

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 071013

This is to certify that OCEAN GATEWAY GARAGE LLC / LLC / and Constructi
has permission to New 212, 000 Sq ft 720 Stall Parking Garage w/ 300 Retail Space
AT 167 FORE ST

PERMIT ISSUED	
OCT 10 2007	
020	F001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all the provisions of the Statutes of the City of Portland and of the Ordinances of the City of Portland relating to the construction, maintenance and use of buildings and structures, and of the application of this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is started or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy procured by owner before the building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Casper
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
Director, Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Amanda Shean
Signature of Applicant/Designee

Date

[Signature]
Signature of Inspections Official

10.18.07
Date

CBL: 20 F 1

Building Permit #: 071013

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

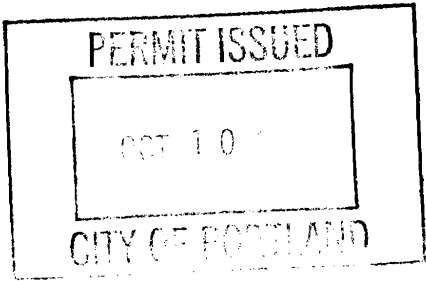
Permit No: 07-1013	Issue Date:	CBL: 020 F001001
-----------------------	-------------	---------------------

Location of Construction: 167 FORE ST	Owner Name: OCEAN GATEWAY GARAGE LL	Owner Address: 2 MARKET ST STE 500	Phone:
Business Name:	Contractor Name: Ledgewood Construction	Contractor Address: 27 Maine St. So. Portland	Phone: 2077671866
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	Zone: B-5b

Past Use: Vacant Land Per permit# 070309 & connected with the following CBLs 35 India (20C023) & 2 Buildings (Robbie Marine) 1 India (019 B02000) Old (019 A001 & 019 A01A) 20 C000 = 020 F001 Please	Proposed Use: New 720 Stall Parking Garage 212, 000 Sq ft w/ 5,070 Retail Space (tenant Fit-up(s) to to be applied for at a later date) <i>Foundation permit only under #06-1824</i>	Permit Fee: \$100,475.00	Cost of Work: \$10,037,612.00	CEO District: 1
Proposed Project Description: New 212, 000 Sq ft 720 Stall Parking Garage w/ 5,070 Retail Space		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: 2 Type: 2B 10/14/07	
		Signature: <i>Greg Cass</i>	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 08/20/2007	Zoning Approval
-----------------------------	---------------------------------	------------------------

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>panel 14 zone C</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2006-0235</i> Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>ok with conditions</i> Date: <i>8/22/07</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Interpretation <i>concerning height</i> <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied Date: <i>1/10/07</i>	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
---	--	---	---



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1013	Date Applied For: 08/20/2007	CBL: 020 F001001
------------------------------	--	----------------------------

Location of Construction: 167 FORE ST	Owner Name: OCEAN GATEWAY GARAGE LL	Owner Address: 2 MARKET ST STE 500	Phone:
Business Name:	Contractor Name: Ledgewood Construction	Contractor Address: 27 Maine St. So. Portland	Phone (207) 767-1866
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	

Proposed Use: New 720 Stall Parking Garage 212, 000 Sq ft w/ 5,070 Retail Space (tenant fit-up(s) to to be applied for at a later date)	Proposed Project Description: New 212, 000 Sq ft 720 Stall Parking Garage w/ 5,070 Retail Space
---	---

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 08/22/2007

Note: **Ok to Issue:**

- 1) separate permits shall be required for the tenant fit-ups for retail.
- 2) Separate permits shall be required for any new signage.
- 3) All previous conditions of approval are still in force.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Mike Nugent **Approval Date:** 10/15/2007

Note: **Ok to Issue:**

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 08/23/2007

Note: **Ok to Issue:**

- 1) Application requires State Fire Marshal approval.
- 2) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 3) Standpipe system shall comply with NFPA 14,
- 4) Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 12/29/2005

Note: **Ok to Issue:**

- 1) Life safety plan to be submitted.
To include NFPA 101 fact sheet, ie; all rated separations, travel distance's, life safety features.
Location of fire dept. Connections

Dept: Planning **Status:** Approved with Conditions **Reviewer:** Bill Needelman **Approval Date:** 04/25/2006

Note: **Ok to Issue:**

Location of Construction: 167 FORE ST	Owner Name: OCEAN GATEWAY GARAGE LL	Owner Address: 2 MARKET ST STE 500	Phone:
Business Name:	Contractor Name: Ledgewood Construction	Contractor Address: 27 Maine St. So. Portland	Phone (207) 767-1866
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	

1) A. Traffic Movement Permit (approved, 6 to 0, Silk absent)

The Planning Board finds that the project is in conformance with the standards of a Traffic Movement Permit subject to the following conditions of approval:

- i. The applicant shall contribute \$8,100.00 to the implementation of
 - possible future improvements (including signalization) at the Middle Street/India Street intersection. The monetary contribution shall be placed in an escrow account to be applied to unspecified future transportation improvements at the subject intersection. If the escrow money is not used within ten years of the escrow agreement date, the money shall be returned to the applicant.
- ii. The applicant shall conduct all work necessary for the installation of a multi way stop controlled intersection at the Middle Street/India Street intersection prior to occupancy. Plans for the installation of subject improvements shall be reviewed by the City prior to implementation.
- iii. The applicant shall contribute \$5,000.00 to the partial funding of a post occupancy traffic monitoring study for the eastern promenade area of the City.

B. Subdivision (approved, 6 to 0, Silk absent)

The Planning Board finds that the plan is in conformance with the subdivision standards of the land use code subject to the following condition of approval:

- i. That the applicant provides recording plats (for both northerly and southerly blocks) for Planning Board signature prior to issuance of a building permit.

C. Waivers (approved, 6 to 0, Silk absent)

1. Stormwater Quantity Standard

The Planning Board finds that an increase in the stormwater flow in the City drainage system will not cause negative downstream impacts, and therefore waives the Technical Design Standards and Guidelines (Section V.B) for stormwater quantity, subject to the following condition of approval:

- i. That the applicant shall design and fund a stormwater bypass at the Ocean Gateway stormwater quality unit to mitigate increased flow through the City stormwater system resulting from the subject project. The design of the bypass shall be presented to the Public Works Department for review and approval prior to issuance of the building permit.

2. Lighting Standard

The Planning Board finds that the non-cutoff decorative lighting fixtures proposed by the applicant (namely, S8, S9, S10, S11, and S12 in the lighting submission dated 4-11-06) will not cause undue glare or light trespass, and therefore waives the Technical Design Standards and Guidelines (Section XV.3), specifically the full cutoff requirement for these fixtures in the locations shown on the submitted lighting plan.

D. Site Plan (approved, 6 to 0, Silk absent)

The Planning Board finds that the plan is in conformance with the Site Plan Standards of the Land Use Code subject to the following conditions of approval:

Location of Construction: 167 FORE ST	Owner Name: OCEAN GATEWAY GARAGE LL	Owner Address: 2 MARKET ST STE 500	Phone:
Business Name:	Contractor Name: Ledgewood Construction	Contractor Address: 27 Maine St. So. Portland	Phone (207) 767-1866
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	

- i. That any additional signage be provided for Planning, Zoning and Historic Preservation staff review and approval, as applicable.
- ii. The long-term landscape plan for the lot at the corner of Middle Street and Hancock Street, as shown in attachment C, shall be constructed as shown prior to final release of the project performance guarantee if no alternative development application has been approved by the City.
- iii. Materials and construction details, including but not limited to paving and tree grate choices, for both short and long-term landscape plans shall be submitted to the Planning Authority and City Arborist for review and approval prior to issuance of a building permit.
- iv. The applicant shall submit a revised lighting plan for the roof of the garage showing reduced illumination levels consistent with City Lighting Standards. The applicant shall also provide lighting details for the lower decks of the garage for review and approval of the Planning Authority.
- v. The applicant shall submit a revised utility plan showing, limits of work and trench details for India Street utility work, and underground electrical/telephone/cable connections to Public Works for review and approval prior to issuance of a building permit.
- vi. The applicant shall revise the valet area along the Commercial Street extension to show a straight curb line and sidewalk within the City right of way.
- vii. The applicant shall provide rendering of the Fore Street (northerly) elevation of the southerly block for staff review. The design treatment of the service doors to the loading and parking areas shall be evaluated and the applicant shall work with Planning staff on the final treatment of these doors in order to enhance the pedestrian experience on Fore Street.
- viii. Material samples for the 25 India Street office building shall be provided, and the final selection of this mix of materials be reviewed and approved by the Planning staff.
- ix. That the applicant provide revised plans for the review and approval of the Planning staff showing changes to the massing of the rooftop mechanicals to bring the principal mass and height of these elements over the Fore Street frontage of the new construction, stepping them down symmetrically on the wings.
- x. That the applicant receives a license from the City for any portion of the structure projecting into or over any City right of way prior to issuance of a building permit.
- xi. That the applicant provides the basis for building height calculations to the Zoning Administrator prior to issuance of a building permit.
- xii. That the applicant provides to the Zoning Administrator the timeframe within which the retail phase of the parking garage along Fore Street shall be constructed prior to issuance of a building permit.

Comments:

8/22/2007-mes: original Foundation Permit only uner CBL #20-C-9 - permit #06-1824 - because of the extension of Hancock Street and land subdivision, the CBL has now changed to #20-F-001.

Location of Construction: 167 FORE ST	Owner Name: OCEAN GATEWAY GARAGE LL	Owner Address: 2 MARKET ST STE 500	Phone:
Business Name:	Contractor Name: Ledgewood Construction	Contractor Address: 27 Maine St. So. Portland	Phone (207) 767-1866
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	

9/29/2007-Idobson: I've completed my review have the following questions/comments:

- 1) Because the Code Compliance Certification for signed off on my Scott is limited to the Acrchitecturals and specs , the engineer must do a separate Cert. Form.
- 2) The "Page 3" Cert form does not call out the "M" use group just the "S2" please revise.
- 3) A separate permit for the fit up of the "M" space will be required.
- 4) The "Drop in Steel Stair" must meet all portions of the code for a "Normal " Stair.
- 5)Openess Calculations: Please provide a summary document for all 4 sides that simply say " The north elevation has XX% open areas and the code requires xx%" do the same with the linear percentages as well and this needs to be done for all 4 sides.Fill in the "xx's" of course with the actual net percentage...Subtract any doors, grills, meshes , guards etc.
- 6) Please help me understand how the guards will be particularly along the parking areas that abut the ramps.
- 7) Please provide Details and ul listing for all fire speparation assemblies.
- 8) Please confirm the net width of the East Stairway.
- 9) Please confir that the Stair treads will be at least 11 inches and the risers will not exceed 7 inches.

We're in pretty good shape to sign off before I go on vacation (Wednesday) if you get this info in on Monday. I'll Bring the permit to City Hall on Monday.

Thanks,

Mike Nugent
Consulting Plans Examiner
City of Portland

OCEAN GATEWAY GARAGE

NOTES: N.R. — Not required
N.A. — Not applicable

071013 20F001

ADMINISTRATION (Chapter 1)



Complete construction documents
(106.1, 106.2)



Signed/sealed construction documents
(106.1, State laws vary)

BUILDING PLANNING (Chapters 3, 4, 5, 6)

OCCUPANCY CLASSIFICATION (302.0-312.0)



Single Occupancy (302.1)

Incidental use areas (302.1.1)

Mixed Occupancy (302.3)

Accessory use areas (302.2)

GENERAL BUILDING LIMITATIONS (Chapters 5 & 6)

Apply Case 1 to determine the allowable height and area and permitted types of construction for a building containing a single occupancy or nonseparated mixed occupancies. Apply Case 2 to determine the allowable height and area and permitted types of construction for a building containing separated mixed occupancies.

