

3 PROPOSED SITE MODIFICATIONS
SCALE 1/16" = 1' 0"

ENGINEER OF RECORD
RESURGENCE
ENGINEERING & PRESERVATION, INC.
132 BRENTWOOD STREET
PORTLAND, ME 04103
207.773.4880

Drawn By: EJA
Checked By: Alfred H. Hodson III P.E.

OFFICE ADDITION
61 INDIA STREET
PORTLAND, ME

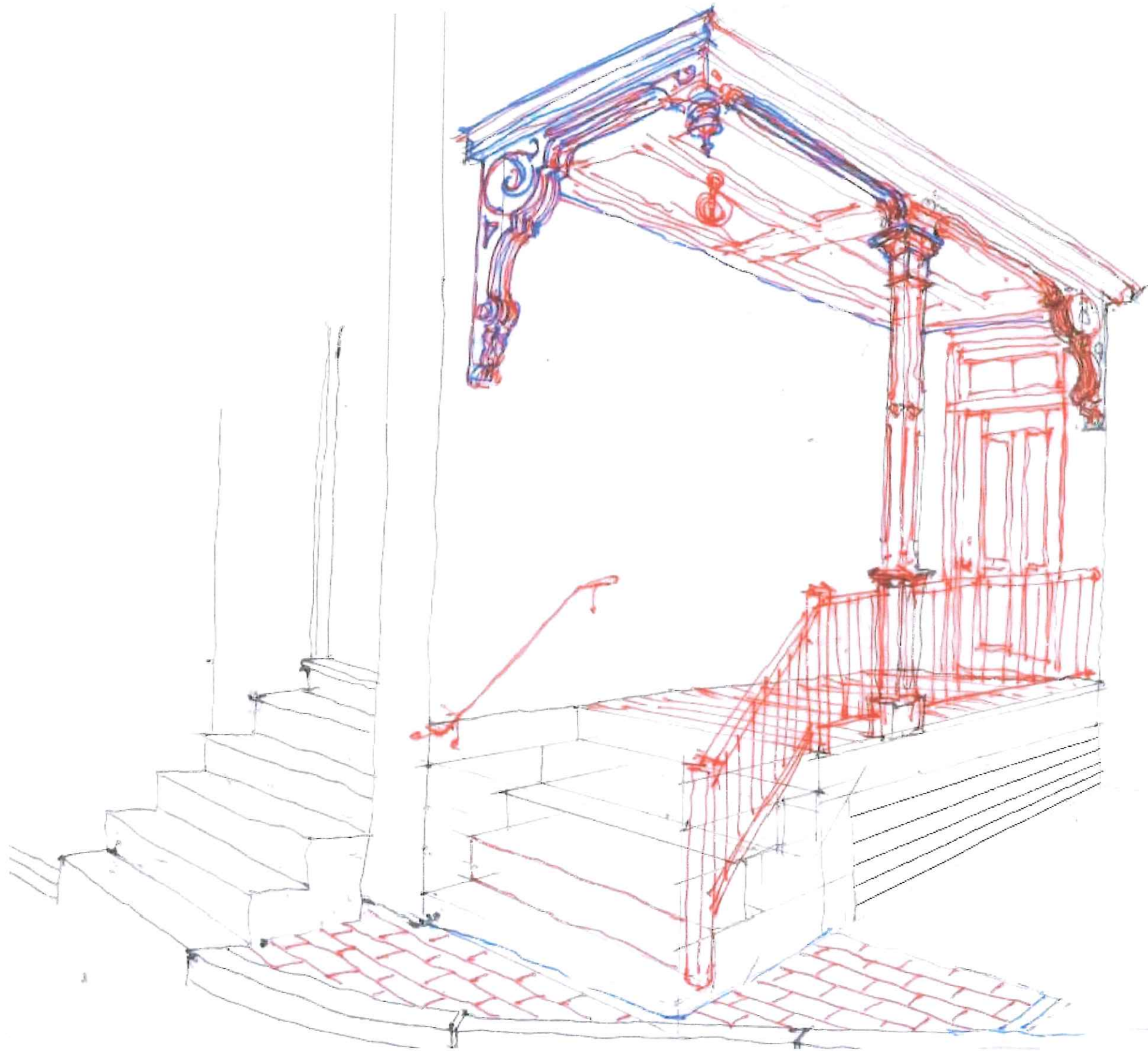
*Admin Auth
2013-139*
CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 6-24-2013

Drawing:
PROPOSED SITE
MODIFICATIONS
Scale:
1/8" = 1'-0"
Date: 06/04/13
Issued for: Prelim. Review

C1.001



Turners Court
(Common Passageway)



PROPOSED RESTORED ENTRY PORCH (NO SCALE)



AREA OF WORK AND EXISTING ADJACENT PORCH



EXISTING DETAILS ON ADJACENT PORCH



CEILING DETAIL ON ADJACENT PORCH

Adm. Auth 2013-139
 CITY OF PORTLAND
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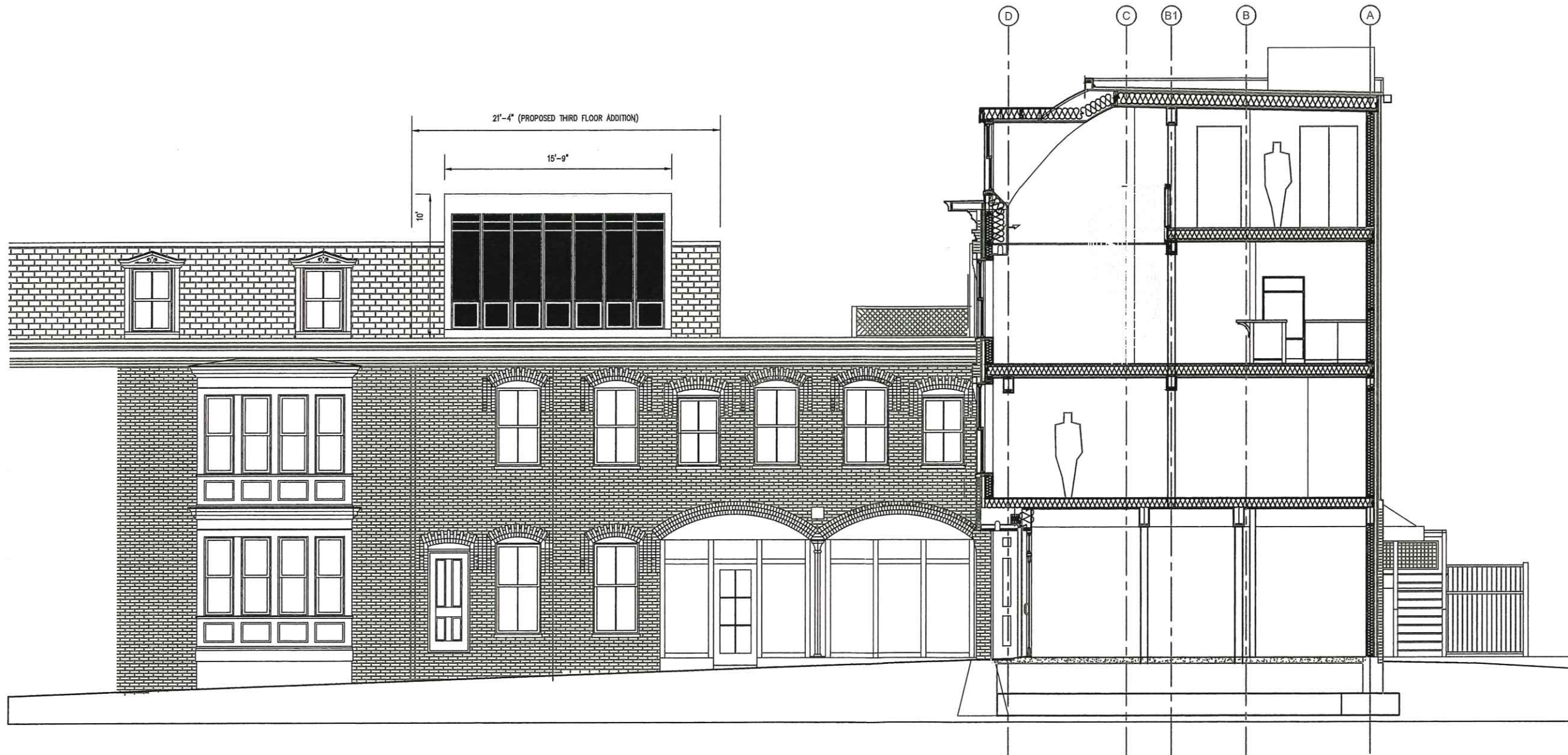
OFFICE ADDITION
 61 INDIA STREET
 PORTLAND, ME

Drawing:
 PROPOSED PORCH
 RECONSTRUCTION DETAILS

Scale:
 NO SCALE

Date: 06/04/13
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A7.002



2 PROPOSED ELEVATION
SCALE 1/8" = 1' 0"

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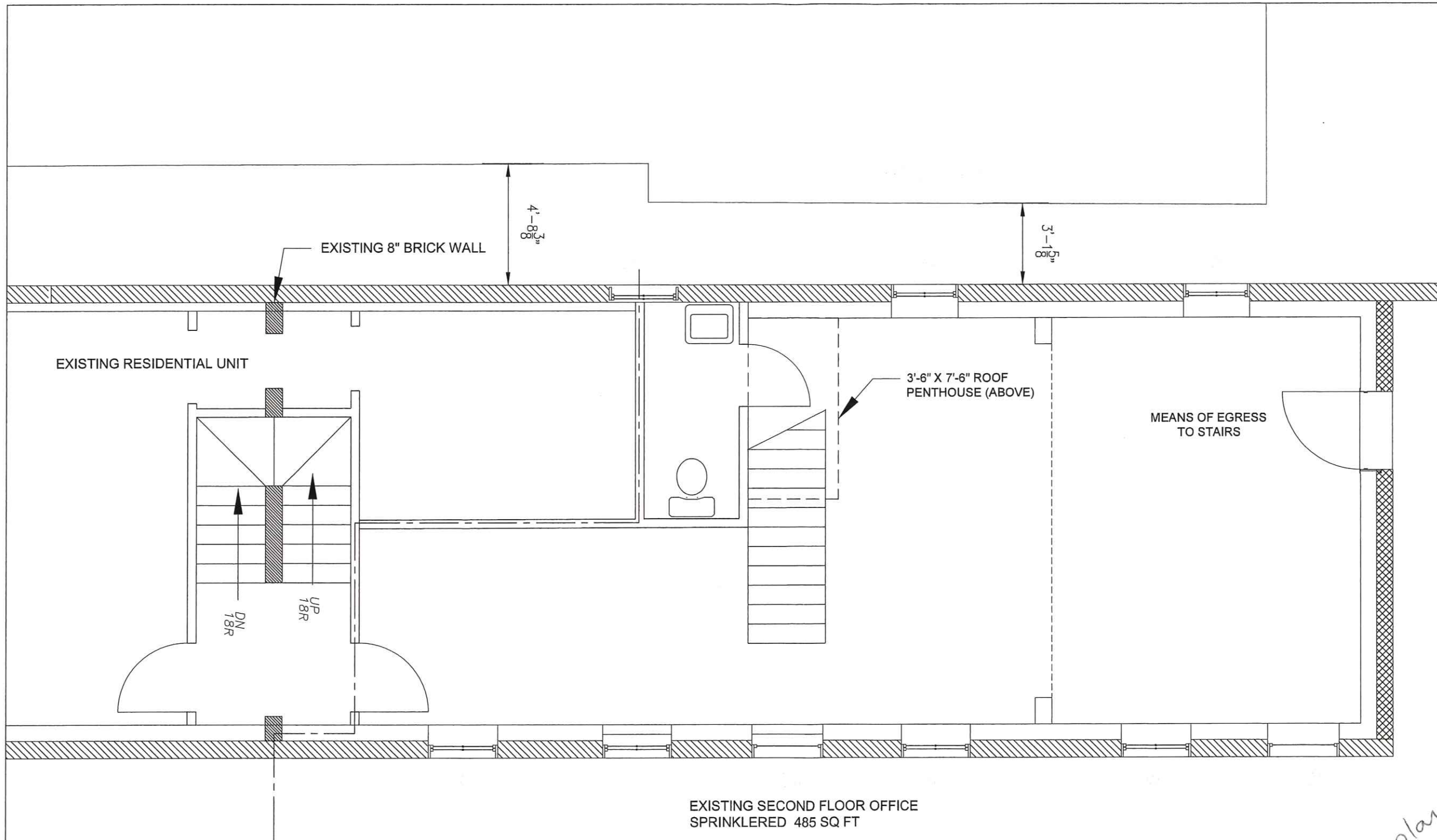
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Drawing:
 PROPOSED ELEVATION

Scale:
 1/8" = 1'-0"

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A2.001



EXISTING SECOND FLOOR OFFICE
 SPRINKLERED 485 SQ FT

CW = CASEMENT WINDOW
 W = DOUBLE-HUNG WINDOW

not reviewed re set plan



3 EXISTING SECOND FLOOR PLAN
 SCALE 1/4" = 1' 0"



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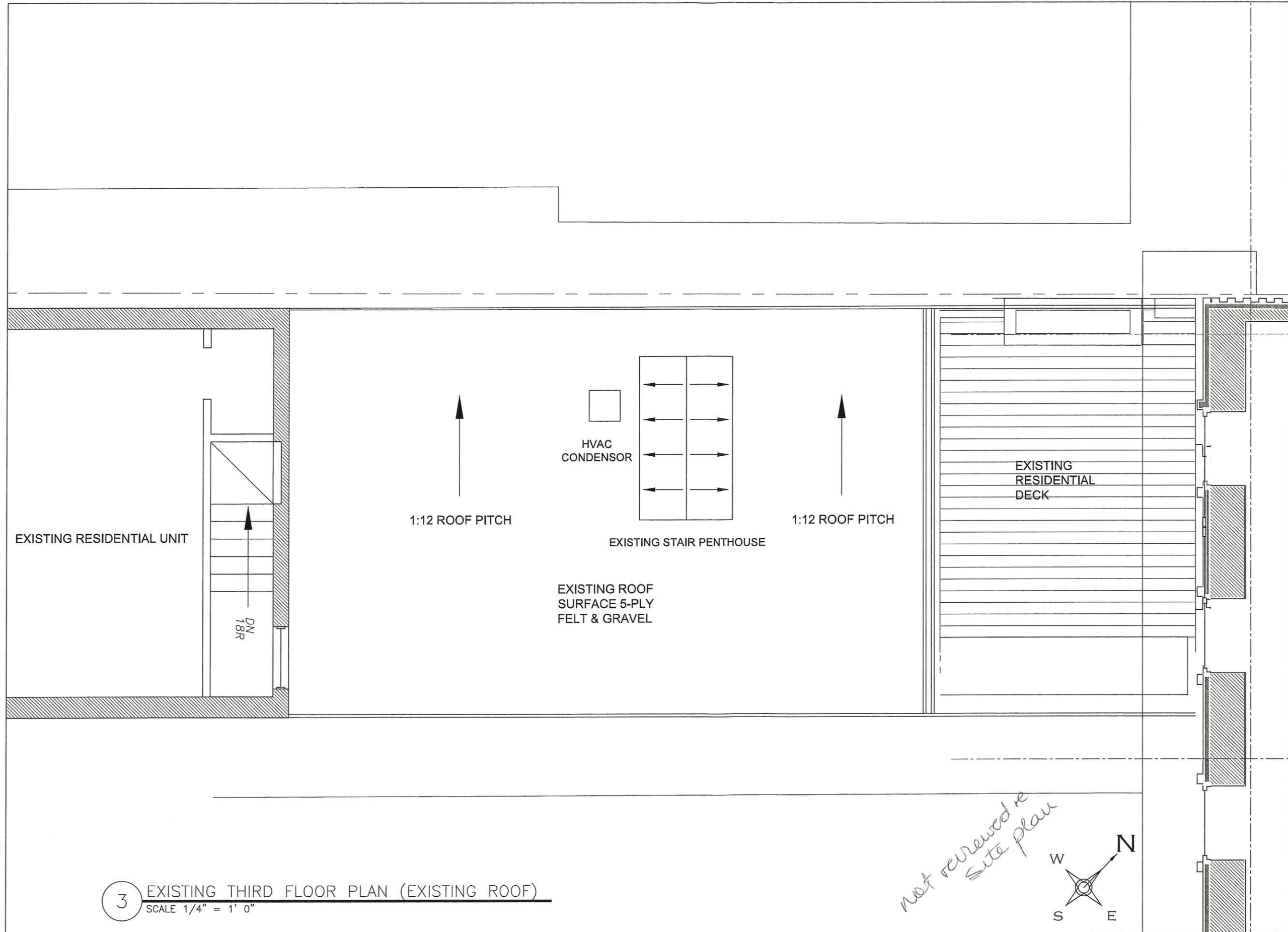
OFFICE ADDITION
 61 INDIA STREET
 PORTLAND, ME

Drawing:
 EXISTING 2ND FLOOR PLAN

Scale:
 1/4" = 1'-0"

