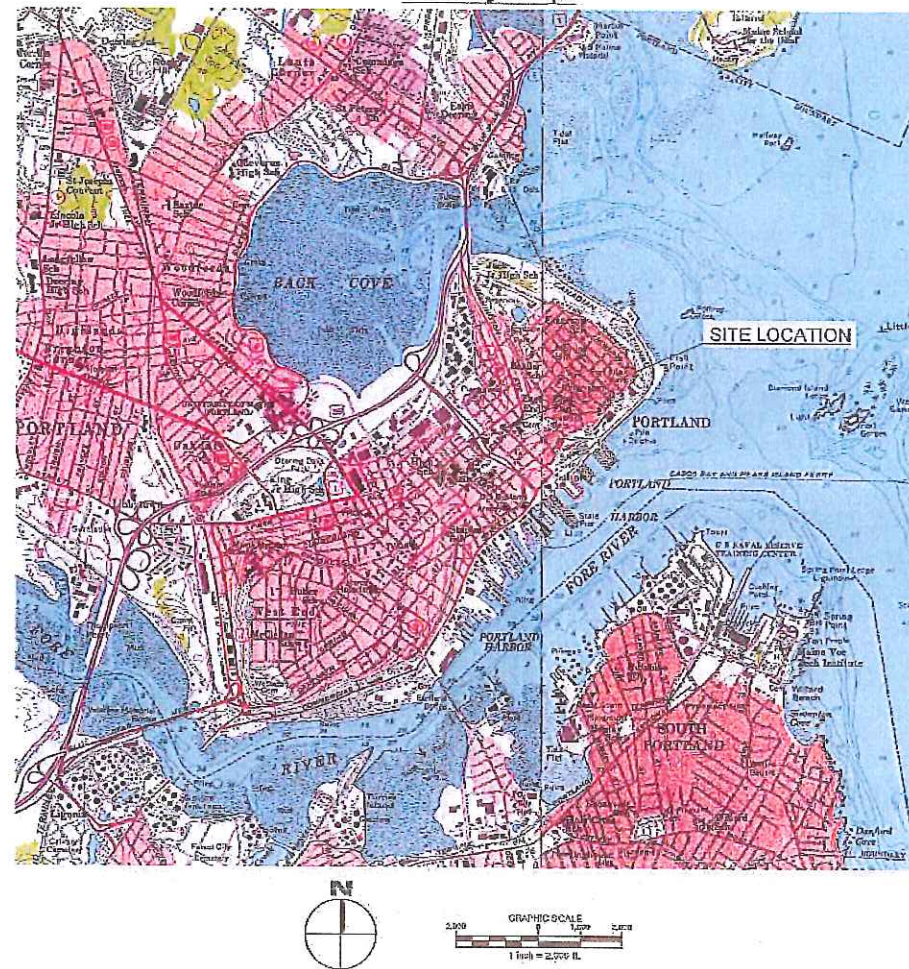
Permits:

Type	Jurisdiction	Status
Level III Site Plan	City of Portland Planning Department	Submitted November 3, 2015 Revised Plans Submitted January 7, 2015

Record Owner  
East End Lofts, LLC  
(Subsidiary of Clean and Simple Living, Inc.)  
315 16th Street  
Boulder, CO 80302

Parcel ID  
Map 21  
Block E  
Lot 18

Vicinity Map:



List of Drawings:

Sheet No.	Sheet Title
	Cover Sheet
	Existing Conditions & Topographic Survey
	Boundary Survey
C1.0	Existing Conditions and Removals Plan
C2.0	Site Layout, Utility, and Grading Plan
1 of 1	Subdivision Plat
C3.0	Details (Sheet 1 of 2)
C3.1	Details (Sheet 2 of 2)
T1.0	Turning Simulation Plan
1 of 1	Photometric Plan
A1.1	Floor Plans
A1.2	Roof Plan
A2.1	Elevations





**UNIT AREA TABLE**

UNIT NAME	USE	AREA (SQ. FT.)
UNIT 1	STUDIO APARTMENT	655
UNIT 2	STUDIO APARTMENT	658
UNIT 3	1-BEDROOM APARTMENT	656
UNIT 4	STUDIO APARTMENT	704
UNIT 5	STUDIO APARTMENT	661
UNIT 6	STUDIO APARTMENT	671
UNIT 7	STUDIO APARTMENT	664
UNIT 8	STUDIO APARTMENT	709
UNIT 9	1-BEDROOM APARTMENT	1,043
UNIT 10	STUDIO APARTMENT	791
RETAIL SPACE	RETAIL SHELL SPACE	2,551
DOBBIE WASH	AMENITY	248

**LEGEND**

EXISTING	PROPOSED
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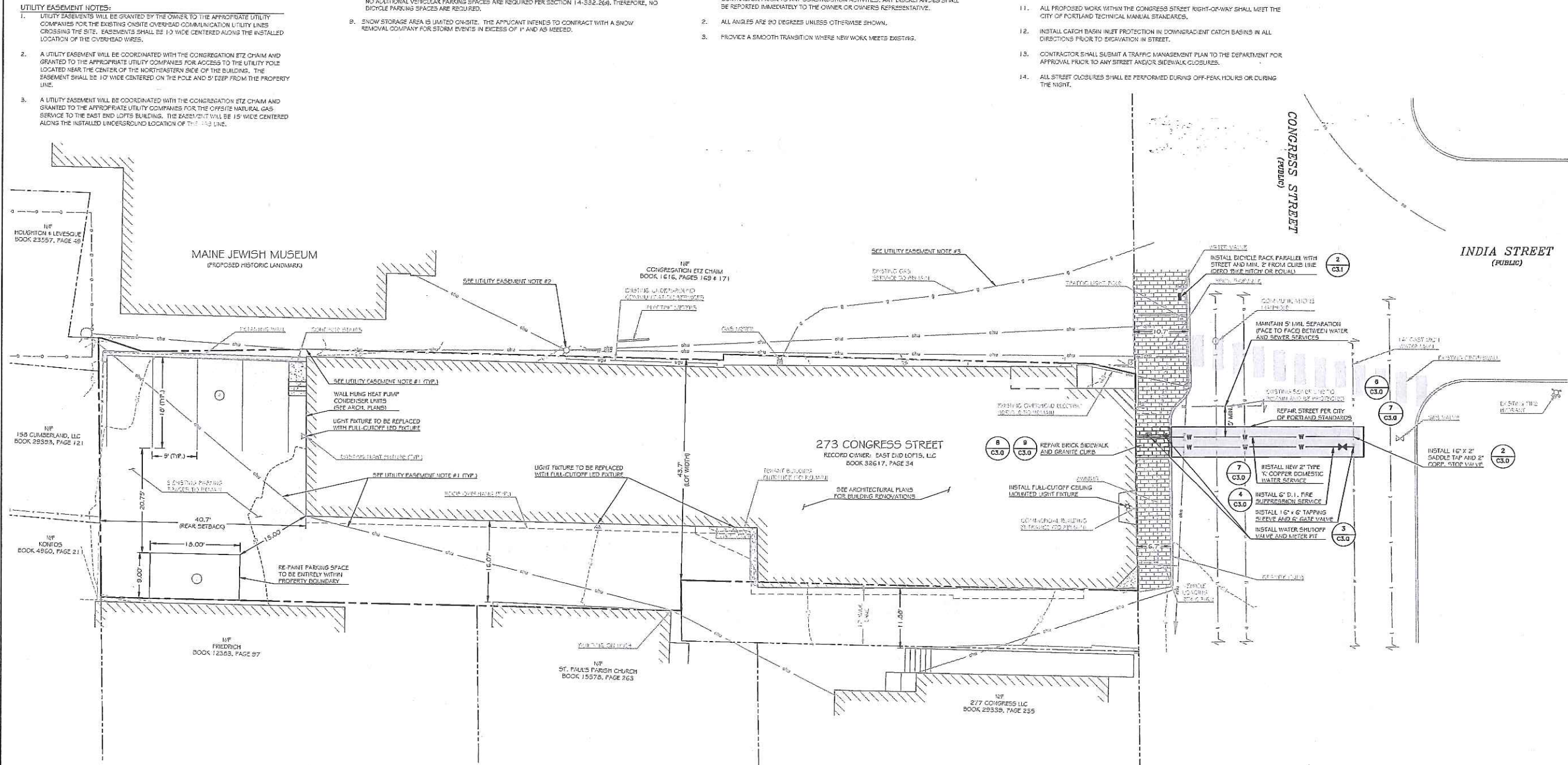
**PARCEL INFORMATION**

- SITE AREA: 9,726 SF
- APPLICANT: CLEAN AND SIMPLE LIVING, INC.  
C/O KEVIN DWYER  
315 16<sup>th</sup> STREET  
BOULDER, CO 80302
- OWNER: EAST END LOFTS, INC. (A SUBSIDIARY OF CLEAN AND SIMPLE LIVING, INC.)  
C/O KEVIN DWYER  
315 16<sup>th</sup> STREET  
BOULDER, CO 80302
- ZONING DISTRICTS: B-29 COMMUNITY BUSINESS ZONE  
INDIA STREET HISTORIC DISTRICT
- SPACE AND BULK STANDARDS:
 

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE	NONE	9,726 SF	NO CHANGE
MINIMUM LOT WIDTH	NONE	43.7'	NO CHANGE
MINIMUM STREET FRONTAGE	23'	42.97'	NO CHANGE
FRONT YARD SETBACK	NONE	0'	NO CHANGE
REAR YARD SETBACK	10'	40.7'	NO CHANGE
SIDE YARD SETBACK	NONE	0'	NO CHANGE
SIDE YARD ON SIDE STREET	NONE	N/A	NO CHANGE
MAXIMUM IMPERVIOUS SURFACE RATIO	50%	100%	NO CHANGE
MAXIMUM HEIGHT OF STRUCTURES	49'	35.7'±	NO CHANGE
MINIMUM LOT AREA PER DWELLING (PENNSYLVANIA)	435 SF	9,726 SF/UNIT	872.6 SF/UNIT
- PROPOSED NUMBER OF UNITS: 10 RESIDENTIAL UNITS  
1 RETAIL UNIT
- OFF-STREET PARKING REQUIREMENTS: THE SITE CURRENTLY CONTAINS 5 EXTERIOR PARKING SPACES. NO ADDITIONAL PARKING SPACES ARE REQUIRED BECAUSE THE STRUCTURE IS A 'CONTRIBUTING STRUCTURE' LOCATED WITHIN AN HISTORIC DISTRICT (PER SECTION 14-332.2(B)).
- BIKE PARKING: NO ADDITIONAL VEHICULAR PARKING SPACES ARE REQUIRED PER SECTION 14-332.2(B). THEREFORE, NO BIKE PARKING SPACES ARE REQUIRED.
- SNOW STORAGE AREA IS LIMITED ON-SITE. THE APPLICANT INTENDS TO CONTRACT WITH A SNOW REMOVAL COMPANY FOR STORM EVENTS IN EXCESS OF 1" AND AS NEEDED.

- PLAN REFERENCES:**
- ON-SITE TOPOGRAPHIC AND PROPERTY BOUNDARY INFORMATION TAKEN FROM THE FOLLOWING:
    - PLAN TITLED 'PLAN DEPICTING THE RESULTS OF AN EXISTING CONDITIONS & TOPOGRAPHY SURVEY MADE FOR WALSH ENGINEERING ASSOCIATES, INC.', PREPARED BY MACKAU LAND SURVEYS OF PORTLAND, MAINE, DATED OCTOBER 30, 2015.
    - PLAN TITLED 'PLAN DEPICTING THE RESULTS OF A BOUNDARY SURVEY & PROPOSED BOUNDARY LINE AGREEMENT MADE FOR EAST END STUDIOS, LLC', PREPARED BY MACKAU LAND SURVEYS OF PORTLAND, MAINE, DATED AUGUST 27, 2015.
    - BOUNDARY LINE AGREEMENT BETWEEN EAST END STUDIOS, LLC, AND CONGREGATION ETZ CHAM AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 22546, PAGES 229 & 230.
    - FIELD OBSERVATION BY WALSH ENGINEERING ASSOCIATES, INC. IN SEPTEMBER AND OCTOBER 2015.
  - PLAN IS REFERENCED TO CITY OF PORTLAND HORIZONTAL DATUM, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE, NAD83.
  - BASIS OF PROPERTY LINE BEARINGS IS MAGNETIC NORTH PER PLAN REFERENCE 1.2 ABOVE.
  - ELEVATIONS ARE BASED ON CITY OF PORTLAND VERTICAL BENCHMARK, TEM 11.3' OFFSET MONUMENT ALONG THE NORTHEASTERN SIDELINE OF LOULIST STREET, LOCATED 213' NORTHERLY FROM CONGRESS STREET, CITY DATUM ELEVATION: 63.562.
- EXISTING UTILITY NOTES:**
- THE UNDERGROUND UTILITIES PERSON SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE DESIGN ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE DESIGN ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION.
- LAYOUT, MATERIALS, AND UTILITY NOTES:**
- ALL DIMENSIONS, LOCATIONS AND CONTROLS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNERS REPRESENTATIVE.
  - ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE SHOWN.
  - PROVIDE A SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING.

- GENERAL NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE STATE AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. 'DIG SAFE' TELEPHONE NUMBER IS 1-800-244-7233.
  - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL MEANS, METHODS, AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
  - ANY DAMAGE TO EXISTING UTILITIES AND/OR SITE FEATURES AS A RESULT OF CONTRACTOR ACTIVITIES SHALL BE REPAIRED TO THE CONDITION IMMEDIATELY BEFORE DAMAGE OCCURRED AT THE CONTRACTOR'S EXPENSE.
  - ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
  - ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND REQUIREMENTS.
  - THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
  - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
  - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNERS REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.
  - THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AS DEPICTED ON THE FEMA FIRM FLOOD INSURANCE RATE MAPS.
  - ALL WATER MAIN AND WATER SERVICE WORK SHALL COMPLY WITH PORTLAND WATER DISTRICT REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM THE PORTLAND WATER DISTRICT.
  - ALL PROPOSED WORK WITHIN THE CONGRESS STREET RIGHT-OF-WAY SHALL MEET THE CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
  - INSTALL CATCH BASIN INLET PROTECTION IN DOWNGRADE CATCH BASINS IN ALL DIRECTIONS PRIOR TO EXCAVATION IN STREET.
  - CONTRACTOR SHALL SUBMIT A TRAFFIC MANAGEMENT PLAN TO THE DEPARTMENT FOR APPROVAL PRIOR TO ANY STREET AND/OR SIDEWALK CLOSURES.
  - ALL STREET CLOSURES SHALL BE PERFORMED DURING OFF-PEAK HOURS OR DURING THE NIGHT.



**East End Lofts**  
273 Congress Street  
Portland, Maine

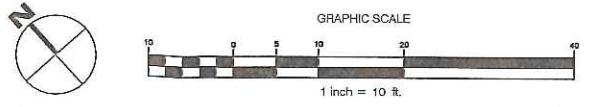
**Clean and Simple Living, Inc.**  
315 16<sup>th</sup> Street  
Boulder, CO 80302

Rev. | Date | Description | Drawn | Check

1	11/4/15	Issued for Local 311 Site Plan Review	SWC	NGC
2	11/4/15	Revised Per City Comments	SWC	NGC

Sheet Title:  
**Site Layout, Grading, and Utilities Plan**

Job No.: 310 | Sheet No.:  
Date: Nov. 5, 2015  
Scale: 1" = 10'  
Drawn: SWC  
Checked: NGC





**EROSION AND SEDIMENTATION CONTROL NOTES**

**INTRODUCTION**

THE FOLLOWING PLAN FOR CONTROLLING EROSION AND SEDIMENTATION IN THIS PROJECT IS BASED ON CONSERVATION PRACTICES FOUND IN THE MAINE EROSION & SEDIMENT CONTROL BMP MANUAL, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003, OR LATEST EDITION. THE CONTRACTOR WHO IMPLEMENTS THIS PLAN SHALL BE FAMILIAR WITH THIS PUBLICATION AND ADHERE TO IT AND THE PRACTICES PRESENTED HEREIN.

REFERENCE IS MADE TO THE GRADING AND DRAINAGE PLANS (G2.0) WITHIN THE PLAN SET, SHOWING THE LOCATIONS AND TYPES OF PROPOSED MEASURES TO BE IMPLEMENTED.