AREA MODIFICATIONS TO TABLE 503

% of Allowable tabular area, A_t (Table 503) **100%**
 % Increase for frontage, I_f (506.2) ~~2%~~
 % Increase for automatic sprinklers, I_s (506.3) ~~2%~~
 Total percentage factor = ~~104%~~
 Conversion factor ~~0.96~~ **100 ONLY**
 Total percentage factor = 100%

Frontage (506.2)	166 246 185			
	North	East	South	West
Total Frontage (F)	667			
Perimeter (P)	667			
Width of open space (W)	30			
% Frontage increase (I_f) (506.2)	37%			
	$I_f = 100 \left[\frac{F}{P} - 0.25 \right]$			$W = 30$

CASE 1 — SINGLE OCCUPANCY OR NONSEPARATED USES (302.3.1)

Using Table 503, identify the allowable height and area of the single occupancy or the most restrictive of the nonseparated mixed occupancies. Construction types that provide an allowable tabular area equal to or greater than the adjusted building area and allowable heights (as modified by Section 504) equal to or greater than the actual building height are permitted.

DETERMINE CONSTRUCTION TYPE

CHECK ALLOWABLE AREA (506.4)

Actual building area **30,383** ft²
~~Actual building area~~ **ALLOWABLE PER TABLE 406.3.1**
~~Adjusted building area~~ **50,000** ft²
 Actual building height **7 TIERS** feet / stories
 Allowable building height **Accordable** feet / stories
 Permitted types of construction **2B + UP**
 Construction assumed **2B**
 (602.1.1)

Allowable area per floor (A_f)
 conversion factor \times tabular area (Table 503) = ~~40,000~~ ft²
 Total floor area (all stories) = ~~282,000~~ ft²
 Allowable floor area (all stories) = ~~282,000~~ ft²
 Allowable area per floor (A_f) \times number of stories (maximum) = ~~282,000~~ ft²
 Compliance verified (Single Occ. or Nonsep.)

HIGH-RISE BUILDINGS (403)

- NA Automatic sprinkler system (403.2)
- NA Fire-resistance rating reduction (403.3)
- NA Automatic fire detection (403.5)
- NA Emergency voice/alarm systems (403.6)
- NA Fire department communication (403.7)
- NA Fire command center (403.8)
- NA Elevators (403.9)
- NA Standby power (403.10)
- NA Emergency power (403.11)
- NA Stairway doors (403.12)
- NA Smokeproof exit (403.13)

ATRIUMS (404)

- NA Atrium use (404.2)
- NA Automatic sprinkler system (404.3)
- NA Smoke control (404.4)
- NA Enclosure (404.5)
- NA Standby power (404.6)
- NA Interior finish (404.7)
- NA Travel distance (404.8)

OTHER SPECIAL USE AND OCCUPANCY

- NA Underground structures (405)
- NA Motor vehicle related occupancies (406, 508)
- NA Group I-2 (407)
- NA Group I-3 (408)
- NA Motion picture projection rooms (409)
- NA Stages and platforms (410)
- NA Special amusement buildings (411)
- NA Aircraft-related occupancies (412)
- NA Combustible storage (413)
- NA Hazardous materials (307.9, 414)
- NA Groups H-1, H-2, H-3, H-4, and H-5 (415)
- NA Application of flammable finishes (416)
- NA Drying rooms (417)
- NA Organic coatings manufacturing (418)

FIRE PROTECTION (Chapters 6, 7, 8, 9)

FIRE-RESISTANCE-RATED CONSTRUCTION (Tables 601 & 602 and Chapter 7)

Note: Entry in indicates required rating in hours. NC indicates noncombustible construction required.

2B Construction classification (602)

COMBUSTIBILITY (602.2, 602.3, 602.4, 602.5, 603)

- 2 @ none Exterior walls
- 0 Interior elements
- 0 Roof

FIRE-RESISTANCE RATINGS AND FIRE TESTS (703)

- Ratings / Combustibility (703.2, 703.4)
- Alternative methods (703.3, 718, 720, 721)

BUILDING ELEMENTS (Table 601)

- 0 Structural frame (714)
- 0 Interior bearing walls
- 0 Interior nonbearing walls
- 0 Floor construction (711)
- 0 Roof construction (711)

EXTERIOR WALLS (507, Table 602, 704, 706.6)

- | | | | | |
|--------------------------|-------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|
| | North | East | South | West |
| Fire separation distance | <u>0</u> | <u>HANCOCK FOREST</u> | <u>FOREST</u> | <u>>30'</u> |
| Bearing | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| Nonbearing | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |

EXTERIOR BEARING WALLS ARE 2HR NO WALLS JUST COUMS

EXTERIOR WALLS (continued)

- NORTH WALL NO OPENINGS Opening protection (704.8, 704.12, 704.14)
- EXEMPT Vertical fire spread protection (704.9, 704.10)
- Parapets (704.11)

FIRE BARRIERS (706)

- Shaft enclosures (706.3.1) NEED
- Exit enclosures (706.3.2, 706.3.3)
- Horizontal exits (706.3.4)
- Incidental use areas (706.3.5)
- Mixed occupancy and fire area separations (706.3.6, 706.3.7)

SHAFTS (707)

- Exceptions (707.2)
- Construction (707.3 - 707.14)

OTHER FIRE RESISTANT CONSTRUCTION

- Fire walls (705)
- Fire partitions (708)
- Smoke barriers (709)
- _____ Smoke partitions (710)
- _____ Penetrations (712)
- _____ Fire resistant joint systems (713)
- _____ Opening protectives (715)
- _____ Dampers (716)
- _____ Concealed spaces (717)
- _____ Thermal and sound-insulating materials (719)

INTERIOR FINISHES (Chapter 8)

- NONE Smoke development (803.1)
- Flame spread (803.1)
- Non-textile finish (803.2)

- NONE Floor finish (804)
- Decorations and trim (805)

FIRE PROTECTION (Chapter 9)

AUTOMATIC SPRINKLER SYSTEMS (903)
(Where required)

- _____ Assembly (A-1, A-2, A-3, A-4, A-5) (903.2.1)
- _____ Educational (E) (903.2.2)
- _____ Factory/Industrial (F-1) (903.2.3)
- _____ High-hazard (H-1, H-2, H-3, H-4, H-5) (903.2.4)
- _____ Institutional (I-1, I-2, I-3, I-4) (903.2.5, 903.2.5)
- _____ Mercantile (M) (903.2.6)
- _____ Residential (R) (903.2.7)
- _____ Storage/Repair garage (S-1) (903.2.8)
- _____ Parking garages (903.2.9) NO SPRINKLES REQUIRED
- _____ Windowless story (903.2.10.1)
- _____ Rubbish and linen chutes (903.2.10.2)
- _____ Buildings over 55 ft. high (903.2.10.3)
- _____ Incidental use areas (302.1.1)

- N/A Additional required systems (Table 903.2.13)
- _____ International Fire Code (IFC 903.2.13)

AUTOMATIC SPRINKLER SYSTEMS* (903)
(Design)

- N/A Shop drawings (106.1.1.1)
- _____ NFPA 13 system (903.3.1.1)
- _____ NFPA 13R system (903.3.1.2)
- _____ NFPA 13D system (903.3.1.3)
- _____ Quick-response and residential heads (903.3.2)
- _____ Actuation (903.3.4)
- _____ Water supply (903.3.5)
- _____ Hose connections (903.3.6, 903.3.7)
- _____ Sprinkler monitoring and alarms (903.4, 907.13)

* Also see Fire Code Sprinkler Plan Review Record

ALTERNATIVE AUTOMATIC FIRE-EXTINGUISHING SYSTEMS (904)

- NR* Installation (904.3)
- Wet-chemical systems (904.5)
- Dry-chemical systems (904.6)
- Foam systems (904.7)
- Carbon dioxide systems (904.8)
- Halon systems (904.9)
- Clean-agent systems (904.10)
- Commercial cooking systems (904.2.1, 904.11)

STANDPIPE SYSTEMS (905)

- DRY SYSTEM SEE SPEC BOOK* Installation standards (905.2)
- Building height (905.3.1)
- Group A (905.3.2)
- Covered malls (905.3.3)
- Stages (905.3.4)
- Underground buildings (905.3.5)
- Helistops/heliports (905.3.6)
- Hose connections and locations (905.1, 905.4, 905.5, 905.6)
- Cabinets (905.7)
- Dry standpipes (905.8)
- Valve supervision (905.9)

PORTABLE FIRE EXTINGUISHERS (906)

- PER PFD* Required locations - IFC (906.1)

FIRE ALARM AND DETECTION SYSTEMS (907)
(Where required)

- PER NFPA 72* Construction documents (907.1.1)
- Assembly (A-1, A-2, A-3, A-4, A-5) (907.2.1)
- Business (B) (907.2.2)
- Educational (E) (907.2.3)
- Factory (F-1, F-2) (907.2.4)
- High-hazard (H-1, H-2, H-3, H-4, H-5) (907.2.5)
- Institutional (I-1, I-2, I-3, I-4) (907.2.6)
- Mercantile (M) (907.2.7)
- Residential (R-1, R-2) (907.2.8, 907.2.9)

Single/multiple station smoke alarms (907.2.10)

High rise buildings (907.2.12)

Atriums (907.2.13)

Other buildings/areas (907.2.11, 907.2.14 - 907.2.23)

FIRE ALARM AND DETECTION SYSTEMS (907)
(Design)

- N/A* Residential smoke alarm power source (907.2.10.2)
- Residential smoke alarm interconnection (907.2.10.3)
- Location/Power supply/Wiring (907.3 - 907.5)
- Activation/Presignal/Zones (907.6 - 907.8)
- Alarm notification appliances (907.9)
- Detectors (907.10 - 907.12)
- Monitoring (907.14)

EMERGENCY ALARM SYSTEMS (908)

- N/A* Detection system applicable (908.1 - 908.6)

SMOKE CONTROL SYSTEMS (909)

- NR* Where required (402.9, 404.4, 405.5, 408.8, 410.3.7.2, 1019.1.8, 1024.6.2.1)
- Design requirements (909.1 - 909.4)
- Smoke barriers (909.5)
- Pressurization method (909.6)
- Airflow method (909.7)
- Exhaust method (909.8)
- Equipment/Power (909.10, 909.11)
- Detection and control (909.12 - 909.18)
- Smokeproof enclosures (909.20)
- Underground buildings (909.21)

SMOKE AND HEAT VENTS (910)

- NR* Requirements (910.1 - 910.3)
- Mechanical alternative (910.4)

FIRE COMMAND CENTER (911)

- N/A* Features (911.1)

OCCUPANT NEEDS (Chapters 10, 11, 12)

MEANS OF EGRESS (Chapter 10)

OCCUPANT LOAD (1004.1.2 and Table 1004.1.2)

CAPACITY OF EGRESS COMPONENTS (1005.1 and Table 1005.1)

Location	Floor Area	Sq.ft./person	Occt. load	Other occt. loads
----------	------------	---------------	------------	-------------------

1ST RETAIL AREA	3800	60	63	
1ST PARKING AREA	15000	200	75	
2ND	30383	200	152	
THRU			152	
7TH			152	

Total

Egress width (inch/occupant)

Stairways .2

30" REQUIRED PER FLOOR

Other egress components .15'

23" REQUIRED PER FLOOR

CAPACITY

Location

Stairways

Other egress components

ALL

EAST 40"

WEST 56"

36"

DOORS

NUMBER OF EXITS (1018.1, 1018.2)

Location

Required

Shown

ALL

2

2

MEANS OF EGRESS (continued)

GENERAL MEANS OF EGRESS

<input checked="" type="checkbox"/>	Design requirements (1003.2 - 1003.7)	<input checked="" type="checkbox"/>	Door landings/Thresholds/Arrangement (1008.1.4 - 1008.1.7)
<input checked="" type="checkbox"/>	Means of egress illumination (1006)	<input checked="" type="checkbox"/>	Door hardware (1008.1.8, 1008.1.9)
<input checked="" type="checkbox"/>	Exit signs (1011)	<input checked="" type="checkbox"/>	Stairways (1009)
<input checked="" type="checkbox"/>	Accessible means of egress (1007)	<input checked="" type="checkbox"/>	Handrails (1009.11)
<input checked="" type="checkbox"/>	Means of egress doors (1008.1-1008.1.2)	<input checked="" type="checkbox"/>	Roof access (1009.12)
<input checked="" type="checkbox"/>	Special doors/Gates/Turnstiles (1008.1.3, 1008.2, 1008.3)	<input checked="" type="checkbox"/>	Ramps (1010)
<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	Guards (1012)