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A3.001



3 EXISTING THIRD FLOOR PLAN (EXISTING ROOF)
SCALE 1/4" = 1' 0"

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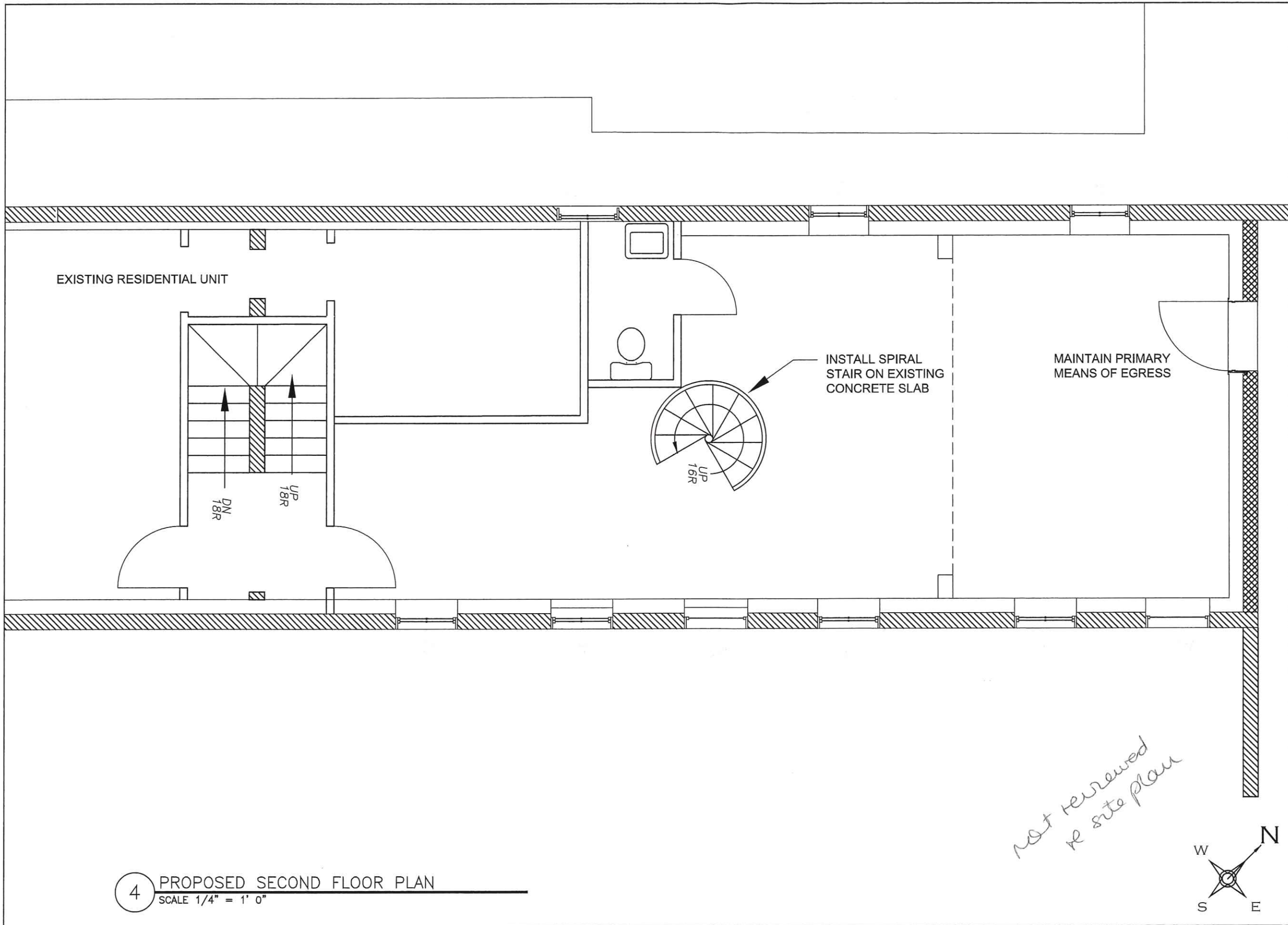
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61 INDIA STREET
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Drawing:
EXISTING 3RD FLOOR PLAN

Scale:
1/4" = 1'-0"

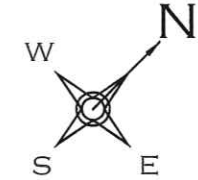
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A3.002



4 PROPOSED SECOND FLOOR PLAN
SCALE 1/4" = 1' 0"

*not reviewed
re site plan*



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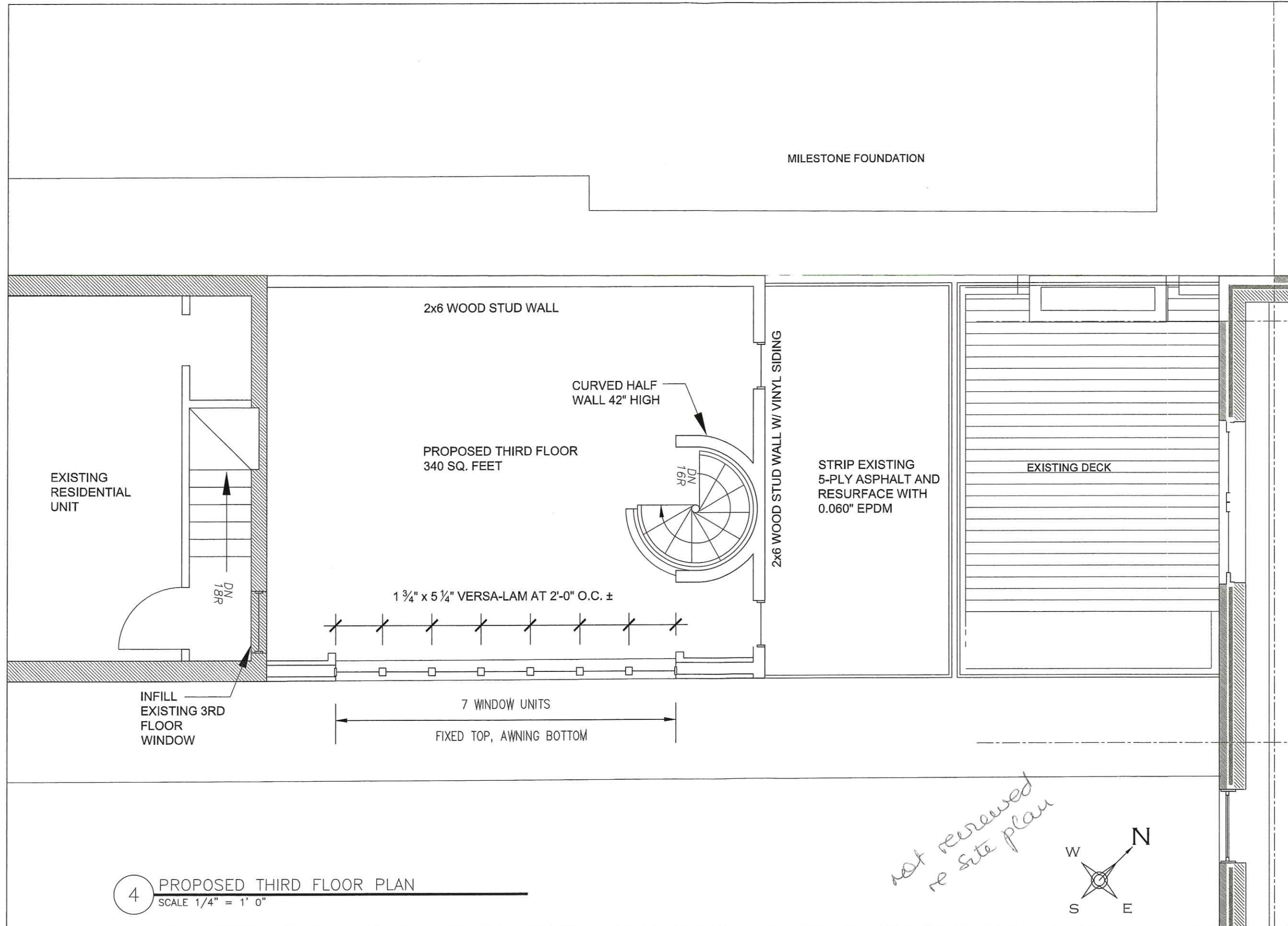
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Drawing:
PROPOSED 2ND FLOOR PLAN

Scale:
1/4" = 1'-0"

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A4.001



MILESTONE FOUNDATION

2x6 WOOD STUD WALL

CURVED HALF WALL 42" HIGH

PROPOSED THIRD FLOOR
340 SQ. FEET

DN
16R

2x6 WOOD STUD WALL W/ VINYL SIDING

STRIP EXISTING
5-PLY ASPHALT AND
RESURFACE WITH
0.060" EPDM

EXISTING DECK

EXISTING
RESIDENTIAL
UNIT

DN
18R

1 3/4" x 5 1/4" VERSA-LAM AT 2'-0" O.C. ±

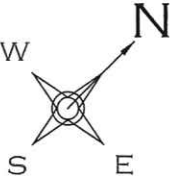
INFILL
EXISTING 3RD
FLOOR
WINDOW

7 WINDOW UNITS

FIXED TOP, AWNING BOTTOM

4 PROPOSED THIRD FLOOR PLAN
SCALE 1/4" = 1'-0"

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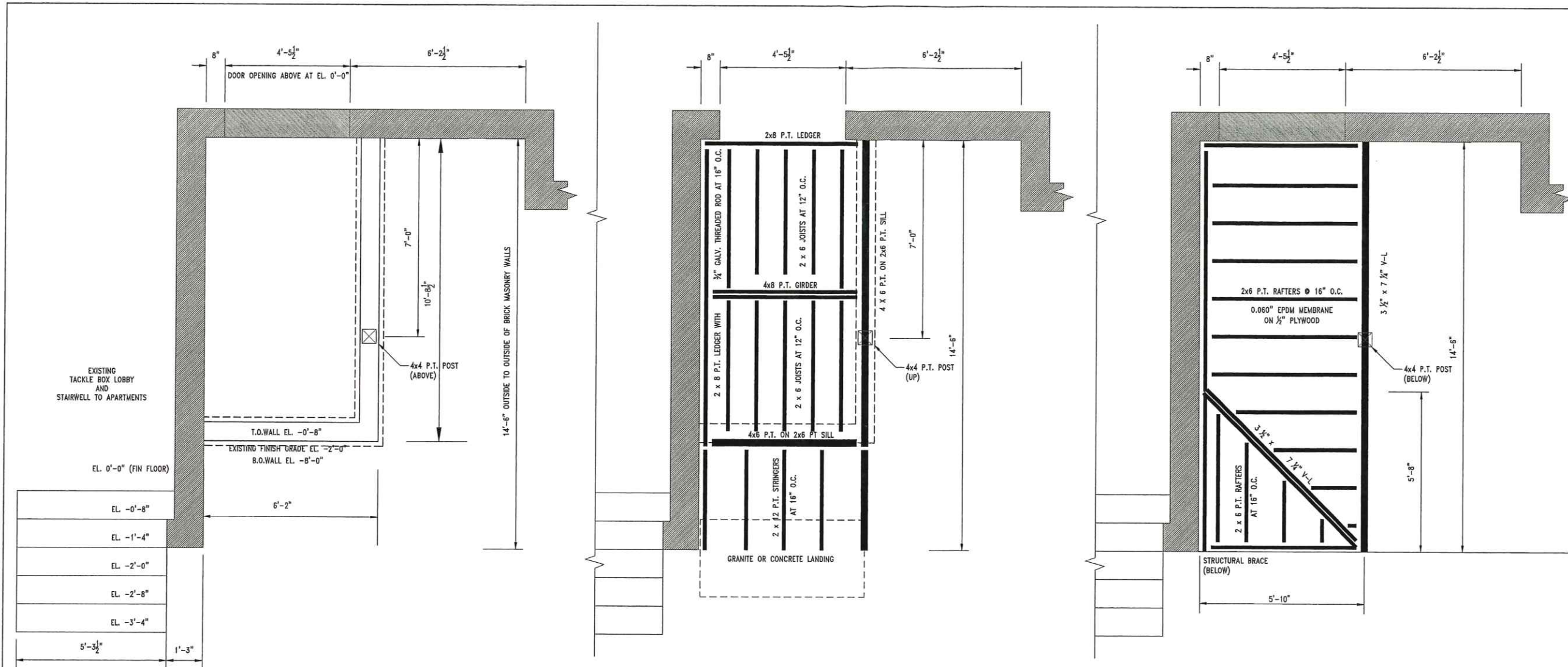
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PROPOSED 3RD FLOOR PLAN

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7A PORCH FOUNDATION PLAN
SCALE 1/2" = 1' 0"

7B PORCH FRAMING PLAN
SCALE 1/2" = 1' 0"

7C PORCH ROOF FRAMING PLAN
SCALE 1/2" = 1' 0"

CAST-IN-PLACE CONCRETE

- ALL CONCRETE WORK AND REINFORCING BAR DETAILS SHALL CONFORM TO THE LATEST ACI STANDARDS, ACI 301 AND 318.
- FOUNDATION CONCRETE SHALL BE AIR-ENTRAINED, (5 TO 7%), AND HAVE A 28-DAY COMPRESSIVE STRENGTH OF 3,000 psi.
- PLACE NO CONCRETE WITHOUT REVIEW AND APPROVAL OF THE REINFORCING AND EMBEDDED ITEMS BY THE TOWN OR BY THE ENGINEER.
- ALL CONCRETE MATERIALS, REINFORCEMENT, AND FORMS SHALL BE FREE OF FROST OR DEBRIS.
- CONSOLIDATE ALL CONCRETE WITH A VIBRATOR OR OTHER MEANS RECOMMENDED BY ACI 301.
- PROVIDE DIAGONAL REINFORCING BARS AROUND INSIDE CORNERS OF ALL OPENINGS IN CONCRETE.
- MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
 CONCRETE CAST AGAINST EARTH 3 INCHES
 FORMED CONCRETE EXPOSED TO EARTH OR WEATHER 1 1/2 INCHES #6 BARS
 2 INCHES #6 OR GREATER
- BACKFILL BOTH SIDES OF EXCAVATED SUPPLEMENTAL FOOTINGS SIMULTANEOUSLY TO PREVENT UNEVEN LATERAL LOADING.

ROUGH CARPENTRY MATERIALS

- DIFFERING TIMBER MATERIALS ARE SPECIFIED AT VARIOUS LOCATIONS. MATERIAL GRADES SHALL CONFORM TO THE FOLLOWING SPECIES AND GRADES:

<u>WALLS:</u>	S-P-F S STUD
<u>PRESSURE-TREATED TIMBER:</u>	SOUTHERN YELLOW PINE NO. 2 GRADING
<u>COMPOSITE LUMBER:</u>	VERSA-LAM BY BOISE-CASCADE, Fb=3,100 psi, E=2000ksi.
<u>LUMBER SHEATHING:</u>	ADVANTEK SHEATHING

ALL LUMBER AND TIMBER FRAMING MATERIAL SHALL BE STORED IN A PROTECTED, DRY AREA OFF OF THE GROUND AND GROUND FLOOR SURFACES. STORE MATERIAL OUT OF DIRECT SUNLIGHT TO PREVENT DIFFERENTIAL DRYING AND WARPING.
- TIMBER FRAMING SCREWS SHALL BE MANUFACTURED BY FASTENMASTER, (413) 789 0252. TIMBER FRAMING SCREWS INCLUDE THE FOLLOWING TYPES AS INDICATED ON DRAWINGS:
 TIMBERLOK
 HEADLOK
 TRUSSLOK
 INSTALL ALL FASTENMASTER FASTENERS IN PRE-DRILLED HOLES, USING 1/8" PILOT BIT. AS AN ALTERNATE, PROPERLY COATED GRK RUGGED STRUCTURAL SCREWS, PROPERLY COATED, MAY BE USED.
- JOIST HANGERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE, INC. ALL HANGERS SHALL BE Zmax PROTECTED, ATTACHED WITH Zmax 10d x 1 1/2" HANGER NAILS INSTALLED IN PREDRILLED HOLES AS REQUIRED OR DIRECTED BY ENGINEER.

STRUCTURAL DESIGN CRITERIA

1. MAINE UNIFORM BUILDING AND ENERGY CODE, 2009 EDITION, INCLUDING CONSIDERATION OF ASCE 7-05, "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES".

FLOOR LIVE LOADS: 100 psf STRENGTHENED FIRST FLOOR AREAS

WIND LOAD: PER IBC SECTION 1609.0/ASCE 7-02 CHAPTER 6

BASIC WIND SPEED, (3 SEC GUST)	1090 mph
IMPORTANCE FACTOR Iw	1.10
EXPOSURE CATEGORY	C
BUILDING CLASSIFICATION	II
VELOCITY PRESSURE COEF. Kz	0.70
TOPOGRAPHIC PRESSURE COEF Kzt	1.03
DIRECTIONALITY FACTOR, Kd	0.85
VELOCITY PRESSURE qz	25.32 psf
CIC PRESSURE	-58 psf

SNOW LOAD: PER ASCE 7-05, CHAPTER 7:
 GROUND SNOW LOAD Pg 60 PSF (FIGURE 7-1)
 EXPOSURE FACTOR Ce 1.0 (TABLE 7-2)
 THERMAL FACTOR Ct 1.2 (UNHEATED, TABLE 7-3)
 IMPORTANCE FACTOR Iw 1.0 (CATEGORY II, TABLE 7-4)

FLAT ROOF SNOW LOAD 50.4 PSF
 DRIFTED SNOW LOADS AND DRIFT PER SECTION 7.6 OF ASCE 7-05

STRUCTURAL DESIGN CRITERIA (CONTINUED)

SEISMIC LOAD: IBC SECTION 1615.0; EARTHQUAKE DATA PER SECTION 1616.3:

SEISMIC USE GROUP	II
OCCUPANCY IMPORTANCE FACTOR, Iw	1.0
SHORT-PERIOD ACCELERATION Ss	0.33g
1.0 SECOND ACCELERATION S1	0.10g
SITE CLASSIFICATION SOIL TYPE	D
MAXIMUM CONSIDERED EQ. ACCEL. PARAMETER Fa	1.53
MAXIMUM CONSIDERED EQ ACCEL. PARAMETER Fv	2.40
SHORT PERIOD ACCELERATION (ASCE 9.4.1.2.4-1, Ssm)	0.49g
1.0 SECOND ACCELERATION (ASCE 9.4.1.2.4-2, Sm1)	0.192g
SHORT PERIOD DESIGN SPECTRAL RESPONSE ACC.	0.328g, SDC B
1.0 SECOND DESIGN SPECTRAL RESPONSE ACC.	0.128g, SDC B

Not reviewed re site plan

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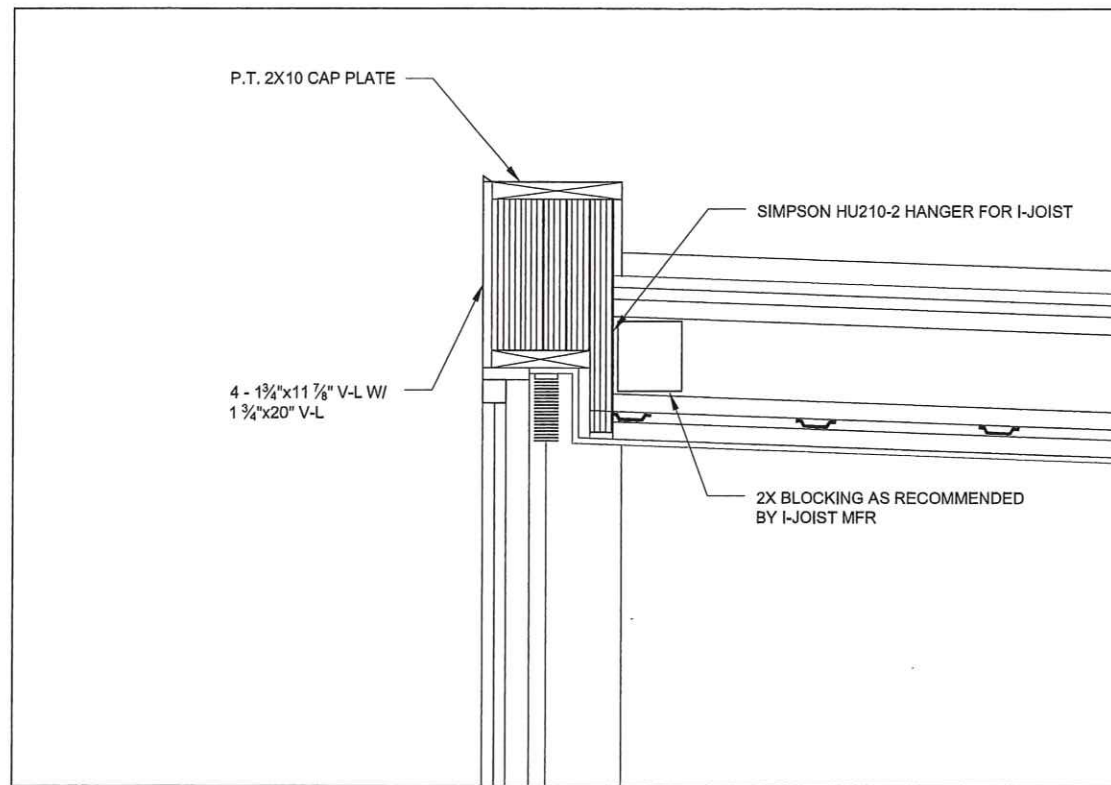
OFFICE ADDITION
 61 INDIA STREET
 PORTLAND, ME