**GENERAL EROSION AND SEDIMENTATION CONTROL PRACTICES**

THE FOLLOWING IS A LIST OF GENERAL EROSION CONTROL PRACTICES THAT WILL BE USED TO PREVENT EROSION AND SEDIMENTATION BEFORE, DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT. IN ADDITION, SPECIAL CARE SHALL BE USED AT ALL TIMES TO:

- 1) MINIMIZE DISTURBANCE AND, HENCE, EROSION
- 2) CORRECT ANY EROSION PROBLEMS IMMEDIATELY
- 3) REGULARLY MONITOR THE IMPLEMENTED PRACTICES, ESPECIALLY AFTER EVERY RAINFALL
- 4) REVEGETATE DISTURBED AREAS AS SOON AS POSSIBLE AFTER CONSTRUCTION
- 5) CONFORM TO ALL REQUIREMENTS/STANDARDS OF THE STATES MAINE DEP EROSION & SEDIMENT CONTROL BMP MANUAL.

**SILT FENCE AND/OR EROSION CONTROL MIX SEDIMENT BARRIERS**

SILT FENCE AND/OR EROSION CONTROL MIX SEDIMENT BARRIERS WILL BE INSTALLED ALONG THE DOWN GRADIENT SIDE OF THE PROPOSED GROUND DISTURBANCE AREAS PRIOR TO ANY CONSTRUCTION ACTIVITIES.

**CATCH BASIN PROTECTION**

CATCH BASIN PROTECTION WILL BE INSTALLED AT THE FIRST DOWNGRADIENT CATCH BASIN IN STREET ADJACENT TO ANY CONSTRUCTION ACTIVITIES.

**CONSTRUCTION PHASE**

THE FOLLOWING GENERAL PRACTICES WILL BE IMPLEMENTED TO PREVENT EROSION DURING CONSTRUCTION ON THIS PROJECT:

1. ONLY THOSE AREAS UNDER ACTIVE CONSTRUCTION WILL BE CLEARED AND LEFT IN AN UNVEGETATED CONDITION. ONCE CONSTRUCTION OF AN AREA IS COMPLETE, FINAL SEEDING, LOAMING AND SEEDING SHALL OCCUR IMMEDIATELY REFER TO "POST CONSTRUCTION REVEGETATION" SECTION. IF DURING FINAL GRADING, LOAMING AND SEEDING CAN NOT OCCUR IMMEDIATELY, IT SHALL BE DONE PRIOR TO ANY STORM EVENT AND WITHIN 15 DAYS OF COMPLETING CONSTRUCTION IN THE AREA. IF FINAL GRADING, LOAMING AND SEEDING CANNOT OCCUR WITHIN 7 DAYS, OR IF THE AREA IS NOT UNDER ACTIVE CONSTRUCTION FOR A PERIOD LONGER THAN 7 DAYS, SEE ITEM NO. 4 BELOW.
2. PRIOR TO THE START OF CONSTRUCTION IN A SPECIFIC AREA, SILT FENCING SHALL BE INSTALLED ON DOWNGRADIENT PORTIONS OF THE SITE AS LOCATED ON THE PLANS TO PROTECT AGAINST ANY CONSTRUCTION RELATED EROSION.
3. TOPSOIL WILL BE STOCKPILED WHEN NECESSARY IN AREAS WHICH HAVE MINIMUM POTENTIAL FOR EROSION AND WILL BE KEPT AS FAR AS POSSIBLE FROM EXISTING DRAINAGE AREAS AND WETLANDS. ALL STOCKPILES EXPECTED TO REMAIN LONGER THAN 7 DAYS SHALL BE:
  - A. TREATED WITH ANCHORED MULCH (WITHIN 5 DAYS OF THE LAST DEPOSIT OF STOCKPILED SOIL).
  - B. SEEDED WITH CONSERVATION MIX AND MULCHED IMMEDIATELY.
 STOCKPILES SHALL BE EITHER PLACED UPHELD OF AN EXISTING SEDIMENT BARRIER ON THE SITE OR ENCLOSED BY A HAY BALE OR SILT FENCE BARRIER THE FIRST DAY THAT STOCKPILING COMMENCES.
4. ALL DISTURBED AREAS EXPECTED TO REMAIN LONGER THAN 7 DAYS SHALL BE:
  - A. TREATED WITH STRAW AT A RATE OF 70-80 LBS. PER 1,000 SQUARE FEET FROM 4/16 TO 1/8", OR AT A RATE OF 150-200 LBS. PER 1,000 SQUARE FEET FROM 1/8" TO 4/16".
  - B. SEEDED WITH CONSERVATION MIX OF PERENNIAL RYE GRASS (1.0 LBS/1,000 SQ. FT.) AND MULCHED IMMEDIATELY. FROM 1/8" TO 4/16", FOLLOW THE SEEDING RATES AS OUTLINED BELOW IN SUB-SECTION 4.2. OF THE "POST CONSTRUCTION REVEGETATION" SECTION.
  - C. MONITORED EVERY TWO WEEKS UNTIL SEEDING CAN OCCUR AND REMULCHED AS NEEDED TO PROTECT SLOPES.
5. ALL GRADING WILL BE HELD TO A MAXIMUM 3:1 SLOPE WHERE PRACTICAL. GREATER SLOPES MAY BE USED WHERE THE BANKS ARE PROTECTED WITH SOFT ARMOUR MATTING, EROSION CONTROL MATTING, OR RIPRAP. ALL SLOPES WILL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY AFTER FINAL GRADING IS COMPLETE. (IT IS UNDERSTOOD THAT IMMEDIATELY MEANS WITHIN 5 DAYS OF THE COMPLETION OF WORK. SEE POST-CONSTRUCTION REVEGETATION FOR SEEDING SPECIFICATION.)

6. CONSTRUCTION TRAFFIC WILL BE DIRECTED OVER THE EXISTING SITE ENTRANCE. THE ROAD SHALL BE SWEEP DAILY SHOULD SEDIMENT BE TRACKED ONTO IT.

**DEWATERING**

1. ALL DEWATERING DISCHARGE LOCATIONS SHALL BE LOCATED ON RELATIVELY FLAT GROUND AT LEAST 75' FROM STREAMS AND 25' FROM WETLANDS. THE CONTRACTOR SHALL UTILIZE DIRTBAES, EROSION CONTROL MIX BERMES, OR SIMILAR METHODS FOR FILTRATION OF DEWATERING AND SHALL CONFORM TO THE MAINE EROSION AND SEDIMENT CONTROL BMP'S 6-1, 6-2, AND 6-3.

**POST CONSTRUCTION REVEGETATION**

THE FOLLOWING GENERAL PRACTICES WILL BE IMPLEMENTED TO PREVENT EROSION AS SOON AS AN AREA IS READY TO UNDERGO FINAL GRADING:

1. A MINIMUM OF 6" OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH AND NATURAL APPEARANCE.
2. LAWN AREAS: "ESTATE GREEN" GRASS SEED BY ALLEN, STERLING & LOTHROP (FALMOUTH, MAINE), OR APPROVED EQUAL.
3. MULCH SHALL BE HAY OR STRAW MULCHES THAT ARE DRY AND FREE FROM UNDESIRABLE SEEDS AND COARSE MATERIALS.
  - A. APPLICATION RATE MUST BE 2 BALES (70-80 LBS.) PER 1,000 SQUARE FEET OR 1.5 TO 2 TONS (30-100 BALES) PER ACRE TO COVER 75 TO 80% OF THE GROUND SURFACE.
  - B. DRIVE OVER WITH TRACKED CONSTRUCTION EQUIPMENT ON GRADES OF 5% AND LESS.
  - C. BLANKET WITH TACKED PHOTODEGRADABLE/Biodegradable NETTING ON GRADES GREATER THAN 5%.
4. HYDROMULCH SHALL CONSIST OF A MIXTURE OF ASPHALT, WOOD PIERCE OR PAPER PIERCE AND WATER, WHICH IS SPRAYED OVER A SEEDED AREA. HYDRO-MULCH SHALL NOT BE USED BETWEEN 1/8" AND 4/16".
5. CONSTRUCTION SHALL BE PLANNED TO ELIMINATE THE NEED FOR SEEDING BETWEEN OCTOBER 1ST AND APRIL 15TH. SHOULD SEEDING BE NECESSARY BETWEEN THESE DATES, THE FOLLOWING PROCEDURE SHALL BE FOLLOWED:
  - A. ONLY UNFROZEN LOAM SHALL BE USED.
  - B. LOAMING, SEEDING AND MULCHING WILL NOT BE DONE OVER SNOW OR ICE COVER. IF SNOW EXISTS, IT MUST BE REMOVED PRIOR TO PLACEMENT OF SEED.
  - C. WHERE PERMANENT SEEDING IS NECESSARY, ANNUAL WINTER RYE (1.2 LBS/1,000 S.F.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
  - D. WHERE TEMPORARY SEEDING IS REQUIRED, ANNUAL WINTER RYE (2.5 LBS/1,000 S.F.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
  - E. FERTILIZING, SEEDING AND MULCHING SHALL BE DONE ON LOAM THE DAY THE LOAM IS SPREAD.
  - F. HAY MULCH SHALL BE SECURED WITH PHOTODEGRADABLE/Biodegradable NETTING. TRACKING BY MACHINERY ALONE WILL NOT SUFFICE. WINTER MULCHING RATES, AS SPECIFIED ABOVE IN SUBSECTION 5.A. OF THE "CONSTRUCTION PHASE" SECTION, SHOULD BE APPLIED DURING THIS PERIOD.
6. FOLLOWING FINAL SEEDING, THE SITE WILL BE INSPECTED EVERY 30 DAYS UNTIL 80% COVER HAS BEEN ESTABLISHED. RESEEDING WILL BE CARRIED OUT BY THE CONTRACTOR WITHIN 10 DAYS OF NOTIFICATION BY THE DESIGN PROFESSIONAL THAT THE EXISTING CATCH IS INADEQUATE.

**MONITORING SCHEDULE**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, MONITORING, MAINTAINING, REPAIRING, REPLACING AND REMOVING ALL OF THE EROSION AND SEDIMENTATION CONTROLS OR APPOINTING A QUALIFIED SUBCONTRACTOR TO DO SO.

MAINTENANCE MEASURES WILL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL, AND AT LEAST ONCE A WEEK, A VISUAL INSPECTION WILL BE MADE OF ALL EROSION AND SEDIMENTATION CONTROLS AS FOLLOWS:

1. SILT FENCE SHALL BE INSPECTED AND REPAIRED. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REDISTRIBUTED TO AREAS UNDERGOING FINAL GRADING.
2. CONSTRUCTION ENTRANCE SHALL BE VISUALLY INSPECTED AND REPAIRED AS NEEDED. ANY AREAS SUBJECT TO RUTTING SHALL BE STABILIZED IMMEDIATELY. IF THE VOIDS OF THE CONSTRUCTION ENTRANCE BECOME FILLED WITH MUD, MORE CRUSHED STONE SHALL BE ADDED AS NEEDED. THE FLEEG ROADWAY SHALL BE SWEEP SHOULD MUD BE DEPOSITED/TRACKED ONTO THEM.

**STANDARDS FOR STABILIZING SITES FOR THE WINTER**

THE FOLLOWING STANDARDS AND METHODOLOGIES SHALL BE USED FOR STABILIZING THE SITE DURING THE WINTER CONSTRUCTION PERIOD

1. STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SLOPES (ANY AREA HAVING A GRADE GREATER THAN 25%) - THE CONTRACTOR WILL SEED AND MULCH ALL SLOPES TO BE VEGETATED BY SEPTEMBER 15TH. IF THE CONTRACTOR FAILS TO STABILIZE ANY SLOPE TO BE VEGETATED BY SEPTEMBER 15TH, THEN THE CONTRACTOR WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER.
  - A. STABILIZE THE SOIL WITH TEMPORARY VEGETATION AND EROSION CONTROL MATS - BY OCTOBER 1ST THE CONTRACTOR WILL SEED THE DISTURBED SLOPE WITH WINTER RYE AT A RATE OF 3 POUNDS PER 1,000 SQUARE FEET AND THEN INSTALL EROSION CONTROL MATS OR ANCHORED HAY MULCH OVER THE SEEDING. THE CONTRACTOR WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS.
  - B. STABILIZE THE SLOPE WITH WOOD-WASTE COMPOST - THE CONTRACTOR WILL PLACE A SIX-INCH LAYER OF WOOD-WASTE COMPOST ON THE SLOPE BY NOVEMBER 15TH. THE CONTRACTOR WILL NOT USE WOOD-WASTE COMPOST TO STABILIZE SLOPES HAVING GRADES GREATER THAN 50% (2H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.
  - C. STABILIZE THE SLOPE WITH STONE RIPRAP - THE CONTRACTOR WILL PLACE A LAYER OF STONE RIPRAP ON THE SLOPE BY NOVEMBER 15TH. THE DEVELOPER'S OWNER WILL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY ON THE SLOPE AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIPRAP.
2. STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SOILS - BY SEPTEMBER 15TH THE CONTRACTOR WILL SEED AND MULCH ALL DISTURBED SOILS ON THE SITE. IF THE CONTRACTOR FAILS TO STABILIZE THESE SOILS BY THIS DATE, THEN THE CONTRACTOR WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SOIL FOR LATE FALL AND WINTER.
  - A. STABILIZE THE SOIL WITH TEMPORARY VEGETATION - BY OCTOBER 1ST THE CONTRACTOR WILL SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1,000 SQUARE FEET, LIGHTLY MULCH THE SEEDED SOIL WITH HAY OR STRAW AT 75 POUNDS PER 1,000 SQUARE FEET, AND ANCHOR THE MULCH WITH PLASTIC NETTING. THE CONTRACTOR WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR FAILS TO COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE NOVEMBER 1, THEN THE CONTRACTOR WILL MULCH THE AREA FOR OVER-WINTER PROTECTION AS DESCRIBED IN ITEM III OF THIS STANDARD.
  - B. STABILIZE THE SOIL WITH SOO - THE CONTRACTOR WILL STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOO BY OCTOBER 1ST. PROPER INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOO ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOO TO GUARANTEE CONTACT BETWEEN THE SOO AND UNDERLYING SOIL, AND WATERING THE SOO TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL.
  - C. STABILIZE THE SOIL WITH MULCH - BY NOVEMBER 15TH THE CONTRACTOR WILL MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150 POUNDS PER 1,000 SQUARE FEET ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. IMMEDIATELY AFTER APPLYING THE MULCH, THE CONTRACTOR WILL ANCHOR THE MULCH WITH NETTING OR OTHER METHOD TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.

**EROSION CONTROL REMOVAL**

AN AREA IS CONSIDERED STABLE IF IT IS PAVED OR IF 60% GROWTH OF PLANTED SEEDS IS ESTABLISHED. ONCE AN AREA IS CONSIDERED STABLE, THE EROSION CONTROL MEASURES CAN BE REMOVED AS FOLLOWS:

1. **SILT FENCE**  
SILT FENCE SHALL BE DISPOSED OF LEGALLY AND PROPERLY OFF-SITE. ALL SEDIMENT TRAPPED BEHIND THESE CONTROLS SHALL BE DISTRIBUTED TO AN AREA UNDERGOING FINAL GRADING OR REMOVED AND RELOCATED OFF-SITE.
2. **CATCH BASIN PROTECTION**  
CATCH BASIN INLET PROTECTION SHALL BE REMOVED FOLLOWING PERMANENT STABILIZATION OF UPGRADIENT AREAS. SEDIMENT SHALL BE REMOVED FROM THE SACK AND LEGALLY DISPOSED. SEDIMENT SHALL NOT BE WASHED INTO THE CATCH BASIN.
3. **MISCELLANEOUS**  
ONCE ALL THE TRAPPED SEDIMENTS HAVE BEEN REMOVED FROM THE TEMPORARY SEDIMENTATION DEVICES THE DISTURBED AREAS MUST BE REGRADED IN AN AESTHETIC MANNER TO CONFORM TO THE SURROUNDING TOPOGRAPHY. ONCE GRADED THESE DISTURBED AREAS MUST BE LOAMED IF NECESSARY, FERTILIZED, SEEDED AND MULCHED IN ACCORDANCE WITH THE RATES PREVIOUSLY STATED.

THE ABOVE EROSION CONTROLS MUST BE REMOVED WITHIN 30 DAYS OF FINAL STABILIZATION OF THE SITE. CONFORMANCE WITH THIS PLAN AND FOLLOWING THESE PRACTICES WILL RESULT IN A PROJECT THAT CONFORMS WITH THE STATE REGULATIONS AND THE STANDARDS OF THE NATURAL RESOURCES PROTECTION ACT, AND WILL PROTECT WATER QUALITY IN AREAS DOWNSTREAM FROM THE PROJECT.