EXIT ACCESS

<input checked="" type="checkbox"/>	Door number and arrangement (1013.2, 1014.1, 1014.2)	<input checked="" type="checkbox"/>	Egress balconies (1013.5, 1015.3)
<input checked="" type="checkbox"/>	Exit access travel distance (1013.3, 1015.1)	<input checked="" type="checkbox"/>	Corridors (1016)
<input checked="" type="checkbox"/>	Aisles (1013.4)	<input checked="" type="checkbox"/>	Air movement in corridors (1016.4)

EXITS / EXIT DISCHARGE

<input checked="" type="checkbox"/>	Exits/Exit doors (1017, 1018)	<input checked="" type="checkbox"/>	Horizontal exits (1021)
<input checked="" type="checkbox"/>	Interior exit stairways (1019)	<input checked="" type="checkbox"/>	Exterior exit ramps/stairways (1022)
<input checked="" type="checkbox"/>	Exit passageways (1020)	<input checked="" type="checkbox"/>	Exit discharge (1023)

OTHER MEANS OF EGRESS

<input checked="" type="checkbox"/>	Miscellaneous egress requirements (1014.3 - 1014.6)	<input checked="" type="checkbox"/>	Assembly aisles & features (1024.6 - 1024.15)
<input checked="" type="checkbox"/>	Bleachers (1024.1.1)	<input checked="" type="checkbox"/>	Emergency escape and rescue (1025)
<input checked="" type="checkbox"/>	Assembly exits & egress (1024.2 - 1024.5)		

ACCESSIBILITY* (Chapter 11)

PER STATE FIRE + SEE ARCH CERT FORM

<input checked="" type="checkbox"/>	Scoping requirements (1103)	<input checked="" type="checkbox"/>	Dwelling units and sleeping units (1107)
<input checked="" type="checkbox"/>	Accessible route (1104)	<input checked="" type="checkbox"/>	Special occupancies (1108)
<input checked="" type="checkbox"/>	Accessible entrances (1105)	<input checked="" type="checkbox"/>	Features and facilities (1109)
<input checked="" type="checkbox"/>	Parking and passenger loading (1106)	<input checked="" type="checkbox"/>	Signage (1110)

*Also see Accessibility Plan Review Record

INTERIOR ENVIRONMENT (Chapter 12)

- | | |
|---|--|
| <p>_____ <input checked="" type="checkbox"/> Ventilation openings (1203)</p> <p>_____ <input checked="" type="checkbox"/> Temperature control (1204)</p> <p>_____ <input checked="" type="checkbox"/> Lighting (1205)</p> <p>_____ <input checked="" type="checkbox"/> Yards or courts (1206)</p> | <p>_____ <input checked="" type="checkbox"/> Sound transmission (1207)</p> <p>_____ <input checked="" type="checkbox"/> Interior space dimensions (1208)</p> <p>_____ <input checked="" type="checkbox"/> Access to unoccupied spaces (1209)</p> <p>_____ <input checked="" type="checkbox"/> Surrounding materials (1210, 2509)</p> |
|---|--|

BUILDING ENVELOPE (Chapters 13*, 14, 15)

*See Energy Conservation Code Plan Review Record

EXTERIOR WALLS (Chapter 14)

- | | |
|--|---|
| <p>_____ <input checked="" type="checkbox"/> Performance requirements (1403)</p> <p>_____ <input checked="" type="checkbox"/> Materials (1404)</p> | <p>_____ <input checked="" type="checkbox"/> Exterior wall coverings/MCM's (1405, 1407)</p> <p>_____ <input checked="" type="checkbox"/> Combustible material restrictions (1406)</p> |
|--|---|

ROOF ASSEMBLIES AND ROOFTOP STRUCTURES (Chapter 15)

- | | |
|--|---|
| <p>_____ <input checked="" type="checkbox"/> Weather protection (1503)</p> <p>_____ <input checked="" type="checkbox"/> Flashing (1503.2, 1507.2.9, 1507.3.9, 1507.5.6, 1507.7.6, 1507.8.7, 1507.9.8)</p> <p>_____ <input checked="" type="checkbox"/> Performance requirements (1504)</p> <p>_____ <input checked="" type="checkbox"/> Fire classification (1505)</p> | <p>_____ <input checked="" type="checkbox"/> Materials (1506)</p> <p>_____ <input checked="" type="checkbox"/> Roof coverings (1507)</p> <p>_____ <input checked="" type="checkbox"/> Roof insulation (1508)</p> <p>_____ <input checked="" type="checkbox"/> Rooftop structures (1509)</p> <p>_____ <input checked="" type="checkbox"/> Reroofing (1510)</p> |
|--|---|

STRUCTURAL SYSTEMS (Chapters 16, 17, 18)

STRUCTURAL DESIGN (Chapter 16)

STRUCTURAL DESIGN CALCULATIONS

Submitted for all structural members (106.1, 106.1.1)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1603)

Uniformly distributed floor live loads (1603.1.1, 1607)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

- | |
|---|
| <p>_____ <input checked="" type="checkbox"/> Live load reduction (1603.1.1, 1607.9, 1607.10)</p> <p>_____ <input checked="" type="checkbox"/> Roof live loads (1603.1.2, 1607.11)</p> <p>_____ <input checked="" type="checkbox"/> Roof snow loads (1603.1.3, 1608)</p> <p>_____ <input checked="" type="checkbox"/> Ground snow load, P_g (1608.2)</p> <p>_____ <input checked="" type="checkbox"/> If $P_g > 10$ psf, flat-roof snow load, P_f (1608.3)</p> <p>_____ <input checked="" type="checkbox"/> If $P_g > 10$ psf, snow exposure factor, C_e (Table 1608.3.1)</p> <p>_____ <input checked="" type="checkbox"/> If $P_g > 10$ psf, snow load importance factor, I_s (Table 1604.5)</p> <p>_____ <input checked="" type="checkbox"/> Roof thermal factor, C_t (Table 1608.3.2)</p> <p>_____ <input checked="" type="checkbox"/> Sloped roof snowload, P_s (1608.4)</p> |
|---|

DESIGN LOADS (continued)

Wind loads (1603.1.4, 1609)

Design option utilized (1609.1.1, 1609.6)

Basic wind speed (1609.3)

Building category and wind importance factor, I_w (Table 1604.5, 1609.5)

Wind exposure category (1609.4)

Internal pressure coefficient (ASCE 7)

Component and cladding pressures (1609.1.1, 1609.6.2.2)

Main force wind pressures (1609.1.1, 1609.6.2.1)

Earthquake design data (1603.1.5, 1614 - 1623)

Design option utilized (1614.1)

Seismic use group ("Category") (Table 1604.5, 1616.2)

Spectral response coefficients, S_{DS} & S_{D1} (1615.1)

Site class (1615.1.5)

Seismic design category (1616.3)

Basic seismic-force-resisting system (Table 1617.6.2)

Response modification coefficient, R , and deflection amplification factor, C_d (Table 1617.6.2)

Analysis procedure (1616.6, 1617.5)

Design base shear (1617.4, 1617.5.1)

Flood loads (1603.1.6, 1612)

Flood hazard area (1612.3)

Elevation of structure

Other loads

Concentrated loads (1607.4)

Partition loads (1607.5)

Impact loads (1607.8)

Misc. loads (Table 1607.6, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

SEE CHAP FORU

QUALITY ASSURANCE (Chapter 17)

Approvals/Research report(s) (1703, 1703.4.2) Report No. _____

Owner's special inspection program specified (1704.1.1)

Prefabricated items (1704.2)

Steel construction (1704.3)

Concrete construction (1704.4)

Masonry construction (1704.5)

Wood construction (1704.6)

Prepared fill and foundations (1704.7, 1704.8, 1704.9)

Wall panels and veneers/EIFS (1704.10, 1704.12)

Sprayed fire-resistant materials (1704.11)

Quality assurance plan - Seismic/Wind (1705, 1706)

Seismic resistance (1707)

Structural testing/Observations (seismic) (1708, 1709)

Testing (other) (1710 - 1715)

SOILS AND FOUNDATIONS (Chapter 18)

Soils investigations/Reports (1802.1, 1802.6)

Soil classification (1802.3)

Excavation, grading and fill (1803)

Load-bearing values (1804)

Footings and foundations (1805)

Retaining walls (1806)

Dampproofing and waterproofing (1807)

Foundations (other types) (1808 - 1812)

STRUCTURAL MATERIALS (Chapters 19, 21, 22, 23)

CONCRETE (Chapter 19)

<input checked="" type="checkbox"/>	Plain and reinforced concrete design/construction standard specified (1901.2, 1908)	<input checked="" type="checkbox"/>	Hot weather and cold weather curing specified (1905.12, 1905.13)
<input checked="" type="checkbox"/>	Construction documents (1901.4)	<input checked="" type="checkbox"/>	Seismic design (1910)
<input checked="" type="checkbox"/>	Minimum concrete strength (Table 1904.2.2[2])	<input checked="" type="checkbox"/>	Slab provisions (1911)

MASONRY (Chapter 21)

<input checked="" type="checkbox"/>	Design method, construction standard specified (2101.2)	<input checked="" type="checkbox"/>	Cold weather and hot weather construction specified (2104.3, 2104.4)
<input checked="" type="checkbox"/>	Construction documents (2101.3)	<input checked="" type="checkbox"/>	Seismic design (2106)
<input checked="" type="checkbox"/>	Construction materials (2103)	<input checked="" type="checkbox"/>	Glass unit masonry (2110)
<input checked="" type="checkbox"/>	Mortar type (2103.7)	<input checked="" type="checkbox"/>	Fireplaces/Heaters/Chimneys (2111, 2112, 2113)

STEEL (Chapter 22)

<input checked="" type="checkbox"/>	Structural steel design/construction standard specified (2205)	<input checked="" type="checkbox"/>	Cold-formed steel design/construction standard specified (2209)
<input checked="" type="checkbox"/>	Open-web steel joist design/construction standard specified (2206)	<input checked="" type="checkbox"/>	Light framed cold-formed steel design/construction standard specified (2210)
<input checked="" type="checkbox"/>	Steel cable structures (2207)	<input checked="" type="checkbox"/>	Wind/seismic design of light-framed, cold-formed steel shear walls (2211)
<input checked="" type="checkbox"/>	Steel storage racks (2208)		

WOOD (Chapter 23)

<input checked="" type="checkbox"/>	Design method option used (2301.2)	<input checked="" type="checkbox"/>	Heavy timber construction (2304.10)
<input checked="" type="checkbox"/>	MATERIAL STANDARDS / CONSTRUCTION REQUIREMENTS (2303 - 2306)	<input checked="" type="checkbox"/>	Shear walls and diaphragms (2305, 2306)
<input checked="" type="checkbox"/>	Lumber (2303.1.1)	<input checked="" type="checkbox"/>	CONVENTIONAL LIGHT-FRAME CONSTRUCTION (2308)
<input checked="" type="checkbox"/>	Wood I-joists (2303.1.2)	<input checked="" type="checkbox"/>	Limitations satisfied (2308.2)
<input checked="" type="checkbox"/>	Glue laminated timbers (2303.1.3)	<input checked="" type="checkbox"/>	Wind/Seismic requirements (2308.2.1, 2308.2.2, 2308.11, 2308.12)
<input checked="" type="checkbox"/>	Wood structural panels (2303.1.4, 2304.6, 2304.7)	<input checked="" type="checkbox"/>	Braced walls (2308.3, 2308.9.3)
<input checked="" type="checkbox"/>	Fiber-, hard-, & particle-, boards (2303.1.5 - 2303.1.7)	<input checked="" type="checkbox"/>	Foundation anchorage (2308.3.3, 2308.6)
<input checked="" type="checkbox"/>	Decay and termite protection (2303.1.8, 2304.11)	<input checked="" type="checkbox"/>	Floor joists (Tables 2308.8[1], 2308.8[2])
<input checked="" type="checkbox"/>	Structural composite lumber (2303.1.9)	<input checked="" type="checkbox"/>	Wall studs (Table 2308.9.1)
<input checked="" type="checkbox"/>	Fire-retardant-treated wood (2303.2)	<input checked="" type="checkbox"/>	Girders (Tables 2308.9.5, 2308.9.6)
<input checked="" type="checkbox"/>	Hardwood plywood (2303.3)	<input checked="" type="checkbox"/>	Ceiling joists (Tables 2308.10.2[1], 2308.10.2[2])
<input checked="" type="checkbox"/>	Metal plate connected trusses (2303.4)	<input checked="" type="checkbox"/>	Roof rafters (Tables 2308.10.3[1] - 2308.10.3[6])
<input checked="" type="checkbox"/>	Joist hangers and connectors (2303.5)	<input checked="" type="checkbox"/>	Roof uplift (2308.10.1)
<input checked="" type="checkbox"/>	Fasteners and fastening (2303.6, 2304.9, Table 2304.9.1)		