Drawing:
**PROPOSED PORCH
 RECONSTRUCTION PLANS**

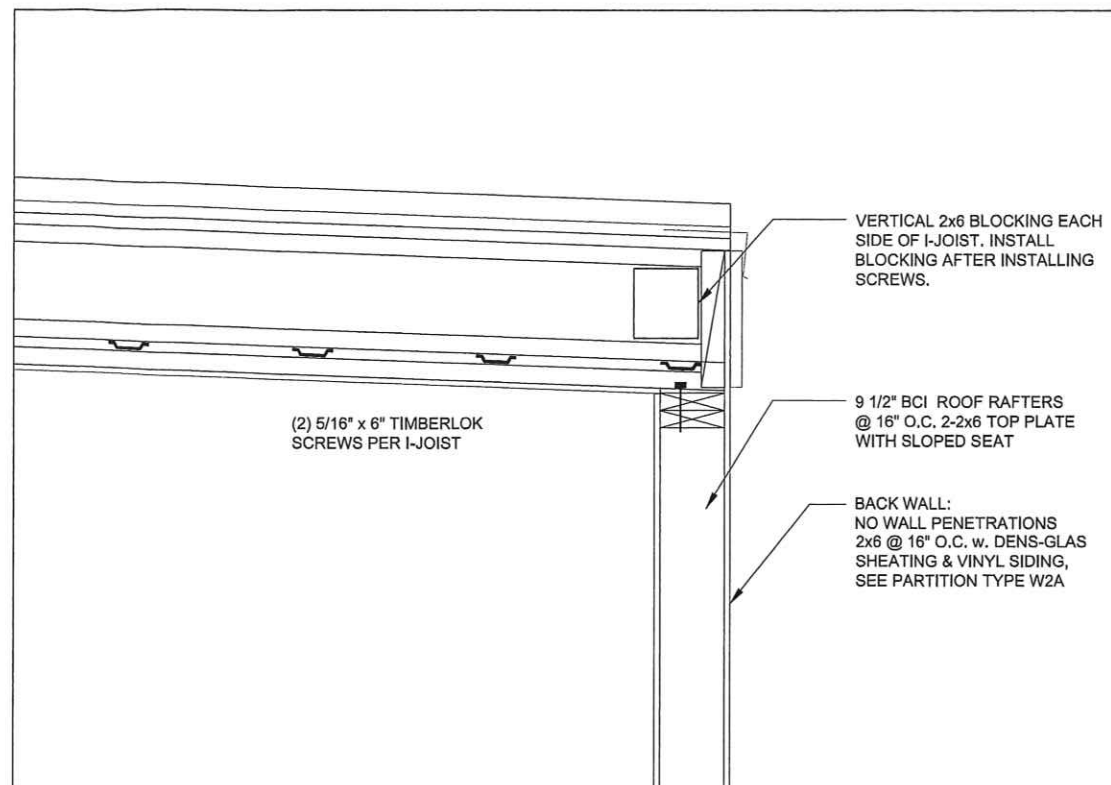
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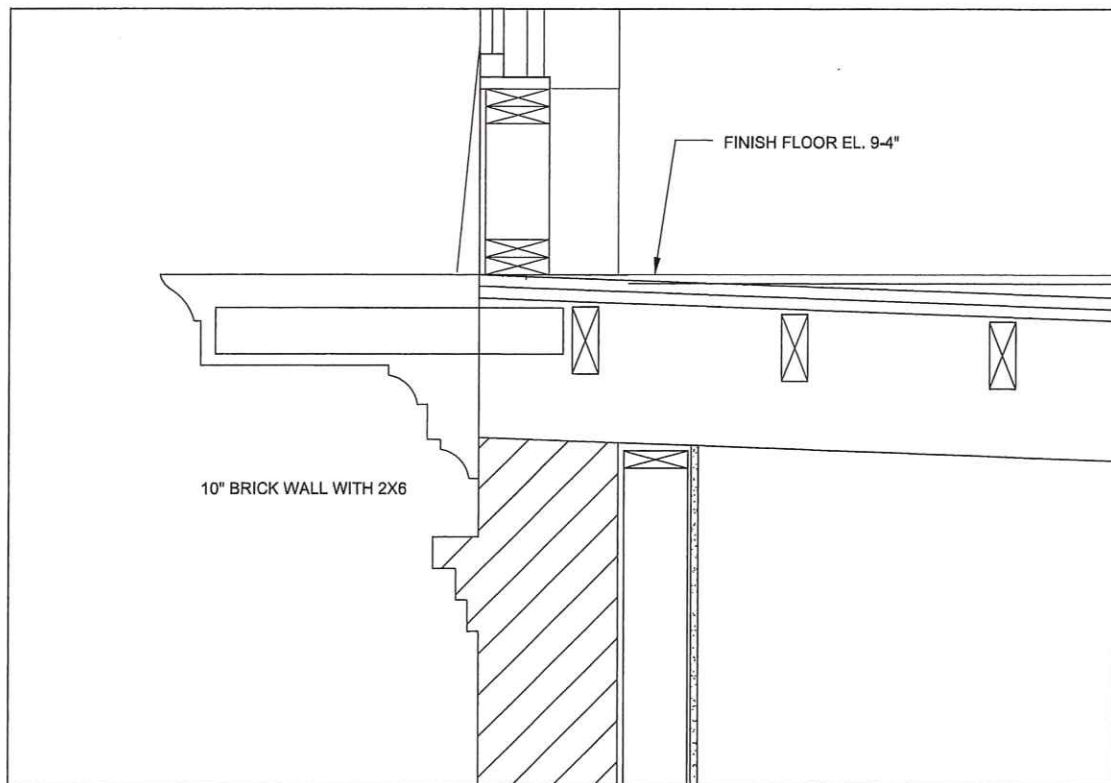
A7.001



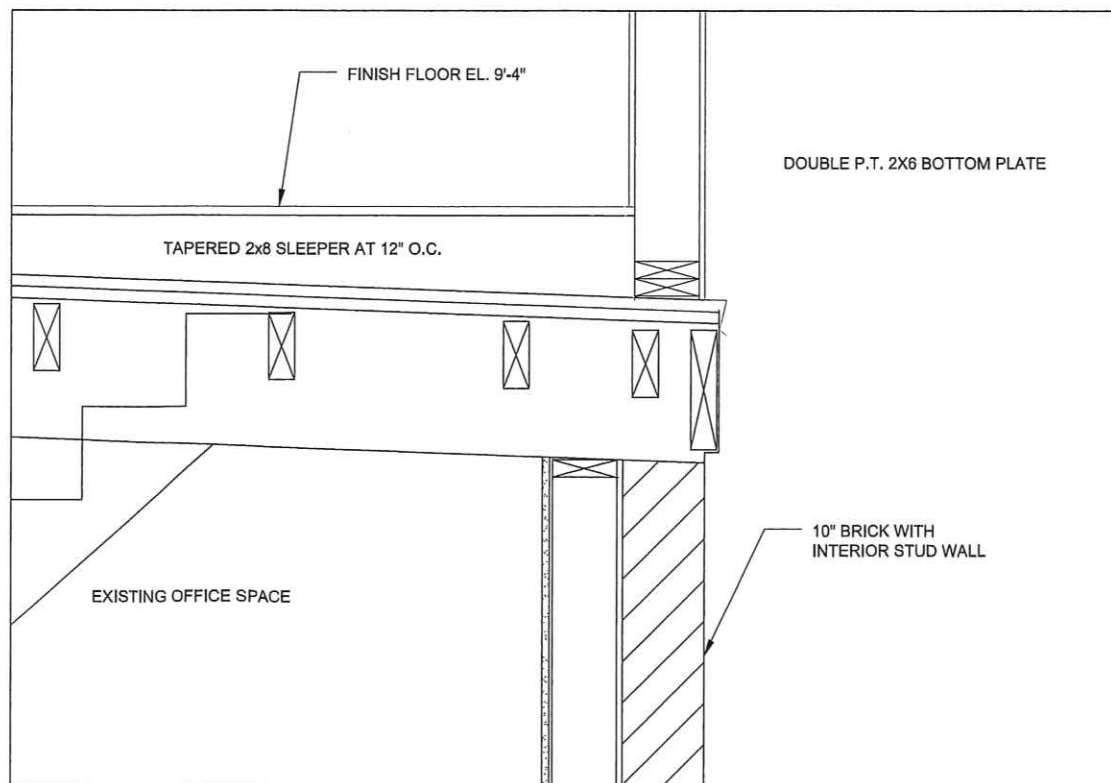
1 ROOF DETAIL AT ELL FRONT WALL
SCALE 3/4" = 1' 0"



2 ROOF DETAIL AT ELL BACK WALL
SCALE 3/4" = 1' 0"



3 3RD FLOOR DETAIL AT ELL FRONT WALL
SCALE 3/4" = 1' 0"



4 3RD FLOOR DETAIL AT ELL BACK WALL
SCALE 3/4" = 1' 0"

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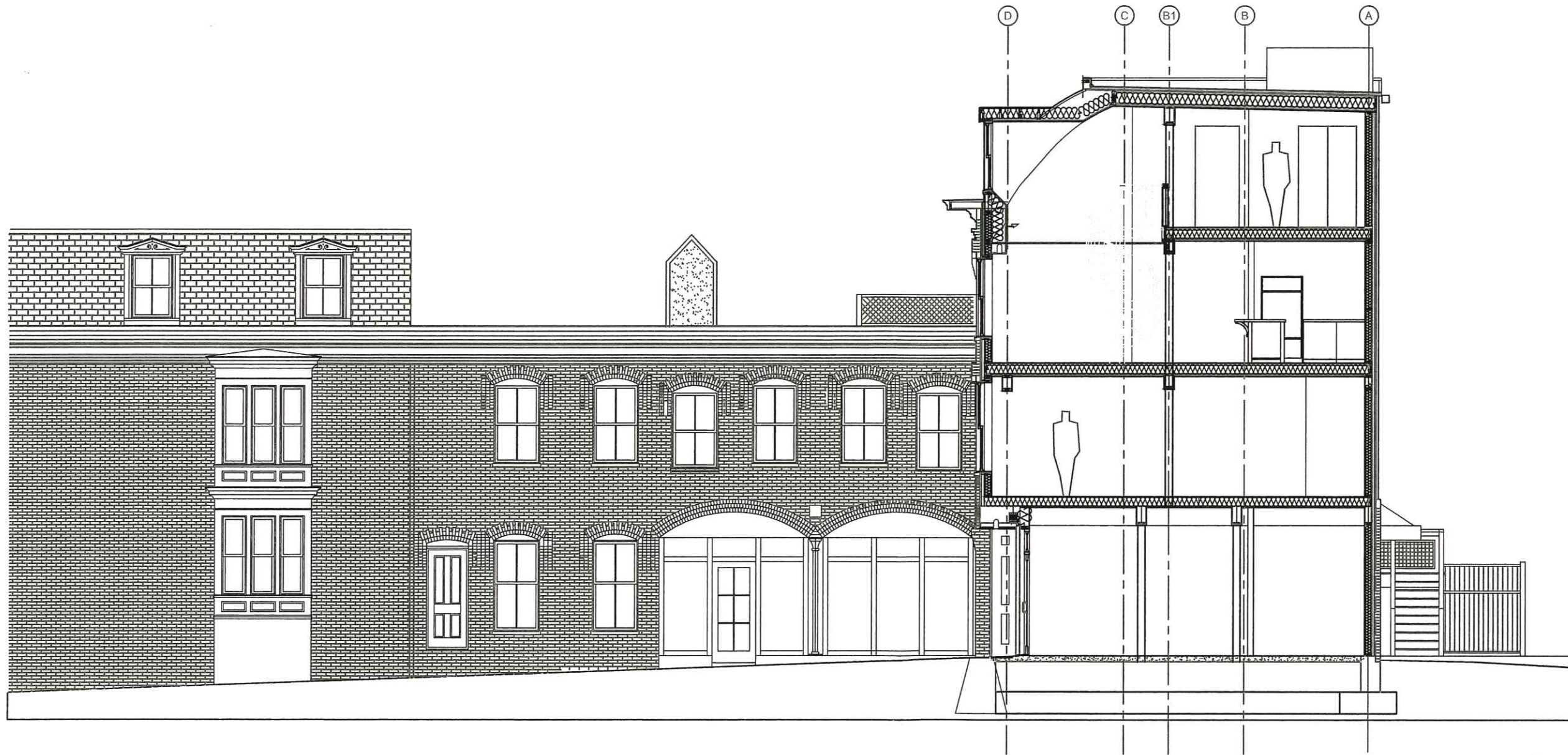
OFFICE ADDITION
61 INDIA STREET
PORTLAND, ME

Drawing:
WALL SECTIONS

Scale:
AS NOTED

Date: 06/04/13
Issued for: Prelim. Review

A10.001



1 EXISTING ELEVATION
SCALE 1/8" = 1' 0"

*not reviewed re
Site Plan*

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61 INDIA STREET
PORTLAND, ME

Drawing:
EXISTING ELEVATION

Scale:
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A1.001

PROPOSED ADDITIONS to R2 EXISTING BUILDING at 61 INDIA STREET PORTLAND, MAINE



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OFFICE ADDITION
61 INDIA STREET
PORTLAND, ME

Drawing:
COVER SHEET / INDEX

Scale:
AS SHOWN

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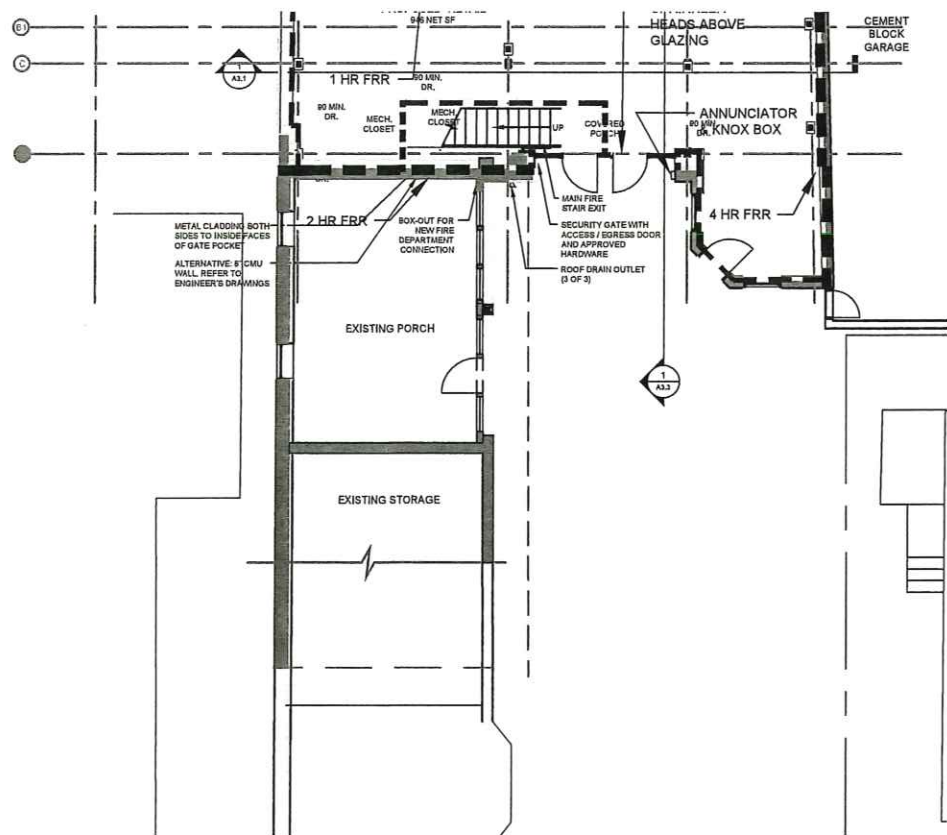
G1.001

ZONE REQUIREMENTS

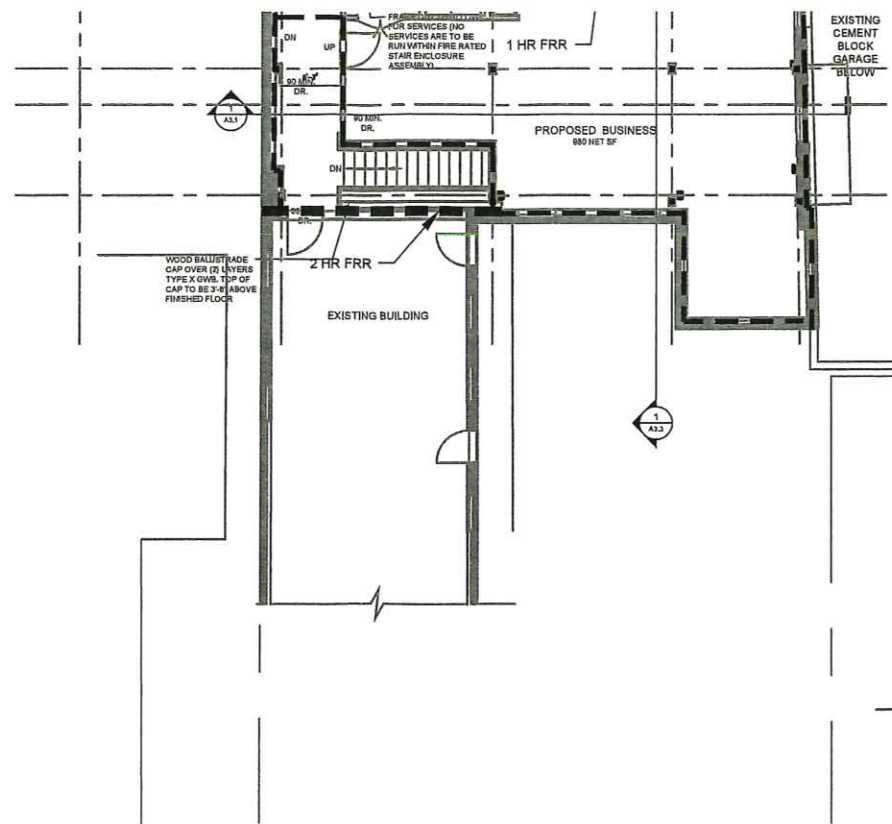
For City Planning Zone: B2b		
Dimension requirements	Required	Proposed
Min. Lot Size (Bus. use)	None	7,672 sf.
Min. Area/unit (Res. use)	1,000 sf/unit	7,672 sf/unit
Min. Street Frontage	50'	49.50' (as existing)
Min/Max. Front Yard	NA	(as existing)
Min. Rear Yard	10'	(as existing)
Min. Side Yard	None	None (as existing)
Min. Lot Width	None	49.1' (as existing)
Max. Structure Height	45'	36.0'
Max. Impervious area	90%	94.5% (as existing)
Car park requirements	Required	Proposed
Extg. Res. units	2 spaces	2 spaces
Extg. Retail unit (<2,000sf)	0 spaces	0 spaces
New Retail unit (<2,000sf)	0 spaces	0 spaces
New Bus. unit (<1,000sf)	2 spaces	2 spaces
New Res. units	1 spaces	1 spaces
Total car parks	5 spaces	5 spaces