Plan 5

**WALSH**  
ENGINEERING ASSOCIATES, INC.  
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ph: 207.563.5888 | www.walsh-eng.com  
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STATE OF MAINE  
SILAS W. CANAVAN  
No. 12839  
REGISTERED PROFESSIONAL ENGINEER  
1/5/16

East End Lofts  
275 Congress Street  
Portland, Maine

Clean and Simple Living, Inc.  
315 16th Street  
Boulder, CO 80302

Rev.	Date	Description	Drawn	Check
1	9/26	Issued for Level III Site Plan Review	SWC	NGC
2	10/16	Revised Per City Comments	SWC	NGC

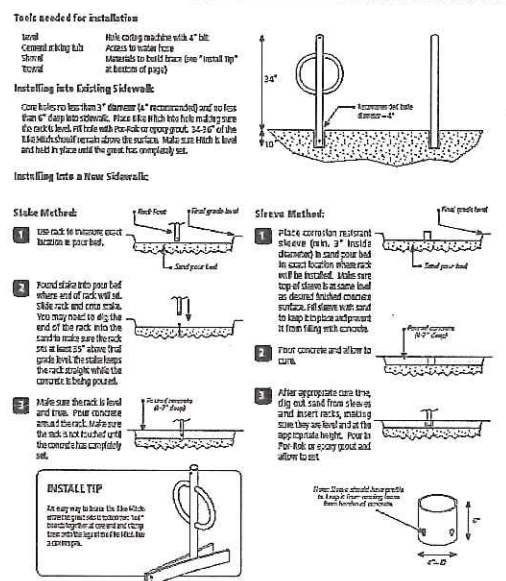
Sheet Title:  
**Details**  
[Sheet 2 of 2]

Job No.: 910  
Date: Nov. 3, 2015  
Scale: N.T.S.  
Drawn: SWC  
Checked: NGC

Sheet No.:  
**C3.1**

City of Portland Technical Manual  
Section 1 - Transportation Systems and Street Design  
Adopted 7/19/10, Rev. 8/17/11; 7/21/11

**BIKE HITCH** - In-ground Installation Instructions



DATE: AUGUST 2009	CITY OF PORTLAND, MAINE TECHNICAL STANDARDS MANUAL	TRANSPORTATION SYSTEMS AND STREET DESIGN SECTION 1	FIGURE: <b>I-33c</b>
REVISED:	<b>BIKE RACK SPECIFICATION - BIKE HITCH</b>		

1  
C3.1

2  
C3.1

**BIKE RACK INSTALLATION DETAIL**  
NOT TO SCALE

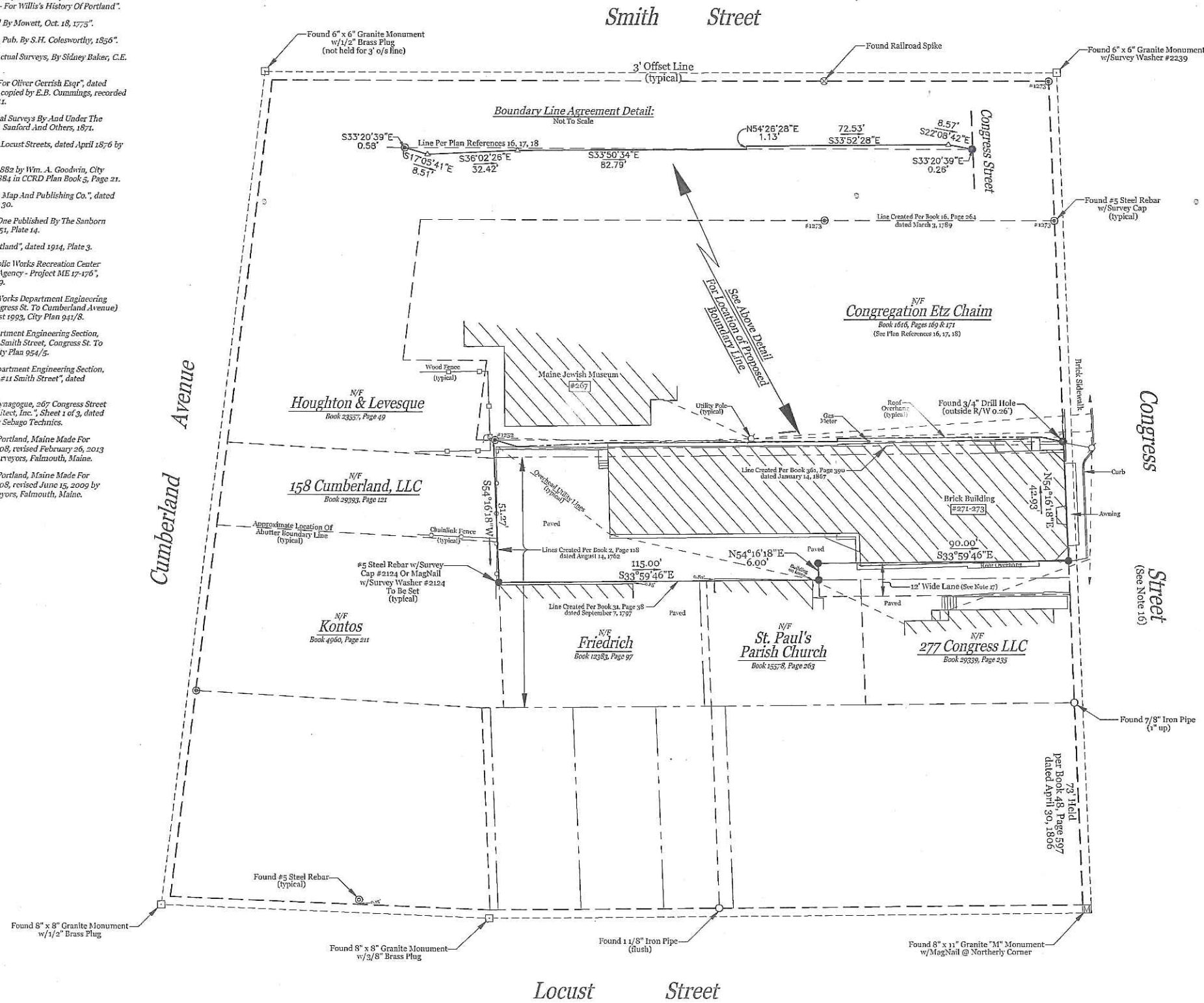


Plan References:

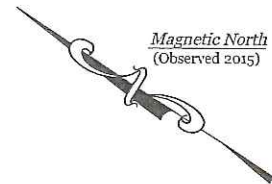
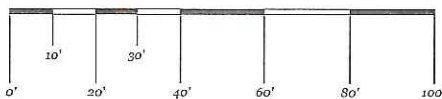
1. "Grants Made By The Proprietors Of Falmouth (On The Neck) Now Portland: Principally Between 1720 & 1728 Inclusive - For Willis's History Of Portland".
2. "Falmouth Neck, As It Was When Destroyed By Mowatt, Oct. 18, 1775".
3. "Plan Of Portland, Engraved As A Directory, Pub. By S.H. Colsworthy, 1836".
4. "Map Of Cumberland County Maine From Actual Surveys, By Sidney Baker, C.E. And Others, J. Chace, Jr., Publisher, 1837".
5. "Plan Of Lot Of Land In Portland Surveyed For Oliver Gerrish Esq.", dated February 25, 1867 by Cha's. H. Howe, C.E., copied by E.B. Cummings, recorded April 16, 1873 in CCRD Plan Book 3, Page 41.
6. "Atlas Of Cumberland Co. Maine From Actual Surveys By And Under The Direction Of F.W. Beers Assisted By Geo. F. Sanford And Others, 1871".
7. Plan depicting land along Cumberland and Locust Streets, dated April 1876 by E.C. Jordan.
8. City Of Portland Revaluation Plans, dated 1882 by Wm. A. Goodwin, City Engineer, Sheet 21, recorded October 24, 1884 in CCRD Plan Book 5, Page 21.
9. "Portland, Maine Published By The Sanborn Map And Publishing Co.", dated October 1886, corrected August 1894, Plate 30.
10. "Insurance Maps, Portland, Maine Volume One Published By The Sanborn Map Company", dated 1909, last revised 1951, Plate 14.
11. "Richards Standard Atlas Of The City Of Portland", dated 1914, Plate 3.
12. "City Of Portland, Maine Department Of Public Works Recreation Center At Congress And India Sts, Federal Works Agency - Project ME 17-176", dated September 25, 1944, City Plan 409/99.
13. "City Of Portland, Maine Parks And Public Works Department Engineering Division, Smith Street Reconstruction (Congress St. To Cumberland Avenue) Plan And Profile", Sheet 2 of 8, dated August 1993, City Plan 941/8.
14. "City Of Portland, Maine Public Works Department Engineering Section, Plan Showing New Monumentation Set On Smith Street, Congress St. To Cumberland Ave.", dated February 1999, City Plan 954/5.
15. "City Of Portland, Maine Public Services Department Engineering Section, Peppermint Park Boundary Markers Set At #11 Smith Street", dated February 2010, City Plan 1010/10.
16. "Site Grading & Utility Plan Of Etz Chaim Synagogue, 267 Congress Street Portland, Maine For: John H. Leas, Architect, Inc.", Sheet 1 of 3, dated June 27, 2012, last revised May 30, 2013 by Sebago Technics.
17. "Boundary Survey On 265 Congress Street, Portland, Maine Made For Winton Scott Architects", dated May 28, 2008, revised February 26, 2013 by Owen Haskell, Inc. Professional Land Surveyors, Falmouth, Maine.
18. "Boundary Survey On 265 Congress Street, Portland, Maine Made For Winton Scott Architects", dated May 28, 2008, revised June 15, 2009 by Owen Haskell, Inc. Professional Land Surveyors, Falmouth, Maine.

General Notes:

1. This plan is not intended to depict limits or extent of fee title ownership. An opinion of title should be rendered by a title attorney.
2. This office reserves the right to be held harmless by all 3rd party claims.
3. This survey does not purport to reflect any of the following:
  - a. assessments other than those that are visible or specifically stated in the referenced documents.
  - b. building setback compliance or restrictive covenants.
  - c. zoning or other land use regulations.
  - d. the location of any underground utilities or structures.
4. This office reserves the right to be held harmless for unknown or unobtainable private records which could affect the results of this survey.
5. Reference is made to "Letter Of Agreement" dated May 8, 2015 between Nadeau Land Surveys and the below listed client(s), which shall be considered an integral part of this survey.
6. N/F is an abbreviation for Now or Formerly.
7. All deeds referenced on this plan are recorded at the Cumberland County Registry of Deeds (CCRD).
8. This office does not accept any liability for errors in the Plan References listed hereon.
9. Locust Parcel is shown on the City of Portland Assessor's Map 21, Block E, as Lot 18, and is listed as 273 Congress Street.
10. Area of Locust Parcel will be 9,726 square feet (0.22 acre) upon execution of the depicted Boundary Line Agreement.
11. The apparent right of way lines depicted on this plan are based on the Plan References listed hereon and monumentation found in the field, and City of Portland Engineering Street Notes.
12. The Locust Parcel does not scale in a Special Flood Hazard Area per FEMA Flood Insurance Rate Map Community-Panel Number 230051 0014B, dated July 17, 1986. The parcel scales in Zone C.
13. All building corner offsets to boundary lines are from cornerboards and not building foundation, unless noted.
14. Call 1-888-DIGSAFE at least three business days before performing ANY excavation.
15. Portland separated from the Town of Falmouth on July 4, 1786.
16. Congress Street was formerly known as Queen Street and Back Street. Per Falmouth Records 1-70 & 71, Back Street was laid out April 1, 1724, and re-defined as four rods (66 feet) wide per Sessions Records Vol. 1, Page 170, dated October 1768.
17. Per Book 31, Page 38, dated 9-7-1797, Enoch Lowell conveyed to Amos Greenleaf a parcel of land 45 feet in width and 205 feet in depth, being half of the parcel conveyed by Rev. Thomas Smith per Book 2, Page 115, dated 8-14-1762. Enoch Lowell excepted and reserved two strips of land 6 feet wide and 90 feet deep, creating a "Lane" 12 wide and 90 feet deep. A title attorney should be consulted regarding rights, title, and interest for this Lane.
18. This office has not been contracted to determine if the Proposed Boundary Line Agreement requires and/or meets all municipal Space & Bulk requirements or any other applicable regulations. This office does not accept any liability and/or responsibility if found non-compliant.



Graphic Scale:



Locus Deed Reference:


273 Congress Street Associates  
 To  
 East End Studios, LLC  
 dated June 26, 1997 and recorded June 30, 1997 at the  
 Cumberland County Registry of Deeds in Book 13166, Page 330.

Nadeau Land Surveys hereby states exclusively to the client listed hereon, that this plan is based on, and the result of, an on the ground field survey and that to the best of our knowledge, information, and belief, it conforms to the Maine Board of Licensure For Professional Land Surveyors Standards of Practice.

This plan is not valid without the signature and embossed seal of the below listed Professional Land Surveyor who prepared this plan as it may contain unauthorized alterations unknown to this office.

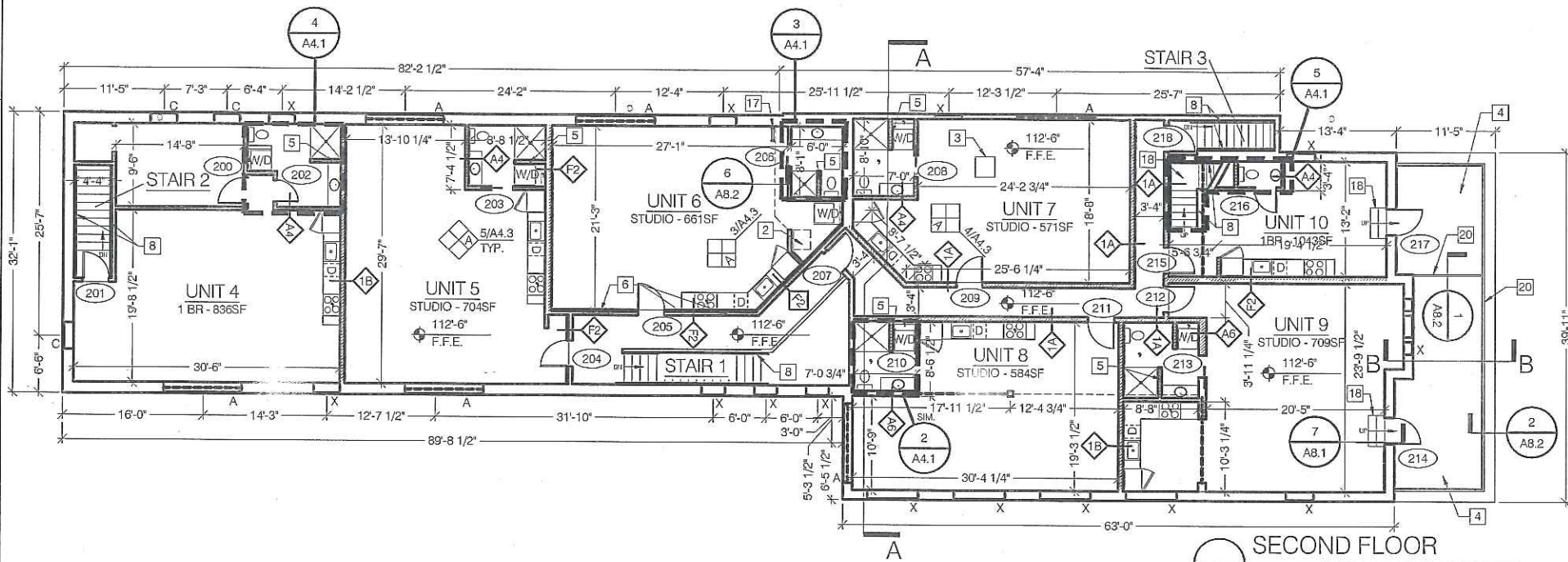
Nadeau Land Surveys  
 James D. Nadeau, P.L.S. #2124 (agent) Date: 8-27-15

Plan Depicting The Results Of A Boundary Survey  
 & Proposed Boundary Line Agreement Made For  
 East End Studios, LLC  
 Northwesternly Sideline Of Congress Street  
 Portland, Maine