NONSTRUCTURAL MATERIALS (Chapters 24, 25, 26)

GLASS AND GLAZING (Chapter 24)

 N/A Sloped glazing and skylights (2405) Safety glazing (2406, 2407, 2408, 2409)

GYP SUM BOARD AND PLASTER (Chapter 25)

 Gypsum board materials (2506, Table 2506.2) *N/A* Plaster (2507, 2508, 2510 - 2513)

PLASTIC (Chapter 26)

 FOAM PLASTIC INSULATION (2603) Special approval (2603.8)

 Labeling (2603.2, 2603.5.6) MISCELLANEOUS PLASTICS

 Surface-burning characteristics (2603.3, 2603.5.4) Interior finish and trim (2604)

 Thermal barrier (2603.4) Plastic veneer (2605)

 Exterior walls/Roofs (2603.5, 2603.6) Light-transmitting plastics (2606 - 2611)

BUILDING SERVICES* (Chapters 27, 28, 29, 30)

ELEVATORS AND CONVEYING SYSTEMS (Chapter 30)

 PER STATE Construction standard specified (3001.2) Hoistway venting (3004)

 Hoistway enclosures (3002) Conveying systems (3005)

 Opening protectives (3002.1.1) Machine rooms (3006)

 Emergency operations (3003)

* Also see Electrical (Ch.27), Mechanical (Ch.28) and Plumbing (Ch.29) Plan Review Records

SPECIAL DEVICES AND CONDITIONS (Chapters 31, 34)

SPECIAL CONSTRUCTION (Chapter 31)

 Membrane structures (3102) PEDESTRIAN WALKWAYS AND TUNNELS (3104)

 Awnings and canopies/Marqueses (3105, 3106) Construction and use (3104.3, 3104.4)

 Signs (3107) Separation (3104.5, 3104.10)

 Radio and television towers (3108) Public way (3104.6)

 Swimming pool enclosures (3109) Egress/Ventilation (3104.7 - 3104.9, 3104.11)

EXISTING STRUCTURES (Chapter 34)

 Additions, alterations, repairs (3403) Accessibility (3409)

 Fire escapes (3404) Compliance alternatives (3410)

 Change of occupancy (3406)

Statement of Special Inspections

Project: Ocean Gateway Parking Garage
Location: Portland, Maine
Owner: Ocean Gateway Garage LLC*
Owner's Address: 2 Market Street, Suite 500, Portland ME 04101
Architect of Record: Scott Simons Architects
Structural Engineer of Record: Simon Design Engineering, LLC

This *Statement of Special Inspections* is submitted as a condition for permit issuance in accordance with the Special Inspection requirements of the International Building Code. It includes a Schedule of Special Inspection Services applicable to this project as well as the name of the Special Inspector and the identity of other approved agencies intended to be retained for conducting these inspections.

The Special Inspector shall keep records of all inspections and shall furnish inspection reports to the Building Official, Structural Engineer of Record, and Architect of Record. Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official, Structural Engineer of Record, and Architect of Record. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official, Owner, Structural Engineer of Record, and Architect of Record.

A *Final Report of Special Inspections* documenting completion of all required Special Inspections and correction of any discrepancies noted in the inspections shall be submitted prior to issuance of a Certificate of Use and Occupancy.

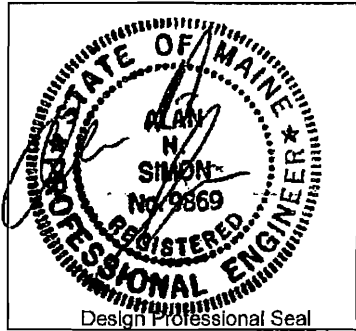
Job site safety, and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: Monthly

Prepared by:
Alan H. Simon, P.E.


Signature

date



Owner's Authorization:

Building Official's Acceptance:

Signature date

Signature date

Schedule of Special Inspection Services

The following sheets comprise the required schedule of special inspections for this project. The construction divisions which require special inspections for this project are as follows:

- | | |
|--|---|
| <ul style="list-style-type: none"> X Soils and Foundations X Cast-In-Place Concrete X Precast Concrete X Masonry X Structural Steel | <ul style="list-style-type: none"> Cold-Formed Steel Framing X Spray Fire Resistive Material Wood Construction Exterior Insulation and Finish System Special Cases |
|--|---|

Inspection Agents	Firm	Address
1. Special Inspector Richard Libardoni	Intercontinental Developers Inc.	1270 Soldiers Field Rd. Boston, MA
2. Testing Laboratory	John Turner Consulting Inc	19 Dover Street Dover NH 03820
3. Testing Laboratory Wayne Chadbourne	Haley & Aldrich, Inc.	75 Washington Avenue Suite 203 Portland, Maine 04101-2617
4. Testing Laboratory	John Turner Consulting Inc	19 Dover Street Dover NH 03820

Note: The qualifications of all personnel performing Special Inspection activities are subject to the approval of the Building Official.

The inspection and testing agent shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

The credentials of all inspectors and testing technicians shall be provided if requested.

It is recommended that the person administering the Special Inspections program be a Professional Engineer experienced in the design of buildings.

Key for Minimum Qualifications of Inspection Agents (where indicated on Schedule)	
PE	Professional Engineer
EIT	Engineer in Training
ACI	American Concrete Institute Certified Concrete Field Testing Technician
AWS	American Welding Society Certified Welding Inspector
ASNT	American Society of Non-Destructive Testing – Level II or III

Qualifications of inspection agents may be indicated on the Schedule in instances where the Structural Engineer deems such requirements are appropriate.

Item	Agent No. (Qualif.)	Scope
1. Shallow Foundations	3 (EIT)	Inspect bearing surfaces for conformance to the requirements of the structural drawings, specifications, and/or geotechnical report
2. Controlled Structural Fill	3 (EIT)	Test material for conformance to specifications or geotechnical report. Perform laboratory compaction tests in accordance with the specifications to determine optimum water content and maximum dry density. Provide full-time inspection of the installation. Perform field density tests of the in-place fill.
3. Deep Foundations	3 (EIT)	Inspect documents identifying pile material and certifying grade of material for conformance to the Contract Documents, and that the identification is maintained from the point of manufacture to the point of delivery to the site. Perform full time inspection of installation. Maintain accurate records for each pile. Monitor dynamic pile load tests and modify pile capacity/installation as required. Record final location of each pile in plan.
4. Other	N/A	

Item	Agent No. (Qualif.)	Scope
1. Mix Design	4 SER	Review mix designs.
2. Material Certification	4 (ACI) SER	Review for conformance to specifications.
3. Reinforcement Installation	4	Inspect reinforcing for size, quantity, condition and placement.
4. Post-Tensioning Operations	N/A	Inspect tensioning and anchorage of tendons. Inspect grouting of bonded tendons.
5. Batching Plant	4 (ACI)	Review Plant quality control procedures and batching and mixing methods.
6. Formwork Geometry	4	Inspect form sizes.
7. Concrete Placement	4	Observe concrete placement operations. Verify conformance to specifications including cold-weather and hot-weather placement procedures. Perform slump, density and air content tests at point of discharge.
8. Evaluation of Concrete Strength	4	Test and evaluate in accordance with the specifications.
9. Curing and Protection	4	Observe procedures for conformance to the specifications.
10. Other		

Item	Agent No. (Qualif.)	Scope
1. Material Certification	4 SER	Review for conformance to specifications.
2. Mixing of Mortar and Grout	4	Inspect field-mixing procedures for conformance to the specifications.
3. Installation of Masonry	4	Inspect placement for conformance to the specifications.
4. Reinforcement Installation	4	Inspect reinforcing steel for size, quantity, condition and placement for conformance to approved submittals and Contract Documents. Inspect welding of reinforcement and review welder's certifications.
5. Grouting Operations	4	Inspect grouting procedures for conformance with the specifications. Inspect cells prior to grouting.
6. Weather Protection	4	Inspect protection for cold and hot weather for conformance with the specifications.
7. Evaluation of Masonry Strength	4	Verify strength in accordance with the specifications.
8. Anchors and Ties	4	Inspect anchorage of masonry to other construction for conformance to the Contract Documents.
9. Other		

Item	Agent No. (Qualif.)	Scope
1. Fabricator Certification/ Quality Control Procedures	2 (PE) [SER]	Review each Fabricator's quality control procedures. Inspect in-plant fabrication, or review Fabricator's approved Independent Inspection Agency's reports.
2. Material Certification	2 (PE) [SER]	Review for conformance to the specifications.
3. Open Web Steel Joists	N/A	Inspect for size, placement, bridging, bearing and connection to structure. Visually inspect all welds of a minimum of 5% of the joists, randomly selected.
4. Bolting	2 (PE)	Test and inspect bolted connections in accordance with specifications. Verify bolt size and grade.
5. Welding	2 (AWS)	Check welder qualifications. Visually inspect fillet welds and test full-penetration field welds in accordance with specifications.
6. Shear Connectors	2 (PE)	Inspect for size and placement. Test for proper weld attachment.
7. Structural Details	2 (PE)	Review for conformance to the specifications.
8. Metal Deck	2 (PE)	Verify gage, width, and type. Inspect placement, laps, welds, side lap attachment and screws or other mechanical fasteners. Check welder qualifications.
9. Other		

Item	Agent No. (Qualif.)	Scope
1. Material Specifications	4	Review for conformance to contract documents.
2. Laboratory Tested Fire Resistance Design	4	Review for conformance to contract documents.
3. Schedule of Thickness	4	Review for conformance to contract documents.
4. Surface Preparation	4	Inspect surface preparation and review for conformance to contract documents and approved submittals.
5. Application	4	Verify installation procedures. Review for conformance to contract documents and approved submittals.
6. Curing and Ambient Condition	4	Verify curing procedures and review for conformance to contract documents and approved submittals.
7. Thickness	4	Verify applied thickness and review for conformance to contract documents and approved submittals.
8. Density	4	Verify applied density and review for conformance to contract documents and approved submittals.
9. Bond Strength	4	Verify bond strength and review for conformance to contract documents and approved submittals.
10. Other		

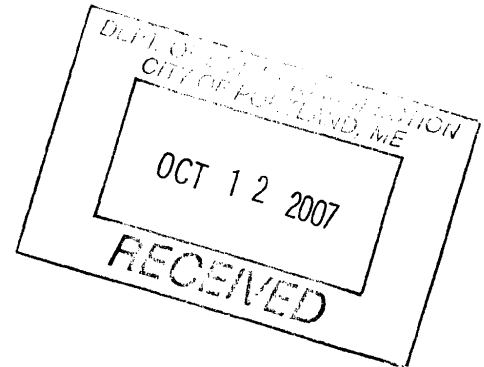
Ocean Gateway Parking Garage
Open Parking Garage Calculations

North Elevation

Floor Level	Gross Area	Net Free Area
Ground Floor	2653.55	590.04
First Floor	2590	513.64
Second Floor	2590	513.64
Third Floor	2590	513.64
Forth Floor	2590	513.64
Fifth Floor	2590	513.64

East Elevation

Floor Level	Gross Area	Net Free Area
Ground Floor	1220.76	403.15
First Floor	1208	342.70
Second Floor	1208	342.70
Third Floor	1208	342.70
Forth Floor	1208	342.70
Fifth Floor	1208	342.70



South Elevation

Floor Level	Gross Area	Net Free Area
Ground Floor	2927.58	163.22
First Floor	2592.49	126.24
Second Floor	2592.49	679.53
Third Floor	2592.49	679.53
Forth Floor	2592.49	679.53
Fifth Floor	2592.49	679.53

West Elevation

Floor Level	Gross Area	Net Free Area
Ground Floor	1291.87	470.19
First Floor	1208	463.8
Second Floor	1208	463.8
Third Floor	1208	404.7
Forth Floor	1208	463.8
Fifth Floor	1208	404.7

Combined Elevations

Floor Level	Gross Area	Net Free Area	% Open
Ground Floor	8093.76	1626.60	20%
First Floor	7598.49	1546.38	20.3%
Second Floor	7598.49	2099.67	27.6%
Third Floor	7598.49	2040.57	26.8%
Forth Floor	7598.49	2099.67	27.6%
Fifth Floor	7598.49	2040.57	26.8%

Ocean Gateway Parking Garage
Open Parking Garage Calculations

Linear Open Area

Floor Level	Gross Length	Net Open Length	% Open
Ground Floor	747'-8"	193'-7 3/4"	25.9% *
First Floor	747'-8"	293'-8 1/2"	39% *
Second Floor	747'-8"	528'-3"	70.6%
Third Floor	747'-8"	516'-3"	69%
Forth Floor	747'-8"	528'-3"	70.6%
Fifth Floor	747'-8"	516'-3"	69%

* See exception 406.3.3.1. Openings provided on East and West elevations.