DRAWING INDEX

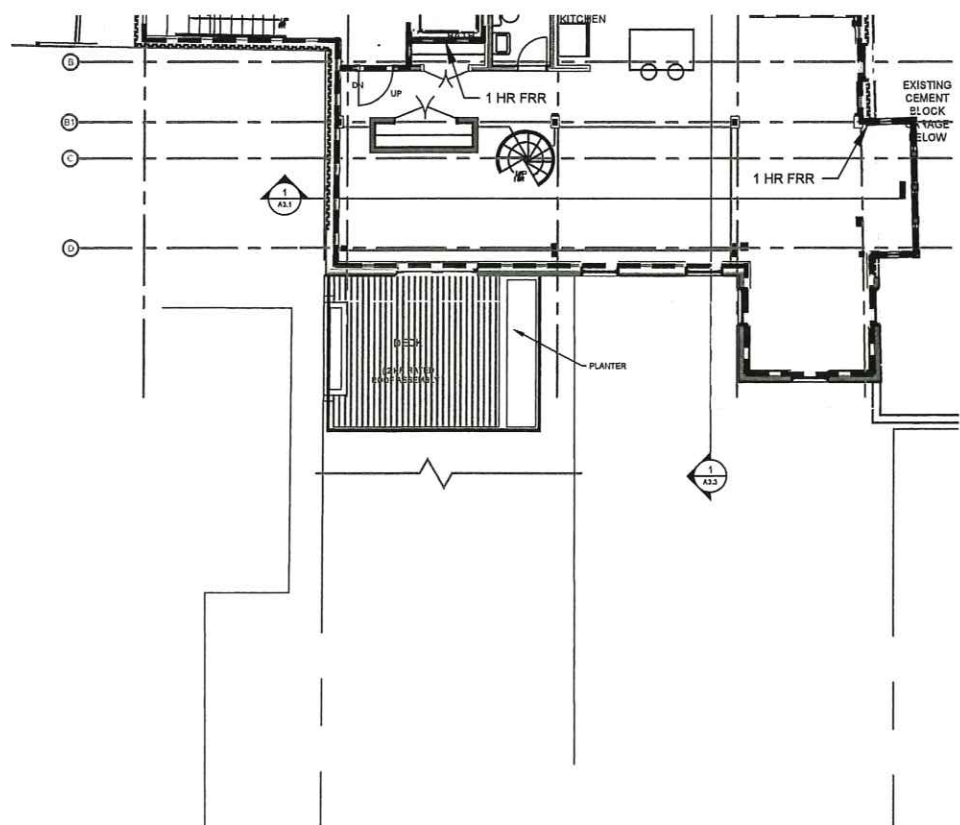
G1.001	Cover Sheet & Drawing Index
G3.001	Code Summary & Fire Protection
G3.002	Boundary Separation Distances
G3.003	Area of Unprotected Openings
C1.001	Proposed Site Modifications
A1.001	Existing Elevation
A2.001	Proposed Elevation
A3.001	Existing 2nd Floor Plan
A3.002	Existing 3rd Floor Plan
A4.001	Proposed 2nd Floor Plan
A4.002	Proposed 3rd Floor Plan
A5.001	Exterior Wall & Roof Assemblies
A6.001	Cross Section
A7.001	Proposed Porch Reconstruction Plans
A7.002	Proposed Porch Reconstruction Details
A10.001	Wall Sections -- Third Floor Addition



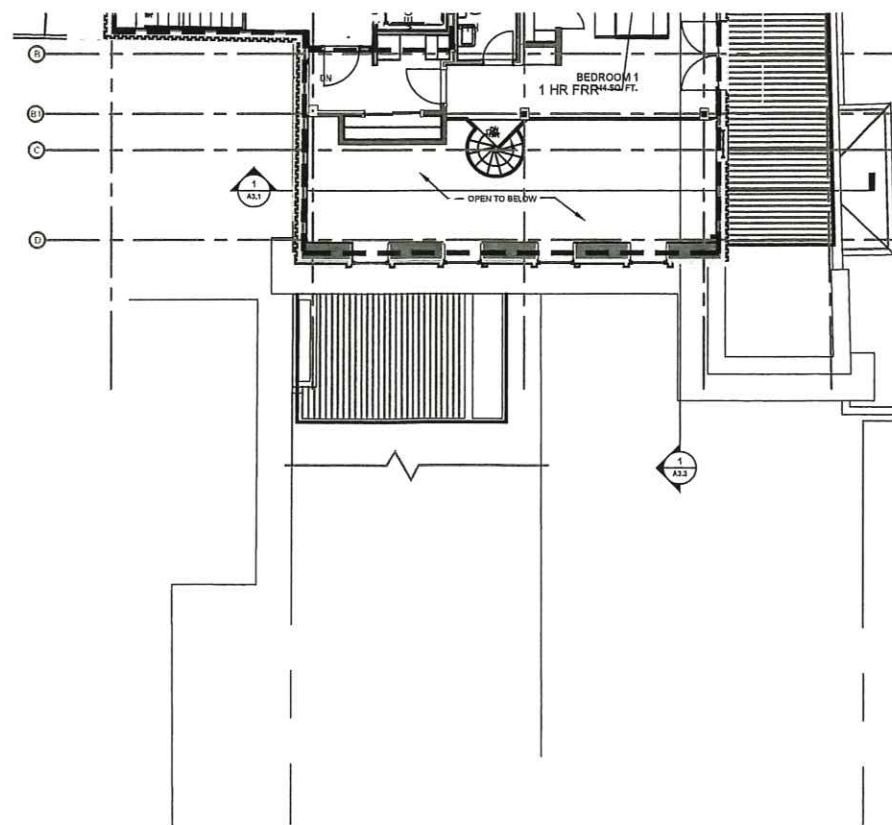
1ST. FLOOR



2ND. FLOOR



3RD. FLOOR



MEZZANINE LEVEL

CODE SUMMARY

Building Code: IBC 2009
 NFPA 101 2006

Occupancy: IBC Business Group B
 IBC Residential Group R-2
 IBC Mercantile Group M
 NFPA Business
 NFPA Residential
 NFPA Mercantile

No. of Floors: 3

Construction: IBC Type 5A
 NFPA 5 (111)

Sprinkler: NFPA 13 compliant
 areas served:
 New 3-floor addition w/ Mezz.
 and adjacent 1-Story
 and 2-Story structures

Fire Ratings:

- IBC Table 601 Structural frame 1Hr
- IBC Table 601 Exterior walls (<30' sep dist) 1Hr
- IBC Table 601 Exterior walls (≥30' sep dist) 0Hr
- IBC Table 601 Interior walls (bearing) 1Hr
- IBC Table 601 Interior walls (non bearing) 0Hr
- IBC Table 601 Floors 1Hr
- IBC Table 601 Roof 1 Hr
- IBC 302.3.2 Occ. use separation 1 and 2Hr
- IBC 1020 Stairs (< 4 floors) 1Hr
- IBC 707 Fire Barriers 1and 2 Hr
- IBC 1014.3.4 R-2 Common path = 125' max.
- IBC 1014.3 B Common path = 100' max.
- IBC 1015.1 One Means of egress
- IBC 1016.1 Exit travel dist = 250' max.
- IBC 1021.2 R-2 travel distance = 50' max.

FLOOR AREAS

(New 3-story addition only)	
1st Floor (Mercantile)	425
1st Floor circulation	
2nd Floor (Business)	615
2nd Floor circulation	
3rd Floor (Business)	375
3rd Floor circulation	

Total Area (square feet) 1,415 (gross)

*Not renewed
 re site plan*

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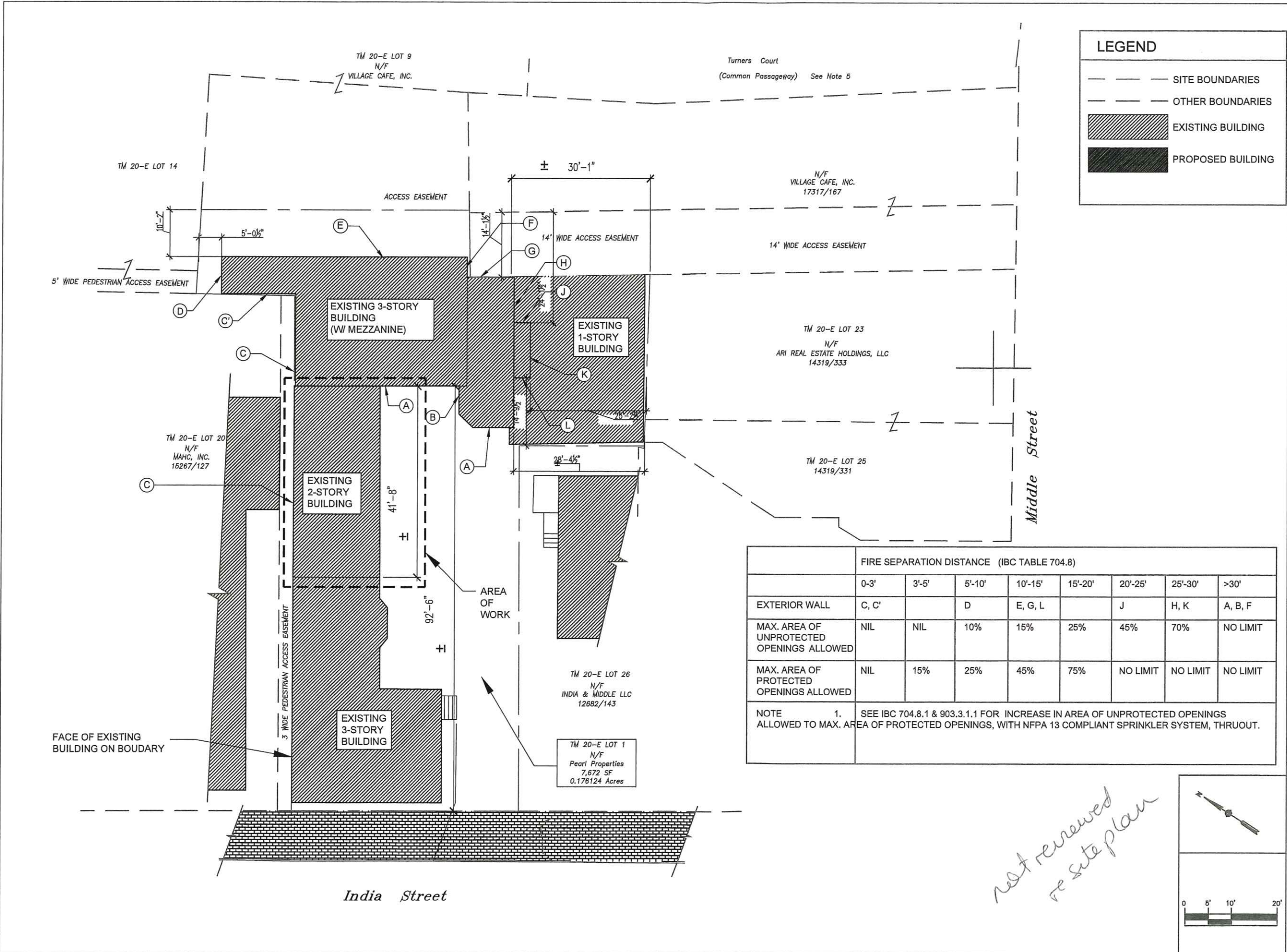
OFFICE ADDITION
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Drawing:
 CODE SUMMARY & FIRE
 PROTECTION

Scale:
 AS SHOWN

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G3.001

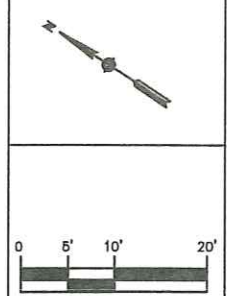


LEGEND

- SITE BOUNDARIES
- OTHER BOUNDARIES
- EXISTING BUILDING
- PROPOSED BUILDING

	FIRE SEPARATION DISTANCE (IBC TABLE 704.8)							
	0-3'	3'-5'	5'-10'	10'-15'	15'-20'	20'-25'	25'-30'	>30'
EXTERIOR WALL	C, C'		D	E, G, L		J	H, K	A, B, F
MAX. AREA OF UNPROTECTED OPENINGS ALLOWED	NIL	NIL	10%	15%	25%	45%	70%	NO LIMIT
MAX. AREA OF PROTECTED OPENINGS ALLOWED	NIL	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NO LIMIT
NOTE 1.	SEE IBC 704.8.1 & 903.3.1.1 FOR INCREASE IN AREA OF UNPROTECTED OPENINGS ALLOWED TO MAX. AREA OF PROTECTED OPENINGS, WITH NFPA 13 COMPLIANT SPRINKLER SYSTEM, THRUOUT.							

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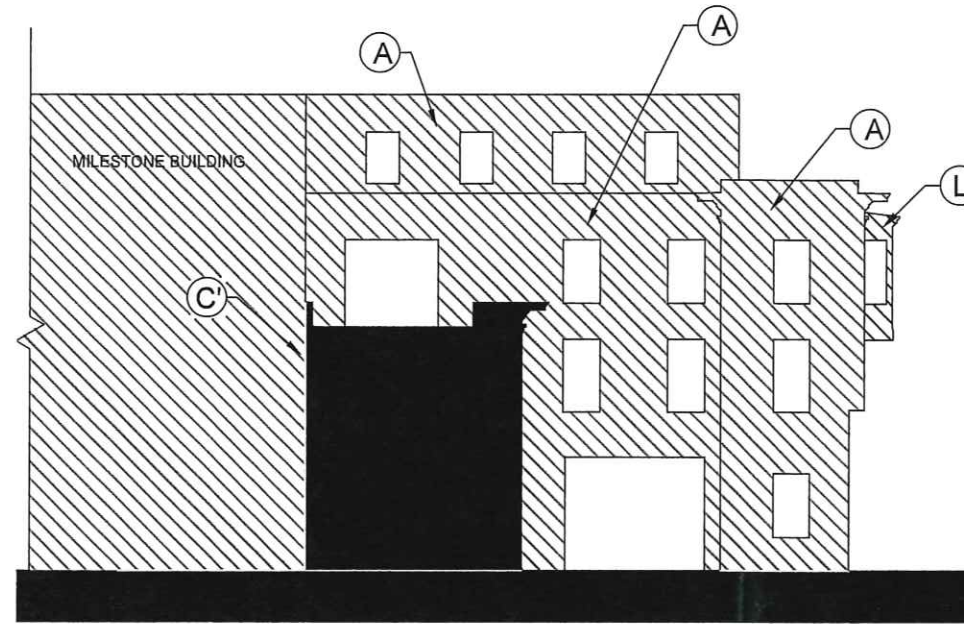
Drawing:
 BOUNDARY SEPARATION DISTANCES

Scale:
 AS SHOWN

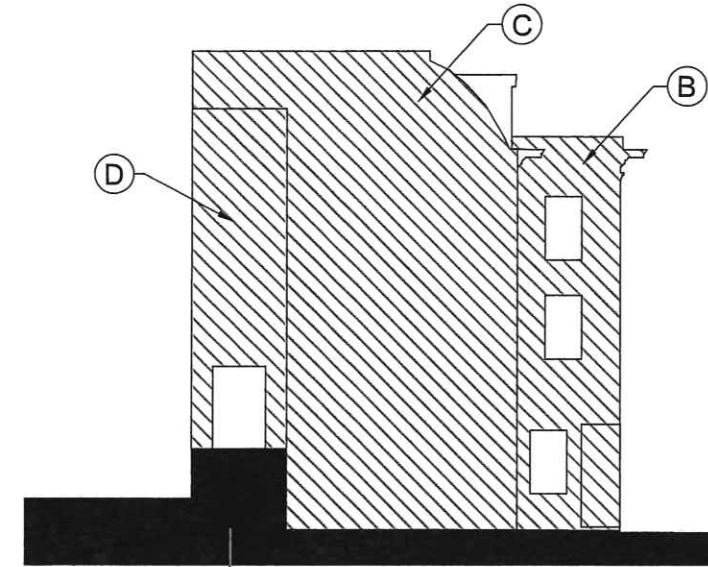
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NOTES:
 1. SEE DRAWING G1.2 FOR WALL LOCATIONS & SEPARATION DISTANCES TO LOT BOUNDARIES



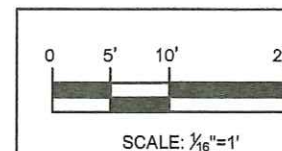
SOUTH-WEST ELEVATION



NORTH-WEST ELEVATION

EXTERIOR WALL	AREA OF UNPROTECTED OPENINGS (NOTE 1)										
	A	B	C, C'	D	E	F	G	H	J	K	L
MAX. AREA OF UNPROTECTED OPENINGS ALLOWED	NO LIMIT	NO LIMIT	NIL	15%	45%	NO LIMIT	45%	NO LIMIT	NO LIMIT	NO LIMIT	45%
AREA OF WALL (SF)	NA	NA	1,458.9	238.3	2,065.1	332.3	296.0	491.5	34.5	147.8	26.9
AREA OF UN PROTECTED OPENINGS (SF)	NA	NA	NIL	31.6	129.6	43.1	22.4	84.9	10.7	59.2	10.7
% OF WALL UNPROTECTED	NA	NA	NIL	13.3%	6.3%	12.9%	7.6%	17.2%	31.0%	40.0%	39.8%
NOTE	1. REFER TO G1.2 FOR FIRE SEPARATION DISTANCES TO LOT BOUNDARIES. 2. WALLS C', D, AND E MUST BE RATED 1HR MIN. PER IBC 1019.1.4 FOR EXTERIOR STAIR WALL RETURNS										

not reviewed & stamped



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Drawing:
 AREA OF UNPROTECTED OPENINGS
 Scale:
 AS SHOWN
 Date: 06/04/13
 Issued for: Prelim. Review

G3.003

PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101
PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