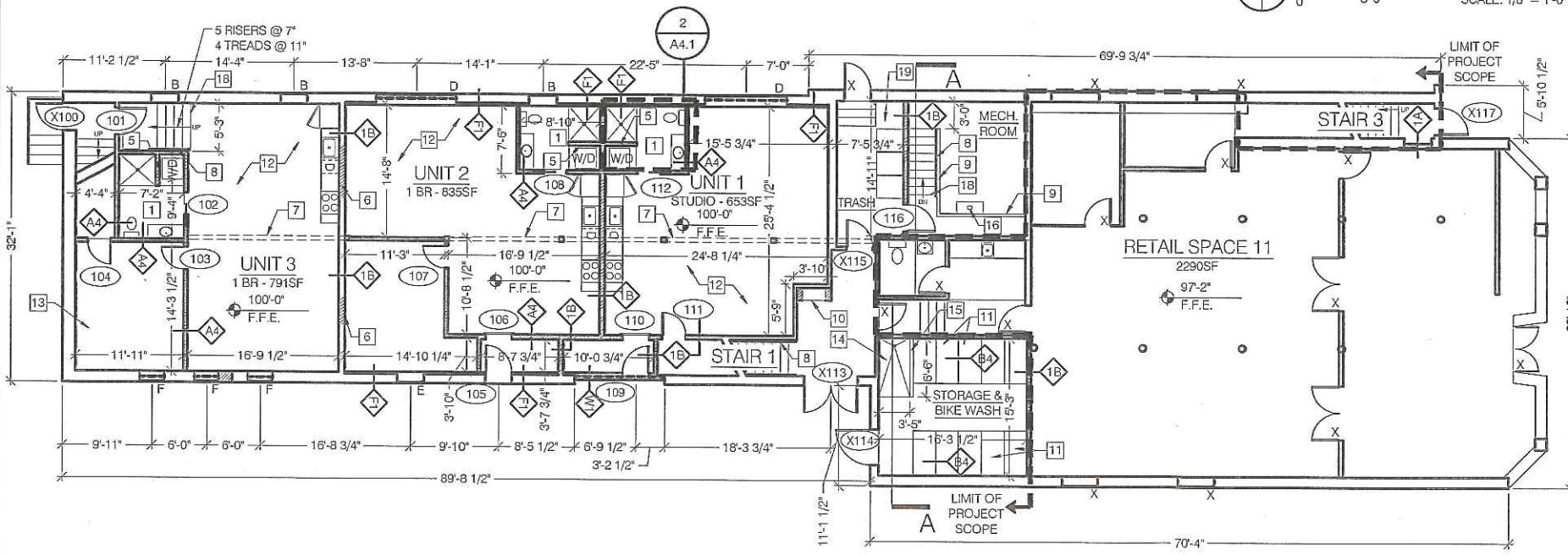
PREPARED BY:			
 <b>Nadeau Land Surveys</b> Professional Land Surveyors Certified Floodplain Managers			
918 BRIGHTON AVENUE PORTLAND, ME 04102		FH: (207) 878-7870 FAX: (207) 878-7871	
RECORD OWNER: East End Studios, LLC 273 Congress Street Portland, Maine 04101	DRAWN BY: TPB	PLAN DATE: 8/27/2015	
	CHECKED BY: JDN/MLC	SURVEY DATE: June 2015	
	INSTR: Topcon GPT-3003W	SCALE: 1" = 20'	
FIELD BOOK: FB 403 & Topcon Ranger	JOB No: 2151284B	SHEET No: 1 of 1	



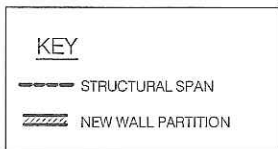
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SECOND FLOOR  
SCALE: 1/8" = 1'-0"



FIRST FLOOR  
SCALE: 1/8" = 1'-0"



**GENERAL NOTES:**

- A. PATCH AND REPAIR ANY DAMAGE CAUSED BY DEMOLITION TO MATCH ADJACENT FINISHES.
- B. NEW BRICK AND SPLIT FACED CMU TO MATCH EXISTING SIZE AND COURSING PATTERNS. TOOTH NEW BRICK AND SPLIT FACED CMU INTO EXISTING BRICK PATTERN.
- C. PAINT AND RE-INSTALL EXISTING FIN TUBE COVERS.
- D. INFILL, PATCH, AND PAINT CEILING TO MATCH SURROUNDING FINISH AT LOCATIONS OF REMOVED HVAC DIFFUSERS AND GRILLES.
- E. CLEAN AND PREPARE SURFACES TO RECEIVE NEW FINISHES. PAINT ALL EXISTING AND NEW EXPOSED SURFACES INCLUDING GYPSUM WALLBOARD AT FLOORS AND CEILINGS, TRIM, RAILINGS, ETC.
- F. FINAL FINISHES TO BE SELECTED BY OWNER.
- G. PATCH FLOORS AT LOCATIONS WHERE EXISTING WALLS HAVE BEEN REMOVED. ENSURE THAT SUBFLOOR IS FLUSH AND LEVEL PRIOR TO INSTALLING FLOOR FINISHES.
- E. WHERE NEW WALLS OR INFILLS ABUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.

**GENERAL MECHANICAL NOTES:**

- A. HEATING HOT WATER AND DOMESTIC HOT WATER SYSTEMS TO BE REWORKED AS PART OF DESIGN-BUILD SERVICES PROVIDED BY CONTRACTOR AND IN COORDINATION W/ OWNER AND DESIGN TEAM.
- B. COORDINATE RE-ZONING AND INSTALLATION OF NEW RADIANT HEATING IN UNITS #1-3.

**GENERAL PLUMBING NOTES:**

- A. PLUMBING DRAINAGE AND SANITARY VENTING TO BE REWORKED AS PART OF DESIGN-BUILD SERVICES PROVIDED BY CONTRACTOR AND IN COORDINATION W/ OWNER AND DESIGN TEAM.
- B. PLUMBING FIXTURES TO BE SELECTED BY OWNER.

**GENERAL ELECTRICAL NOTES:**

- A. ELECTRICAL POWER, DATA, SECURITY AND CABLE TV TO BE REWORKED AS PART OF DESIGN-BUILD SERVICES PROVIDED BY CONTRACTOR AND IN COORDINATION W/ OWNER AND DESIGN TEAM.

**KEYNOTES:**

1. CONSTRUCT A NEW RAISED FLOOR CONSISTING OF 2x10 JOISTS @ 12" O.C. AND 7/8" FLOOR SHEATHING IN BATHROOM OVER THE EXISTING SLAB TO ACT AS PLUMBING PIPE CHASE.
2. INFILL, PATCH, & PAINT EXISTING ATTIC ACCESS HATCH OPENING TO MATCH SURROUNDING CONSTRUCTION AND FINISHES.
3. PATCH FRAMING & INFILL FLOOR SHEATHING SO AS TO MATCH SURROUNDING CONSTRUCTION AND FINISHES AT LOCATION OF ORIGINAL CHIMNEY.
4. RE-ROOF PATIO. INSTALL NEW TAPERSED RIGID INSULATION SLOPED TO DRAIN. INSTALL EPDM MEMBRANE, ADJUSTABLE SUPPORT PADS, AND CONCRETE PAVERS.
5. PROVIDE TUB/SHOWER ACCESS PANEL CONSTRUCTED OF GYP. BD.
6. INFILL, PATCH, AND PAINT EXISTING OPENING SO AS TO MATCH SURROUNDING CONSTRUCTION AND FINISH.
7. CLEAN AND REMOVE ANY PAINT AND JOINT COMPOUND FROM EXISTING WOOD BEAMS.
8. INSTALL NEW 36" HIGH HANDRAIL.
9. INSTALL NEW 42" HIGH GUARDRAIL.
10. NEW RECESSED MAILBOX.
11. 2'-6" WIDE X 5'-0" DEEP X 8'-0" TALL WIRE MESH STORAGE UNITS.
12. POLISH EXISTING CONCRETE SLAB. DO NOT DISTURB SLAB AS EXISTING RADIANT SYSTEM WILL BE REUSED.
13. PATCH AND REPAIR CRACK IN EXISTING CONCRETE SLAB.
14. DOG/BIKE WASH W/ CUSTOM SHOWER BASE. TILE SHOWER ENCLOSURE W/ CT-5 TO CEILING.
15. 48" HIGH WOOD FRAMED HALF WALL W/ WHITE CORIAN CAP.
16. RETROFIT EXISTING BOILER WITH A NEW COAXIAL VENT AND ADAPTOR PLATE. RE-DUCT THRU MECHANICAL ROOM SIDEWALL.
17. ROLLING LIBRARY LADDER.
18. CONSTRUCT NEW STAIR ASSEMBLY.
19. EXTEND AND RE-FRAME EXISTING PLATFORM.
20. NEW EPOXY COATED HOLLOW STRUCTURAL STEEL RAILING W/ CABLE RODS.
21. 1X WOOD SHELVING - PAINTED PT-2

**Bild Architecture**  
PO Box 8836  
Portland, ME 04104  
207.761.0165  
evan@bildarchitecture.com



12/16/15

PROJECT NO. 15019  
PROJECT NAME EAST END LOFTS  
PORTLAND, ME 04101

**REVISIONS**

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**BID SET**

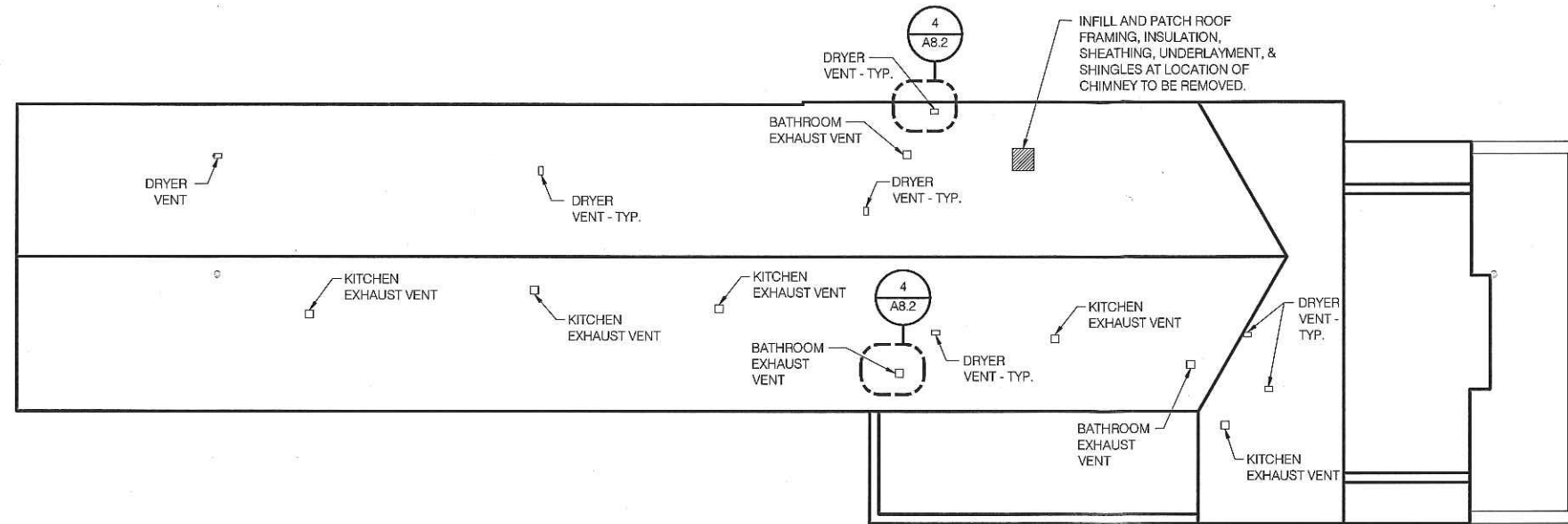
ISSUE DATE 12/16/15  
DRAWN BY AEW  
SHEET TITLE FLOOR PLANS  
SHEET SCALE 1/8" = 1'-0"

**A**

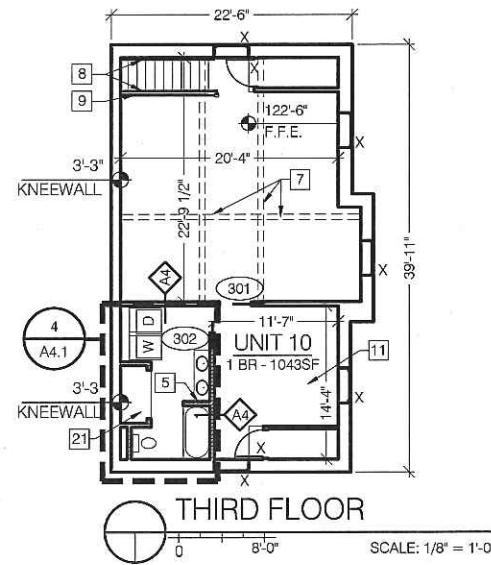
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ROOF PLAN  
SCALE: 1/8" = 1'-0"



**GENERAL NOTES:**

- A. PATCH AND REPAIR ANY DAMAGE CAUSED BY DEMOLITION TO MATCH ADJACENT FINISHES.
- B. NEW BRICK AND SPLIT FACED CMU TO MATCH EXISTING SIZE AND COURSING PATTERNS. TOOTH NEW BRICK AND SPLIT FACED CMU INTO EXISTING BRICK PATTERN.
- C. PAINT AND RE-INSTALL EXISTING FIN TUBE COVERS.
- D. INFLILL, PATCH, AND PAINT CEILING TO MATCH SURROUNDING FINISH AT LOCATIONS OF REMOVED HVAC DIFFUSERS AND GRILLES.
- E. CLEAN AND PREPARE SURFACES TO RECEIVE NEW FINISHES. PAINT ALL EXISTING AND NEW EXPOSED SURFACES INCLUDING GYPSUM WALLBOARD AT FLOORS AND CEILINGS, TRIM, RAILINGS, ETC.
- F. FINAL FINISHES TO BE SELECTED BY OWNER.
- G. PATCH FLOORS AT LOCATIONS WHERE EXISTING WALLS HAVE BEEN REMOVED. ENSURE THAT SUBFLOOR IS FLUSH AND LEVEL PRIOR TO INSTALLING FLOOR FINISHES.
- E. WHERE NEW WALLS OR INFILLS ABUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.

**GENERAL MECHANICAL NOTES:**

- A. HEATING HOT WATER AND DOMESTIC HOT WATER SYSTEMS TO BE REWORKED AS PART OF DESIGN-BUILD SERVICES PROVIDED BY CONTRACTOR AND IN COORDINATION W/ OWNER AND DESIGN TEAM.
- B. COORDINATE RE-ZONING AND INSTALLATION OF NEW RADIANT HEATING IN UNITS #1-3.

**GENERAL PLUMBING NOTES:**

- A. PLUMBING DRAINAGE AND SANITARY VENTING TO BE REWORKED AS PART OF DESIGN-BUILD SERVICES PROVIDED BY CONTRACTOR AND IN COORDINATION W/ OWNER AND DESIGN TEAM.
- B. PLUMBING FIXTURES TO BE SELECTED BY OWNER.

**GENERAL ELECTRICAL NOTES:**

- A. ELECTRICAL POWER, DATA, SECURITY AND CABLE TV TO BE REWORKED AS PART OF DESIGN-BUILD SERVICES PROVIDED BY CONTRACTOR AND IN COORDINATION W/ OWNER AND DESIGN TEAM.

**KEYNOTES:**

- 1. CONSTRUCT A NEW RAISED FLOOR CONSISTING OF 2x10 JOISTS @ 12" O.C. AND 7/8" FLOOR SHEATHING IN BATHROOM OVER THE EXISTING SLAB TO ACT AS PLUMBING PIPE CHASE.
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- 20. NEW EPOXY COATED HOLLOW STRUCTURAL STEEL RAILING W/ CABLE RODS.
- 21. 1X WOOD SHELVING - PAINTED PT-2

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12/16/15

PROJECT NO.  
15019  
PROJECT NAME  
EAST END LOFTS  
PORTLAND, ME 04101

REVISIONS  
1 -  
2 -  
3 -  
4 -  
5 -

BID SET

DRAWN BY  
AEW  
SHEET TITLE  
ROOF PLAN

ISSUE DATE  
12/16/15  
SHEET SCALE  
1/8" = 1'-0"

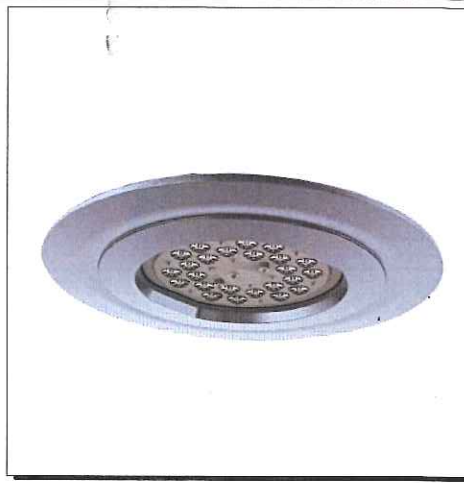
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Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
FULL SITE	0.20	1.0	0.0	N.A.	N.A.
PROPERTY LINE	0.07	0.6	0.0	N.A.	N.A.
site	0.04	1.1	0.0	N.A.	N.A.
walk	1.00	4.0	0.0	N.A.	N.A.