Interior Open Walls

This garage has no interior walls. Typical structure between north ramp and south ramp greater then 20% open.



Scott Simons Architects

75 York Street
Portland, Maine 04101
phone 207 772 4656
fax 207 828 4656
www.simonsarchitects.com

MEMORANDUM

date: 8/31/2007
project: OCEAN GATEWAY GARAGE: 2005-0161
to: Steven M Pitts
Ledgewood Construction
27 Main Street
South Portland, ME 04106

phone: (207) 767-1866
fax: (207) 767-1869

subject: Inspections Conditions

- 1) SDE to provide Code Compliance Certificate.
- 2) LC to modify application
- 3) OK
- 4) The drop in metal stair meets as applicable codes. - *per Steve Pitts 7'-11"*
- 5) See attached openness calculations
- 6) See sheet A603 for typical details and section of a guard rail.
- 7) 1 HR & 2 HR CMU Walls UL design U905 typical.
- 8) Net width of East stair
Between Guards: 3'-9 3/4"
Between Handrails: 3'-2 1/4"
Handicapped emergency egress on east side is via the elevator so wider stairs are not required.
- 9) Stair treads and risers
Stair treads: 11" deep
Stair risers: 7" max

project: Ocean Gateway Garage

date: 10/01/2007

From: Mike Nugent
To: Lannie Dobson, Jeanie Bourke, scott@simonsarchitects.com
CC: Spitts@ledgewoodconstruction.com
Date: Saturday - September 29, 2007
Subject: Re: FW: Ocean Gateway Garage 20 F001

I've completed my review have the following questions/comments:

- 1) Because the Code Compliance Certification for signed off on my Scott is limited to the Acrchitecturals and specs , the engineer must do a separate Cert. Form.
- 2) The "Page 3" Cert form does not call out the "M" use group just the "S2" please revise.
- 3) A separate permit for the fit up of the "M" space will be required.
- 4) The "Drop in Steel Stair" must meet all portions of the code for a "Normal " Stair.
- 5)Openess Calculations: Please provide a summary document for all 4 sides that simply say " The north elevation has XX% open areas and the code requires xx%" do the same with the linear percentages as well and this needs to be done for all 4 sides.Fill in the "xx's" of course with the actual net percentage...Subtract any doors, grills, meshes , guards etc.
- 6) Please help me understand how the guards will be particularly along the parking areas that abut the ramps.
- 7) Please provide Details and ul listing for all fire spearation assemblies.
- 8) Please confirm the net width of the East Stairway.
- 9) Please confir that the Stair treads will be at least 11 inches and the risers will not exceed 7 inches.

We're in pretty good shape to sign off before I go on vacation (Wednesday) if you get this info in on Monday. I'll Bring the permit to City Hall on Monday.

Thanks,

Mike Nugent
Consulting Plans Examiner
City of Portland



Certificate of Design

Date: AUGUST 7, 2007

From: SCOTT SIMONS ARCHITECTS

These plans and / or specifications covering construction work on:

OCEAN GATEWAY GARAGE

ARCHITECTURAL DRAWINGS AND SPECIFICATIONS

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

Signature: 

Title: President

Firm: SCOTT SIMONS ARCHITECTS

Address: 75 YORK STREET

PORTLAND, ME 04101

Phone: 207-772-4656



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Accessibility Building Code Certificate

Designer: SCOTT SIMONS ARCHITECTS

Address of Project: FORE & MIDDLE STREETS

Nature of Project: OCEAN GATEWAY PARKING
GARAGE ARCHITECTURAL
DRAWINGS & SPECIFICATIONS.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

Signature: *[Handwritten Signature]*

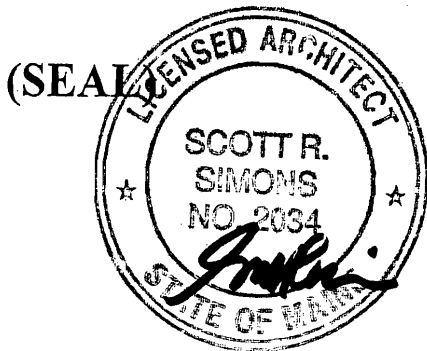
Title: President

Firm: SCOTT SIMONS ARCHITECTS

Address: 75 YORK STREET

PORTLAND, ME 04101

Phone: 207-772-4656



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design Application

From Designer: SIMON DESIGN ENGINEERING, LLC
 Date: 12.21.06
 Job Name: OCEAN GATEWAY GARAGE
 Address of Construction: MIDDLE ST, PORTLAND, ME 04101

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) S-2

Type of Construction II-B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC HOT RQD

Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) SEP.

Supervisory alarm System? _____ Geotechnical/Soils report required? (See Section 1802.2) YES

Structural Design Calculations

No. Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Floor Area Use	Loads Shown
<u>PARKING DECK</u>	<u>40 psf</u>
<u>STAIRS</u>	<u>100 psf / 500# / 4"²</u>
<u>STORAGE</u>	<u>125 psf</u>
<u>EQUIP RM</u>	<u>150 psf</u>
<u>LOBBY</u>	<u>100 psf</u>

Wind loads (1603.1.4, 1609)

ASCE 7 Design option utilized (1609.1.1, 1609.6)
100 mph Basic wind speed (1809.3)
1.00 Building category and wind importance Factor, w table 1604.5, 1609.5)
D Wind exposure category (1609.4)
0 Internal pressure coefficient (ASCE 7)
37.2 / -40.3 psf Component and cladding pressures (1609.1.1, 1609.6.2.2)
31.5 / -37.8 psf Major force wind pressures (7603.1.1, 1609.6.2.1)

PER 500# EFF WIND AREA

Earth design data (1603.1.5, 1614-1623)

_____ Design option utilized (1614.1)
I Seismic use group ("Category")
0.371 / 0.160 Spectral response coefficients, SDs & SD1 (1615.1)
C Site class (1615.1.5)

20% Live load reduction
SNOW Roof live loads (1603.1.2, 1607.11)
 _____ Roof snow loads (1603.7.3, 1608)
50 psf Ground snow load, P_g (1608.2)
42 psf If $P_g > 10$ psf, flat-roof snow load P_f
1.0 If $P_g > 10$ psf, snow exposure factor, C_e
1.0 If $P_g > 10$ psf, snow load importance factor, I_s
1.2 Roof thermal factor, C_t (1608.4)
N/A Sloped roof snowload, P_s (1608.4)
B Seismic design category (1616.3)
OSMF Basic seismic force resisting system (1617.6.2)
3/3 Response modification coefficient, R and deflection amplification factor, C_d (1617.6.2)
ELFP Analysis procedure (1616.6, 1617.5)
805.9K Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

_____ Flood Hazard area (1612.3)
24 Elevation of structure

Other loads

3000# / 4.5"² Concentrated loads (1607.4)
50 plf Partition loads (1607.5)
 _____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

FROM DESIGNER:

Simon Design Engineering, LLC

DATE:

12-21-06

Job Name:

Ocean Gateway Parking Structure

Address of Construction:

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year IBC 2003

Use Group Classification(s) S-2

Type of Construction IFB

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC? Yes - not required.

Is the Structure mixed use? Yes If yes, separated or non separated (see Section 302.3) separated

Supervisory alarm system? Geotechnical/Soils report required? (See Section 1802.2) Yes

STRUCTURAL DESIGN CALCULATIONS

NO. Submitted for all structural members (1003.1, 1003.1.1)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1003)

Uniformly distributed floor live loads (703.2.1, 1007)

Floor Area Use	Loads Shown
<u>PARKING DECK</u>	<u>40 psf</u>
<u>STAIRS</u>	<u>100 psf / 500^{lb}/4^{ft}</u>
<u>STORAGE</u>	<u>125 psf</u>
<u>EQUIPMENT RM</u>	<u>150 psf</u>
<u>LOBBIES</u>	<u>100 psf</u>

20% Live load reduction (1003.1.4, 1007.8, 1007.10)
SNOW GCM Roof live loads (1003.1.2, 1007.11)

Floor snow loads (703.7.3, 1008)
50 psf Ground snow load, P_g (1008.2)
42 psf If P_g > 10 psf, flat-roof snow load, P_f (1008.3)
1.0 If P_g > 10 psf, snow exposure factor, C_e (Table 1002.3.1)
1.0 If P_g > 10 psf, snow-load importance factor, I_s (Table 1004.5)
1.2 Roof thermal factor, C_t (Table 1009.3.2)
N/A Sloped roof snowload, P_s (1008.4)

Wind loads (1609.1.4, 1609)

ASCE 7 Design option utilized (1609.1.1, 1609.2)
100 mph Basic wind speed (1609.3)
1.00 Building category and wind importance factor, I_w (Table 1604.5, 1609.5)
D Wind exposure category (1609.4)
0 Internal pressure coefficient (1609.7)

B Seismic design category (1616.5)
OSMF Basic seismic-force-resisting system (1617.5.2)
3/3 Response modification coefficient, R_s, and deflection amplification factor, C_d (Table 1617.5.2)
ELFP Analysis procedure (1617.5, 1617.5)
805.9K Design base shear (1617A, 1617.5.1)

37.2-40.2 psf Component and cladding pressures (1609.1.1, 1609.5.2.2)

31.57-37.8 psf Main force wind pressures (703.1.1, 1609.5.2.1)

Flood loads (1603.1.4, 1612)
ND Flood hazard area (1612.3)
6.9 Elevation of structure

Earthquake design data (1609.1.2, 1614, 1625)

I Design option utilized (1614.1)

I Seismic use group ("Category") (Table 1604.5, 1616.2)

0.371/0.160 Spectral response coefficients, S_{DS} & S_{D1} (1615.1)

C S_{MS} class (1616.1.5)

Other loads
3000 lb / 4.5^{sq} AREA Concentrated loads (1607A)
50 psf Partition loads (1607.5)
6^K BARRIER Impact loads (1607.2)

Misc. loads (Table 1607.2, 1607.2.1, 1607.7, 1607.12, 1607.19, 1610, 1611, 1606)

PER 500^{sq} EFFECTIVE WIND AREA

Statement of Special Inspections

Project: Ocean Gateway Parking Garage
Location: Portland, Maine
Owner: Ocean Gateway Garage LLC
Owner's Address: 2 Market Street, Suite 500, Portland ME 04101
Architect of Record: Scott Simons Architects
Structural Engineer of Record: Simon Design Engineering, LLC

This *Statement of Special Inspections* is submitted as a condition for permit issuance in accordance with the Special Inspection requirements of the International Building Code. It includes a Schedule of Special Inspection Services applicable to this project as well as the name of the Special Inspector and the identity of other approved agencies intended to be retained for conducting these inspections.