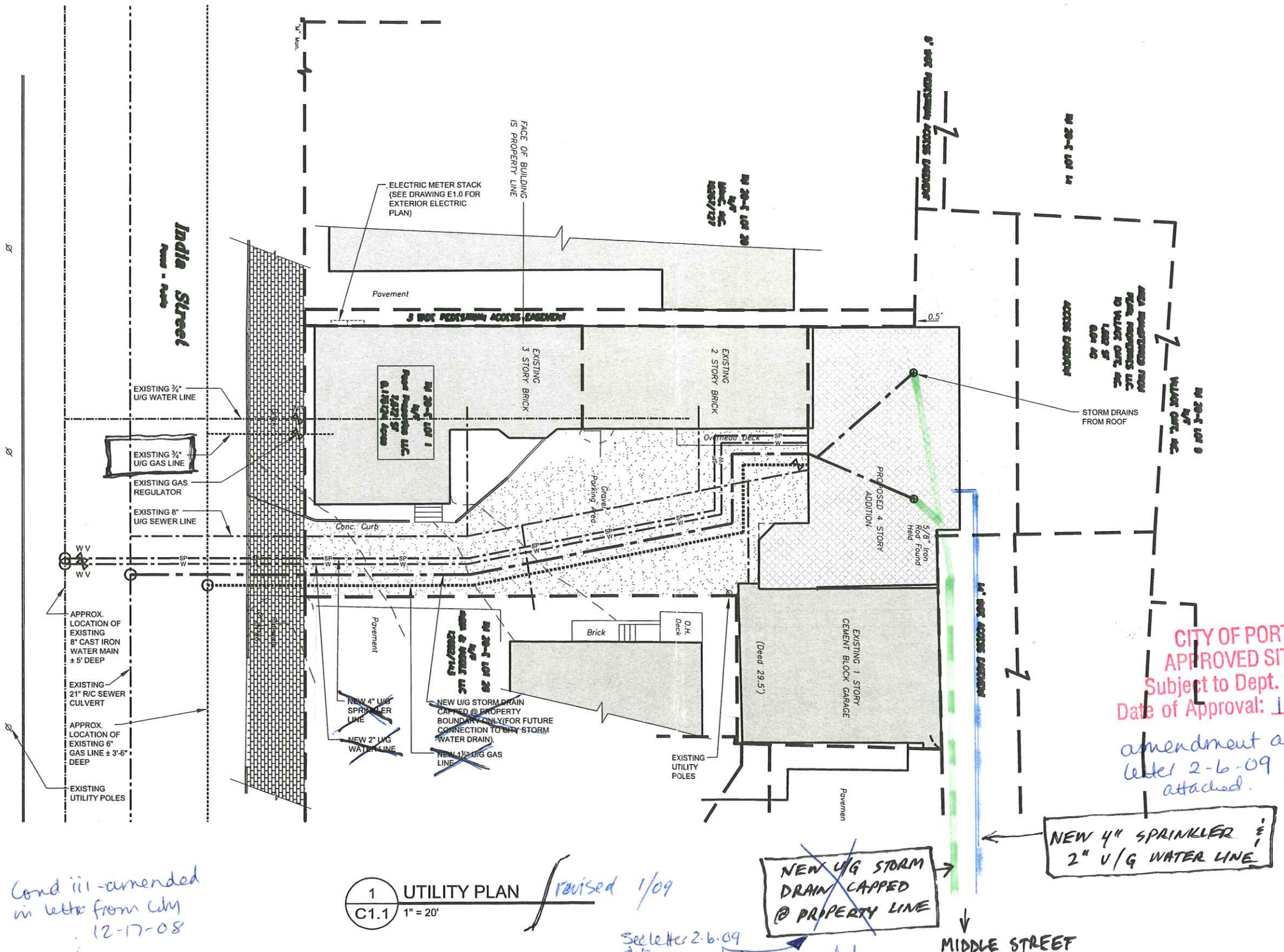
CONSULTANTS:



DATE: 8/25/08
PROJECT No. 0806
DRAWN BY: RTL
CHECKED BY: TST
SCALE: AS SHOWN

SHEET TITLE:
UTILITY PLAN

C1.1
revised 1/09



CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 10-06-08
amendment agreed on
letter 2-6-09
attached.

NEW 4" SPRINKLER
2" U/G WATER LINE

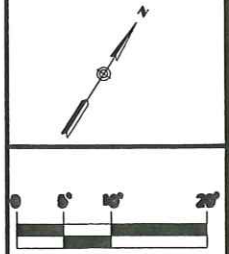
NEW U/G STORM
DRAIN CAPPED
@ PROPERTY LINE

* Cond III-amended
in letter from city
12-17-08

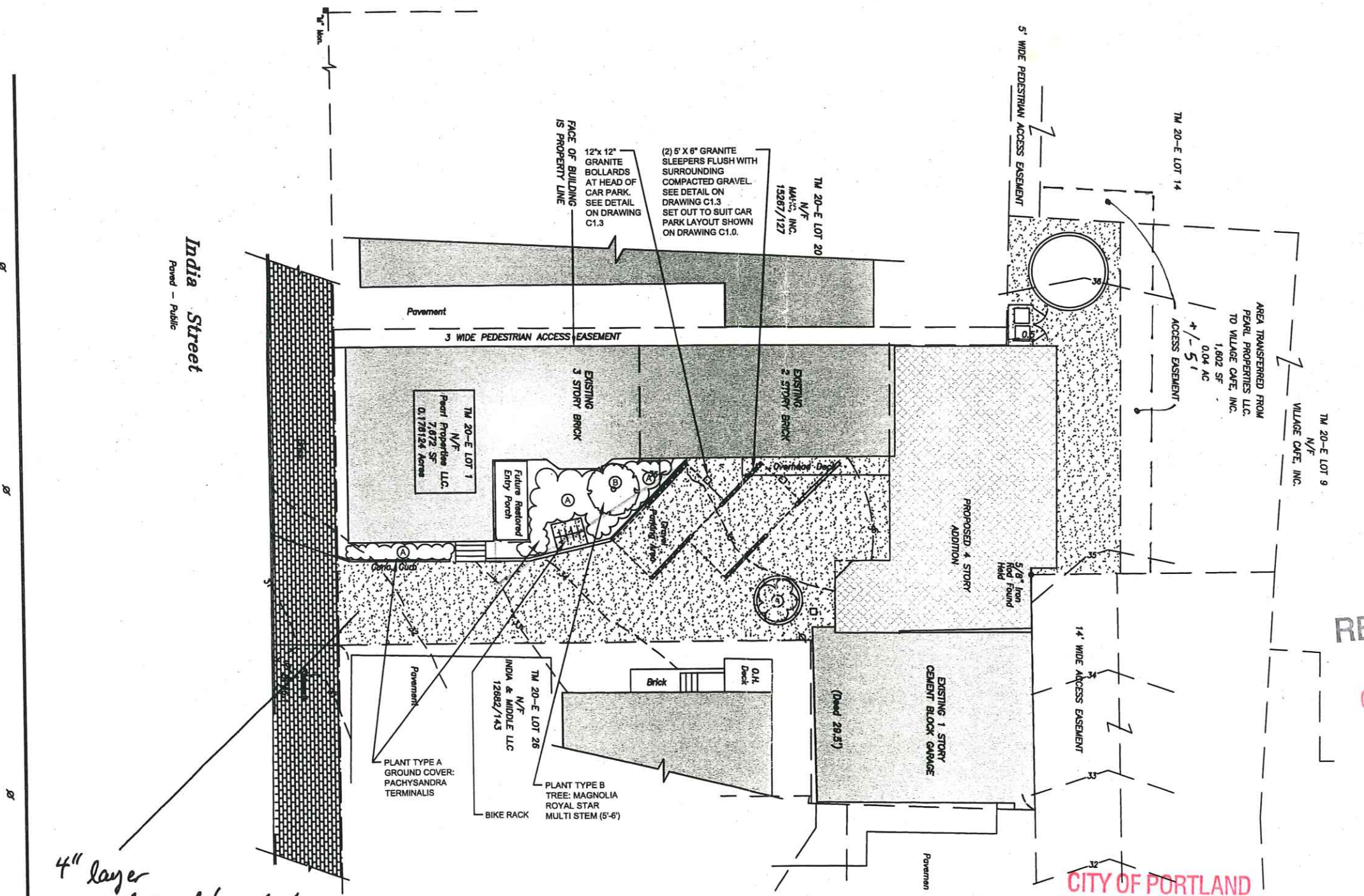
1 UTILITY PLAN
C1.1 1" = 20'

revised 1/09

See letter 2-6-09
City agreed this not needed



City Planner note:
 Lease Agreement for Mr Reynolds to
 lease 4 parking spaces from
 Mr. C.A. McDonald - these located
 in lot at 62 India St. See letter + Lease of 10.1.08
 J. Fraser Planner.



4" layer
 reclaimed/crushed
 asphalt cover

NB: post-build impervious is 94.5%

1 LANDSCAPE PLAN
 L1.0 1" = 20'

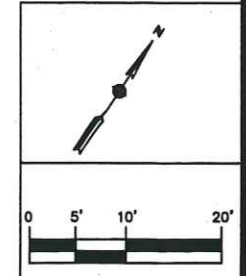
RECEIVED

OCT 1 2008

City of Portland
 Planning Division

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10-6-08

Condition amended letter 12-17-08
 utilities amended letter 2-6-09.



PROPOSED ADDITIONS TO
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 PORTLAND, MAINE 04101
 PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6141
 ARCHITECTURE PLANNING

CONSULTANTS:

REVISIONS:
 REVISION #1 9/19/08



DATE: 8/25/08
 PROJECT No. 0806
 DRAWN BY: RTL
 CHECKED BY: TST
 SCALE: AS SHOWN

SHEET TITLE:
 LANDSCAPE
 PLAN

L1.0

modified



PROPOSED ADDITIONS to EXISTING BUILDING at 61 INDIA STREET PORTLAND, MAINE

10 - One Solution
 999 000 006
 Only circled plans are stamped
CITY OF PORTLAND
APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10-6-2008
 12-17-2008
 7-20-2011 w
 revisions to agree, parking, materials, to rear lot work (subject several conditions)

rear plans not re SITE PLAN

ZONE REQUIREMENTS

For City Planning Zone: B2b		
Dimension requirements	Required	Proposed
Min. Lot Size (Bus. use)	None	7,672 sf.
Min. Area/unit (Res. use)	1,000 sf/unit	7,672 sf/unit
Min. Street Frontage	50'	49.50' (as existing)
Min/Max. Front Yard	NA	(as existing)
Min. Rear Yard	10'	10.5'
Min. Side Yard	None	None (as existing)
Min. Lot Width	None	49.1' (as existing)
Max. Structure Height	45'	40.0'
Max. Impervious area	90%	94.5% (as existing)
Car park requirements	Required	Proposed
Extg. Res. units	2 spaces	2 spaces
Extg. Retail unit (<2,000sf)	0 spaces	0 spaces
New Retail unit (<2,000sf)	0 spaces	0 spaces
New Bus. unit (<1,000sf)	2 spaces	2 spaces
New Res. units	1 spaces	1 spaces
Total car parks	5 spaces	5 spaces

DRAWING INDEX

G1.0	Zone Requirements & Drawing Index
G1.1	Code Summary & Fire Protection
G1.2	Boundary Separation Distances
G1.3	Area of unprotected openings
G1.4	Exterior wall & roof assemblies
G1.5	Interior & floor assemblies
C0.1	Site Demolition Plan
C1.0	Site Layout & Grading Plan
C1.1	Utility Plan
C1.2	Site Details /not incl.
C1.3	Site Details
L1.0	Landscape Plan
E1.0	Exterior Electric Plan
S0.0	Structural General Notes
S1.1	Foundation Plan
S1.2	Second Floor Framing Plan
S1.3	Third Floor Framing Plan
S1.4	Fourth Floor Framing Plan
S1.5	Roof Framing Plan
S2.1	"C" Line Framing Section
S2.2	Section Through Building at Archway
S2.3	Details

A1.1	Proposed 1st Floor
A1.2	Proposed 2nd Floor
A1.3	Proposed 3rd Floor
A1.4	Proposed Mezzanine Level
A1.5	Proposed Roof Plan
A2.1	Proposed Elevation: Southwest
A2.2	Proposed Elevation: Southeast
A2.3	Proposed Elevation: Northeast
A2.4	Proposed Elevation: Northwest
A3.1	Building Section
A3.2	Building Section
A5.1	Details
A5.2	Details
A6.0	Stairs
A7.0	Window Schedule
A7.1	Door Schedule

JAMES LYMAN REYNOLDS ARCHITECT P.C.

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 61 INDIA STREET
 PORTLAND, MAINE 04101
 PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

JAMES LYMAN REYNOLDS ARCHITECT
 4303 US Route 209
 Stone Ridge, NY 12484
 Ph (845) 687-9161

CONSULTANTS:

AMENDMENTS:
 REVISION #2 - 12/01/08
 REVISION #4 - 11/20/10
 REVISION #5 - 02/20/11

REGISTERED ARCHITECT
 JAMES LYMAN REYNOLDS
 No. 3611
 STATE OF MAINE

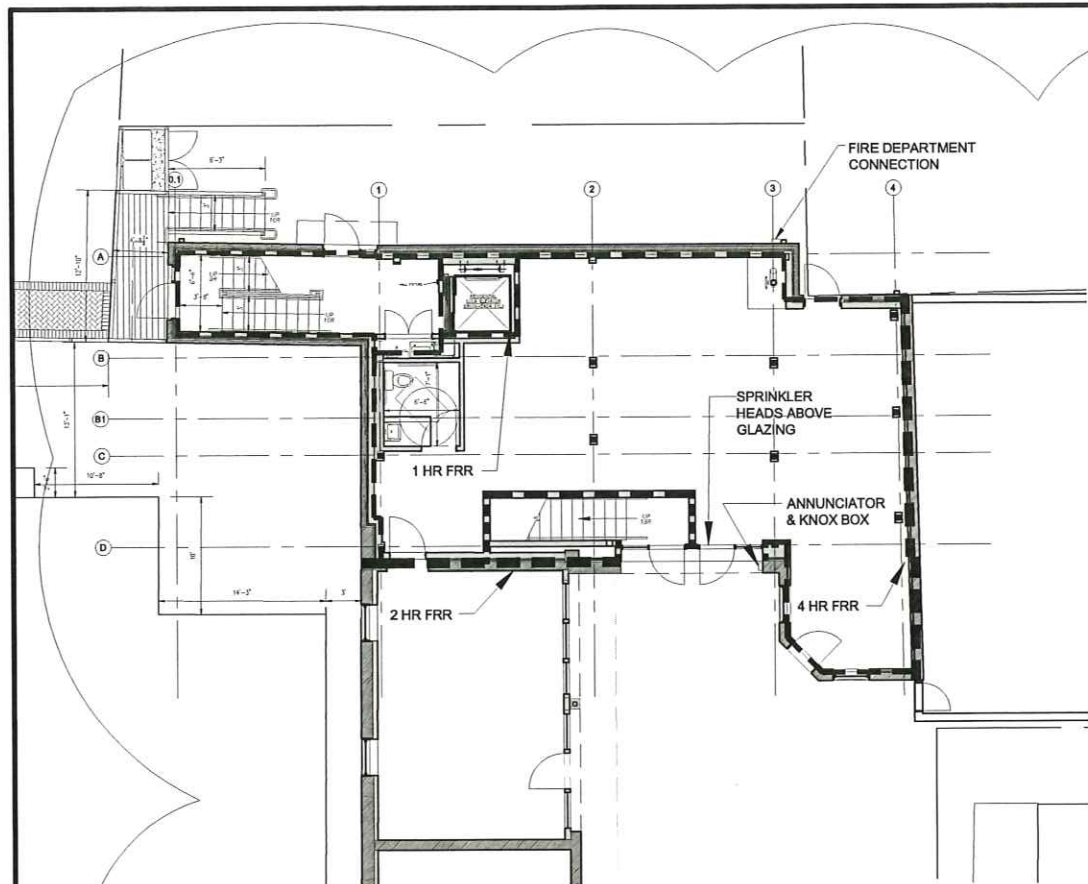
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 CHECKED BY:
 SCALE: N/A
 SHEET TITLE:
 ZONE SUMMARY & DRAWING INDEX

G1.0

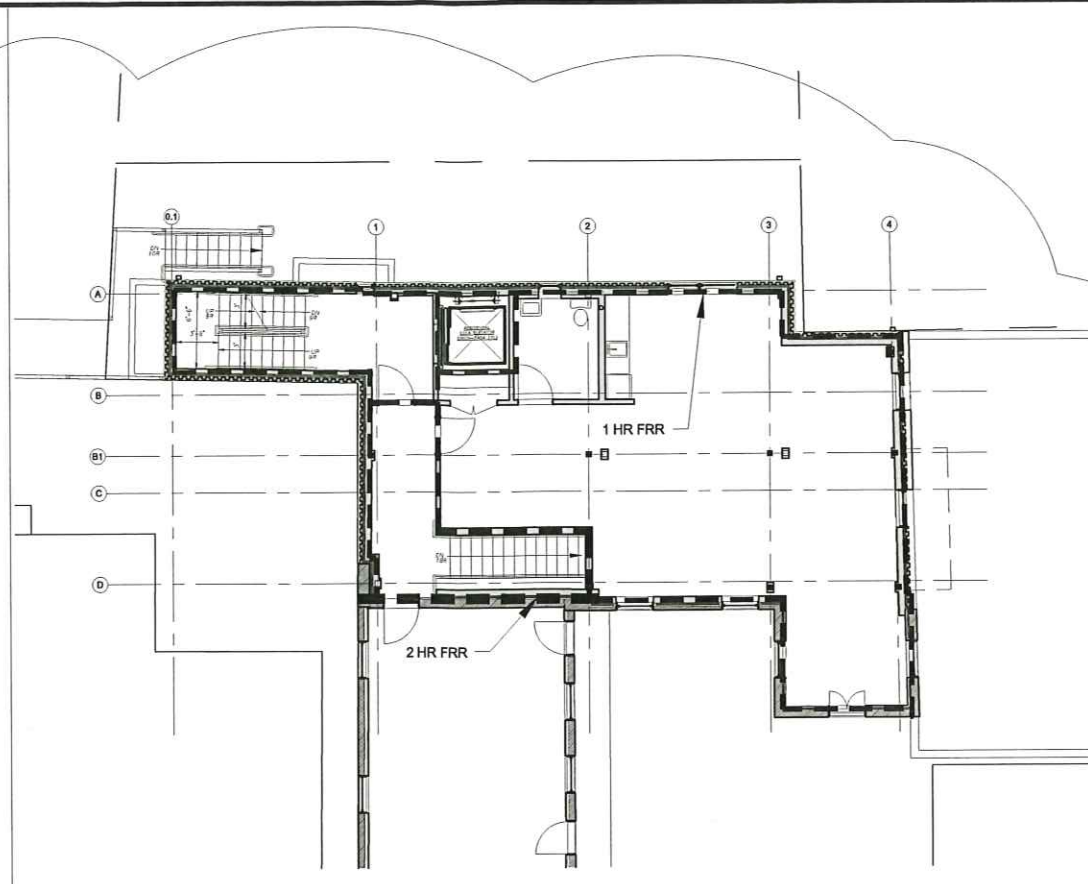
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APR 21 2011

