

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

# PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number: 070383

PERMIT ISSUED

APR 26 2007

This is to certify that MICUCCI RICHARD G & SHERENE M PERNIER/Larry DiStello

has permission to Change of use of warehouse space within Micucci Grocery to small bakery

AT 43 INDIA ST 020 F021001

provided that the person or persons who perform or supervise the work accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is leased or occupied. **24 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. Greg Cuzz  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*Jeanie Bouke* 4/25/07  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

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**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0383	Issue Date: <b>PERMIT ISSUED</b> APR 26 2007	Title: 020 F021001
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<b>Location of Construction:</b> 43 INDIA ST	<b>Owner Name:</b> MICUCCI RICHARD G & SHERE	<b>Owner Address:</b> 11 CANTERBURY LN	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Larry Dontello	<b>Contractor Address:</b> 257 Blackstrap Rd Portland ME	<b>Phone:</b> 327220
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Commercial	<b>Zone:</b> B5b

<b>Past Use:</b> Commercial "Micucci Grocery"	<b>Proposed Use:</b> Commercial Miccucci Grocery / Bakery - Change of use of warehouse space within Miccucci Grocery to small bakery	<b>Permit Fee:</b> \$195.00	<b>Cost of Work:</b> \$10,000.00	<b>CEO District:</b> 1
		<b>FIRE DEPT:</b> <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	<b>INSPECTION:</b> Use Group: <i>F-1/M/P-3</i> Type: <i>3</i> <i>IBC-2003</i>	

<b>Proposed Project Description:</b> Change of use of warehouse space within Miccucci Grocery to small bakery	<b>Signature:</b> <i>Greg Carr</i>	<b>Signature:</b> <i>JMB 4/25/07</i>
<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

<b>Permit Taken By:</b> ldobson	<b>Date Applied For:</b> 04/11/2007	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: <i>4/11/07</i> <i>ABH</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABH</i> Date:
	Date:		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0383	Date Applied For: 04/11/2007	CBL: 020 F021001
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Location of Construction: 43 INDIA ST	Owner Name: MICUCCI RICHARD G & SHERE	Owner Address: 11 CANTERBURY LN	Phone:
Business Name:	Contractor Name: Larry Dontello	Contractor Address: 257 Blackstrap Rd Falmouth	Phone (207) 232-7220
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Commercial Miccucci Grocery / Bakery - Change of use of warehouse space within Miccucci Grocery to small bakery	Proposed Project Description: Change of use of warehouse space within Miccucci Grocery to small bakery
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 04/11/2007

**Note:** Change of use area is 273 sf., so does not need minor site plan review since it is less than 5000 sf.      **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This permit is being issued with the condition that the use as a bakery will meet the performance standards of the I-L zone (section 14 - 236).

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 04/25/2007

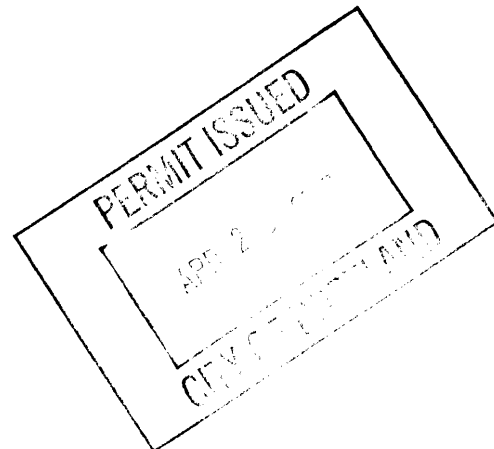
**Note:**      **Ok to Issue:**

- 1) Kitchen must meet the City of Portland Food Code
- 2) Separate permits are required for any electrical, plumbing, kitchen hood or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Cptn Greg Cass      **Approval Date:** 04/17/2007

**Note:**      **Ok to Issue:**

- 1) Ovens require a separate permit for the hoods
- 2) Requires separation from any other use. Other floors
- 3) Classified as Industrial common path of travel ok for single exit.



# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED** Done -

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date

CBL: 20 F 21

Building Permit #:

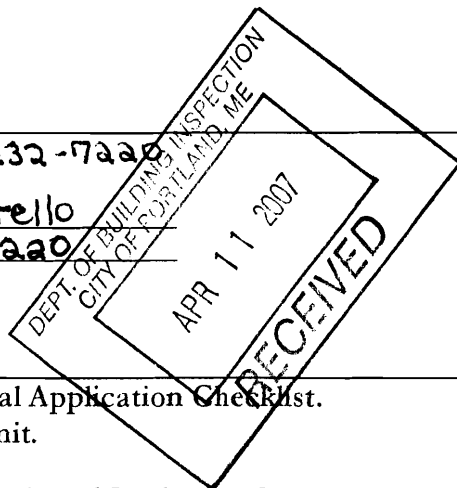
070383



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Micucci Grocery Co, 45 India St. Portland, ME 04101</u>		
Total Square Footage of Proposed Structure <u>260 sf.</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>20</u> Block# <u>F</u> Lot# <u>21</u>	Owner: <u>Richard Micucci</u>	Telephone: <u>775-1854</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>Richard Micucci</u>	Cost Of Work: \$ <u>10,000.00</u> Fee: \$ <u>120</u> <u>+ 75</u> C of O Fee: \$
Current legal use (i.e. single family) <u>Grocery Store</u>		
If vacant, what was the previous use? _____		
Proposed Specific use: <u>Grocery Store / Bakery</u>		
Is property part of a subdivision? <u>No</u> If yes, please name _____		
Project description: <u>Small Bakery Interior fitup</u>		
Contractor's name, address & telephone: <u>Larry Donatello 232-7220</u> <u>Falmouth, Maine</u>		
Who should we contact when the permit is ready: <u>Larry Donatello</u>		
Mailing address: _____ Phone: <u>232-7220</u>		



195<sup>00</sup>/00

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Richard Micucci</u>	Date: <u>4/3/07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

Bakery Inclusion at

Micucci Grocery's

Warehouse Space

45 India St, Portland

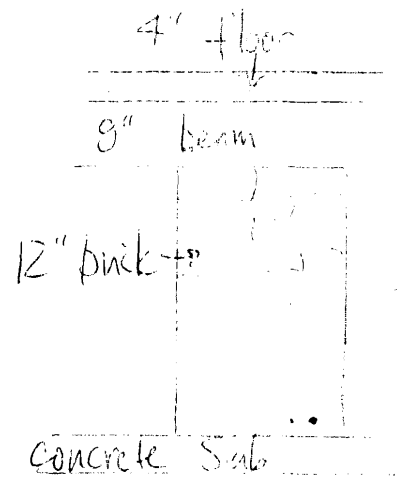
- Single Story Space
- Brickwall Exterior, Steel Roof

# Section A Warehouse Space for Bakery Inclusion Construction Details

Overview • A5) Exterior walls are 12" brick with interior treatment 32" high beadboard wainscoting and plaster parging above that

• Single story / 15' ceilings / Ceiling of 20" steel angle iron joisting with 2 1/2" steel corrugated roofing panels

• 4" laminated wood floor over 8x8 wooden beams on 12" brick pilasters on poured concrete slab in basement / crawl space



• interior dimensions 21 1/2' x 75'

Details • (A1) Warehouse has 13' wide asphalt sidewalk separating it from Middle St

(A2) 3' wide steel exterior door

(A3) 3' wide steel passthrough door to office

(A4) 2x6 partition wall between Warehouse Section A and office, 1/2" sheetrock each side.

## Section B / Warehouse - price construction details

Overview: • B2) 12" Exterior walls of 8" concrete blocks with brick facing

• Ceiling 20" Angle Iron Steel Joisting with 2½" steel corrugated roofing panels



• Poured concrete slab floor

• Interior dimensions 24½ x 54'

Details: (B1) 8' steel overhead loading door

(B3) 2 door steel pass-through into retail area

(B4) 5' open passway into section (A)

(B5) 12" brick wall dividing sections A & B



49'

23 1/2'

25 1/2'

13'