The Special Inspector shall keep records of all inspections and shall furnish inspection reports to the Building Official, Structural Engineer of Record, and Architect of Record. Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official, Structural Engineer of Record, and Architect of Record. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official, Owner, Structural Engineer of Record, and Architect of Record.

A *Final Report of Special Inspections* documenting completion of all required Special Inspections and correction of any discrepancies noted in the inspections shall be submitted prior to issuance of a Certificate of Use and Occupancy.

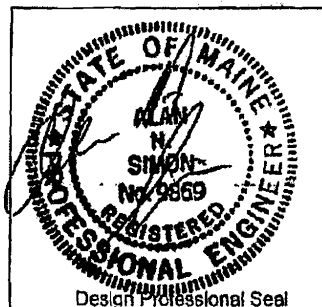
Job site safety, and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: Monthly

Prepared by:


Alan H. Simon, P.E.


Signature _____ date 06/21/07



Owner's Authorization:

Building Official's Acceptance:


Signature _____ date 8/15/07

Signature _____ date _____

Schedule of Special Inspection Services

The following sheets comprise the required schedule of special inspections for this project. The construction divisions which require special inspections for this project are as follows:

- | | |
|--------------------------|---------------------------------------|
| X Soils and Foundations | Cold-Formed Steel Framing |
| X Cast-In-Place Concrete | X Spray Fire Resistive Material |
| X Precast Concrete | Wood Construction |
| X Masonry | Exterior Insulation and Finish System |
| X Structural Steel | Special Cases |

Inspection Agents	Firm	Address
1. Special Inspector Richard Libardoni	Intercontinental Developers Inc.	1270 Soldiers Field Rd. Boston, MA
2. Testing Laboratory	John Turner Consulting Inc	19 Dover Street Dover NH 03820
3. Testing Laboratory Wayne Chadbourne	Haley & Aldrich, Inc.	75 Washington Avenue Suite 203 Portland, Maine 04101-2617
4. Testing Laboratory	John Turner Consulting Inc	19 Dover Street Dover NH 03820

Note: The qualifications of all personnel performing Special Inspection activities are subject to the approval of the Building Official.

The inspection and testing agent shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

The credentials of all inspectors and testing technicians shall be provided if requested.

It is recommended that the person administering the Special Inspections program be a Professional Engineer experienced in the design of buildings.

Key for Minimum Qualifications of Inspection Agents (where indicated on Schedule)	
PE	Professional Engineer
EIT	Engineer In Training
ACI	American Concrete Institute Certified Concrete Field Testing Technician
AWS	American Welding Society Certified Welding Inspector
ASNT	American Society of Non-Destructive Testing – Level II or III

Qualifications of inspection agents may be indicated on the Schedule in instances where the Structural Engineer deems such requirements are appropriate.

Item	Agent No. (Qualif.)	Scope
1. Shallow Foundations	3 (EIT)	Inspect bearing surfaces for conformance to the requirements of the structural drawings, specifications, and/or geotechnical report
2. Controlled Structural Fill	3 (EIT)	Test material for conformance to specifications or geotechnical report. Perform laboratory compaction tests in accordance with the specifications to determine optimum water content and maximum dry density. Provide full-time inspection of the installation. Perform field density tests of the in-place fill.
3. Deep Foundations	3 (EIT)	Inspect documents identifying pile material and certifying grade of material for conformance to the Contract Documents, and that the identification is maintained from the point of manufacture to the point of delivery to the site. Perform full time inspection of installation. Maintain accurate records for each pile. Monitor dynamic pile load tests and modify pile capacity/installation as required. Record final location of each pile in plan.
4. Other	N/A	

Item	Agent No. (Qualif.)	Scope
1. Mix Design	4 SER	Review mix designs.
2. Material Certification	4 (ACI) SER	Review for conformance to specifications.
3. Reinforcement Installation	4	Inspect reinforcing for size, quantity, condition and placement.
4. Post-Tensioning Operations	N/A	Inspect tensioning and anchorage of tendons. Inspect grouting of bonded tendons.
5. Batching Plant	4 (ACI)	Review Plant quality control procedures and batching and mixing methods.
6. Formwork Geometry	4	Inspect form sizes.
7. Concrete Placement	4	Observe concrete placement operations. Verify conformance to specifications including cold-weather and hot-weather placement procedures. Perform slump, density and air content tests at point of discharge.
8. Evaluation of Concrete Strength	4	Test and evaluate in accordance with the specifications.
9. Curing and Protection	4	Observe procedures for conformance to the specifications.
10. Other		

Item	Agent No. (Qualif.)	Scope
1. Material Certification	4 SER	Review for conformance to specifications.
2. Mixing of Mortar and Grout	4	Inspect field-mixing procedures for conformance to the specifications.
3. Installation of Masonry	4	Inspect placement for conformance to the specifications.
4. Reinforcement Installation	4	Inspect reinforcing steel for size, quantity, condition and placement for conformance to approved submittals and Contract Documents. Inspect welding of reinforcement and review welder's certifications.
5. Grouting Operations	4	Inspect grouting procedures for conformance with the specifications. Inspect cells prior to grouting.
6. Weather Protection	4	Inspect protection for cold and hot weather for conformance with the specifications.
7. Evaluation of Masonry Strength	4	Verify strength in accordance with the specifications.
8. Anchors and Ties	4	Inspect anchorage of masonry to other construction for conformance to the Contract Documents.
9. Other		

Item	Agent No. (Qualif.)	Scope
1. Fabricator Certification/ Quality Control Procedures	2 (PE) [SER]	Review each Fabricator's quality control procedures. Inspect In-plant fabrication, or review Fabricator's approved Independent Inspection Agency's reports.
2. Material Certification	2 (PE) [SER]	Review for conformance to the specifications.
3. Open Web Steel Joists	N/A	Inspect for size, placement, bridging, bearing and connection to structure. Visually inspect all welds of a minimum of 5% of the joists, randomly selected.
4. Bolting	2 (PE)	Test and inspect bolted connections in accordance with specifications. Verify bolt size and grade.
5. Welding	2 (AWS)	Check welder qualifications. Visually inspect fillet welds and test full-penetration field welds in accordance with specifications.
6. Shear Connectors	2 (PE)	Inspect for size and placement. Test for proper weld attachment.
7. Structural Details	2 (PE)	Review for conformance to the specifications.
8. Metal Deck	2 (PE)	Verify gage, width, and type. Inspect placement, laps, welds, side lap attachment and screws or other mechanical fasteners. Check welder qualifications.
9. Other		

Item	Agent No. (Qualif.)	Scope
1. Material Specifications	4	Review for conformance to contract documents.
2. Laboratory Tested Fire Resistance Design	4	Review for conformance to contract documents.
3. Schedule of Thickness	4	Review for conformance to contract documents.
4. Surface Preparation	4	Inspect surface preparation and review for conformance to contract documents and approved submittals.
5. Application	4	Verify installation procedures. Review for conformance to contract documents and approved submittals.
6. Curing and Ambient Condition	4	Verify curing procedures and review for conformance to contract documents and approved submittals.
7. Thickness	4	Verify applied thickness and review for conformance to contract documents and approved submittals.
8. Density	4	Verify applied density and review for conformance to contract documents and approved submittals.
9. Bond Strength	4	Verify bond strength and review for conformance to contract documents and approved submittals.
10. Other		



General Building Permit Application

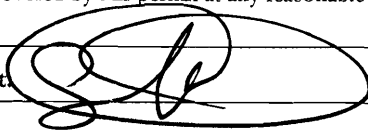
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>163 FORE STREET PORTLAND, ME 04101</u>		
Total Square Footage of Proposed Structure <u>RETAIL 5,070 SF</u> <u>GARAGE 212,000 SF</u>		Square Footage of Lot <u>37,626 SF</u>
Tax Assessor's Chart, Block & Lot Chart# <u>20</u> Block# <u>F</u> Lot# <u>1</u>	Owner: <u>OCEAN GATEWAY GARAGE LLC</u>	Telephone: <u>(207) 775-2464</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>LEDGEWOOD CONSTRUCTION</u> <u>27 MAIN ST</u> <u>S. PORTLAND ME</u> <u>04106</u>	Cost Of Work: \$ <u>10,037,612</u> Fee: \$ <u>100,396</u> C of O Fee: \$ _____
Current legal use (i.e. single family) <u>Vacant lot</u> If vacant, what was the previous use? <u>PARKING LOT</u> Proposed Specific use: <u>PARKING GARAGE</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <div style="border: 1px solid black; padding: 5px; display: inline-block; text-align: center;">DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME AUG 20 2007</div> <u>720 Stall PG</u> <u>Retail 5,070 SF</u>		
Contractor's name, address & telephone: <u>LEDGEWOOD CONSTRUCTION 27 MAIN ST. S. PORTLAND, ME</u> Who should we contact when the permit is ready: <u>STEVE PITTS</u> <u>(207) 767-1866</u> Mailing address: _____ Phone: <u>207 767 1866</u> <u>27 MAIN ST.</u> <u>S. PORTLAND, ME 04106</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>8/17/07</u>
---	----------------------

This is not a permit; you may not commence ANY work until the permit is issued.

S. PITTS, LEDGEWOOD CONSTRUCTION

Applicant: Ocean Gateway Garage LLC

Date: 4/19/06

Address: 167 Fore St

C-B-L: ~~20-C-9~~ 020-F-009
~~20-C-23~~

Fore St - Longfellow Garage

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New construction

foundation only - #06-1824

Zone Location - B-5b

#20-C-009

Interior or corner lot - 25 India St

New CBLIS because of lot
Division's Extension of
Hancock St

Proposed Use/Work -

Bldg Permit #07-1013

Sewage Disposal - city

Lot Street Frontage -

ok -> Front Yard - ^{Adding the retail now} - MAX front yard setback in B-5b = 10'

Rear Yard - None

Side Yard - req

Projections -

Width of Lot -

ok -> Height - 65' MAX
3 floors min
Lot Area - N/A min req -

for 25 India St - showing 64' to top of beam
- for Longfellow Garage - 64' & 68' scaled - No backup
of the average grade
to lowest level over 3 stories high

Lot Coverage/ Impervious Surface - 100% allowed

Area per Family - 10 DU per acre (43,560 sq ft) N/A

Off-street Parking -

Loading Bays - N/A

Site Plan -

#2005-0271 2006-0235

Shoreland Zoning/ Stream Protection -

N/A

Flood Plains -

Panel 1A - Zone C

CITY OF PORTLAND, MAINE

ZONING BOARD OF APPEALS

APPEAL AGENDA

The Board of Appeals will hold a public hearing on Thursday, January 18, 2007 at 6:30 p.m. on the second floor, Room 209, City Hall, 389 Congress Street, Portland, Maine to hear the following appeals:

To: City Clerk

From: Marge Schmuckal, Zoning Administrator

Date: January 26, 2007

RE: Action taken by the Zoning Board of Appeals on January 18, 2007.

The meeting was called to order at 6:40pm.

Roll call as follows:

Members Present: Philip Saucier (acting chair), Catherine Alexander, Peter Coyne and Peter Thornton.

Members Absent: David Dore and Katherine Knox.