Luminaire Schedule (note fixture catalogue numbers are not complete)						
Type	Symbol	Qty	Lum. Lumens	LLF	Lum. Watts	Description
WL4	⊥	1	726	0.900	13	LNC-5LU-3K-4-X
WL2	⊥	2	743	0.900	12.9	LNC-5LU-3K-2
C1	⊙	1	3815	0.450	56.79	CL0-24NB-55-3K-DF- DIMMED 50%



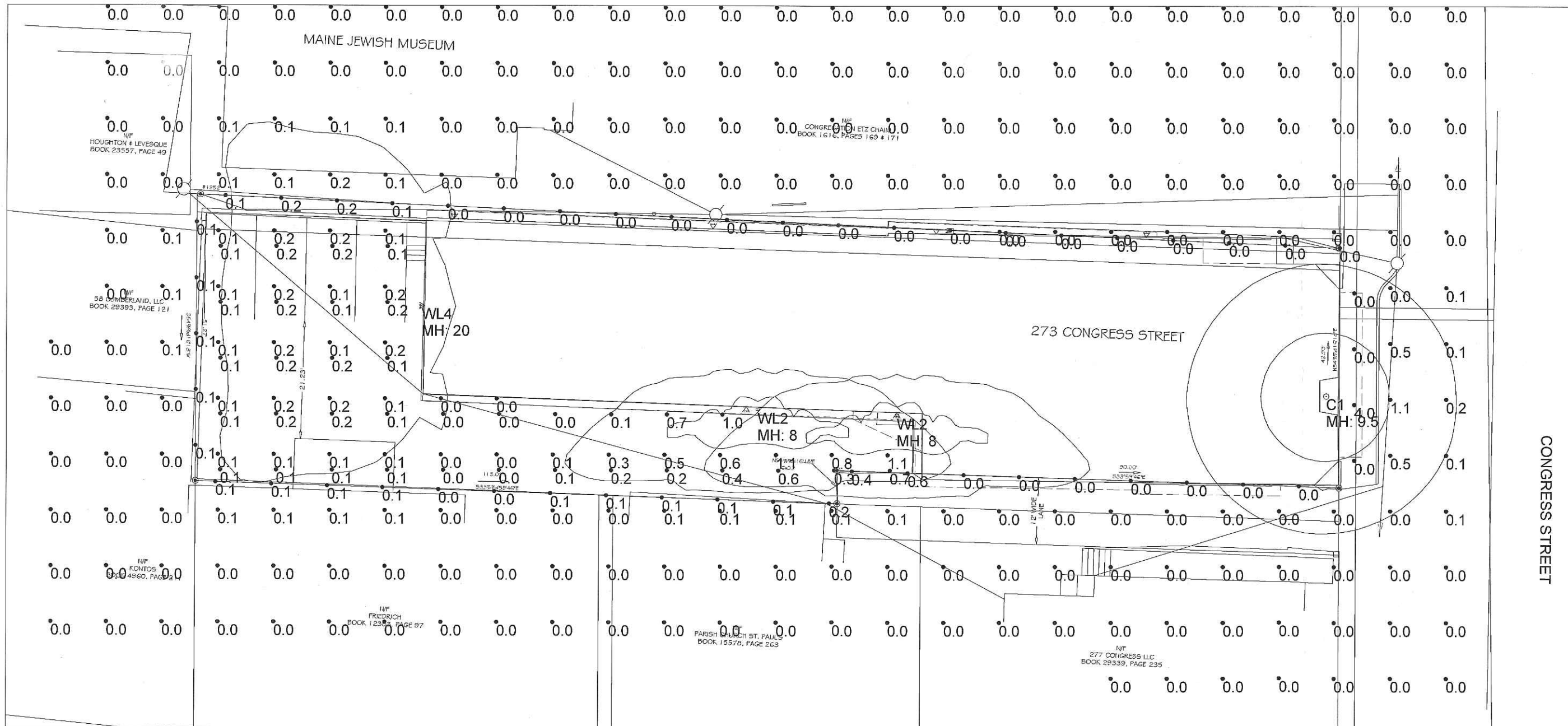
TYPE C1



TYPE WL4 AND WL2

- NOTES:
- 1) EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
  - 2) CALCULATIONS MAY SHOW THE EFFECT OF SHADOWING CAUSED BY BUILDINGS AND OBJECTS WITHIN THE CALCULATED SPACE OR IN THE SITE AREA.
  - 3) READINGS SHOWN ARE INITIAL HORIZONTAL FOOTCANDLES ON A FLAT SITE UNLESS OTHERWISE INDICATED.
  - 4) THIS CALCULATION IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO SWANEY LIGHTING ASSOCIATES AND STANDARD ASSUMPTIONS OF THE SPACE AND/OR SITE.
  - 5) CONFORMANCE TO CODES AND OTHER LOCAL REQUIREMENTS AS DETERMINED BY THE AHJ ARE THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.
  - 6) THIS LAYOUT DRAWING MUST BE COORDINATED WITH THE SITE LOCATION FOR CORRECT FIXTURE ORIENTATION.
  - 7) CHECK GRAPHIC SCALE. DOCUMENTS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY OCCUR AT OTHER THAN THE DESIRED OR ASSUMED GRAPHIC SCALES. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED-TO-SCALE DRAWING IS PRINTED TO SCALE.

Plan 12



PLAN VIEW

273 CONGRESS ST  
PORTLAND, ME  
LIGHTING LAYOUT

DATE: 1/4/2016

GENERATED BY SWANEY LIGHTING, SCARBOROUGH ME - 207-883-7100 - swaneylighting.com

Page 1 of 1

SCALE: NOT TO SCALE

WALSH ENGINEERING

SWANEY LIGHTING ASSOCIATES, INC.

NOTICE: THIS DRAWING IS THE EXCLUSIVE PROPERTY OF SWANEY LIGHTING ASSOCIATES. ITS ACCEPTANCE CONSTITUTES AN AGREEMENT THAT THE DRAWING WILL BE TREATED AS CONFIDENTIAL. THE DRAWING IS TO BE USED FOR THE PURPOSES SPECIFIED AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SWANEY LIGHTING ASSOCIATES. SWANEY LIGHTING ASSOCIATES IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. SWANEY LIGHTING ASSOCIATES IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. SWANEY LIGHTING ASSOCIATES IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS.



**Shukria Wiar - RE: Wastewater Application Approval for 273 Congress St, Portland, ME**

---

**From:** Silas Canavan <silas@walsh-eng.com>  
**To:** Shukria Wiar <SHUKRIAW@portlandmaine.gov>  
**Date:** 1/25/2016 10:33 AM  
**Subject:** RE: Wastewater Application Approval for 273 Congress St, Portland, ME  
**Attachments:** IMG\_2203.pdf

---

Hi Shukria,

There are two roof drains on the southwest side of the building that currently discharge to the parking lot (see attached). If any other roof drains are identified they will be traced and redirected to surface discharge if necessary.

Thanks,

Silas

Silas Canavan, PE  
**Walsh Engineering Associates, Inc.**

One Karen Drive, Suite 2A  
Westbrook, ME 04092  
P [207.553.9898](tel:207.553.9898)  
E [Silas@walsh-eng.com](mailto:Silas@walsh-eng.com)  
[www.walsh-eng.com](http://www.walsh-eng.com)

---

**From:** Shukria Wiar [mailto:[SHUKRIAW@portlandmaine.gov](mailto:SHUKRIAW@portlandmaine.gov)]  
**Sent:** Wednesday, January 20, 2016 2:26 PM  
**To:** Silas Canavan <[silas@walsh-eng.com](mailto:silas@walsh-eng.com)>  
**Subject:** Fwd: Wastewater Application Approval for 273 Congress St, Portland, ME

Hello Silas:

Below is the wastewater capacity letter. David Margolis- Pineo has requested that roof drains be removed from the sewer system and be redirected. Has this happened? If not, I will have to make this a condition of approval.

Thanks.

Shukria

>>> David Margolis-Pineo 1/19/2016 1:06 PM >>>

>>> David Margolis-Pineo 12/7/2015 11:42 AM >>>

December 7, 2015

**RE: The Capacity to Handle Wastewater Flows from 273 Congress Street,  
Multi-Family/Retail**

Dear Mr. Dwyer: ([dwyerkf@msn.com](mailto:dwyerkf@msn.com))

The Department of Public Works, which includes the Water Resource Division have reviewed and determined that the downstream sewers from 273 Congress Street has the capacity to convey the estimated 1,260 gallons per day of wastewater which will be generated from this facility.

Please be aware that your propose wastewater has the potential to impact a Combined Sewer Overflow at the end of India Street during wet weather events. If this property has roof drains which currently discharge directly to the City's sewer system, you are asked to redirect these roof drains out of the sewer to grade in such a manner to minimize impacts to you neighbors.

Subsurface soils for this area may be conducive to infiltration. We are aware there is limited space on site to reduce runoff, however, any effort is appreciated.

If the City can be of further assistance, please call me at 874-8850 or 400-6695.

Sincerely,  
CITY OF PORTLAND

*David Margolis-Pineo*

David Margolis-Pineo  
Deputy City Engineer

**Anticipated Wastewater Flows from Multi-Family/Retail:**

**10 - One Bedroom Units @ 120 gpd/unit = 1,200 gpd**

**Retail - Five Employees @ 12 gpd/employee = 60 gpd**

**Total: 1,260 gpd**

CC: Jeffrey Levine, Director, Department of Planning and Urban Development, City of Portland  
Barbara Barhydt, Development Review Services Mgr., Dep't. of Planning and Urban Development, City of Portland  
Nell Donaldson, Department of Planning and Urban Development, City of Portland  
Shukria Wiar, Planner, Department of Planning and Urban Development, City of Portland  
Jean Fraser, Planner, Department of Planning and Urban Development, City of Portland  
Nancy Gallinaro, Water Resources Manager  
Benjamin N. Pearson, E.I., Industrial Pretreatment Coordinator, City of Portland  
Rachel Smith, Industrial Pretreatment Division, City of Portland  
John Emerson, Wastewater Coordinator, City of Portland  
Scott Firmin, Portland Water District  
Kevin Dwyer, Clean and Simple Living, LLC  
Silas Canavan, Walsh Engineering





Roof Drain Outlets





# PLANNING BOARD REPORT PORTLAND, MAINE

## CONVERSION OF OFFICE SPACE INTO RESIDENTIAL UNITS

273 Congress Street  
Subdivision Plan and Level III Site Plan  
Project ID #2015-195 *LLC*  
Clean and Simple Living, Inc. Applicant

Submitted to: Portland Planning Board  
Public Hearing Date: January 26, 2016

Prepared by: Shukria Wiar, Planner  
Date: January 22, 2016

### I. INTRODUCTION

The applicant is requesting a public hearing for approval of a Level III Site Plan and Subdivision application at 273 Congress Street. The applicant is proposing to convert the existing building into ten (10) residential

condominiums and one commercial condominium. The proposed reconfiguration of the units will occur within the existing historic structure. There will be proposed minor changes to the building exterior however; the site will remain the same.

The parcel is located in the B-2b Business Community Zone and in the India Street Historic District. The application was submitted on November 3, 2015, so it precedes the enactment of the Form Based Code. The India Street Historic District was passed on November 2, 2015 by the City Council; therefore the project was reviewed and approved by the Historic Preservation Board. The project is also being reviewed under the B-2b zoning.



Eighty-three (83) notices were sent to area residents within 500 feet of the site and the interested party list. A notice also appeared in the January 18<sup>th</sup> and January 19<sup>th</sup> editions of the *Portland Press Herald*.

<b>Applicant Name</b>	Clean and Simple Living, Inc.
<b>Agent Representative</b>	Silas Caravan, Walsh Engineering Associates
<b>Engineer</b>	Silas Caravan, Walsh Engineering Associates
<b>Surveyor</b>	James Nadeau, Nadeau Land Surveyors
<b>Architect</b>	Evan Carroll, Bild Architecture

### Project Review

Review	Applicable Standards
Site Plan	14-526
Subdivision	14-491

building. A common central corridor leads to unit entries. The front of the building, on the first floor will be the commercial condominium. There will be limited exterior modifications to the building. These changes have been reviewed and received a certificate of appropriateness by the Historic Preservation Board on January 6, 2015.

The property is located in the B-2b Business Community Zone and within the India Street Historic District. The zone allows residential dwelling units. There is a residential density requirement in the B-2b zone which the project is meeting (on peninsula: 435 SF) and the project is exempt from parking requirements under the change of use provisions for an historic structure. Therefore the applicant does not need to provide any dedicated parking for the project under the zoning ordinance as a change of use in the B-2b Zone or in the Historic District. However, existing five (5) parking spaces are being provided in the rear of the building.

The applicant will submit the Declaration of Condominium and associated documentations for review and approval by Jennifer Thompson, Associate Corporation Counsel.

#### **IV. PUBLIC COMMENT**

The applicant held a required neighborhood meeting on December 1, 2015 and has provided required documentation (Attachment L).

As of the writing of this report, no written public comments have been received.

#### **V. RIGHT, TITLE AND INTEREST AND FINANCIAL/TECHNICAL CAPACITY**

a. The owner of the property is East End Studios, LLC. The applicant has provided a copy of the quitclaim deed, which demonstrates their right, title and interest in the property.

b. The estimated cost of the development is \$800,000. The applicant has submitted a letter from Androscoggin Bank that states that East End Lofts LLC has approved financing in place for the proposed project (Attachment I) as demonstration of their financial and technical capacity to complete the proposed development.

#### **VI. ZONING ASSESSMENT**

##### **A. ZONING REVIEW**

A zoning analysis was completed on the project and all zoning requirements of the B-2b zone are being met at this time.

#### **VII. DEVELOPMENT REVIEW**

##### **A. SITE PLAN SUBMISSION REQUIREMENTS (Section 14-527)**

All requirements have been met.

##### **B. SUBDIVISION (Section 14-497)**

The proposed development has been reviewed by staff for conformance with the relevant review standards of Portland's Subdivision Ordinance and applicable regulations. Staff comments are listed below.

##### **1. Will Not Result in Undue Water and Air Pollution (Section 14-497 (a) D), and Will Not Result in Undue Soil Erosion (Section 14-497 (a) 4)**

Staff finds the proposed project in conformance with this standard.



project (Attachment I) as demonstration of their financial and technical capacity to complete the proposed development.

**C. SITE PLAN STANDARDS (Section 14-526)**

The proposed development has been reviewed by staff for conformance with the relevant review standards of Portland's site plan ordinance and applicable regulations. Staff comments are listed below.

1. Transportation Standards
  - a. Impact on Surrounding Street Systems
  - b. Access and Circulation
  - c. Public Transit Access
  - d. Parking
  - e. Transportation Demand Management (TDM)

The proposed project is not anticipated to have any significant adverse effect on regional traffic. The site offers space for vehicular loading and unloading at the front of the building. Residents of the proposed project will access the building from the site of the building off Congress Street. Five existing parking spaces are being provided for the proposed project to the rear of the building. Access to the on-site parking area is via a private alleyway that this property and the property at 277 Congress Street has rights to. The project is not required to provide any dedicated parking for the project under the zoning ordinance as a change of use in the B-2b Business Community Zone and as an historic structure in the Historic District. Tom Ericco, Consultant Traffic Engineer, has reviewed the proposed project and the following comments:

*In my professional opinion the proposed project will not have a significant impact on traffic and safety conditions in the vicinity of the project.*

The applicant will provide one bicycle rack which will provide two bicycles parking on site. No additional bicycle racks are required.

2. Environmental Quality Standards
  - a. Preservation of Significant Natural Features
  - b. Landscaping and Landscape Preservation
  - c. Water Quality, Storm Water Management and Erosion Control

Under the standards of the subdivision ordinance, all subdivisions are required to provide one (1) street tree per lot or unit. The subject application is for ten (10) units and must therefore contribute ten (10) street trees. The applicant has requested a waiver of these street trees in order to contribute to the City's tree fund. Where as the subject site is located in a fully developed urban environment, the City Arborist supports the waiver and that the developer shall contribute a fee of \$200 per tree required into a street tree fund for a total of \$2,000 for use by the City Arborist in the installation and maintenance of urban street trees in the vicinity of the site.