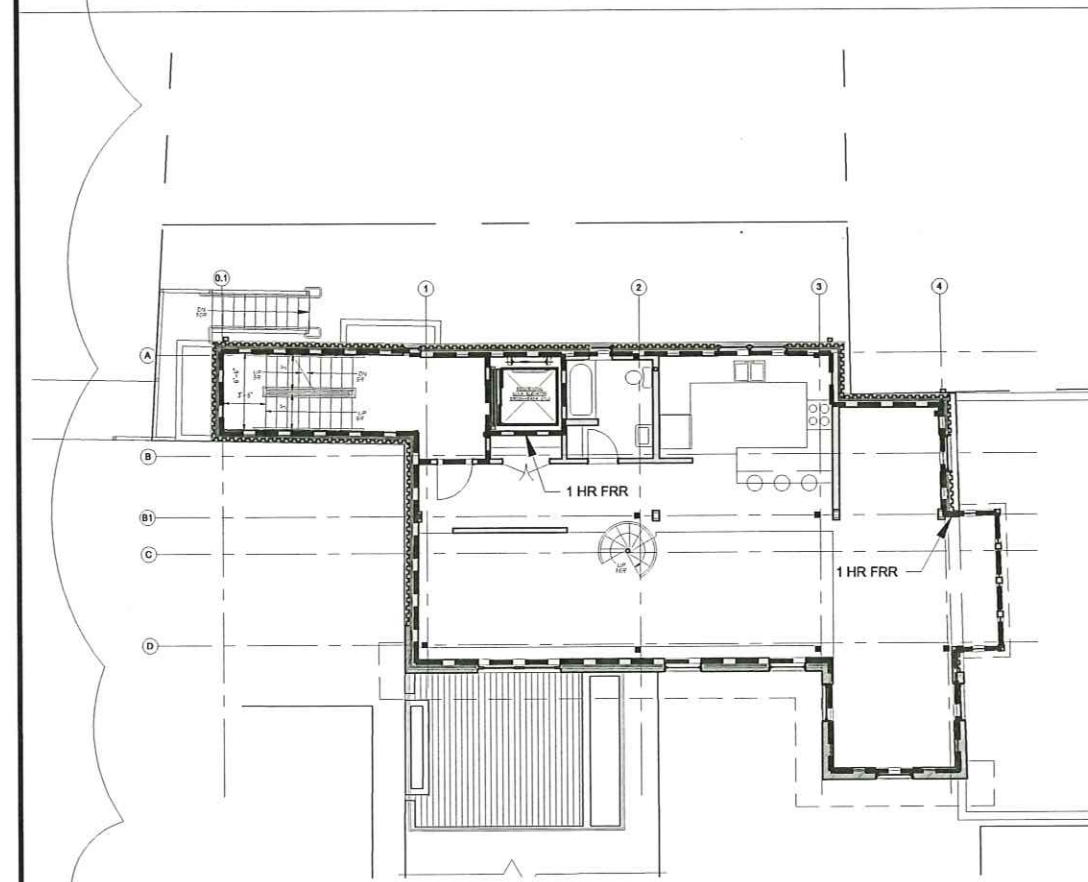
City of Portland
 Planning Division



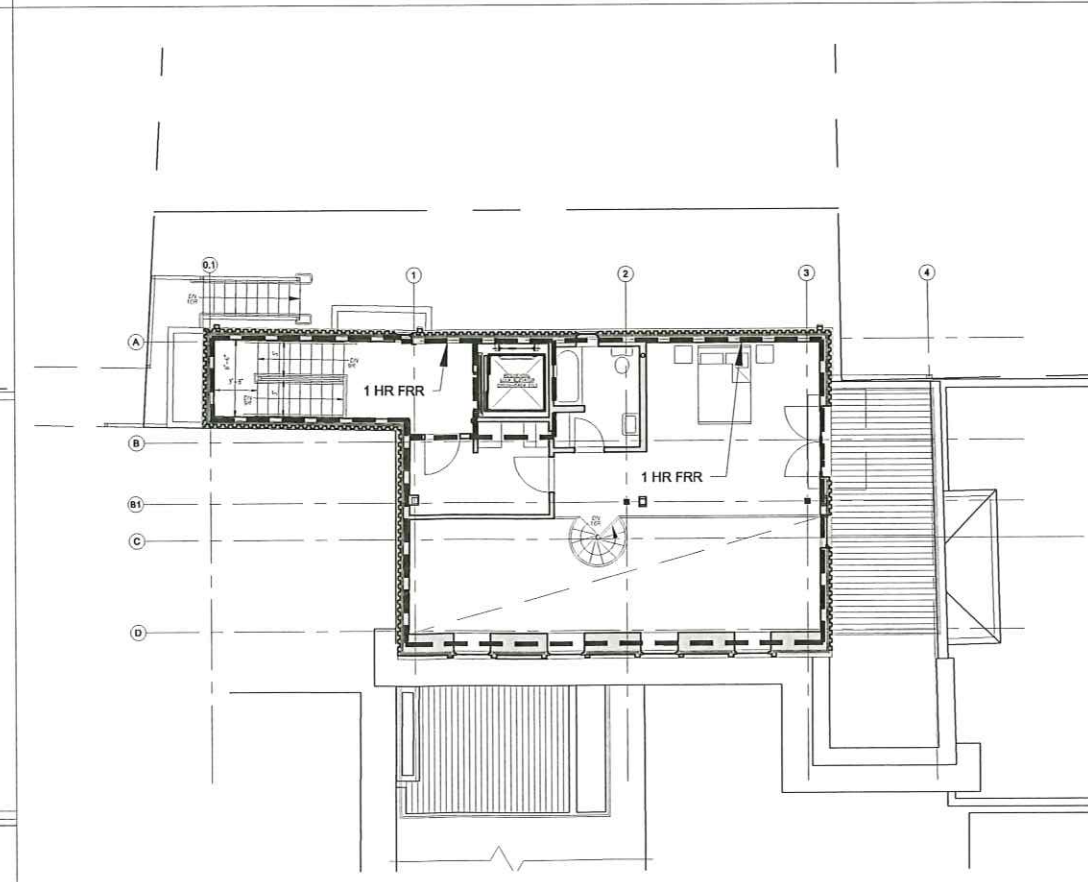
1ST. FLOOR



2ND. FLOOR



3RD. FLOOR



MEZZANINE LEVEL

CODE SUMMARY

Building Code: IBC 2009
NFPA 101 2006

Occupancy: IBC Business Group B
IBC Residential Group R-2
IBC Mercantile Group M
NFPA Business
NFPA Residential
NFPA Mercantile

No. of Floors: 3

Construction: IBC Type 5A
NFPA 5 (111)

Sprinkler: NFPA 13 compliant areas served:
New 3-floor addition w/ Mezz. and adjacent 1-Story and 2-Story structures

Fire Ratings:
IBC Table 601 Structural frame 1Hr
IBC Table 601 Exterior walls (<30' sep dist) 1Hr
IBC Table 601 Exterior walls (≥30' sep dist) 0Hr
IBC Table 601 Interior walls (bearing) 1Hr
IBC Table 601 Interior walls (non bearing) 0Hr
IBC Table 601 Floors 1Hr
IBC Table 601 Roof 1 Hr
IBC 302.3.2 Occ. use separation 1 and 2Hr
IBC 1020 Stairs (< 4 floors) 1Hr
IBC 707 Fire Barriers 1and 2 Hr
IBC 1014.3.4 R-2 Common path = 125' max.
IBC 1014.3 B Common path = 100' max.
IBC 1015.1 One Means of egress
IBC 1016.1 Exit travel dist = 250' max.
IBC 1021.2 R-2 travel distance = 50' max.

FLOOR AREAS

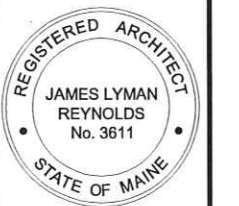
(New 3-story addition only)	
1st Floor (Mercantile)	1,234.0
1st Floor circulation	261.6
2nd Floor (Business)	1,231.5
2nd Floor circulation	259.2
3rd Floor (Residential)	1,031.4
3rd Floor circulation	251.0
Mezzanine(Residential)	361.6
Mezzanine circulation	346.4
Total Area (square feet)	4,976.7 (gross)

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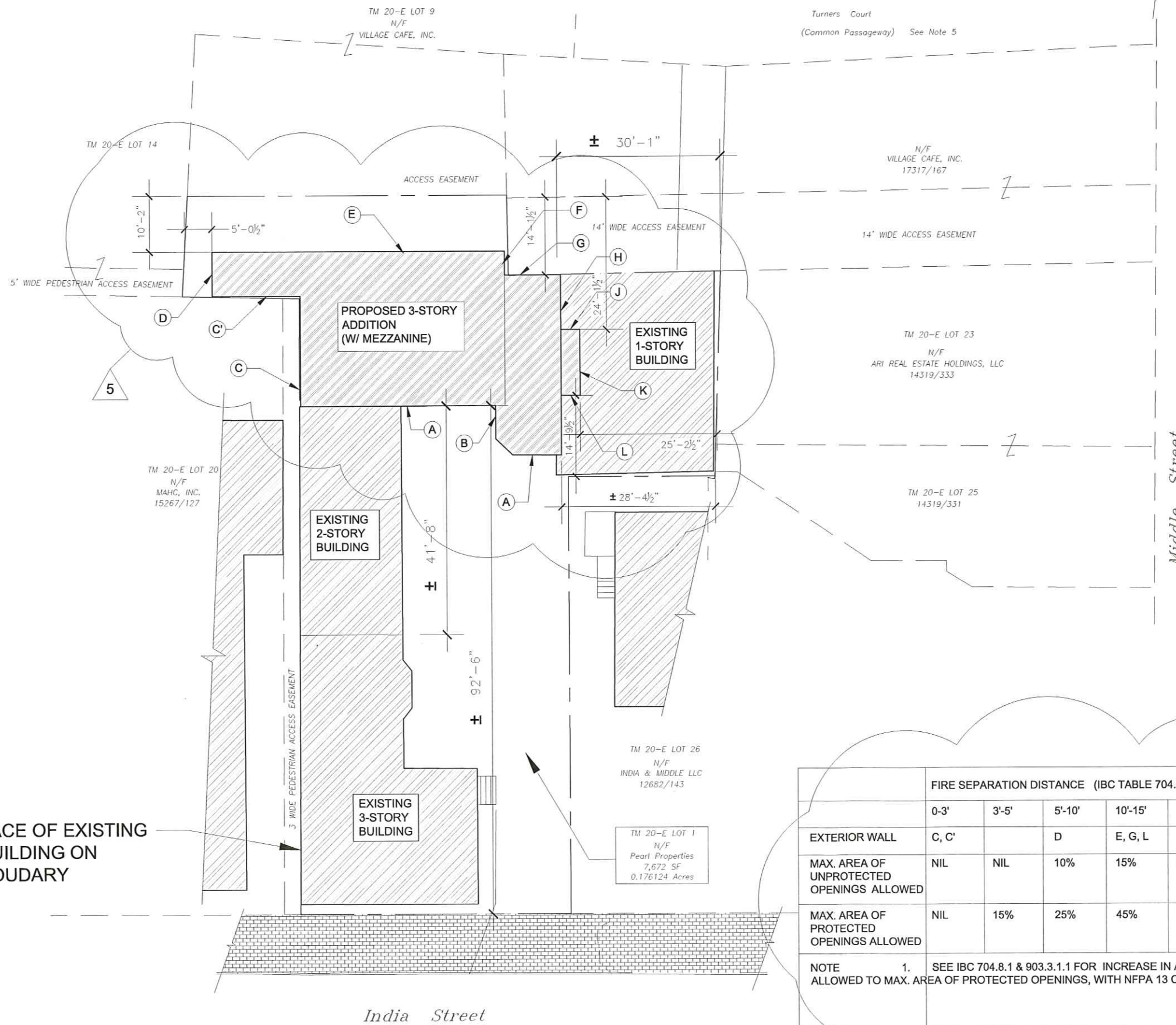
JAMES LYMAN REYNOLDS
ARCHITECT
4303 US Route 209
Stone Ridge, NY 12484
Ph (845) 687-9161

CONSULTANTS:
AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #4 - 11/20/10
REVISION #5 - 04/20/11



DATE: 8.25.08
PROJECT No. INDIA STREET
DRAWN BY:
CHECKED BY: JLR
SCALE: AS INDICATED
SHEET TITLE:
CODE SUMMARY & FIRE PROTECTION

G1.1



LEGEND

- SITE BOUNDARIES
- OTHER BOUNDARIES
- EXISTING BUILDING
- PROPOSED BUILDING

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**PROPOSED ADDITIONS TO
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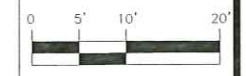
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PROJECT No. INDIA STREET
DRAWN BY: JLR
CHECKED BY: JLR
SCALE: AS INDICATED

SHEET TITLE:
BOUNDARY SEPARATION DISTANCES

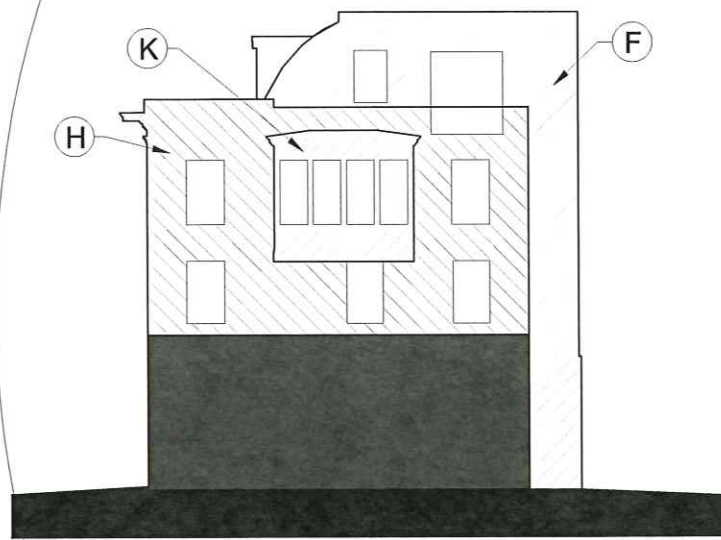
G1.2

Not renewed re site plan

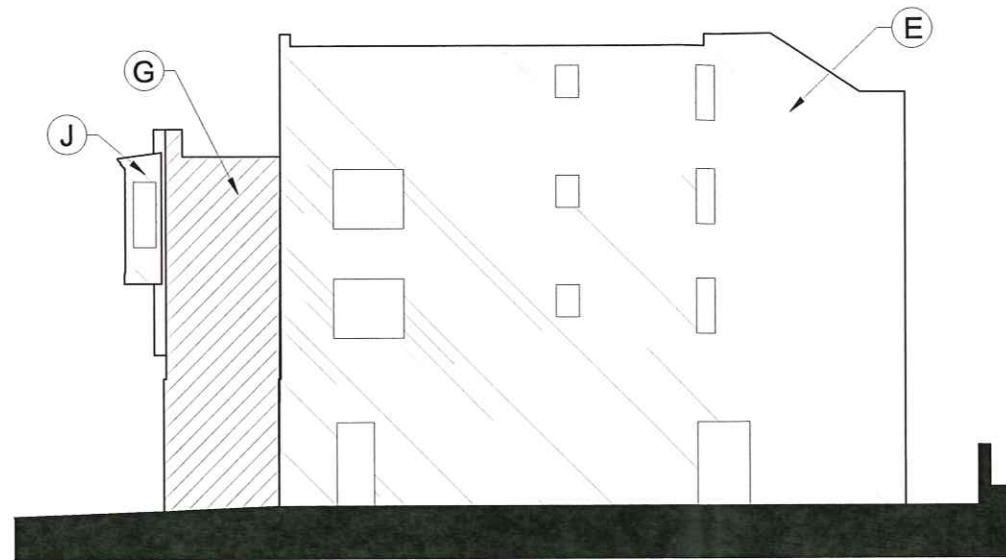
	FIRE SEPARATION DISTANCE (IBC TABLE 704.8)							
	0-3'	3'-5'	5'-10'	10'-15'	15'-20'	20'-25'	25'-30'	>30'
EXTERIOR WALL	C, C'		D	E, G, L		J	H, K	A, B, F
MAX. AREA OF UNPROTECTED OPENINGS ALLOWED	NIL	NIL	10%	15%	25%	45%	70%	NO LIMIT
MAX. AREA OF PROTECTED OPENINGS ALLOWED	NIL	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NO LIMIT
NOTE 1.	SEE IBC 704.8.1 & 903.3.1.1 FOR INCREASE IN AREA OF UNPROTECTED OPENINGS ALLOWED TO MAX. AREA OF PROTECTED OPENINGS, WITH NFPA 13 COMPLIANT SPRINKLER SYSTEM, THRUOUT.							



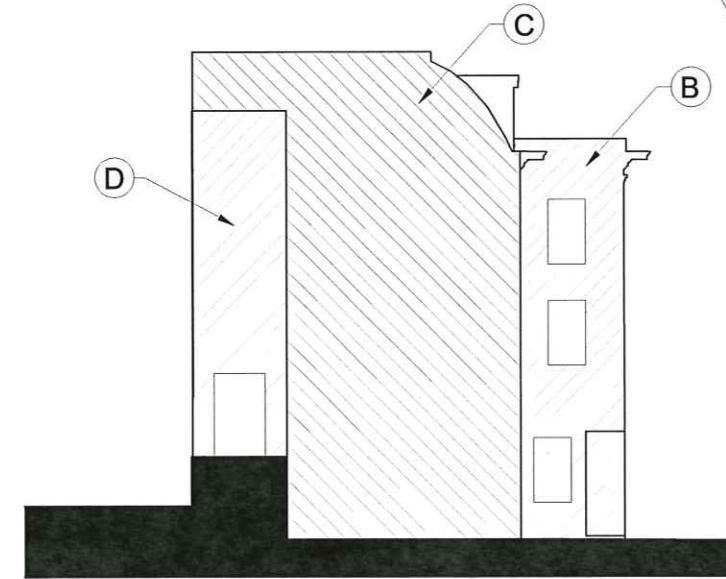
NOTES:
 1. SEE DRAWING G1.2 FOR WALL LOCATIONS & SEPARATION DISTANCES TO LOT BOUNDARIES



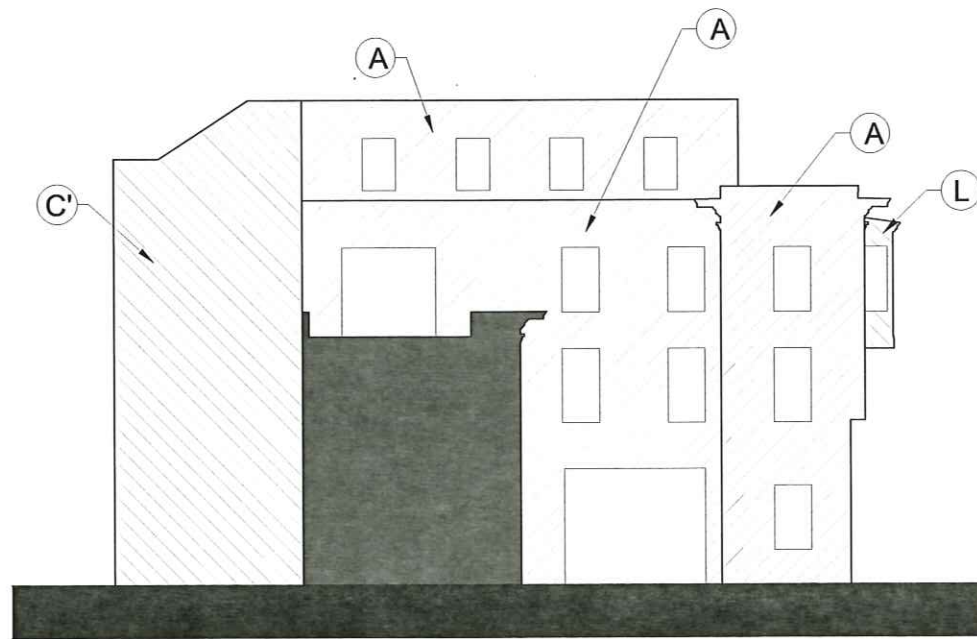
SOUTH-EAST ELEVATION



NORTH-EAST ELEVATION



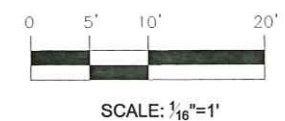
NORTH-WEST ELEVATION



SOUTH-WEST ELEVATION

EXTERIOR WALL	AREA OF UNPROTECTED OPENINGS (NOTE 1)										
	A	B	C, C'	D	E	F	G	H	J	K	L
MAX. AREA OF UNPROTECTED OPENINGS ALLOWED	NO LIMIT	NO LIMIT	NIL	15%	45%	NO LIMIT	45%	NO LIMIT	NO LIMIT	NO LIMIT	45%
AREA OF WALL (SF)	NA	NA	1,458.9	238.3	2,065.1	332.3	296.0	491.5	34.5	147.8	26.9
AREA OF UN PROTECTED OPENINGS (SF)	NA	NA	NIL	31.6	129.6	43.1	22.4	84.9	10.7	59.2	10.7
% OF WALL UNPROTECTED	NA	NA	NIL	13.3%	6.3%	12.9%	7.6%	17.2%	31.0%	40.0%	39.8%
NOTE	1. REFER TO G1.2 FOR FIRE SEPARATION DISTANCES TO LOT BOUNDARIES. 2. WALLS C', D, AND E MUST BE RATED 1HR MIN. PER IBC 1019.1.4 FOR EXTERIOR STAIR WALL RETURNS										

not reviewed re site plan



JAMES LYMAN REYNOLDS
 ARCHITECT P.C.