1. New Business:

A. Interpretation Appeal:

127 Fore Street, Riverwalk LLC, owner, Tax Map #020 Block C Lots 009 and 023 in the B5b Urban Commercial Business Zone. The Appellant is seeking an Interpretation Appeal regarding section 14-47 "building height" of the City of Portland Zoning Ordinance and a Zoning Determination letter given by Marge Schmuckal. The appellant is requesting the interpretation for the building height allowance for the parking garage roof deck. Representing the appeal is the applicant Scott Simons Architects. **Board voted 4-0 and granted the Interpretation Appeal.**

*Because of Land Subdivision
Extension of Fore St
CBL is Now 20-F-1*

B. Practical Difficulty Variance Appeal:

127 Fore Street, Riverwalk LLC, owner, Tax Map #020 Block C Lots 009 and 023 in the B5b Urban Commercial Business Zone. The Appellant is seeking an Interpretation Appeal regarding section 14-47 "building height" of the City of Portland Zoning Ordinance and a Zoning Determination letter given by Marge Schmuckal. The appellant is requesting the interpretation for the building height allowance for the parking garage roof deck. Representing the appeal is the applicant Scott Simons Architects. **Board voted 4-0 and granted the Practical Difficulty Variance Appeal**

2. Other Business: Findings of Fact for 224 Shore Road, Cushings Island. **Board voted 3-0 and adopted the Findings of Fact.**

3. Adjournment: 8:00pm

Enclosure:

Agenda of January 18, 2007

Copy of Board's Decision

CC: Joseph Gray, City Manager

Alex Jaegerman, Planning Department

Lee Urban, Planning & Development Director

Deborah Marquis, Housing & Neighborhood Services

Phil Szucier (acting chair)
Catherine Alexander
Rita Coyne

CITY OF PORTLAND, MAINE

ZONING BOARD OF APPEALS

Application of "Building Height" definition to parking facility roof:

Interpretation Appeal

DECISION

Date of public hearing:

January 18, 2007

Name and address of applicant:

Scott Simons
Scott Simons Architects
75 York St
Portland, ME 04101

Location of property under appeal:

020-C-9 & 23

→ CBL is now 20-F-1 because
of Subdivision & Extension of Hancock
St

For the Record:

Names and addresses of witnesses (proponents, opponents and others):

Stephen J. Fraser c/o Scott Simons Architects
75 York St
Portland, ME 04101

Drew Swenson (owner)
2 Market St Suite 500
Portland, ME 04101

Exhibits admitted (e.g. renderings, reports, etc.):

Architect Drawings / Slides by Simon Design Engineering

Findings of Fact and Conclusions of Law:

The Board's authority to review an interpretation of the Zoning Administration is pursuant to Section 14-472 of the zoning ordinance.

4-0

The City's Zoning Administrator issued an Interpretation on December 29, 2006, stating that the roof of the Ocean Gateway Parking Garage is to be considered a "flat roof" rather than a "pitched roof" for the purposes of calculating the structure's permitted "building height" as defined in section 14-47 of the zoning ordinance.

Appellant has demonstrated that the Interpretation of the Zoning Administrator was incorrect or improper.

Satisfied Not Satisfied

Reason: Definition of flat roof did not fit this example.

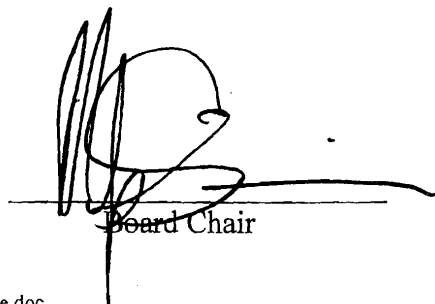
Decision: (check one)

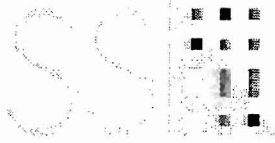
4-0

Option 1: The Board finds that the Appellant has satisfactorily demonstrated that the Interpretation of the City's Code Enforcement Officer was incorrect or improper, and therefore GRANTS the application.

Option 2: The Board finds that the Appellant has NOT satisfactorily demonstrated that the Interpretation of the City's Code Enforcement Officer was incorrect or improper, and therefore DENIES the application.

Date: 1/18/07


Board Chair



Scott Simons Architects

75 York Street
Portland, ME 04101

ph: 207-772-4656
fax: 207-828-4656
e-mail: stephen@simonsarchitects.com

BULLETIN #1

Date: August 10, 2007
Project name/number: Ocean Gateway Parking Garage
Re: Bulletin #1
From: Stephen Fraser
To: Drew Swenson
Cc: Ledgewood
Jobfile 6.6

POST BID BULLETIN #1

This Bulletin revises the Drawings and/or Specifications as described below and become part of the Contract Documents.

The Contractor will be held to do all work required for the full completion of the work described, including all work incidental thereto or necessary to complete the work properly, even though not specifically mentioned. The Contractor shall be responsible for all work indicated on the drawings. The original General Conditions shall govern all work unless specifically exempted or modified herein.

The Bulletin consist of the following:

Specifications:

Table of Contents	Revised Section
02832 – Segmented Retaining Walls	Added Section
05500 – Metal Fabrications	Revised Section
05511 – Metal Stairs	Revised Section
05811 – Architectural Joint Systems	Revised Section
07412 – Manufactured Wall Panels	Deleted
08110 – Steel Doors and Frames	Revised Section
08331 – Overhead Coiling Doors	Deleted
08334 – Overhead Coiling Grilles	Revised Section
08411 – Aluminum-Framed Entrances, Storefronts, and Curtainwalls	Revised Section
08711 – Door Hardware	Revised Section
09972 – Concrete and Masonry Coatings	Revised Section
10400 – Signs	Revised Section
11150 – Entry Gates and Parking Control Systems	Revised Section
15050 – Piping Systems	Added Section
15891 – Sheet Metal Ductwork	Added Section

The sheets at the end are tabulations of free air area on the ground floor
These are required for submission to the City. Please note the very tight tolerances.

Drawings:

Complete reissue of Contract Drawings set with revised list on the drawing Cover Sheet. Drawings revised have been dated August 10, 2007. Substantive changes have been clouded for the Contractors convenience.

Sheets A202 and A203 are elevations with free air calculation for the ground floor. These are required for submission to the City.

END OF BULLETIN #1

OCEAN GATEWAY GARAGE
FREE AIR AREA CALCULATIONS

NORTH ELEVATION TOTAL ELEV: 2653.55

BRICK	40.44		BEAM	110.86
VOIDS	1.54		FENCE	24.87
	3.79		CURB	8.84
	3.79		VERT	7.68
	3.79		HOOP	0.75
	3.79		COL	13.53
	3.79		VERT	7.90
	3.79		HOOP	0.75
	3.79	30.32	VOIDS	1.54
	3.79			3.79
	1.54			3.79
BEAM	126.59			3.79
FENCE	29.96			3.79
CURB	9.66			3.79
VERT	8.13			3.79
HOOP	0.67			3.79
				26.53
COL	13.81			1.54
VERT	8.26		BEAM	111.05
HOOP	0.79		FENCE	23.84
VOIDS	1.54		CURB	8.81
	3.79		VERT	7.39
	3.79		HOOP	0.77
	3.79		COL	13.27
	3.79		VERT	5.98
	3.79	26.53	HOOP	0.61
	3.79		BEAM	132.92
	1.54		DOOR	30.76

OCEAN GATEWAY GARAGE

DOOR SILL	11.97
FENCE	1.38
CURB	0.51
COLUMN	6.78
WALL	<u>1201.42</u>
	1222.06

301.32

540.13

1222.06

TOTAL 2063.57

OCEAN GATEWAY GARAGE

EAST ELEVATION TOTAL 1220.76

ELEV.	365.54
SPACE	5.24
COL	12.20
BEAM	45.01
FENCE	18.65
CURB	4.89
BRICK	83.69
BEAM	55.72
FENCE	26.16
CURB	5.50
BRICK	67.73
BEAM	55.84
FENCE	26.68
CURB	5.69
BRICK	<u>39.07</u>
	817.61

OCEAN GATEWAY GARAGE

SOUTH ELEVATION TOTAL 2927.58

WALL 2729.85

DOOR 39.55

TOTAL 2764.36

OCEAN GATEWAY GARAGE

WEST ELEVATION

TOTAL 1291.87

CMU WALL 734.85

FENCE POST 0.79

FENCE 3.45

FENCE POST 1.56

FENCE 5.38

FENCE POST 1.55

FENCE 5.35

FENCE POST 1.54

FENCE 5.31

FENCE POST 1.53

FENCE 5.27

FENCE POST 1.52

FENCE 5.30

FENCE 3.91

FENCE 5.18

FENCE POST 1.49

FENCE 5.15

FENCE POST 1.49

FENCE 5.17

FENCE POST 1.50

FENCE 6.02

FENCE POST 0.75

CURB 9.40

CURB 1.31

CURB 6.91

OCEAN GATEWAY GARAGE

	TOTAL AREA	CLOSED AREA
N	2653.55	2063.51
E	1220.76	817.61
S	2927.58	2764.36
W	1291.87	821.38
<u>TOTAL</u>	<u>8093.76</u>	<u>6467.16</u> *

* 6475 FT² MAXIMUM

CLOSED AREA ALLOWED

CALCULATIONS CRITERIA

1/2" DIA PERF MESH	57% CLOSED
3x3 IR GA MESH	12.1% CLOSED
COIL OH DOORS	20% CLOSED

SEE SHEETS A202 AND A203 FOR ELEVATIONS.

CALCULATIONS COMPLETED

AUG 9, 2007

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2006-0235

Application I. D. Number

12/8/2006

Application Date

Amendment to Plan - Longfellow Gara
Project Name/Description

[Handwritten Signature]

*signed off
in urban
insight*

Drew Swenson, Riverwalk, LLC.

Applicant

2 Market Street, Suite 500, Portland, ME 04101

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 775-2464 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

India/Fore Street, Portland, Maine

Address of Proposed Site

020 C023001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) Plan Amendment

B5b

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots _____
- Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation DEP Local Certification
- Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
- After the Fact - Major Stormwater Traffic Movement Other _____
- After the Fact - Minor PAD Review 14-403 Streets Review

Fees Paid: Site Plan \$250.00 Subdivision _____ Engineer Review _____ Date 12/11/2006

Zoning Approval Status:

Reviewer Morgan S. - DMAP

- Approved Approved w/Conditions See Attached Denied

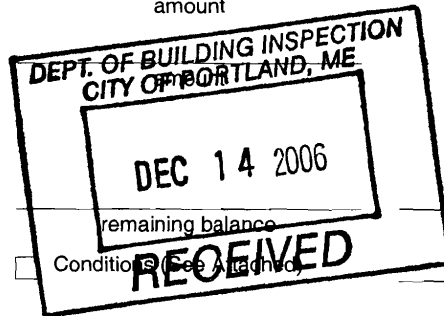
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	_____
	date		
<input type="checkbox"/> Building Permit Issue	_____	_____	_____
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date		
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	_____	_____
	date		
<input type="checkbox"/> Final Inspection	_____	_____	_____
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____	_____	_____
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	_____
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	_____
	date	signature	





City of Portland, Maine Site Plan Checklist

Riverwalk LLC - Amendment to Longfellow Garage
 Project Name, Address of Project
 Number

2006-0235
 Application
 Received 12/8
 - reviewing 12/13

Section 14-525

Submitted () & Date
 (b,c)

Item Required Information

Submitted () & Date (b,c)	Item	Required Information		
No	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1	
Looking on approved plans	(2)	Name and address of applicant and name of proposed development	a	
	(3)	Scale and north points	b	
	(4)	Boundaries of the site	c	
	(5)	Total land area of site	d	
	(6)	Topography - existing and proposed (2 feet intervals or less)	e	
	(7)	Plans based on the boundary survey including:	2	
	(8)	Existing soil conditions	a	
	(9)	Location of water courses, marshes, rock outcroppings and wooded areas	b	
	Yes	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
		(11)	Approx location of buildings or other structures on parcels abutting the site	d
NA	(12)	Location of on-site waste receptacles	e	
	(13)	Public utilities	e	
	(14)	Water and sewer mains	e	
	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e	
	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f	
	(17)	Location and dimensions of on-site pedestrian and vehicular access ways	g	
	(18)	Parking areas	g	
	(19)	Loading facilities	g	
	Yes	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
		(21)	Curb and sidewalks	g
NA	(22)	Landscape plan showing:	h	
	(23)	Location of existing proposed vegetation	h	
	(24)	Type of vegetation	h	
	(25)	Quantity of plantings	h	
	(26)	Size of proposed landscaping	h	
	(27)	Existing areas to be preserved	h	
	(28)	Preservation measures to be employed	h	
	(29)	Details of planting and preservation specifications	h	
	(30)	Location and dimensions of all fencing and screening	i	
- describing grade changes	(31)	Location and intensity of outdoor lighting system	j	
	(32)	Location of fire hydrants, existing and proposed	k	
	(33)	Written statement	c	
NA	(34)	Description of proposed uses to be located on site	1	
	(35)	Quantity and type of residential, if any	1	
	(36)	Total land area of the site	b2	
	(37)	Total floor area and ground coverage of each proposed building and structure	b2	
	(38)	General summary of existing and proposed easements or other burdens	c3	
	(39)	Method of handling solid waste disposal	4	
	(40)	Applicant's evaluation of availability of off-site public facilities, including sewer, water and streets	5	
	(41)	Description of any problems of drainage or topography, or a representation that there are none	6	
	(42)	An estimate of the time period required for completion of the development	7	
	(43)	A list of all state and federal regulatory approvals to which the development may be subject to. **	8	



City of Portland Site Plan Application

If you or the property owner owes real estate taxes, personal property taxes or user charges on any property within the City, payment arrangements must be made before permit applications can be received by the Inspections Division.

