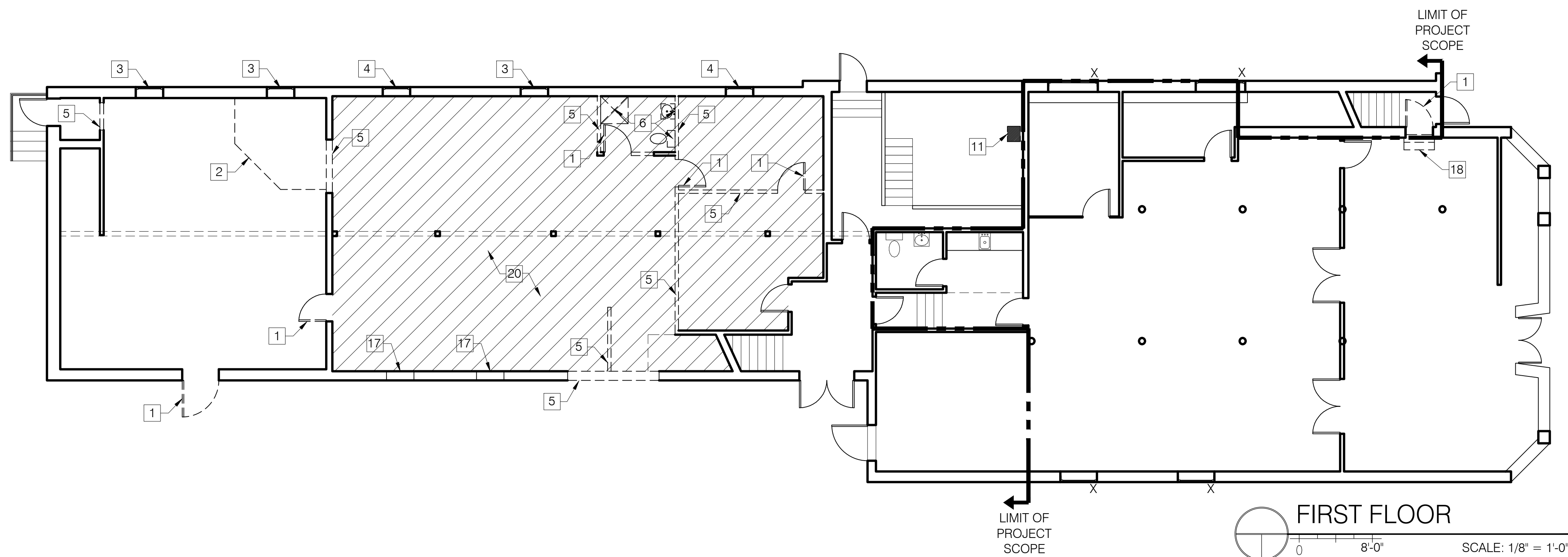
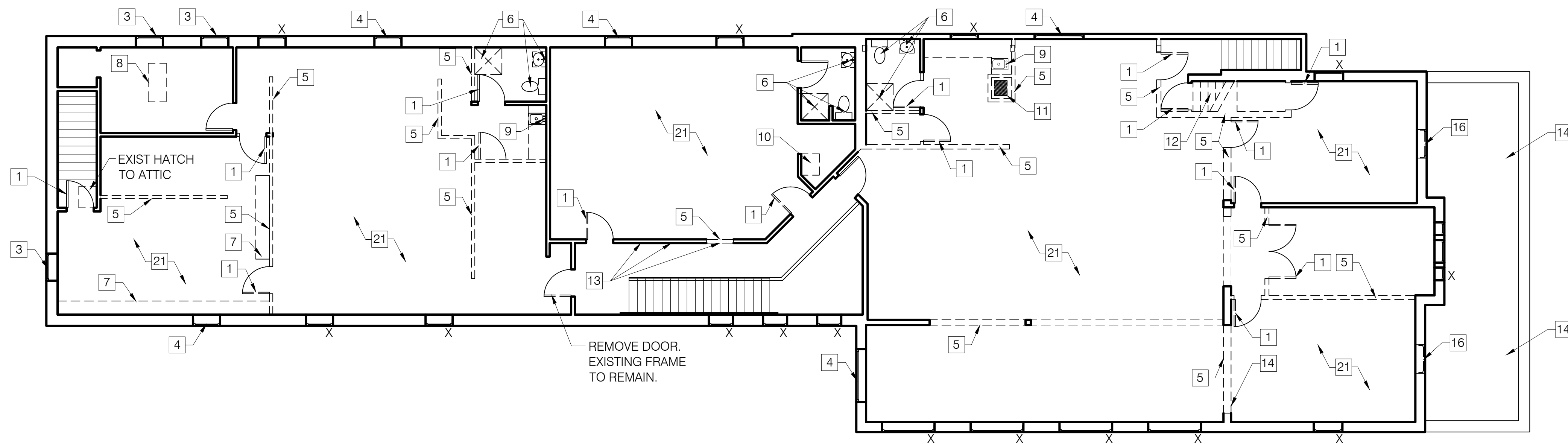
