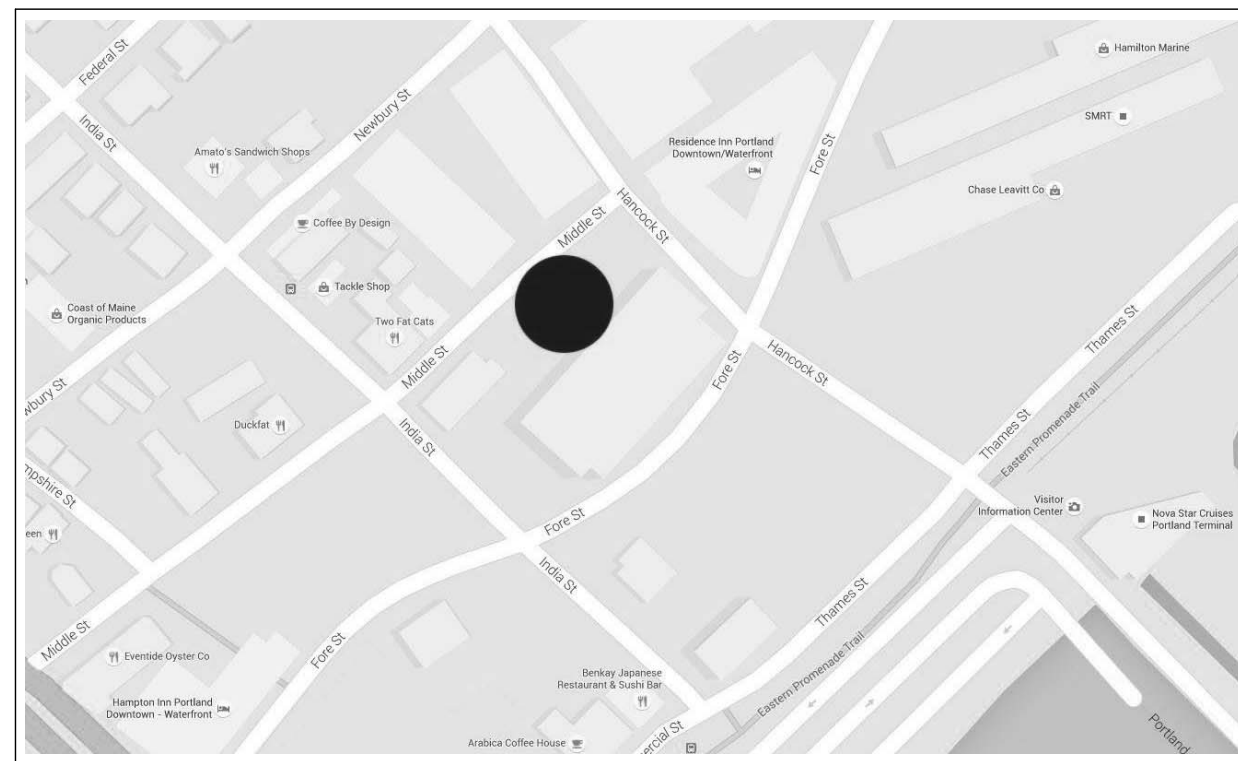


16 MIDDLE

16 MIDDLE ST PORTLAND, MAINE

DATE OF ISSUE

SUBMISSION - DATE



LOCATION MAP

NOT TO SCALE

CONTACTS

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04101

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RELEVANT CODES

NFPA 101

New Business Occupancy Chapter 38
Building construction is II (000) and I (332)
1st floor occupancies are **separated** from floors 2 - 5

1st Floor
Potential use for Business, Assembly, Mercantile or Storage
Existing Use - For parking garage entry drive

2nd - 5th Floors
Business Use

Ordinary Hazard
Min. construction requirements

38.1.5
38.6

Occupant Load

1st Floor potential occupant load
Largest potential occupant load is from assembly use
2,228 sqft / 100 sqft/person = 22
4,456 sqft / 15 sqft/person = 297