Address of Proposed Development: 1 & 33 India Street, 127 & 158 Fore S Zone:		
Existing Building Size: _____ sq. ft.	Proposed Building Size: _____ sq. ft. No Changes	
Existing Acreage of Site: _____ sq. ft.	Proposed Acreage of Site: _____ sq. ft.	
Tax Assessor's Chart, Block & Lot: Chart# Block# Lot# 19-A-09 & 014; 20-C-023 & 009	Property owner's mailing address: Riverwalk LLC 2 Market St., Suite 500 Portland, ME 04101	Telephone #: 207-775-2464
Consultant/Agent, mailing address, phone # & contact person: Brew Swenson 207-775-2464	Applicant's name, mailing address, telephone #/Fax#/Pager#: Drew Swenson 2 Market S., Suite 500 Portland, ME 04101	Project name: Longfellow Residence and Retail; Ocean Gateway Garage 25 India Street

Fee For Service Deposit (all applications) X (\$200.00)

Proposed Development (check all that apply)

- New Building Building Addition Change of Use Residential Office Retail
- Manufacturing Warehouse/Distribution Parking lot
- Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable
- Site Location of Development (\$3,000.00)
(except for residential projects which shall be \$200.00 per lot _____)
- Traffic Movement (\$1,000.00) Storm water Quality (\$250.00)
- Section 14-403 Review (\$400.00 + \$25.00 per lot)
- Other _____

Major Development (more than 10,000 sq. ft.)

- Under 50,000 sq. ft. (\$500.00)
- 50,000 - 100,000 sq. ft. (\$1,000.00)
- Parking Lots over 100 spaces (\$1,000.00)
- 100,000 - 200,000 sq. ft. (\$2,000.00)
- 200,000 - 300,000 sq. ft. (\$3,000.00)
- Over 300,000 sq. ft. (\$5,000.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Minor Site Plan Review

- Less than 10,000 sq. ft. (\$400.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Plan Amendments

- Planning Staff Review (\$250.00)
- Planning Board Review (\$500.00)

RECEIVED

RECEIVED DEC 6 2006

**City of Portland
Planning Division**

~ Please see next page ~

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

Submittals shall include (9) separate **folded** packets of the following:

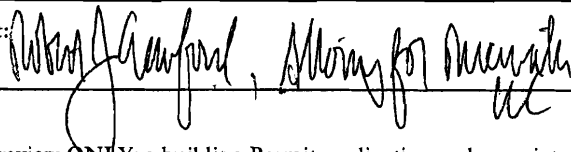

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans checklist
- d. 1 set of 11 x 17 plans

Amendment to Plans: **Amendment applications should include 9 separate packets of the above (a, b, & c)**

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process which is available on our web site: portlandmaine.gov

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:  William J. Crawford, Attorney for Applicant	Date:  6 December 2006
---	--

This application is for site review **ONLY**; a building Permit application and associated fees will be required prior to construction.

BERNSTEIN SHUR

COUNSELORS AT LAW

207 774-1200 main
207 774-1127 facsimile
bernsteinshur.com

100 Middle Street
PO Box 9729
Portland, ME 04104-5029

Robert J. Crawford
207 228-7203 direct
rcrawford@bernsteinshur.com

December 9, 2006

Department of Planning & Development
Attn: William Needelman, Sr. Planner
City of Portland
Portland City Hall, 4th Floor
389 Congress Street
Portland ME 04101

Re: Longfellow Residence and Retail, Ocean Gateway Garage and 25 India Street
Office Projects, Chart/Block/Lots 19-A001 and 014 and 20-C 009 and 023-Minor
modifications to Garage

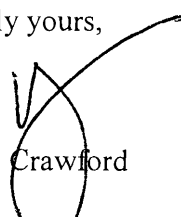
Dear Bill:

Enclosed please find Riverwalk, LLC's updated drawings and materials related to minor changes proposed for the Ocean Gateway Garage. The submissions are provided for planning staff review of minor changes and refinements proposed for the garage façade, covering materials and to show how the proposed retail space on the street level will be incorporated into the garage. Our understanding is that the review will be completed under authority of Section 14-525, part (g) of the Land use Ordinance of the City's Code which authorizes planning staff to approve such minor changes.

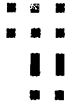
Riverwalk's architects for the garage, the firm of Scott Simons Architects, have provided plans showing and a letter of yesterday's date describing in detail the proposed changes. I also enclose an completed application form and the required \$450.00 to cover the review fees.

We look forward to your comments and approval of the minor changes.

Very truly yours,


Robert J. Crawford

Cc: Drew Swenson
Stephen Fraser



Scott Simons Architects

December 7, 2006

75 York Street
Portland, Maine 04101
phone 207 772 4656
fax 207 828 4656

Bill Nedelman
Planning and Development Department
City of Portland
City Hall
389 Congress Street
Portland, ME
04101

Dear Bill,

Thank you for reviewing our amended drawings and submittal for the Ocean Gateway Garage Project. As discussed with you earlier in the fall when we reviewed some of these revisions with you, we have made a number of minor changes to maintain the overall project budget. It is our belief that these revisions are minor in nature and do not substantially effect the overall design intent, appearance, or quality of the project. According to Section 14-525 (g) of the City's Land Use Ordinance, it is our understanding that planning staff is authorized to review and approve minor amendments to a site plan without planning board review when they are not considered substantial alterations. We would like to request that the planning staff review these minor changes and that we be not be required to go back to the planning board for an additional review. We are not seeking any waivers of the conditions of approval already received for the project under the Site Plan Approval granted on May 5, 2006.

The changes we are proposing include the following:

1. Retail Space: The retail space along Fore Street, which was originally scheduled to be built as a second phase of development, is now going to be built with the garage in the first phase of development.
2. Green Screen Panels: These panels, which occur at the columns along Fore and Hancock Streets and alongside the two stair towers, were changes from the "Green Screen" wire mesh to another type of wire mesh. The new mesh has a denser weave than the Green Screen, but is in one layer vs. the two layers of the Green Screen. The new wire mesh will have welded, galvanized, and colored steel frames surrounding each panel vs. the Green Screen panels, which were more free-standing. We have also revised the shapes of these panels from slightly rounded to rectangular.

3. Guardrails: In the earlier drawings the guardrails at each level of the garage were designed to stop above the floor decks and there was a steel channel welded to the structural steel frame to cover the ends of the "T's". These steel channels have been removed and the guardrails have been revised to extend down over the edges of the precast "T's". The result is a simpler, more economical way of covering the "butt ends" of the precast "T's" that we think actually looks better.

4. Canopies: The size and location of the canopies at the two stair towers have been revised to coordinate with some of the other revisions mentioned above. They were originally designed as shallow curves; now they are shown as rectangular. The canopy on the east/main entrance stair was originally shown as aligning with the floor of the third deck (approx. 24'-8" above the sidewalk); the revised location is 5'-9" lower (approx. 19'-0" above the sidewalk), to align with the landing between the second and third floor decks.

5. Brick: The brick size has been revised from standard (2-2/3" x 4" x 8") to jumbo (4" x 4" x 8"), which we think will be fine given the large scale of the structure. The color and texture will be the same as originally submitted.

All other aspects of the design are as originally submitted. We appreciate your consideration of these minor revisions. Please feel free to call me directly if you have any questions or concerns about the project.

Sincerely,



Scott Simons
Principal

Encs.



Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

*Lee Urban- Director of Planning and Development
Marge Schmuckal, Zoning Administrator*

December 29, 2006

Stephen Fraiser
Scott Simons Architects
75 York Street
Portland, ME 04101

RE: Height Definition Review

Dear Stephen,

I am in receipt of your request to review the definition of building height in the Land Use Ordinance and how that definition is applied to buildings.

Under 14-47 the definition of "building, height of" states, "The vertical measurement from grade...to the highest point of roof beams in flat roofs; ...to a level midway between the level of the eaves and highest point of pitched roofs;...For this purpose the level of the eaves shall be taken to mean the highest level where the plane of the roof intersects the plane of the outside wall on a side containing the eaves".

The basic breakdown of measuring the height of a structure is to establish the vertical measurement between two points: (1) the beginning point is the grade and (2) the upper point is as defined and allowed in the Ordinance.

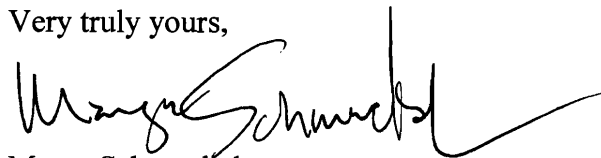
I have consistently allowed averaging the grade for the starting point. It is my understanding that this allowance is not in contention.

I do understand that open parking structures do not have standard roofs. Generally, there is just an upper parking deck with stair and elevator towers on opposing ends of the structure. Let it be noted at this time that the stair and elevator towers are allowed to go higher than the maximum height listed in the underlying zone (under section 14-430). The definitions of building height does not specifically address parking structures as a unique entity, therefore, I have applied what I consider to be the most reasonable within the given Ordinance language. I consider an open parking structure to be a flat roof structure under the ordinance and apply the method of measurement worded in the Ordinance for flat roofs. I allow the highest point of measurement to be to the highest point of the roof beams.

I have rejected the methodology of measuring a parking structure as defined for a pitched roof in the Ordinance. The description of a pitched roof portrays a roof with a high point, such as a ridge, and eaves to determine the midway point from which to measure. The ordinance does not state that you can “average” the roof height. A parking garage deck does not have eaves such as on an actual pitched roof. I consider it to be a stretch to apply a pitched roof definition for a parking deck. I would also point out that most “flat” roofs have some sort of pitch to them to rid the surface of standing water. If I were to apply a pitch roof definition to any building structure with any pitch, no matter how slight, the flat roof definition would never be used. Again, I consider that a misreading of the Ordinance. Finally, I have consistently applied the methodology of a flat roof definition for the measurement of parking deck structures. The City of Portland has had several proposed parking structures within the last several years. As Zoning Administrator I try to be consistent and fair in my application of the Ordinance.

You have the right to appeal my decision concerning use. If you wish to exercise your right to appeal, you have 30 days from the date of this letter in which to appeal. If you should fail to do so, my decision is binding and not subject to appeal. Please contact this office for the necessary paperwork that is required to file an appeal.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Marge Schmuckal', with a long, sweeping horizontal stroke extending to the right.

Marge Schmuckal
Zoning Administrator

Cc: file

From: Marge Schmuckal
To: William Needleman
Date: 12/22/2006 10:40:48 AM
Subject: Longfellow Garage

Bill,

I sat down with Steve Fraiser and Drew Swenson concerning the garage. The originally approved garage meets all the zoning requirements including height.

Yes, they are thinking of ways to expand the number of parking spaces in that garage. We have come to an agreement that the zoning ordinance allows measuring to the top of the structural beam. Previously they have given measurements to the top of the concrete on top of the structural beam. They will gain a few more parking spaces (4 perhaps) using that methodology. However, they want more. We have discussed a few options. They could appeal my interpretation of the ordinance definitions. They might try that first. They know that they would not get a variance appeal (doesn't fall under a practical difficulty variance). The other route is to amend the zoning ordinance definitions to define where to measure for parking garage structures, assuming that they are a different beast.

So right now, on the existing garage submittal, zoning is approved.

Marge

CC: John Lufkin; Lee Urban