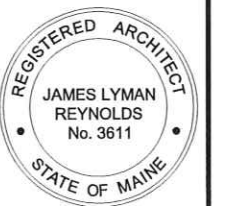
PROPOSED ADDITIONS TO
 61 INDIA STREET
 PORTLAND, MAINE 04101
 PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

JAMES LYMAN REYNOLDS
 ARCHITECT
 4303 US Route 209
 Stone Ridge, NY 12484
 Ph (845) 687-9161

CONSULTANTS:

AMENDMENTS:

REVISION #5 - 04/20/11



DATE: 8.25.08

PROJECT No. INDIA STREET

DRAWN BY: JLR

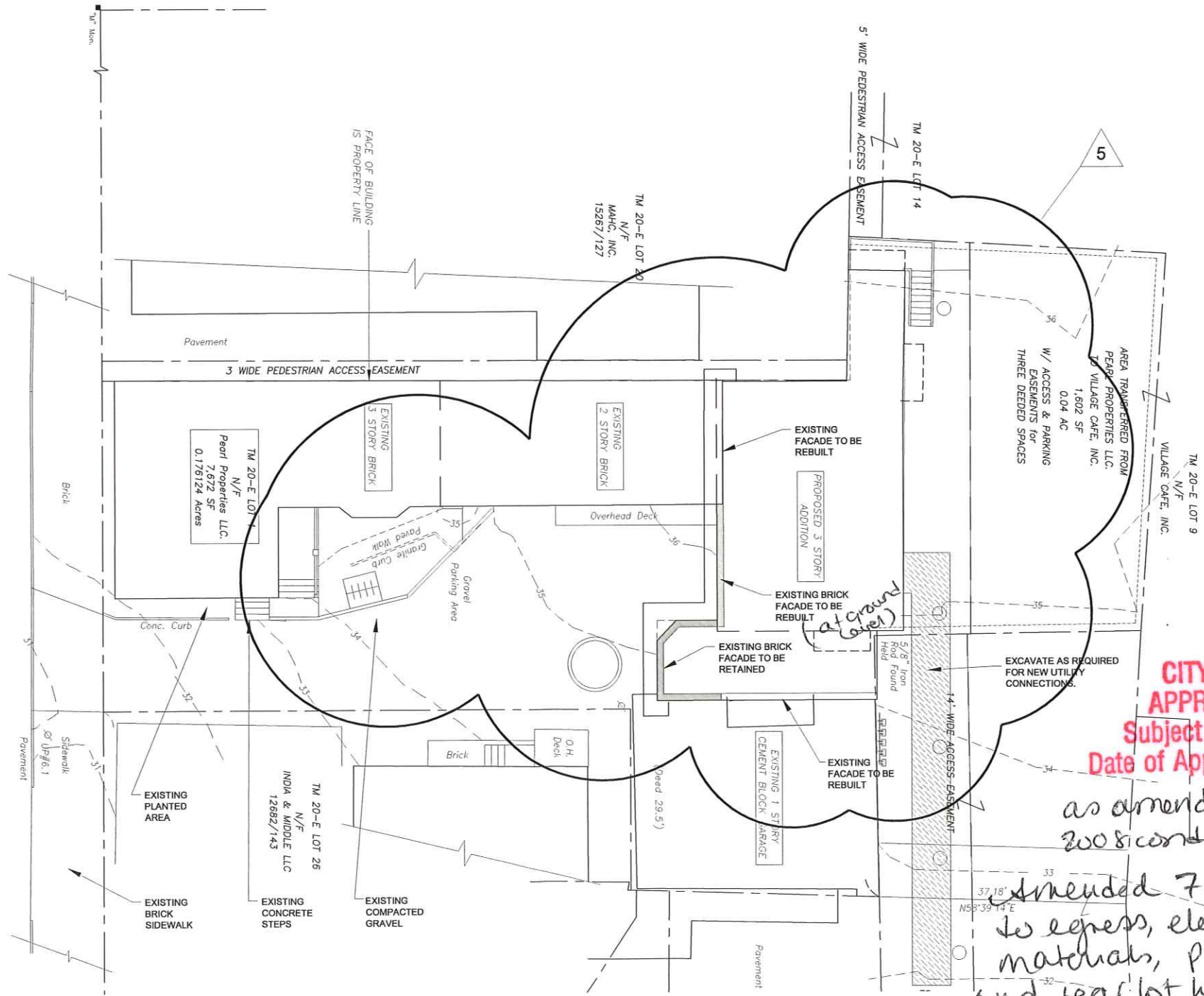
CHECKED BY: JLR

SCALE: AS INDICATED

SHEET TITLE:
 AREA OF UNPROTECTED OPENINGS

G1.3

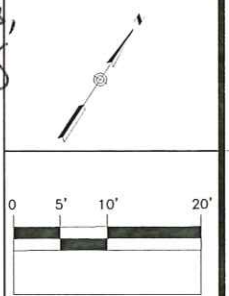
India Street
Paved - Public



**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
Date of Approval: 10-6-2008

as amended 12-17-2008 re
2008 cond. iii

amended 7.20-2011 re revs
to express, elevations,
materials, parking
and rear lot line
adjustment
subject to conds.



1 SITE PLAN DEMOLITION
C0.1 1" = 20'

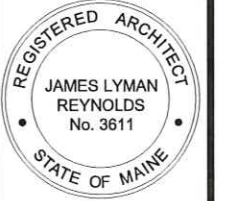
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**PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101**
PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

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ARCHITECT
4303 US Route 209
Stone Ridge, NY 12484
Ph (845) 687-9161

CONSULTANTS:

AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #3 - 3/02/09
REVISION #5 - 04/20/11



DATE: 8.25.08
PROJECT No. INDIA STREET
DRAWN BY:
CHECKED BY: JLR
SCALE: AS INDICATED

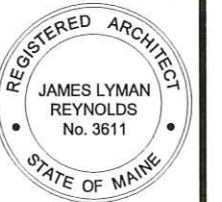
SHEET TITLE:
DEMOLITION PLAN

C0.1

**PROPOSED ADDITIONS TO
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PORTLAND, MAINE 04101**
PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

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AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #3 - 3/02/09
REVISION #4 - 11/20/10
REVISION #5 - 04/20/11

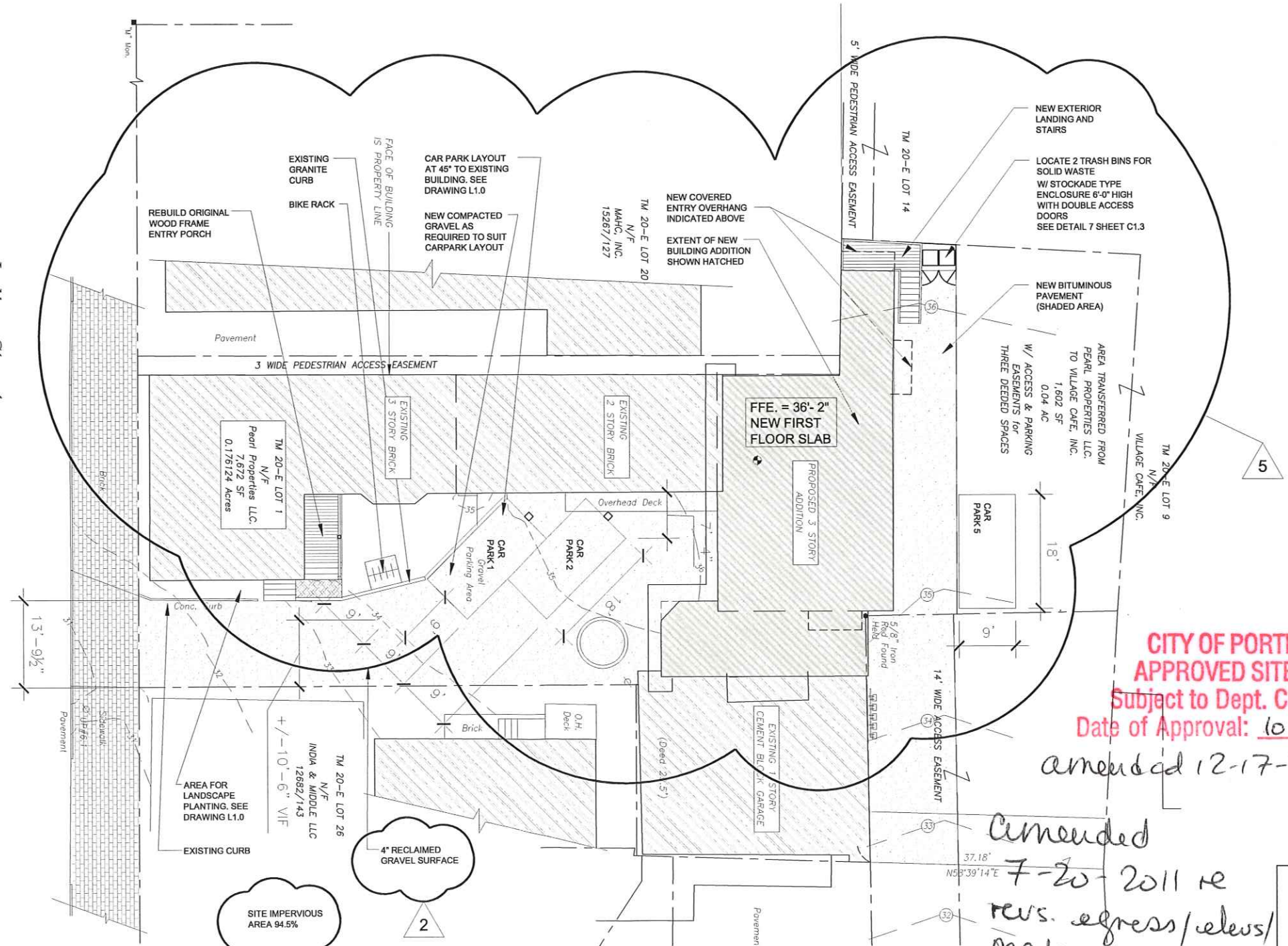


DATE: 8.25.08
PROJECT No. INDIA STREET
DRAWN BY:
CHECKED BY: JLR
SCALE: AS INDICATED

SHEET TITLE:
SITE PLAN
PROPOSED
LAYOUT &
GRADING

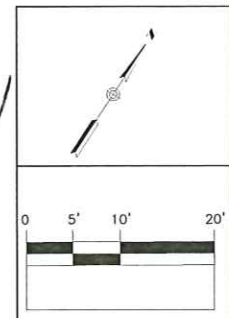
C1.0

NOTES:
1. SNOW TO BE REMOVED FROM THE SITE



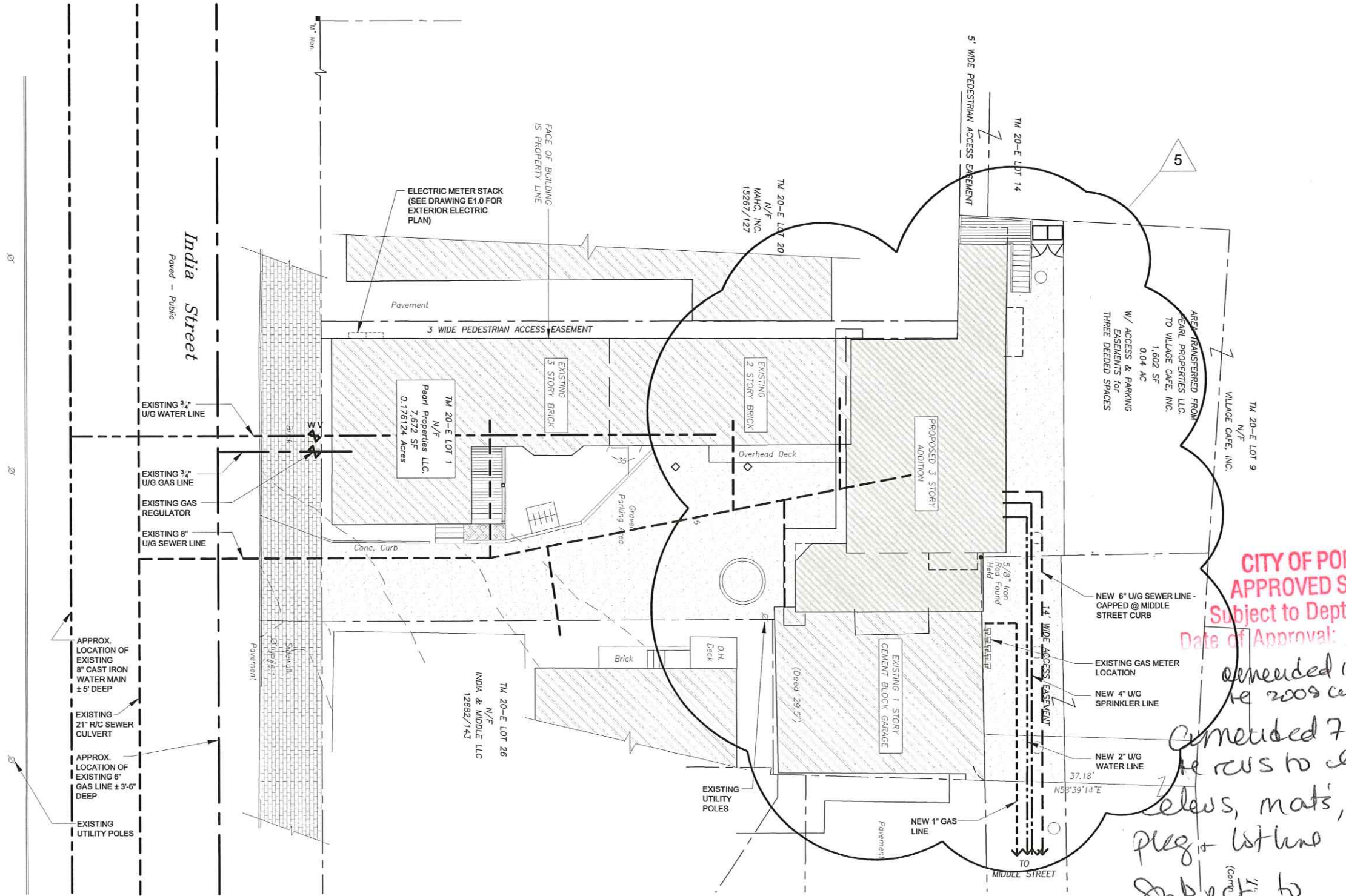
**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
Date of Approval: 10-6-2008

amended 12-17-2008 re cond iii of 2008 applicat
Amended 7-20-2011 re revs. egress/elevs/ materials/ pleg + lot line - Subject to conds.



1 SITE PLAN PROPOSED
C1.0 1" = 20'

India Street
Paved - Public



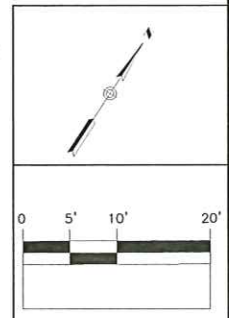
APPROX. LOCATION OF EXISTING 8" CAST IRON WATER MAIN ± 5' DEEP

EXISTING 21" R/C SEWER CULVERT

APPROX. LOCATION OF EXISTING 6" GAS LINE ± 3'-6" DEEP

EXISTING UTILITY POLES

CITY OF PORTLAND APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10-6-2008
 amended 12-17-2008
 re 2009 cond iii
 amended 7-20-2011
 re rws to egress,
 leas, mats,
 plug + lot line
 Subject to
 Conds.