2nd - 5th Floors occupant load
10,712 sqft / 200 sqft/person = 53

Means of egress shall be per Chapter 7

Stairs to comply w/7.2.3
Alternating tread devices permitted

Area of refuge not required w/sprinkler
Capacity of means of egress
53 occupants x .37ft. = 16"

Min. corridor width = 44"
Street floor exits shall be sufficient for street
floor load plus stair load

2 exits accessible from every part of every story

38.2
38.2.2.3.1
38.2.2.11
38.2.2.12.2

38.2.3.1
38.2.3.2
38.2.3.3

38.2.4.1

Arrangement of means of egress

Exits at 1/3 diagonal
Dead ends = 50ft w/sprinkler

Common path = 100' w/sprinkler
Travel distance = 300' w/sprinkler

Emergency lighting required
Vertical openings = 2 hours
Interior finish

38.2.5
7.5.1.3.3
38.2.5.2.1
38.2.5.3.2
38.2.6.3

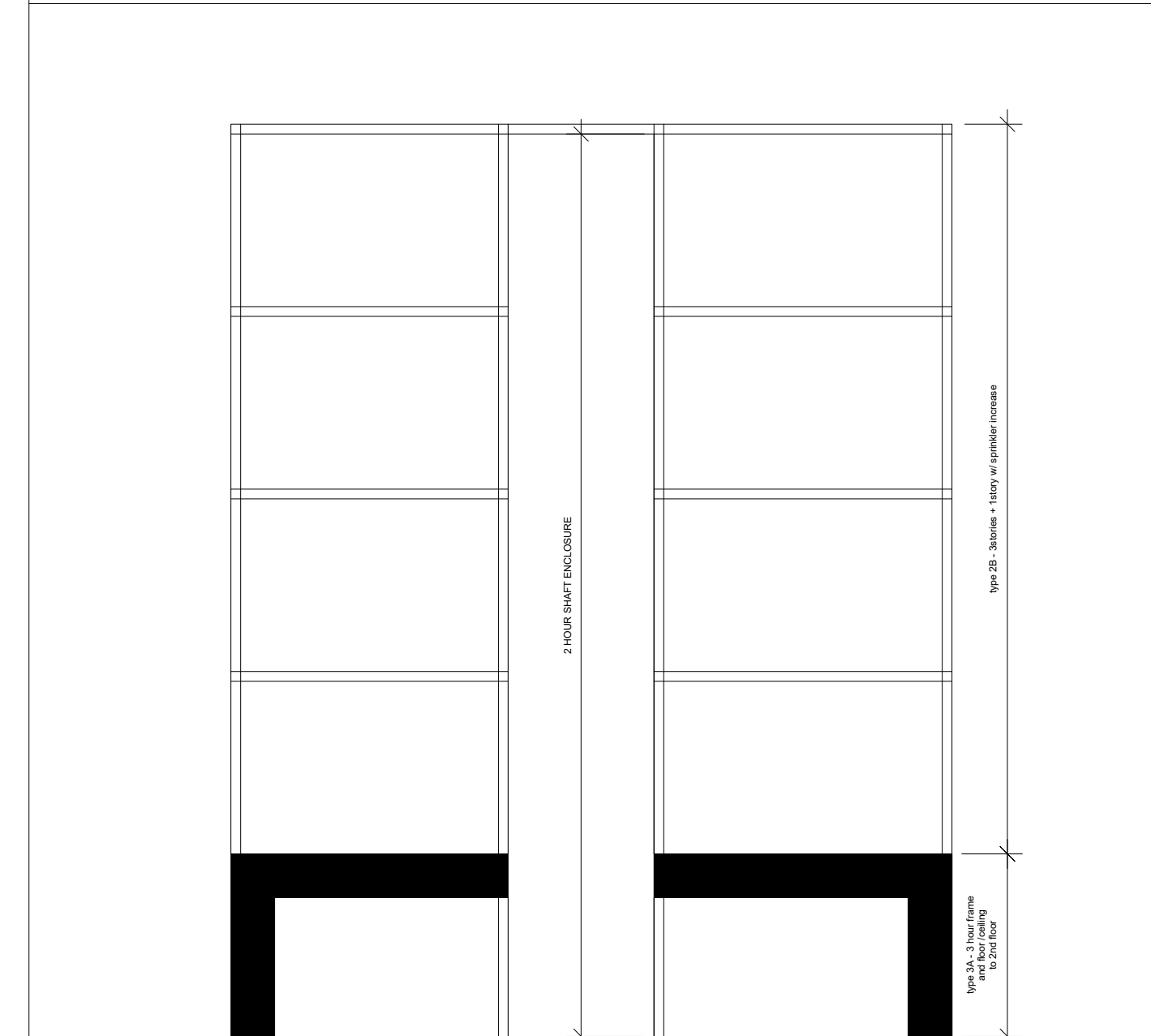
38.2.9
8.6.5

Exits and exit access corridors Class A or B
Interior walls and ceilings Class C

Floor Finish
In exits Class 1 or 2
Alarm required

Initiation by sprinkler
Portable extinguishers required per 9
No corridor rating required w/sprinkler

38.3.3.2.1
38.3.3.2.1
38.3.3.3
38.3.4.1
38.3.4.2(3)
38.3.5
38.3.6.1(3)



DRAWING LIST

SK SECTION AT 5TH FLOOR PATIO

CIVIL DRAWINGS

- C1.1 General Notes and Legend
- C2.0 Boundry and Topographic Survey
- C2.1 Amended Recording Plan
- C2.2 Existing Conditions and Demolition Plan
- C2.3 Construction Management Plan
- C3.0 Site Layout Plan
- C4.0 Grading, Drainage and Erosion Control Plan
- C5.0 Utility Plan
- C6.0 Pavement, Curb and Sidewalk Details