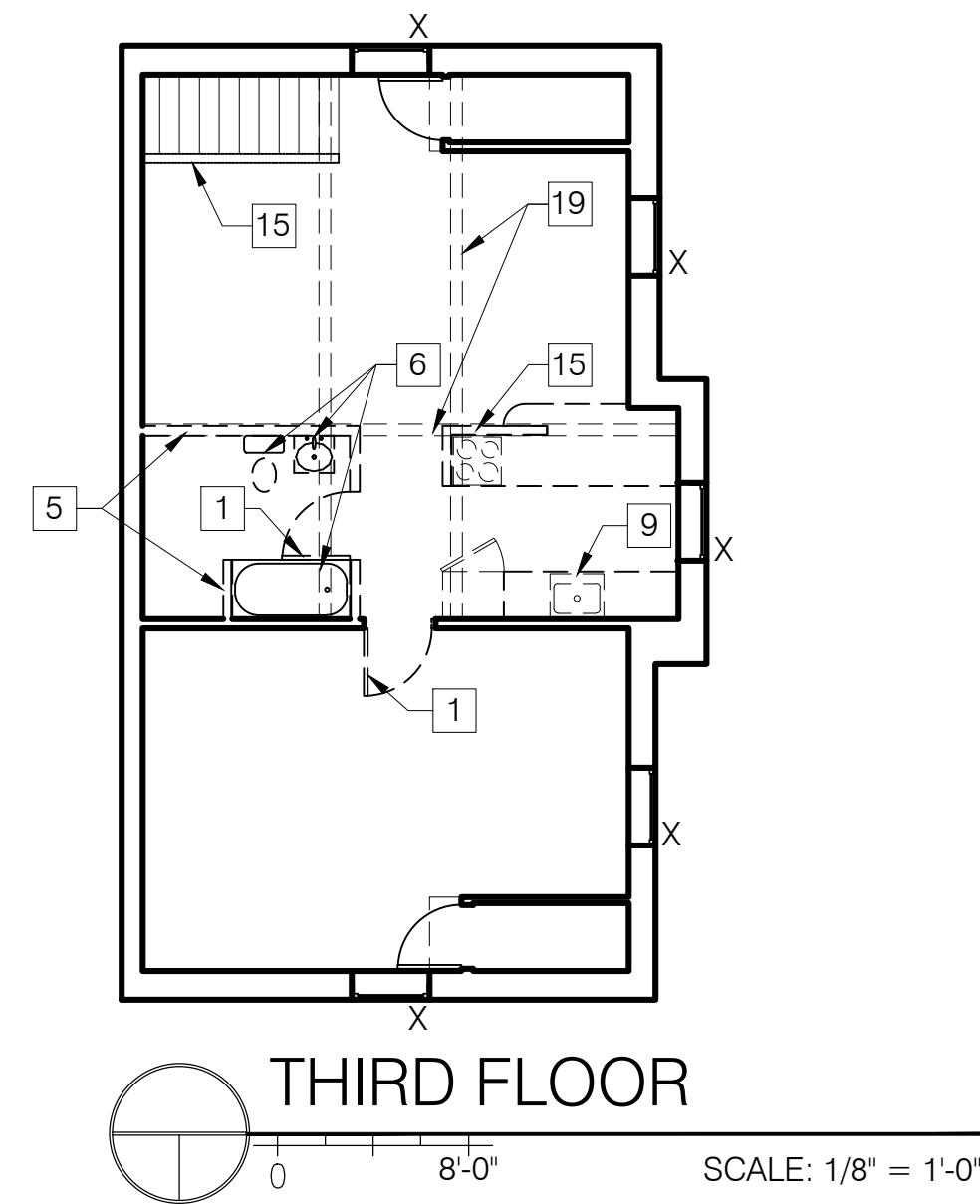