In its present condition, the site is fully impervious. Existing drainage flows and catchments systems appear to be functioning effectively. No improvement to the existing infrastructure is being proposed.

3. Public Infrastructure and Community Safety Standards
  - a. Consistency with Master Plans
  - b. Public Safety and Fire Prevention

reviewed the proposed mechanical equipment and made it a condition of approval as part of their review (see Approval Letter Attachment 4).

h. Signage and Wayfinding

The site is located in a historic district; therefore all commercial signs will need to be reviewed by the Historic Preservation staff. Separate permits are required for any new commercial signage.

i. Zoning Related Design Standards

Since the property is located in a historic district, the Historic Preservation Board reviewed the design of the building. The Historic Preservation Board has had a workshop and a public hearing on this item. The project was approved on January 6, 2016 with a number of conditions of approvals (see Approval Letter Attachment 4).

### VIII. STAFF RECOMMENDATION

Subject to the proposed motions and conditions of approval listed below, Planning Division staff recommends that the Planning Board approve the proposed development.

### IX. PROPOSED MOTIONS

#### WAIVERS

On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations, contained in the application 2015-195 relevant to Portland's Technical and Design Standards and other regulations, and the testimony presented at the Planning Board hearing:

1. The Planning Board [**waives** or **does not waive**] Section 14-526 (b) (2) (b) (i) Landscaped Buffers to allow no understory landscaping due to site constraints and the fully developed site.
2. Due to site constraints, The Planning Board [**waives** or **does not waive**] Section 14-526 (b) (2) (b) (iii) Street Trees to allow for a contribution of \$2,000 to the City's Street Tree Fund to be substituted for the provision of onsite street trees.

#### SUBDIVISION PLAT

On the basis of the application, plans, reports, and other information submitted by the applicant, findings and recommendations contained in application 2015-195 relevant to the Subdivision Ordinance, and other regulations, as well as the Planning Board deliberations and the testimony presented at the Planning Board hearings, the Planning Board finds the following:

That the plan (**is/is not**) in conformance with the subdivision standards of the land use code, subject to the following conditions:

1. The Subdivision Plat shall be finalized to the satisfaction of the Planning Authority, Department of Public Works and Corporation Counsel; and
2. The final easement for utilities shall be submitted for review and approval by Corporation Counsel and Department of Public Works prior to the issuance of certificate of occupancy; and
3. Declaration of Condominium and associated documents shall be submitted for review and approval by Corporation Counsel prior to the issuance of certificate of occupancy; and



**PLANS**

Plan1	C0.0 Cover Sheet
Plan2	C1.0 Existing Conditions
Plan3	C2.0 Site Plan
Plan4	C3.0 Details
Plan5	C3.1 Details
Plan6	S1.0 Topo Survey
Plan7	S1.1 Boundary Survey
Plan8	S2.0 Subdivision Plat
Plan9	A1.1 - Floor Plans
Plan10	A1.2 - Roof Plan
Plan11	A2.1 – Elevations
Plan12	P1.0 Photometric Plan
Plan13	T1.0 - Turning Simulation

**From:** Tom Errico <thomas.errico@tylin.com>  
**To:** SHUKRIAW@portlandmaine.gov  
**CC:** JST@portlandmaine.gov; JBartlett@portlandmaine.gov;  
KAS@portlandmaine.gov; DMP@portlandmaine.gov  
**Date:** 12/10/2015 3:25 PM  
**Subject:** 273 Congress Street - Preliminary Traffic Comments

Shukria - I have reviewed the application materials and offer the following preliminary traffic comments.

\* In my professional opinion the proposed project will not have a significant impact on traffic and safety conditions in the vicinity of the project.

\* The applicant has provided a general statement as it relates to a construction management plan. I would note that specific details on sidewalk closures will be required. Additionally, any utility construction work in the street will likely have to be performed during off-peak hours or during the night. Plans will be required for review and approval before construction commences.

\* The plans depict elements of the project to be outside the property boundary (e.g. parking space #1). An explanation should be provided.

\* The applicant has indicated that there are no parking supply requirements for the project. Please confirm.

If you have any questions, please contact me.

Best regards,

Thomas A. Errico, PE  
Senior Associate  
Traffic Engineering Director  
[T.Y. Lin International]T.Y. Lin International  
12 Northbrook Drive  
Falmouth, ME 04105  
207.781.4721 (main)  
207.347.4354 (direct)  
207.400.0719 (mobile)  
207.781.4753 (fax)  
thomas.errico@tylin.com<mailto:thomas.errico@tylin.com>  
Visit us online at [www.tylin.com](http://www.tylin.com)<http://www.tylin.com>  
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"One Vision, One Company"

Please consider the environment before printing.



**From:** William Clark  
**To:** David Margolis-Pineo  
**CC:** Shukria Wiar  
**Date:** 12/7/2015 11:50 AM  
**Subject:** 273 Congress St Survey Review  
**Attachments:** Boundary Survey and Proposed Boundary Agreement No 273 Congress St 8 27 2015.pdf; Subdivision Plat Rev 1 No 273 Congress St 11 3 2015 Survey Review 12 07 2015.PDF

David,

Here are my comments. Shukria David will add these to his review.

1. Need State Plane Coordinates along the southwesterly boundary line.
2. Need to show property corners to be set along northeasterly boundary line.
3. Survey plan dated 8/27/2015 proposed a boundary line agreement. Has it been executed? Is so, need to show Registry Deed Book and Page(s) of the agreement. If it is not executed there may possibly be legal issues for owners in the future.
4. Plan shows the building encroaching on the 12 foot wide passageway. Previous survey suggested consulting a Title Attorney. Has this been done, and what is his/her opinion.
5. Plan references are made to two surveys by Nadeau Land Surveys. Have they been recorded at the Registry yet?
6. Gas service on land of northeasterly abutter. Has an easement been acquired?
7. Various OHU (overhead utilities) are shown. Are there easements?
8. Text versus Hatching/Shading for text in various locations on the plan. The plan may not scan well at the Registry where there are conflicts with hatching or shading.
9. Final plan will need a Professional Land Surveyor seal.
10. Existing Conditions and Removals Plan dated 11/3/2015 needs a Professional Land Surveyor seal. I asked the Chairman of the Board of Licensure for Professional Land Surveyors on a similar plan and his reply was that if "they are clearly defining the limits of the property" there should surveyor's seal.

**CITY OF PORTLAND, MAINE**  
**HISTORIC PRESERVATION BOARD**

---

Scott Benson, Chair  
Bruce Wood, Vice Chair  
Ted Oldham  
Penny Pollard  
Julia Sheridan  
John Turk

January 11, 2016

Kevin Dwyer  
East End Lofts LLC  
273 Congress Street  
Portland, Maine 04101

RE: 273 Congress Street - renovations

Dear Mr. Dwyer:

On January 6, 2016, the City of Portland's Historic Preservation Board voted 7-0 to approve your application for a Certificate of Appropriateness for renovations at 273 Congress Street. Approval was made on the basis of plans and specifications submitted on your behalf by architect Evan Carroll of Bild Architecture for the 1/6/16 public hearing.

Approval was made subject to the following condition:

Final detail drawings and/or specifications showing the following details are to be submitted to staff for final review and approval:

- 2<sup>nd</sup> floor patio railing and lighting fixtures
- All other exterior lighting fixtures on visible faces of building (front and facing synagogue garden)
- Detail drawings for doors and trim at patio access (doors are to be divided to mimic 2/2 windows, and trim shall match original)
- Final layout and external appearances of external vents
- Masonry samples to be reviewed by staff prior to repair and repointing work
- Signage and awning will require separate sign and awning permit application
- Covenants governing furnishings and storage on front patio are to be included in the association bylaws, to prohibit a cluttered appearance, especially of tall objects

Construction to be carried out as shown on the plans and specifications submitted for the 1/6/16 public hearing and/or as described above. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.





# **Site Plan Application City of Portland, Maine**

for

**East End Lofts  
273 Congress Street  
Portland Maine**

November 3, 2015

Applicant

Clean and Simple Living, Inc.  
315 16<sup>th</sup> Street  
Boulder, CO 80302

Prepared By

Walsh Engineering Associates, Inc.  
1 Karen Drive, Suite 2A  
Westbrook, Maine 04092



Jeff Leveson, AICP, Director  
Planning & Urban Development Department

**Electronic Signature and Fee Payment Confirmation**

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a *legal signature* per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that my Site Plan or Historic Preservation Applications can be reviewed until payment of appropriate application fees are *paid in full* to the Inspections Office, City of Portland Maine by method noted below:

- Within 24-48 hours, once my complete application and corresponding paperwork has been electronically delivered, I intend to call the Inspections Office at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.
- Within 24-48 hours, once my application and corresponding paperwork has been electronically delivered, I intend to call the Inspections Office at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.
- I intend to deliver a payment method through the U.S. Postal Service mail once my application paperwork has been electronically delivered.

  
Applicant Signature: \_\_\_\_\_

11/3/15  
Date: \_\_\_\_\_

  
I have provided digital copies and sent them on: \_\_\_\_\_

11/3/15  
Date: \_\_\_\_\_

**NOTE:** All electronic paperwork must be delivered to [buildinginspections.portlandmaine.gov](http://buildinginspections.portlandmaine.gov) or by physical means i.e. a thumb drive or CD to the Inspections Office, City Hall, 3<sup>rd</sup> Floor, Room 315.



**PROJECT NAME:** East End Lofts

**PROPOSED DEVELOPMENT ADDRESS:**

273 Congress Street, Portland, Maine

**PROJECT DESCRIPTION:**

Redevelopment of existing building into 9 residential units and one retail unit.

**CHART/BLOCK/LOT:** 21/E/18

**PRELIMINARY PLAN** \_\_\_\_\_ (date)  
**FINAL PLAN** 11/3/15 (date)

**CONTACT INFORMATION:**

<b>Applicant – must be owner, Lessee or Buyer</b> Name: Kevin Dwyer Business Name, if applicable: Clean and Simple Living, LLC Address: 315 16th Street City/State : Boulder, CO Zip Code: 80302	<b>Applicant Contact Information</b> Work # Home# Cell # 802-578-5585 Fax# e-mail: dwyerkf@msn.com
<b>Owner – (if different from Applicant)</b> Name: Kevin Dwyer, East End Lofts, LLC (a subsidiary of Clean and Simple Living, LLC) Address: 315 16th Street City/State : Boulder, CO Zip Code: 80302	<b>Owner Contact Information</b> Work # Home# Cell # 802-578-5585 Fax# e-mail: dwyerkf@msn.com
<b>Agent/ Representative</b> Name: Silas Canavan, PE Walsh Engineering Associates, Inc. Address: 1 Karen Drive, Suite 2A City/State : Westbrook, ME Zip Code: 04092	<b>Agent/Representative Contact information</b> Work # 207-553-9898 Cell # 802-989-2337 e-mail: silas@walsh-eng.com
<b>Billing Information</b> Name: Kevin Dwyer Clean and Simple Living, LLC Address: 315 16th Street City/State : Boulder, CO Zip Code: 77380	<b>Billing Information</b> Work # Cell # 802-578-5585 Fax# e-mail: dwyerkf@msn.com



**APPLICATION SUBMISSION:**

1. All site plans and written application materials must be submitted electronically on a CD or thumb drive with each plan submitted as separate files, with individual file which can be found on the Electronic Plan and Document Submittal page of the City's website at <http://www.portland.rencipia.com/764/Electronic-Plan-and-Documnet-Submittal>
2. In addition, one (1) paper set of the plans (full size), one (1) paper set of plans (11 x 17), paper copy of written materials, and the application fee must be submitted to the Building Inspections Office to start the review process.

The application must be complete, including but not limited to the contact information, project data, application checklists, wastewater capacity, plan for fire department review, and applicant signature. The submittals shall include one (1) paper packet with folded plans containing the following materials:

1. One (1) full size site plans that must be folded.
2. One (1) copy of all written materials or as follows, unless otherwise noted:
  - a. Application form that is completed and signed.
  - b. Cover letter stating the nature of the project.
  - c. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
3. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 50 feet.
4. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
5. One (1) set of plans reduced to 11 x 17.

Please refer to the application checklist (attached) for a detailed list of submission requirements.

**APPLICANT SIGNATURE:**

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Level III Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.

Signature of Applicant: 	Date: 11/3/15
--	------------------



<b>FINAL PLAN - Level III Site Plan</b>			
<b>Applicant Checklist</b>	<b>Planner Checklist</b>	<b># of Copies</b>	<b>GENERAL WRITTEN SUBMISSIONS CHECKLIST (* If applicant chooses to submit a Preliminary Plan, then the * items were submitted for that phase and only updates are required)</b>
X		1	* Completed Application form
X		1	* Application fees
X		1	* Written description of project
X		1	* Evidence of right, title and interest
N/A		1	* Evidence of state and/or federal permits
X		1	* Written assessment of proposed project's specific compliance with applicable Zoning requirements
X		1	* Summary of existing and/or proposed easements, covenants, public or private rights-of-way, or other burdens on the site
X		1	* Evidence of financial and technical capacity
X		1	Construction Management Plan
N/A		1	A traffic study and other applicable transportation plans in accordance with Section 1 of the technical Manual, where applicable.
N/A		1	Written summary of significant natural features located on the site (Section 14-526 (b) (a))
N/A		1	Stormwater management plan and stormwater calculations
X		1	Written summary of project's consistency with related city master plans
X		1	Evidence of utility capacity to serve
X		1	Written summary of solid waste generation and proposed management of solid waste
X		1	A code summary referencing NFPA 1 and all Fire Department technical standards
X		1	Where applicable, an assessment of the development's consistency with any applicable design standards contained in Section 14-526 and in City of Portland Design Manual
N/A		1	Manufacturer's verification that all proposed HVAC and manufacturing equipment meets applicable state and federal emissions requirements.

X		Location of all existing and proposed fire hydrants and a life safety plan in accordance with Section 3 of the Technical Manual;
X		Location, sizing, and directional flows of all existing and proposed utilities within the project site and on all abutting streets;
X		Location and dimensions of off-premises public or publicly accessible infrastructure immediately adjacent to the site;
N/A		Location and size of all on site solid waste receptacles, including on site storage containers for recyclable materials for any commercial or industrial property;
X		Plans showing the location, ground floor area, floor plans and grade elevations for all buildings;
N/A		A shadow analysis as described in Section 11 of the Technical Manual, if applicable;
X		A note on the plan identifying the Historic Preservation designation and a copy of the Application for Certificate of Appropriateness, if applicable, as specified in Section Article IX, the Historic Preservation Ordinance;
X		Location and dimensions of all existing and proposed HVAC and mechanical equipment and all proposed screening, where applicable;
N/A		An exterior lighting plan in accordance with Section 12 of the Technical Manual;
N/A		A signage plan showing the location, dimensions, height and setback of all existing and proposed signs;
X		Location, dimensions and ownership of easements, public or private rights of way, both existing and proposed.





November 3, 2015

Captain Chris Pirone  
City of Portland Fire Department  
380 Congress Street  
Portland, ME 04101

**RE: Level III Site Plan Application  
East End Lofts  
273 Congress Street  
Portland, Maine**

Dear Captain Pirone,

In accordance with the requirements of the City's Site Plan review application, we have provided the enclosed drawing necessary for your review of the East End Lofts project located at 273 Congress Street in Portland. We have also provided the necessary information in the narrative below.

1. Name, address and telephone number of applicant  
*Kevin Dwyer  
Clean and Simple Living, Inc.  
315 16<sup>th</sup> Street  
Boulder, CO 8030  
802-578-5585*
2. Name address and telephone number of architect.  
*Evan Carroll, bild ARCHITECTS  
PO Box 8235  
Portland, Maine 04104  
207-408-0168*
3. Proposed use of any structures.  
*The interior of the existing building will be converted to condominium units. There will be a total of 10 residential condominiums (1 bedroom and studios) and one retail/commercial unit.*
4. Square footage of all structures  
*The footprint of the existing 3-story structure is approximately 6,040 square feet. The gross floor area is approximately 12,343 square feet. The existing building will not be expanded.*
5. Elevations of all structures  
*The peak height of the existing building is approximately 54'-2" above ground level. The height of the building will not change.*

**TABLE OF CONTENTS**

**SECTION**

---

- 1 Development Description**
  - 1.1 Project Overview
  - 1.2 Existing Conditions
  - 1.3 Proposed Development
- 2 Evidence of Right, Title, and Interest**
- 3 Evidence of State and/or Federal Approvals**
- 4 Assessment of Compliance with Zoning Requirements**
- 5 Summary of Existing and/or Proposed Easements, Covenants, Right-of-Way, or other Burdens on the Site**
  - 5.1 Existing Access Easement
- 6 Written Requests for Waivers**
- 7 Evidence of Financial and Technical Capacity**
  - 7.1 Financial Capacity
  - 7.2 Technical Capacity
- 8 Construction Management Plan**
- 9 Boundary Survey**
- 10 Site Plans**

**Attachments**

**Section 2**

Attachment A: Quitclaim Deed

**Section 4**

Attachment B : Requests for Utility 'Ability to Serve' Letters

**Section 5**

Attachment C: Easement Information

**Section 7**

Attachment D: Letter of Financial Capacity





## **2 Evidence of Right, Title, and Interest**

The Applicant, Clean and Simple Living, Inc., currently owns the subject property through its subsidiary company East End Lofts, LLC. The applicable deed is attached.