A1

B2

B1

Existing Micucci Warehouse Space

Section A

Section B

B4

A5

B5

A2

A3

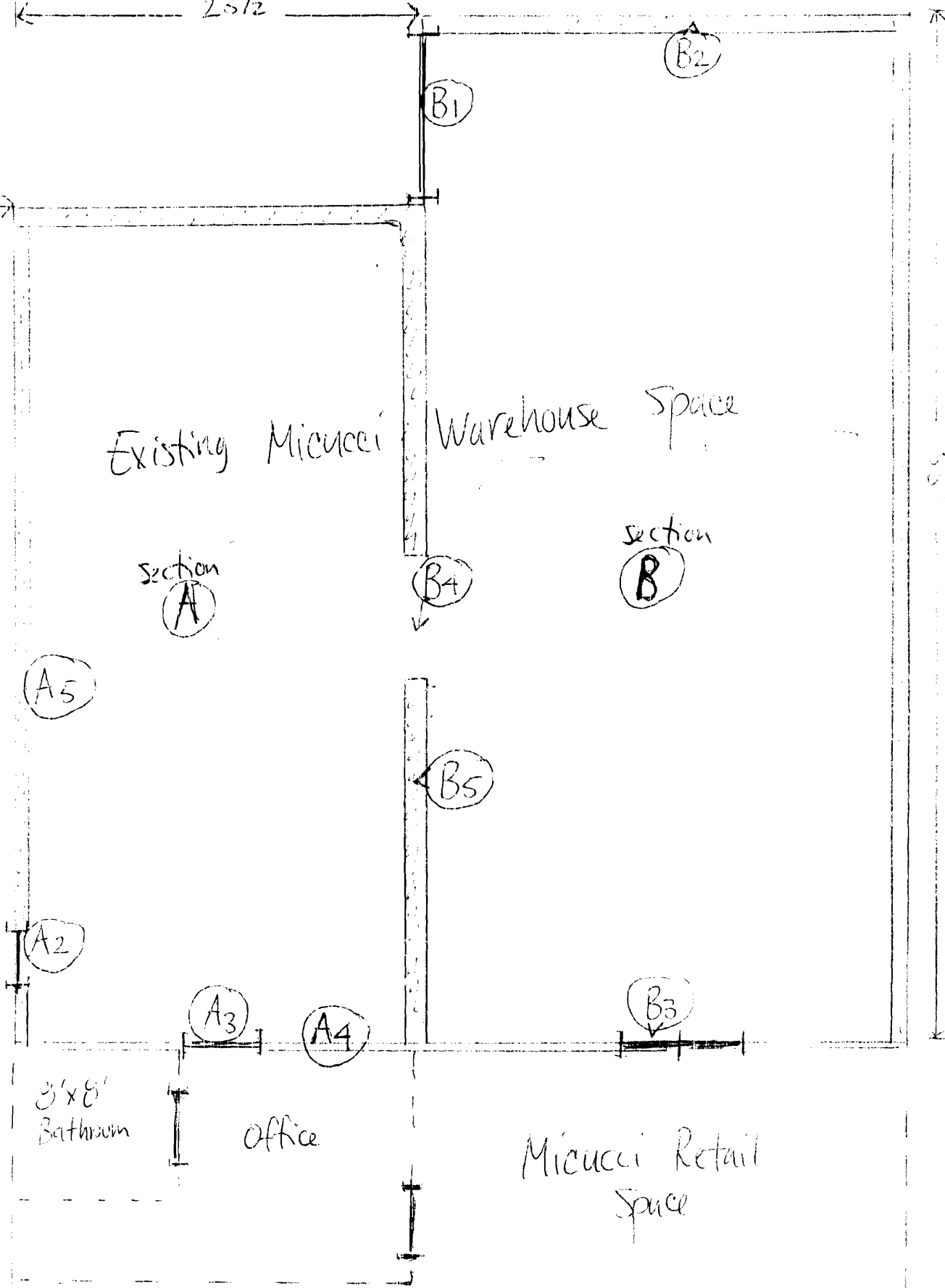
A4

B3

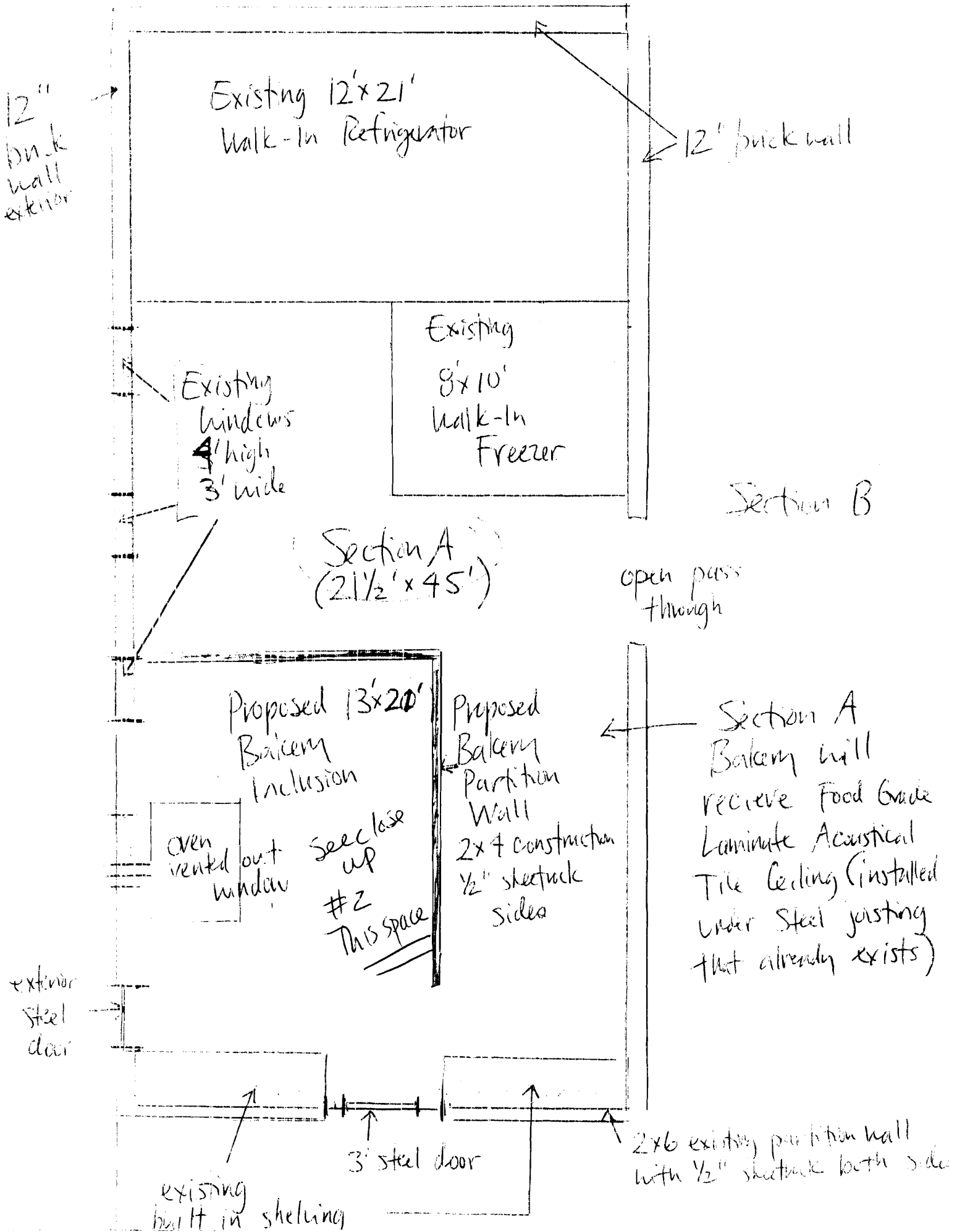
3' x 8' Bathroom

Office

Micucci Retail Space



# Section A Close-Up #1



# Section A Close-Up #2

existing window  
3' x 4'  
32" above floor

proposed counter 4' x 13'

← proposed  
2" x 4"  
partition wall  
8' high  
1/2" sheetrock  
sides

Bakery  
13' x 21'

32"  
Standard  
refrigerator

existing window  
12' above floor

Budget Pizza  
Oven  
5' x 5' x 4 1/2'

double insulated  
vent out  
existing window  
bay 12' off floor

proposed counter  
40" x 100"

3 bay sink (3' x 5')

Hand Wash Sink  
(22" x 24")

existing  
3' steel  
door  
to outside

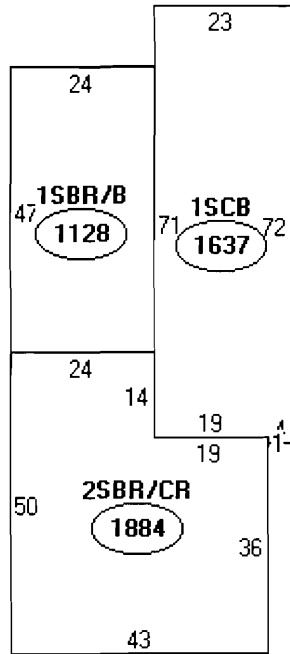
12"  
brick  
wall

existing shelving

3' steel door  
existing

existing  
shelving

2x6 extra partition wall



Descriptor/Area

- A: 1SBR/B  
1128 sqft
- B: 1SCB  
1637 sqft
- C: 2SBR/CR  
1884 sqft