**KEY**

==== PARTITIONS/ITEMS TO BE REMOVED

--- LIMIT OF PROJECT SCOPE



**GENERAL DEMOLITION NOTES:**

- A. REMOVE WALLS AS NOTED ON PLANS. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. BEFORE PENETRATION, JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT FOR APPROVAL.
- B. UNLESS OTHERWISE NOTED, REMOVE DOORS, BASE, TRIM, ELECTRICAL ITEMS, SURFACE MOUNTED ITEMS AND INTERIOR WINDOWS WITHIN WALLS TO BE REMOVED. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
- C. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- D. WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC. TO MATCH EXISTING ADJACENT SURFACE). PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW LINES.
- E. WHERE NEW WALLS OR INFILLS ABUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.
- F. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR TESTING AND / OR REMOVAL OF HAZARDOUS MATERIALS. ANY ASBESTOS REMOVAL NECESSARY FOR THE SAFE IMPLEMENTATION OF THIS PROJECT SHALL BE CONTRACTED DIRECTLY BY THE OWNER. IF NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THESE EFFORTS IF ENCOUNTERED.
- G. UNLESS OTHERWISE NOTED, ALL ITEMS ON DEMOLITION PLANS ARE EXISTING.

**GENERAL MECHANICAL NOTES:**

- A. THE INTENT IS TO REUSE THE EXISTING HOT WATER BOILER LOCATED IN THE BASEMENT OF THE BUILDING FOR THE PURPOSE OF PROVIDING DOMESTIC HOT WATER AND PRIMARY HEATING HOT WATER FOR EACH UNIT.
- B. EXISTING FIN TUBE RADIATORS TO REMAIN. TAKE CARE TO PROTECT COVERS THROUGHOUT CONSTRUCTION. REPLACE SECTIONS OF EXISTING COVERS THAT ARE DAMAGED.
- C. DEMO EXISTING AIR SIDE SYSTEMS INCLUDING ROOF TOP UNITS AND ASSOCIATIVE DUCTWORK, GRILLES, DIFFUSERS, REFRIGERANT PIPING, AND APPURTENANCES.

**GENERAL PLUMBING NOTES:**

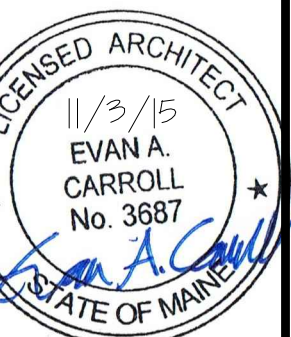
- A. PLUMBING DRAINAGE AND SANITARY VENTING TO BE REWORKED AS PART OF DESIGN-BUILD SERVICES PROVIDED BY CONTRACTOR AND IN COORDINATION W/ OWNER AND DESIGN TEAM.

**GENERAL ELECTRICAL NOTES:**

- A. ELECTRICAL POWER, DATA, SECURITY AND CABLE TV TO BE REWORKED AS PART OF DESIGN-BUILD SERVICES PROVIDED BY CONTRACTOR AND IN COORDINATION W/ OWNER AND DESIGN TEAM.

**DEMOLITION KEYNOTES:**

- 1. REMOVE EXISTING DOOR AND FRAME.
- 2. DEMO EXISTING STORAGE PLATFORM.
- 3. REMOVE EXISTING WINDOW AND PREP ROUGH OPENING FOR REPLACEMENT WINDOW.
- 4. REMOVE EXISTING WINDOW. ENLARGE AND PREP ROUGH OPENING FOR NEW WINDOW.
- 5. DEMO EXISTING WALL ASSEMBLY.
- 6. DEMO EXISTING BATH FIXTURES INCLUDING SHOWER, SINK, AND TOILET.
- 7. DEMO EXISTING SHELF.
- 8. EXISTING SKYLIGHT TO REMAIN.
- 9. DEMO EXISTING KITCHEN SINK, COUNTER, AND CABINETRY.
- 10. REMOVE EXISTING ATTIC ACCESS HATCH.
- 11. DEMO EXISTING BRICK CHIMNEY. COORDINATE WITH MECHANICAL CONTRACTOR TO RE-VENT EXISTING BOILER.
- 12. PARTIALLY REMOVE EXISTING STAIR ASSEMBLY INCLUDING RISERS, TREADS, STRINGERS, AND HANDRAILS.
- 13. REMOVE EXISTING CLEARSTORY WINDOWS.
- 14. REMOVE EXISTING ROOFING INCLUDING INSULATION AND EPDM.
- 15. REMOVE EXISTING HALF WALL.
- 16. REMOVE EXISTING WINDOW. RE-FRAME ROUGH OPENING TO ACCOMMODATE NEW 3'-0" X 7'-0" DOOR.
- 17. REMOVE EXISTING BRICK INFILL. MODIFY EXISTING WALL ASSEMBLY TO CREATE NEW ROUGH OPENING FOR NEW WINDOW. EXISTING LINTEL TO REMAIN.
- 18. DEMO EXISTING STAIRS.
- 19. EXISTING WOOD BEAMS TO REMAIN.
- 20. HATCHED AREA: DO NOT DISTURB SLAB AS EXISTING RADIANT SYSTEM WILL BE REUSED.
- 21. REMOVE EXISTING FINISHED FLOORING.



| REVISIONS | DATE | DESCRIPTION |
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| 2         |      |             |
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