**QUITCLAIM DEED WITH COVENANT**

KNOW ALL BY THESE PRESENTS, that **EAST END STUDIOS, LLC**, a Maine limited liability company, having a place of business in Portland, Maine ("**Grantor**"), grants to **EAST END LOFTS, INC.**, a Maine corporation with a mailing address of 315 16<sup>th</sup> Street, Boulder, Colorado 80302 (hereinafter "**Grantee**"), with **Quitclaim Covenant**, that certain lot or parcel of land together with buildings and any other improvements thereon, situated in the City of Portland, County of Cumberland, and State of Maine, as more particularly set forth on **Exhibit A** attached hereto and made a part hereof.

Reference is made to that certain deed from 273 Congress Street Associates to Grantor, dated June 26, 1997 and recorded in the Cumberland County Registry of Deeds in Book 13166, Page 330.

IN WITNESS WHEREOF, the said **EAST END STUDIOS, LLC** has caused this instrument to be executed and delivered in its name by Sherwood Hamill its Sole Member and Sole Manager, duly authorized as of this 24<sup>th</sup> day of September 2015.

{Signature Page Follows}

MAINE REAL ESTATE TAX PAID



**EXHIBIT A**

A certain lot or parcel of land with the buildings thereon situated in Portland, County of Cumberland and State of Maine, and bounded and described as follows:

BEGINNING on the northwesterly line of Congress Street at the southeasterly corner of the lot of land conveyed by Enoch Lowell to Amos Greenleaf by Warranty Deed dated September 7, 1797 and recorded in the Cumberland County Registry of Deeds in Book 31, Page 38, said point of beginning being also the southeasterly corner of the lot of land conveyed by St. Paul's Parish of the Protestant Episcopal Church to Gioconda Polito by Warranty Deed dated November 13, 1930 and recorded in said Registry of Deeds in Book 1361, Page 113;

Thence, running northeasterly by said line of Congress Street forty-eight (48) feet, more or less, to the southeasterly corner of the lot of land conveyed by Jonas H. Perley, et al., to John W. Swett by deed dated January 14, 1867 and recorded in said Registry of Deeds in Book 361, Page 390, said point being also the southwest corner of land described in a deed from Joseph Mack and Harris Feuerman to Michael Rubinsky, et al., dated May 17, 1920 and recorded in said Registry of Deeds in Book 1051, Page 187;

Thence, from these two bounds running northwesterly, keeping the same width of forty-eight (48) feet and adjoining said land conveyed by Enoch Lowell to Amos Greenleaf by said deed dated September 7, 1797 on the west, and adjoining said land described in said deed to Michael Rubinsky, et al., and other owners in the rear thereof on the east (said line on the east being the easterly line of said land described in said deed from Jonas H. Perley, et al., to John W. Swett dated January 14, 1867), a distance of two hundred five (205) feet, more or less, to a line, namely to the northwesterly line of the land conveyed to John W. Swett by the following deeds, namely deed from Edward Payson, Executor of the Will of Penelope Martin, Administrator C.T.A. of the Estate of Catherine Martin, and Administrator D.B.N.C.T.A. of the Estate of Elizabeth Martin, to John W. Swett, dated July 24, 1860 and recorded in said Registry of Deeds in Book 336, Page 162, and deed from Jonas H. Perley, Joseph H. Perley and John W. Russell to John W. Swett dated January 14, 1867 and recorded in said Registry of Deeds in Book 361, Page 390.

EXCEPTING, however, from the above described lot the following described strip of land, namely: beginning at the southwest corner of said premises on said line of said Congress Street; thence, running northeasterly on said line of said Congress Street, six (6) feet to a point and from these two bounds running northwesterly, keeping the same width of six (6) feet and adjoining the westerly line of the premises hereby described, for a distance of ninety (90) feet from said line of said Congress Street, and a right of way is hereby conveyed over said strip of land in common with the owners of the premises on the southwest side thereof.

A right-of-way is also hereby conveyed over the following described strip of land, namely: beginning at the southwest corner of the premises above described on said line of said Congress Street; thence, running southwest on said line of said Congress Street six (6) feet to a point and from these two bounds running northwesterly keeping the same width of six (6) feet and adjoining the land hereby conveyed on the easterly side of said strip of land for a distance of ninety (90) feet from said line of said Congress Street.

Thence N33°20'39"W along the southwesterly sideline of said Congregation Etz Chaim parcel as depicted on said Owen Haskell plan, a distance of fifty-eight hundredths (0.58') feet to the northerly corner of the herein described parcel and the southeasterly sideline of land described in a deed to Joshua S. Houghton and Michele A. Levesque, dated December 30, 2005 and recorded in CCRD Book 23557, Page 49;

Thence S54°16'18"W, a distance of fifty-one and twenty-seven hundredths (51.27') feet along said southeasterly sideline of land of Houghton & Levesque, land described in a deed to 158 Cumberland, LLC, dated February 29, 2012, recorded in CCRD Book 29393, Page 121, and land described in a deed to Gregory C. Kontos and Carol Kontos, dated October 31, 1980, recorded in CCRD Book 4960, Page 211, to a #5 steel rebar with survey cap #2124 or MagNail with survey washer #2124 to be set at the westerly corner of the herein described parcel, and the northerly corner of land described in a deed to Robert Friedrich, dated March 3, 1996, recorded in CCRD Book 12383, Page 97;

Thence S33°59'46"E, a distance of one hundred fifteen and no hundredths (115.00') feet along the northeasterly sideline of said land of Friedrich, and land described in a deed to St. Paul's Parish Church, dated June 29, 2000, recorded in CCRD Book 15578, Page 263, to a #5 steel rebar with survey cap #2124 or MagNail with survey washer #2124 to be set at the center of the northwesterly terminus of said twelve (12') foot wide lane;

Thence N54°16'18"E, a distance of six and no hundredths (6.00') feet along said northwesterly terminus of the twelve (12') foot wide lane, to a #5 steel rebar with survey cap #2124 or MagNail with survey washer #2124 to be set at the northerly corner of said twelve (12') foot wide lane;

Thence S33°59'46"E, a distance of ninety and no hundredths (90.00') feet along the northeasterly sideline of said twelve (12') foot wide lane to the point of beginning.

The bearings used in this description are based on Magnetic North, observed 2015.

ALSO RELEASING to Grantee, without any covenant of title whatsoever, all right, title and interest of Grantor in and to the following described right of way over a strip of land 12' in width situated adjacent to and southwesterly of the above described premises:

Together with a right of way over a strip of land 12' in width, in common with others, as shown on the above referenced Plan as a "12' Wide Lane", and bounded and described as follows:

Beginning at the southwesterly corner of the premises described above;

Thence N33°59'46"W a distance of ninety (90) feet to a #5 steel rebar with survey cap #2124 or MagNail with survey washer #2124 to be set at the northerly corner of said 12' Wide Lane shown on the Plan;

Thence S 54°16'18"W to a point on a line that is parallel to and twelve (12) feet distant from the first bound described above, said point being located on land now or formerly of St. Paul's Parish Church (Book 15578, Page 263);



**3 Evidence of State and/or Federal Approvals**

No state or federal approvals are required for this project.

*located on the northerly side of Congress Street approximately 50 feet east of the project site.*

4. Parking

a. Location and required number of parking spaces

- i. The site currently contains 5 parking spaces. The project is located within the recently created India Street Historic District and the structure is considered a "contributing structure". Therefore, per Section 14-332.2(d) no additional parking spaces are required.*
- ii. A parking study is not required for this project*
- iii. The proposed number of parking spaces will not exceed 10% of the parking requirements.*
- iv. The existing parking spaces will remain unchanged.*
- v. The parking lot surface is currently and will remain bituminous concrete.*

b. Location and required number of bicycle parking spaces

- i. The site plan shall provide secure bicycle parking in conformance with Section 1 of the Technical Manual and shall meet the following Requirements:*
  - a. No additional off-street parking is required per (Section 14-332.2(d)); therefore, no bicycle parking is required.*
  - b. Not Applicable (see above)*
  - c. Not Applicable (see above)*

*ii. No waivers requested.*

c. Motorcycle and scooter parking

- i. No additional off-street parking is required per (Section 14-332.2(d)); therefore, no motorcycle and scooter parking is required.*

d. Snow Storage

- i. The site constraints do not allow for adequate snow storage. Therefore, the applicant will contract with a snow-removal company for snow storms of 1" and larger, and as needed throughout the winter.*
- ii. Not Applicable (see above).*

5. Transportation demand management (TDM)

- a. Not Applicable.*

b) Environmental Quality Standards



iii. Street Trees

- a. *The project consists of a 10-unit multi-family complex with one commercial space. The property has 42.96' of frontage. Therefore, the project will require installation of 11 street trees.*
- b. *Site constraints prevent the installation of street tree plantings. Therefore, the Applicant respectfully requests a waiver from the landscaping requirements and will pay in to the City's tree fund.*

3. Water Quality, Stormwater Management, and Erosion Control

- a. *The site is 100% impervious in its existing condition. Site constraints do not allow for reduction in impervious area. However, the total impervious area will not be increased. Therefore, stormwater runoff from the site will not be increased.*
- b. *The overall impervious area on the site will not be increased. Therefore, the volume and rate of stormwater runoff will not increase.*
- c. *The project is not located within an Urban Impaired Stream watershed.*
- d. *Not Applicable.*
- e. *The project will not pose a risk of groundwater contamination.*
- f. *The proposed development will discharge wastewater to the City of Portland wastewater collection system. A copy of the sewer capacity application is included with this submission.*

c) Public Infrastructure and Community Safety Standards

1. Consistency with Master Plans

- a. *The development has been designed in accordance with the City Zoning Ordinance, Technical Manual, Master Plan, and off-premises infrastructure.*
- b. *A 12' wide easement is located on the southwest side of the building for site access. A memo from Drummond Woodsum Attorneys at Law confirming the existence of the easement is included in Section 5.*

2. Public Safety and Fire Prevention

- a. *The site has been designed to promote safe and comfortable access by the public.*
- b. *Adequate emergency vehicle access to the site is provided from Congress Street.*
- c. *The entire building will be sprinkled. A new separate fire suppression service will be installed to the building from the water main in Congress Street. An existing fire hydrant connected to the Portland Water District*

- a. *The height and shape of the building will not change from the existing condition. Therefore, existing views will not be affected.*

5. Historic Resources

- a. *The development is located within the India Street Historic District.*
- b. *The development is located within the proposed India Street Historic District and within 100' of St. Paul's Church, and the Etz Chaim synagogue, which are existing historic landmarks. Minimal exterior site work is proposed which will be compatible with the character defining elements of the historic district. The exterior renovations to the building will be also be compatible with the character defining elements of the historic district and are described in the Certificate of Appropriateness application.*
- c. *There are no known archaeological resources on the site.*

6. Exterior Lighting

- a. Site Lighting
  - i. *Existing lighting exterior lighting is adequate and will remain unchanged. No new exterior lighting is proposed.*
  - ii. *No new exterior lighting is proposed.*
- b. Architectural and Specialty Lighting
  - i. *No architectural or specialty lighting is proposed*
  - ii. *No up-lighting is proposed*
- c. Street Lighting
  - i. *No street lighting is proposed.*

7. Noise and Vibration

- a. HVAC and Mechanical Equipment
  - i. *Wall hung heat pump condenser units will be installed on the west side of the building towards the parking lot. The location of the condenser units will not be visible from the public street.*
  - ii. *No emergency generators are proposed.*

8. Signage and Wayfinding

- a. *No Street or wayfinding signage is proposed. No commercial signage is proposed at this time. If the future commercial tenant requires a sign for their business, the applicable permit applications will be submitted at that time.*

9. Zoning Related Design Standards





**Attachment B**  
**Requests for Utility Ability to Serve Letters**

If you have any questions, please contact me.

Regards,

Jamie

Jamie Cough  
Energy Services Advisor  
Central Maine Power Company  
162 Canco Road  
Portland, ME 04103  
207-842-2367 office  
207-458-0382 cell  
207-626-4082 fax



=====

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October 14, 2015

Portland Water District  
225 Douglass Circle  
Portland, ME 04102

**RE: Ability to Serve  
273 Congress Street  
Portland, Maine  
Tax Map 21, Block E, Lot 18**

To Whom It May Concern,

Walsh Engineering Associates, Inc. (WEA) is requesting an "Ability to Serve" letter from the Portland Water District for domestic water and fire services for a multi-use residential and retail condominium building located at 273 Congress Street in Portland, Maine. The existing building will be renovated to house 10 studio/one bedroom residential units and 2,550± square feet of retail space. It is assumed that the domestic service will require approximately 1,585 gallons/day.

If available, please provide any information regarding the existing service line to the building and the location, size, and material of the water main in Congress Street.

Automatic sprinkler systems will be installed throughout the building. WEA is requesting existing pressure and flow information from the nearest available hydrant to verify that there is adequate flow capacity for the sprinkler systems.

A site plan is attached showing the conceptual locations of the water service connections. A copy of the City of Portland Tax Map indicating the project location is also attached.

**The Applicant would like to submit their application to City of Portland by October 30, 2015. If you could provide the requested information prior to October 30, 2015 it would be greatly appreciated.**

Please contact me if you require any additional information.

Respectfully,

A handwritten signature in cursive script that reads "Silas Canavan".

Silas Canavan, PE  
Walsh Engineering Associates, Inc.

**4. Please, Submit External Grease Interceptor Calculations.**

Total Drainage Fixture Unit (DFU) Values:

N/A - Commercial space will consist of retail space only. No food preparation.

Size of External Grease Interceptor:

Retention Time:

Peaking Factor/ Peak Times:

*(Note: In determining your restaurant process water flows, and the size of your external grease interceptor, please use The Uniform Plumbing Code. Note: In determining the retention time, sixty (60) minutes is the minimum retention time. Note: Please submit detailed calculations showing the derivation of your restaurant process water design flows, and please submit detailed calculations showing the derivation of the size of your external grease interceptor, either in the space provided below, or attached, as a separate sheet)*

**5. Please, Submit Industrial Process Wastewater Flow Calculations**

Estimated Industrial Process Wastewater Flows Generated:

N/A

         GPD

Do you currently hold Federal or State discharge permits?

         Yes

         No

Is the process wastewater termed categorical under CFR 40?

         Yes

         No

OSHA Standard Industrial Code (SIC):

<http://www.osha.gov/oshstats/sicscr.html>

Peaking Factor/Peak Process Times:

*(Note: On the submitted plans, please show where the building's domestic sanitary sewer laterals, as well as the building's industrial-commercial process wastewater sewer laterals exits the facility. Also, show where these building sewer laterals enter the city's sewer. Finally, show the location of the wet wells, control manholes, or other access points; and, the locations of filters, strainers, or grease traps)*

*(Note: Please submit detailed calculations showing the derivation of your design flows, either in the space provided below, or attached, as a separate sheet)*

Notes, Comments or Calculation

See attached design flow calculations.





## **5 Summary of Existing and/or Proposed Easements, Covenants, Right-of-Way, or other Burdens on the Site**

### **5.1 Existing Access Easement**

A 12-foot wide access easement is provided for access to the subject property at the site entrance from Congress Street as described in General Note #17 on the Boundary Survey included with this submission. A memo from Drummond Woodsum Attorneys at Law verified the existence of this easement. A copy of the memo is included in this section.