- C6.1 Utility and Miscellaneous Details
- C6.2 Utility and Miscellaneous Details
- L1.0 Landscape Plan

STRUCTURAL DRAWINGS

- S1.01 Foundation Plan
- S1.02 Second Floor Framing Plan
- S1.03 Third Floor Framing Plan
- S1.04 Fourth Floor Framing Plan
- S1.05 Fifth Floor Framing Plan
- S1.06 Roof Framing Plan
- S2.01 General Notes
- S2.02 Typical Details
- S2.03 Typical Details
- S2.04 Typical Details
- S2.05 Typical Details
- S2.06 Typical Details
- S3.01 Column Schedule and Pier Details
- S3.02 Brace Framing Elevations and Details
- S4.01 Foundation Sections and Details
- S5.01 Steel Sections and Details
- S5.02 Steel Sections and Details

ARCHITECTURAL DRAWINGS

- A1.01 First Floor Plan
- A1.02 Second Floor Plan
- A1.03 Third Floor Plan
- A1.04 Fourth Floor Plan
- A1.05 Fifth Floor Plan
- A1.06 Roof Plan
- A2.01 Building Elevations
- A2.02 Building Elevations
- A3.01 Building Sections
- A3.11 Elevator Section and Details
- A3.12 Stair Sections and Details
- A3.13 Stair Sections and Details
- A3.21 Wall Sections
- A3.22 Wall Sections
- A4.00 Wall Types
- A4.01 Floor, Ceiling, Roof Types
- A5.00 Details
- A5.01 Details
- A5.02 Details
- A7.01 RCP - First Floor
- A8.01 Door and Window Schedule
- A8.03 Precast Schedule

ELECTRICAL DRAWINGS

- E1.1 First Floor Electrical Plan
- E1.2 Typical Floor Electrical Plan
- E1.3 Roof Electrical Plan
- E1.4 Notes, Abbreviations and Symbols

MECHANICAL DRAWINGS

- M1.01 HVAC First Floor Plan
- M1.02 HVAC 2,4,5 Floor Plans
- M1.03 HVAC Third Floor Plan
- M1.04 HVAC Roof Plan