## Silas Canavan

---

**From:** Kevin Dwyer  
**Sent:** Saturday, October 17, 2015 9:04 AM  
**To:** silas@walsh-eng.com  
**Cc:** Evan; scott.pearce@sagebioproducts.com; tomlandry@benchmarkmaine.com  
**Subject:** Fwd: 12' easement area  
**Attachments:** image001.png; Untitled attachment 00015.htm; Nadeau Land survey 273 Congress 08-27-2-15.PDF; Untitled attachment 00018.htm

Silas-

The easement for the alleyway.

Kevin  
802-578-5585

Begin forwarded message:

**From:** "Gary D. Vogel" <[GVogel@dwmlaw.com](mailto:GVogel@dwmlaw.com)>  
**Date:** October 16, 2015 at 5:52:27 PM EDT  
**To:** "Kevin Dwyer ([dwyerkf@msn.com](mailto:dwyerkf@msn.com))" <[dwyerkf@msn.com](mailto:dwyerkf@msn.com)>, "Scott Pearce ([scott.pearce@sagebioproducts.com](mailto:scott.pearce@sagebioproducts.com))" <[scott.pearce@sagebioproducts.com](mailto:scott.pearce@sagebioproducts.com)>  
**Subject:** 12' easement area

Kevin: As you requested, I am writing to address title to the 12' wide lane shown on the attached survey.

The description to the property, which goes back to the time before Maine was a state, excluded from the property the 6' wide portion of the 12' wide strip that was carved out of the description of the property to create the 12' wide lane. The same was done for the abutting property to the southwest.

This property and the abutting property to the southwest each have an easement for passage over the 12' Wide lane.

It is believed that title to the land underlying the 12' wide lane remains in the heirs of the original property owners who excepted those strips from the remainder of each parcel, as we found no conveyances of the land underlying the 12 lane in the registry of deeds, nor any other documents consistent with anyone asserting title to that land.

Please feel free to contact me if you require any further information. If you would like me to put this information in a more formal letter, I would be happy to do so.

Gary





## 7 Evidence of Financial and Technical Capacity

### 7.1 Financial Capacity

The applicant has the capacity to obtain the necessary financing for the project. A letter of financial capacity from Androscoggin Bank is attached. The estimated construction cost for the project is approximately \$800,000.

### 7.2 Technical Capacity

The Applicant has assembled a team of qualified professionals for the design and permitting of the project. Each team member has extensive experience in the design and permitting of project in Portland and throughout the State of Maine. The consultant team consists of the following members:

Civil Engineer: Silas Canavan, PE  
Walsh Engineering Associates, Inc.  
1 Karen Drive, Suite 2A  
Westbrook, Maine 04092  
207-553-9898  
[silas@walsh-eng.com](mailto:silas@walsh-eng.com)

Architect: Evan Carroll, AIA  
bild ARCHITECTURE  
PO Box 8235  
Portland, Maine 04104  
207-408-0168  
[evan@bildarchitecture.com](mailto:evan@bildarchitecture.com)

Surveyor: James Nadeau, PLS  
Nadeau Land Surveys  
918 Brighton Avenue  
Portland, Maine 04102  
207-878-7870  
[jim@nadeaulandsurveys.com](mailto:jim@nadeaulandsurveys.com)

Attorney: Gary Vogel  
Drummond Woodsum Attorneys at Law  
84 Marginal Way, Suite 600  
Portland, Maine 04101  
207-257-0518  
[gvogel@dwmlaw.com](mailto:gvogel@dwmlaw.com)



Business Development Office  
152 US Route 1, Box 5  
Scarborough, ME 04074  
p: 1-800-966-9172 • f: 202-269-3128  
Androscogginbank.com

October 16, 2015

To Whom It May Concern:

This letter is to confirm that East End Lofts, LLC has approved financing in place for the project located at 273 Congress Street, Portland. The Bank has reviewed the financials of the principal owners of East End Lofts and they demonstrate strong financial capacity for a project of this size and scope.

Sincerely,

A handwritten signature in cursive script that reads 'Catherine Buffum'.

Catherine Buffum  
Vice President  
Commercial Lending  
(207) 518-6311

Please do not hesitate to contact me if more information is required.





## **9 Boundary Survey**

Boundary and Topographic surveys performed by Nadeau Land Surveys are enclosed with the Plan Set in Section 10.



ingenuity thoughtfulness empathy

12/14/15

## Accessibility Narrative

The proposed project at 273 Congress Street has two components: The private condos portion, and the public retail portion. The 2010 ADA Standards for Accessible Design only applies to public spaces, or only the retail unit.

The retail unit currently has an accessible entrance and bathroom. The ADA document is a scoping document and asks that certain numbers of accessible parking spaces be provided WHEN parking spaces are provided. As none of the on-site parking will be for retail use, no accessible spaces are required for the retail space.

The condo units are not governed by ADA but are often governed by Fair Housing. However, the Fair Housing guidelines do not apply to buildings that were occupied before 1991. The International Building Code has accessibility standards, but these standards have been written out of the code in the state of Maine. There are no accessibility standards that apply to the private condos portion of the building.





November 19, 2015

Dear Neighbor,

On behalf of Clean and Simple Living, Inc., I invite you to a neighborhood meeting to discuss their plans for East End Lofts conversion to a mixed-use residential and commercial condominium complex, located at 273 Congress Street, Portland, Maine 04101.

**Meeting Location:** 273 Congress Street, Portland, Maine 04101

**Meeting Date:** Tuesday, December 1, 2015

**Meeting Time:** 6 pm

Under Section 14-32(C) and 14-524(a) of The City Code of Ordinances, an applicant for Level III development, subdivision of over five lots/units, or zone change is required to hold a neighborhood meeting within 30 days of submitting a preliminary application or 21 days of submitting a final site plan application, if a preliminary plan was not submitted. The neighborhood meeting must be held at least seven days prior to the Planning Board public hearing on the proposal. Should you wish to offer additional comments on this proposed development, you may contact the Planning Division at 874-8721 or send written correspondence to the Planning and Urban Development Department, Planning Division, 4<sup>th</sup> floor, 389 Congress Street, Portland, ME 04101 or by email to: [bab@portlandmaine.gov](mailto:bab@portlandmaine.gov).

If you have any questions, please call Silas Canavan at Walsh Engineering Associates, Inc. at 207-553-9898 or [silas@walsh-eng.com](mailto:silas@walsh-eng.com).

Sincerely,

A handwritten signature in black ink that reads "Silas Canavan".

Silas Canavan, PE  
Walsh Engineering Associates, Inc.  
(Agent for Clean and Simple Living, Inc.)

cc: Kevin Dwyer, Clean and Simple Living, Inc.  
Evan Carroll, bild Architecture  
Shukria Wiar, City Planner

## Neighborhood Meeting Minutes

East End Lofts  
273 Congress Street, Portland, ME 04101

**Meeting Time:** Tuesday, December 1, 2015, 6:00 pm

**Location:** 273 Congress Street, Portland, ME 04101

- Meeting commenced at 6:05 pm.
- Eight (8) people in attendance, including three (3) neighbors.
- Evan Carroll introduced project, team, and attendees.
- Kevin Dwyer described the project goals and the mission of Clean and Simple Living, Inc. development projects.
- Silas Canavan described exterior site work including new water line installation and associated temporary road and sidewalk closures and repair. Also stated that no new exterior lighting is proposed.
- Evan Carroll explained work to exterior (patio doors and railing, mechanical penetrations, wall hung heat pump units, new windows). Mentioned being a board member of PHA and the need this project fills for affordable housing in the area.
- Attendee asked if new windows will be installed.
  - Evan Carroll explained location of new windows and showed on plan/elevations.
- Attendee asked if the retail space would be sold or leased.
  - Kevin Dwyer explained that the space will be leased and that Clean and Simple Living wants to maintain a vested interest in the building.
- Attendee asked if there will be any exterior HVAC units.
  - Evan Carroll reiterated that there will be exterior wall-mounted heat pumps on the northwest side of the building. No other exterior HVAC units are proposed. The existing interior boiler will be utilized as well.
- Tom Landry discussed the goal of using locally sourced materials and labor.
- Evan Carroll concluded meeting at 6:40 pm.





## Portland Water District

FROM SEBAGO LAKE TO CASCO BAY

November 13, 2015

Walsh Engineering Associates, Inc.  
One Karen Drive Suite 2A  
Westbrook ME 04092

Attn: Silas Canavan  
Re: 273 Congress Street - Portland  
Ability to Serve with PWD Water

Dear Mr. Canavan:

The Portland Water District has received your request for an Ability to Serve Determination for the noted site submitted on October 14, 2015. Based on the information provided, we can confirm that the District will be able to serve the proposed project as further described in this letter.

### Conditions of Service

The following conditions of service apply:

- The existing 1-inch diameter water service at this site is undersized for the proposed 10 studio/one bedroom residential units and 2,550± square feet of retail space. This service must be retired by shutting the corporation valve and cutting the pipe from the water main.
- New fire and domestic services may be installed from the 16-inch main in Congress Street. Please note that only one meter and one bill will be associated to each domestic service line. This one master meter must be located in a common space that all tenants could gain access to if necessary.
- Water District approval of water infrastructure plans will be required for the project prior to construction. As your project progresses, we advise that you submit any preliminary design plans to MEANS for review of the water main and water service line configuration. We will work with you to ensure that the design meets our current standards.

### Existing Site Service

According to District records, the project site does currently have existing water service. A 1-inch diameter copper water service line, located as shown on the attached water service card, provides water service to this site. Please refer to the "Conditions of Service" section of this letter for requirements related to the use of this service.

**From:** David Margolis-Pineo  
**To:** Silas Canavan; dwyerkf@msn.com  
**CC:** Barbara Barhydt; Benjamin Pearson; Helen Donaldson; Jean Fraser; Jeff Levine; John Emerson; Nancy Gallinaro; Rachel Smith; Scott Firmin; Shukria Wiar  
**Date:** 12/7/2015 11:42 AM  
**Subject:** Wastewater Application Approval for 273 Congress St, Portland, ME  
**Attachments:** David Margolis-Pineo.vcf

December 7, 2015

**RE: The Capacity to Handle Wastewater Flows from 273 Congress Street, Multi-Family/Retail**

Dear Mr. Dwyer: (dwyerkf@msn.com)

The Department of Public Works, which includes the Water Resource Division have reviewed and determined that the downstream sewers from 273 Congress Street has the capacity to convey the estimated 1,260 gallons per day of wastewater which will be generated from this facility.

Please be aware that your propose wastewater has the potential to impact a Combined Sewer Overflow at the end of India Street during wet weather events. If this property has roof drains which currently discharge directly to the City's sewer system, you are asked to redirect these roof drains out of the sewer to grade in such a manner to minimize impacts to you neighbors.

Subsurface soils for this area may be conducive to infiltration. We are aware there is limited space on site to reduce runoff, however, any effort is appreciated.

If the City can be of further assistance, please call me at 874-8850 or 400-6695.  
Sincerely,

CITY OF PORTLAND

David Margolis-Pineo

David Margolis-Pineo

Deputy City Engineer

**Anticipated Wastewater Flows from Multi-Family/Retail:**

**10 - One Bedroom Units @ 120 gpd/unit = 1,200 gpd**  
**Retail – Five Employees @ 12 gpd/employee = 60 gpd**

Total: 1,260 gpd

CC: Jeffrey Levine, Director, Department of Planning and Urban Development, City of Portland  
Barbara Barhydt, Development Review Services Mgr., Dep't. of Planning and Urban Development, City of Portland  
Portland  
Nell Donaldson, Department of Planning and Urban Development, City of Portland  
Shukria Wiar, Planner, Department of Planning and Urban Development, City of Portland  
Jean Fraser, Planner, Department of Planning and Urban Development, City of Portland





January 7, 2016

Ms. Shukria Wiar  
City of Portland Planning Division  
389 Congress Street  
Portland, Maine 04101

**RE: Response to City Staff Review Comments  
Level III Site Plan Application  
East End Lofts  
273 Congress Street  
Portland, Maine**

Dear Shukria,

We have reviewed the City staff comments provided for the Site Plan Application. Please find our responses to the comments below in *italics*.

**Planning Comments Provided by City of Portland:**

Planning

1. Bicycle parking is required under the Site Plans. Please provide bicycle parking for customers as well as the tenants.

*Ordinance section 14-332-3 states that "In all zones where off-street motor vehicle parking is required, minimum off-street bicycle parking requirements shall be provided..." This project is located in the India Street Historic District and the building is a Contributing Structure. Per section 14-332.2(d), no off-street parking is required; therefore, WEA understands that no bicycle parking would be required on this site.*

*However, the Applicant understands the City's preference to provide bicycle parking when practical. Each resident will have a 2.5' wide x 4' deep x 8' tall locker in a room with direct access to the parking lot. These lockers can be used for resident bicycle storage. The lockers are shown on the enclosed floor plans.*

*The 6.7' wide sidewalk in front of the building and the 12' wide lane adjacent to the retail portion of the building are too narrow to install a bicycle rack without impeding vehicular and pedestrian traffic. Therefore, the Applicant is proposing to install a bicycle rack in the sidewalk within the right-of-way just northeast of the building and the crosswalk to India Street where the sidewalk widens to 10.7'. This appears to be the only practical location for a bicycle rack in proximity to the building. The location of the proposed bicycle rack is shown on the enclosed plan set.*

8. Who uses the current driveway from Congress Street? It seems like some of the abutters in the back use this access as well. Please explain.

*The project attorney, Gary Vogel, has provided a Title Opinion that will address this issue, as requested by the City's Corporation Counsel. A copy of the Title Opinion is included with this submission.*

9. Is the applicant asking for any waivers from the standards?

*As discussed in the original application, the Applicant is asking for a waiver from the understory planting, parking lot tree, and street tree standards due to limited space onsite. The Applicant intends to pay into the tree fund.*

*As discussed in Item 4 above, the Applicant is asking for a waiver from the lighting standard of 0.1 foot candles at the property line due to the proximity of the building to the property line.*

### Traffic

1. The applicant has provided a general statement as it relates to a construction management plan. I would note that specific details on sidewalk closures will be required. Additionally, any utility construction work in the street will likely have to be performed during off-peak hours or during the night. Plans will be required for review and approval before construction commences.

*Notes have been added to the plans stating that any work within the street shall be performed during off-peak hours or during the night and that the contractor shall provide a traffic management plan to the department for approval prior to and sidewalk and/or street closing and commencing work in the right-of-way. See General Notes 13 and 14.*

2. The plans depict elements of the project to be outside of the property boundary (e.g. parking space #1). An explanation should be provided.

*The existing parking space will be repainted so that it is entirely within the property boundary.*

### Public Services

1. Need State Plane Coordinates along the southwesterly boundary line.

*Coordinates have been added to the Plat Plan.*

2. Need to show property corners to be set along northeasterly boundary line.

*Property corners to be set have been added to the Plat Plan.*

3. Survey plan dated 8/27/15 proposed a boundary line agreement. Has it been executed? If so, need to show Registry Deed and pages of the agreement. If it is not executed there may possibly be legal issues for future owners.

*The boundary line agreement was executed on August 27, 2015 and has been recorded in the Cumberland County Registry of Deeds book 32546, pages 299 & 302. Copies of the recorded agreements are enclosed with this submission. The registry book and page numbers have been added to the plan reference notes on the plan set (see plan reference 1.4).*



Legal

1. The legal department is reviewing the Right, Title, and Interest.

*The project attorney, Gary Vogel, has provided a Title Opinion that will address this issue, as requested by the City's Corporation Counsel. A copy of the Title Opinion is included with this submission.*

Landscaping

1. Given the current built environment around the site, there is little room for added trees and landscape treatment. However, if the current sidewalk street curb line was returned to normal as on both sides, now that the site is not a commercial zone, I would recommend two street tree planters, curb & sidewalk reconstruction.

*No modifications to the sidewalk and curb are proposed.*

Engineering

2. We looked at 273 Congress Street and the only exterior improvements appear to be a trench cut for new water services. This will affect the sidewalk and street, but they propose to repair these areas per City standards. I don't have any comments to offer on the design. It looks like their plan and details adequately address these installations.

*Understood.*

A revised plan set and supporting information is enclosed. We trust we have provided the necessary information to complete your review and respectfully request that the project be placed on the next available Planning Board agenda.

Please call me at 207-553-9898 should you require any additional information.

Respectfully,



Silas Canavan, PE  
Walsh Engineering Associates, Inc.

- cc. Kevin Dwyer, Clean and Simple Living, Inc. (Applicant)  
Evan Carroll, bild Architecture  
Gary Vogel, Drummond Woodsum
- enc. Revised Plan Set, Rev. 2  
Photometric Plan  
Turning Simulation Plan  
Floor Plans  
Architect's ADA Memo  
Recorded Boundary Line Agreement  
Title Opinion