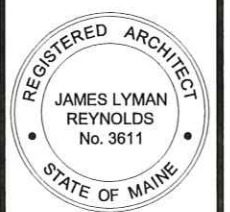


1 UTILITY PLAN
 C1.1 1" = 20'

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 PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

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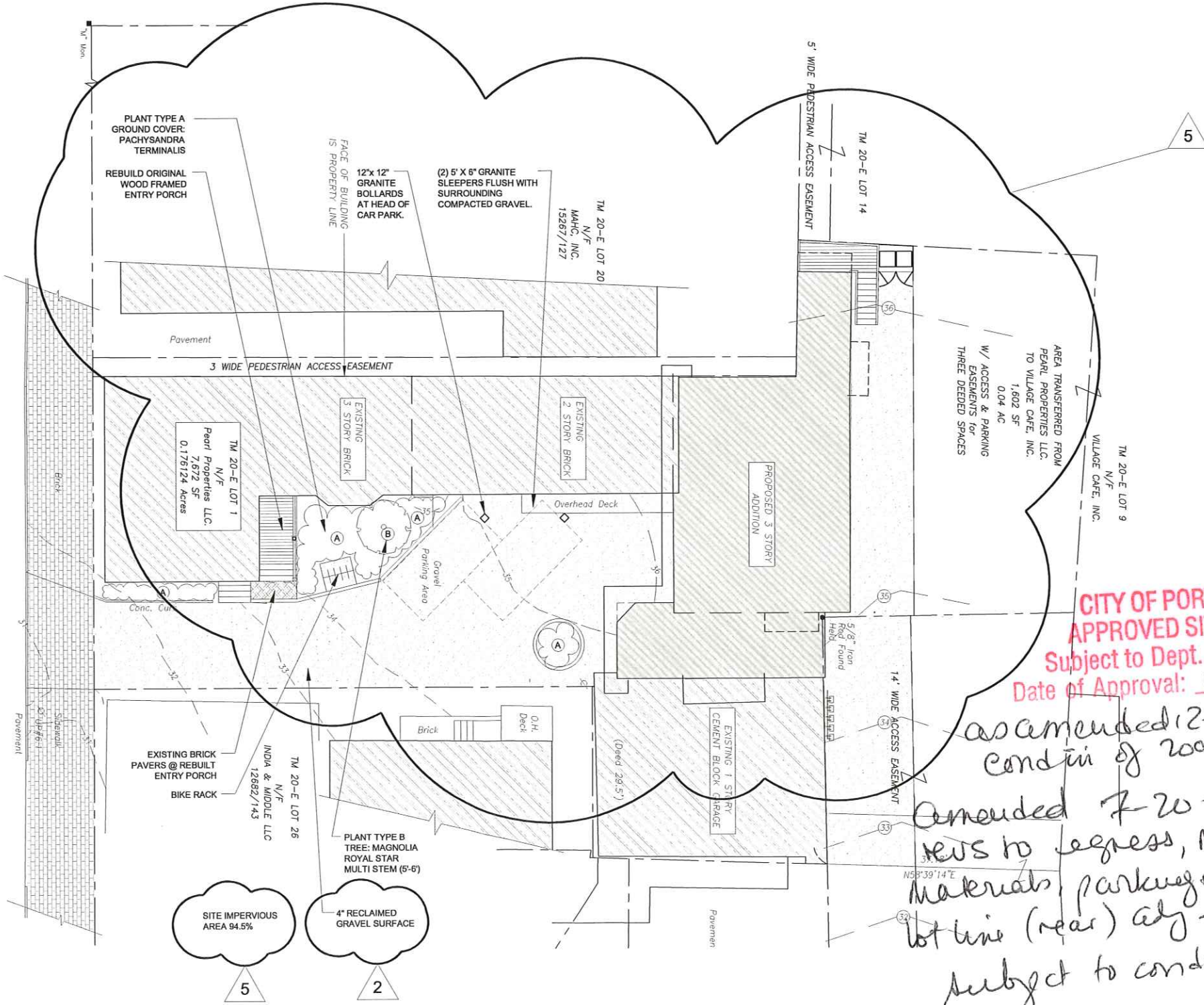
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 AMENDMENTS:
 REVISION #2 - 12/01/08
 REVISION #3 - 3/02/09
 REVISION #5 - 04/20/11



DATE: 8.25.08
 PROJECT No. INDIA STREET
 DRAWN BY:
 CHECKED BY: JLR
 SCALE: AS INDICATED

SHEET TITLE:
 UTILITY PLAN

C1.1



India Street
Paved - Public

1 LANDSCAPE PLAN
L1.0 1" = 20'

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 10-6-2008
as amended 12-17-2008 re
conditions of 2008 app.

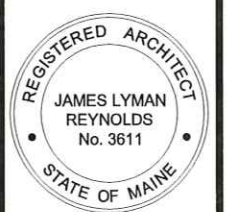
Amended 7-20-2011 re
revisions to egress, elevations,
materials, parking +
lot line (rear) adj-
subject to conds

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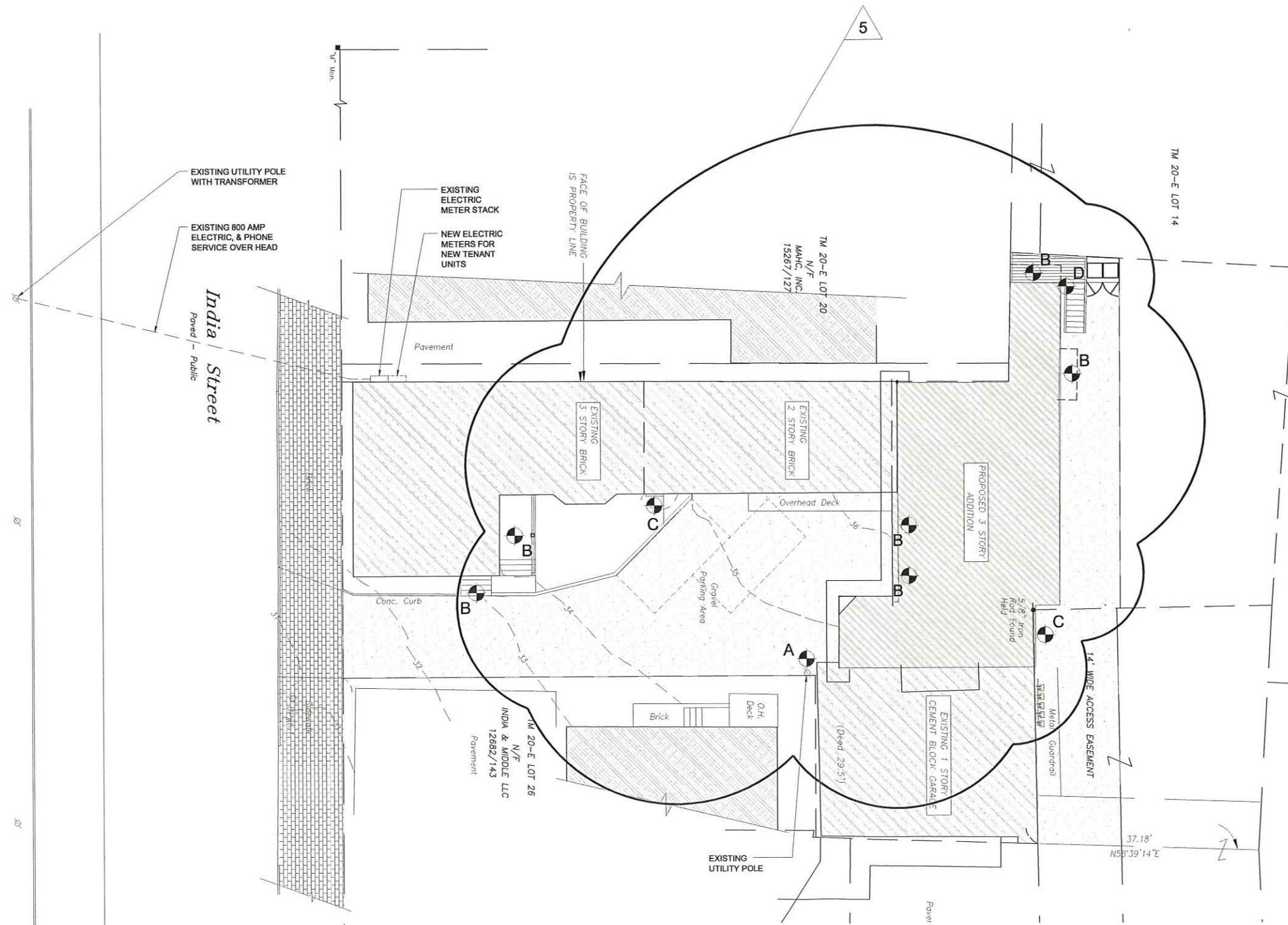
CONSULTANTS:
AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #3 - 3/02/09
REVISION #5 - 04/20/11



DATE: 8.25.08
PROJECT No. INDIA STREET
DRAWN BY:
CHECKED BY: JLR
SCALE: AS INDICATED

SHEET TITLE:
LANDSCAPING PLAN

L1.0

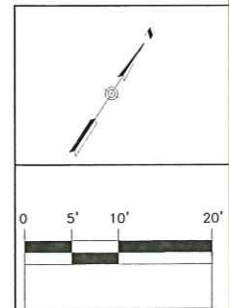


LIGHT FIXTURES:

- A POLE MOUNT
Kim Wall Form
KN-WF 21 Half face
42 w compact fluorescent
- B CANOPY CEILING
Kim Wall Form
KN-WF 20 Full face
26 w compact fluorescent
- C BUILDING MOUNT
Kim Wall Form
KN-WF 21 Half face
26 w compact fluorescent
- D BUILDING MOUNT
Kim Wall Form
KN-WF 21 Half face
42 w compact fluorescent

*Not reviewed
re site plan*

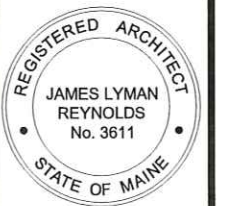
1 EXTERIOR ELECTRIC PLAN
E1.1 1" = 20'



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PORTLAND, MAINE 04101**
PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

JAMES LYMAN REYNOLDS
ARCHITECT
4303 US Route 209
Stone Ridge, NY 12484
Ph (845) 687-9161

CONSULTANTS:
AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #3 - 3/02/09
REVISION #5 - 04/20/11

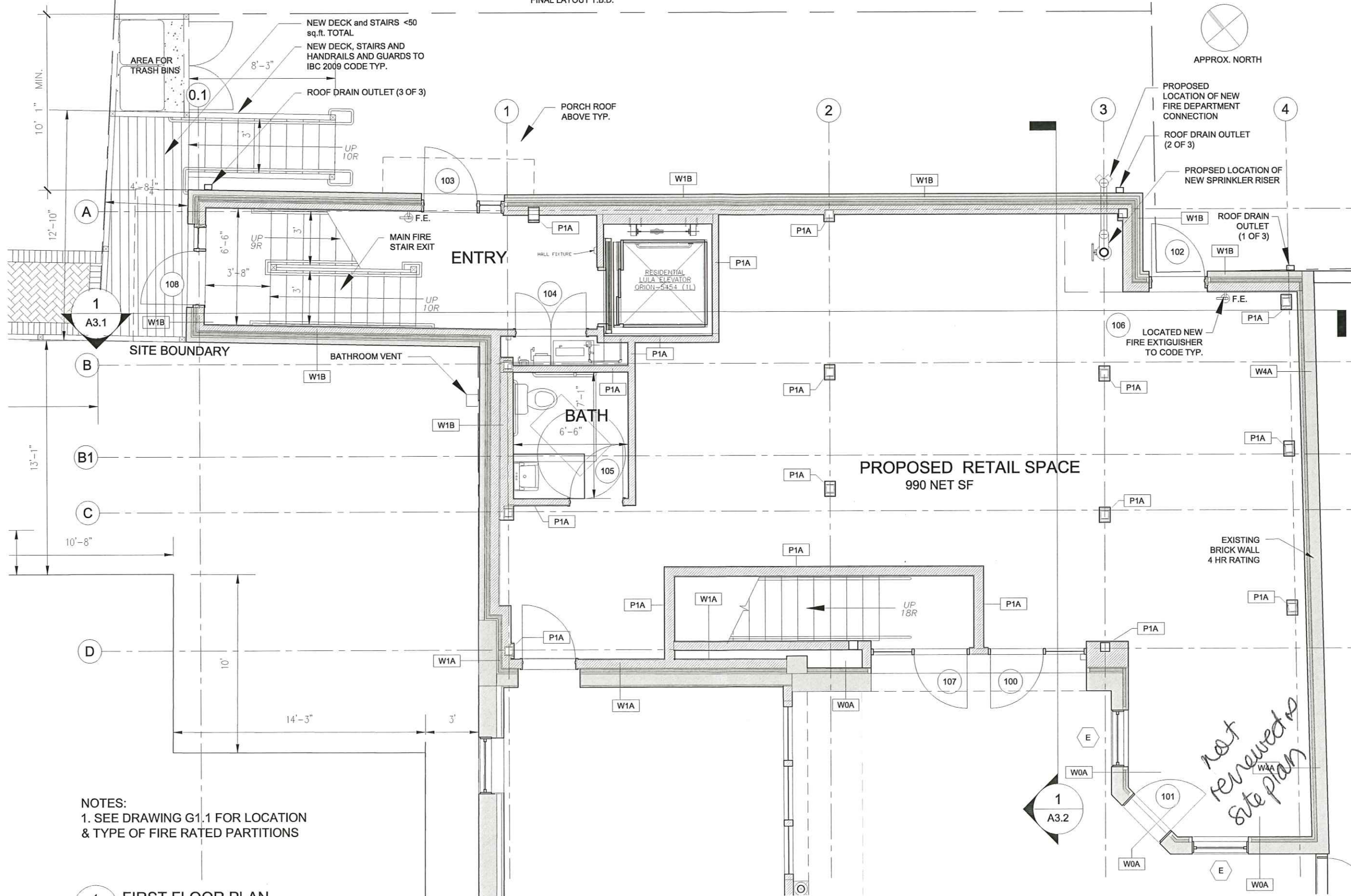


DATE: 8.25.08
PROJECT No. INDIA STREET
DRAWN BY:
CHECKED BY: JLR
SCALE: AS INDICATED

SHEET TITLE:
EXTERIOR ELECTRIC PLAN

E1.0

CAR PAR AREA
@ ADJ. PROPERTY
FINAL LAYOUT T.B.D.



NOTES:
1. SEE DRAWING G1.1 FOR LOCATION
& TYPE OF FIRE RATED PARTITIONS

1 FIRST FLOOR PLAN
A-1.1 3/16" = 1'-0"



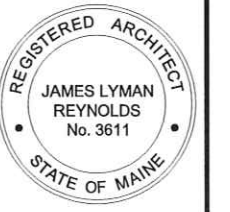
APPROX. NORTH

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PROPOSED ADDITIONS TO
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PORTLAND, MAINE 04101
PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

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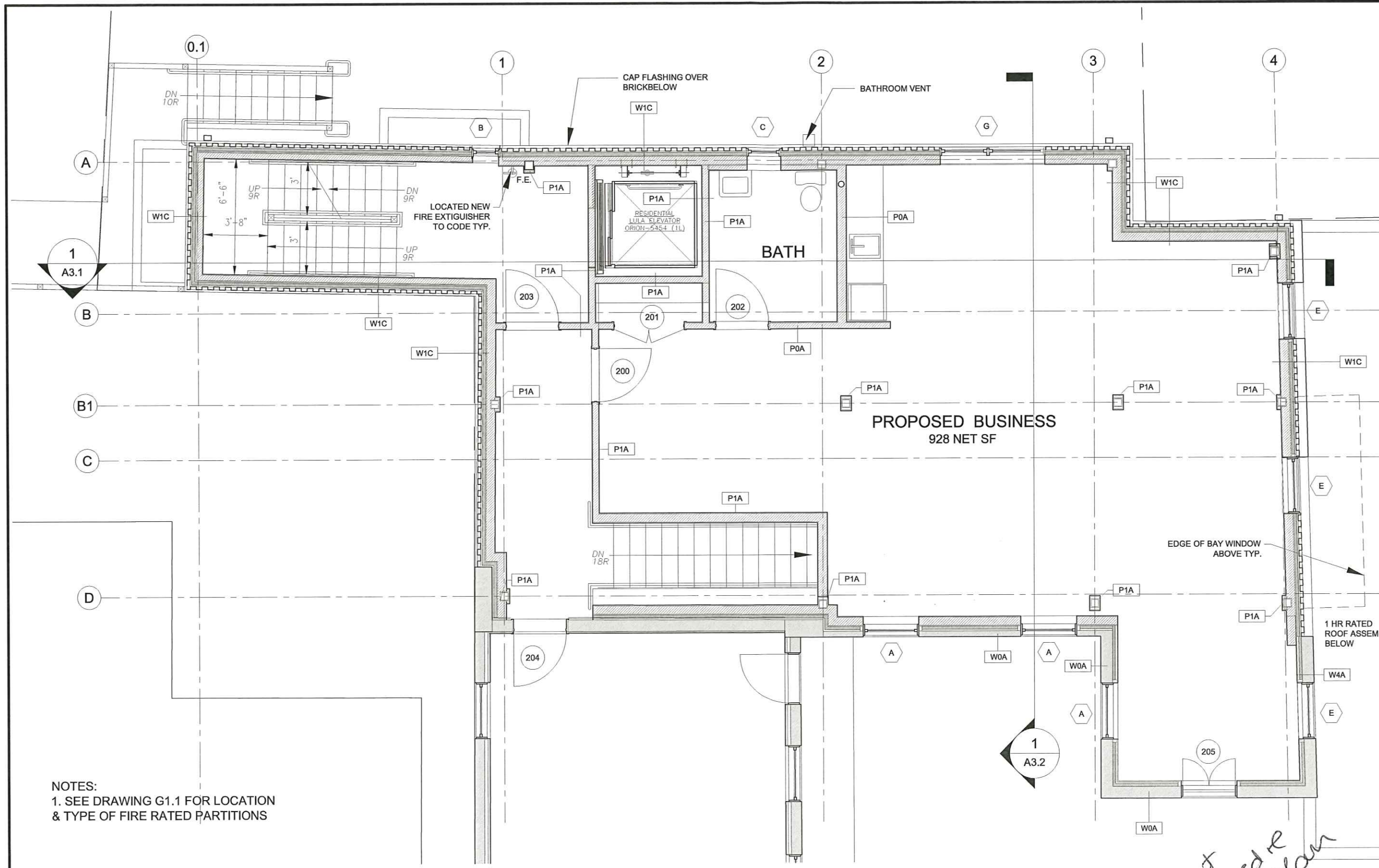
CONSULTANTS:
AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #4 - 11/20/10
REVISION #5 - 04/20/11



DATE: 8.25.08
PROJECT No. INDIA ST
DRAWN BY: JLR
CHECKED BY: JLR
SCALE: AS INDICATED
SHEET TITLE:
FIRST FLOOR PLAN

Not renewed to site plan

A1.1



NOTES:
 1. SEE DRAWING G1.1 FOR LOCATION & TYPE OF FIRE RATED PARTITIONS

1 SECOND FLOOR PLAN
 A-1.2 3/16" = 1'-0"

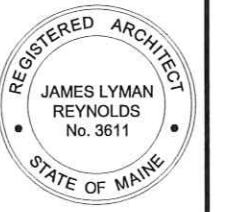
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CONSULTANTS:

AMENDMENTS:
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 REVISION #4 - 11/20/10
 REVISION #5 - 04/20/11



DATE: 8.25.08
 PROJECT No. INDIA ST
 DRAWN BY: JLR
 CHECKED BY: JLR
 SCALE: 3/16" = 1' 0"

SHEET TITLE:
 SECOND FLOOR PLAN

not renewed re site plan

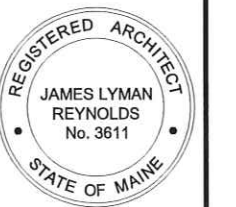
A1.2

PROPOSED ADDITIONS TO
 61 INDIA STREET
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 PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

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CONSULTANTS:

AMENDMENTS:
 REVISION #2 - 12/01/08
 REVISION #4 - 11/20/10
 REVISION #5 - 04/20/11



DATE: 8.25.08

PROJECT No. INDIA ST

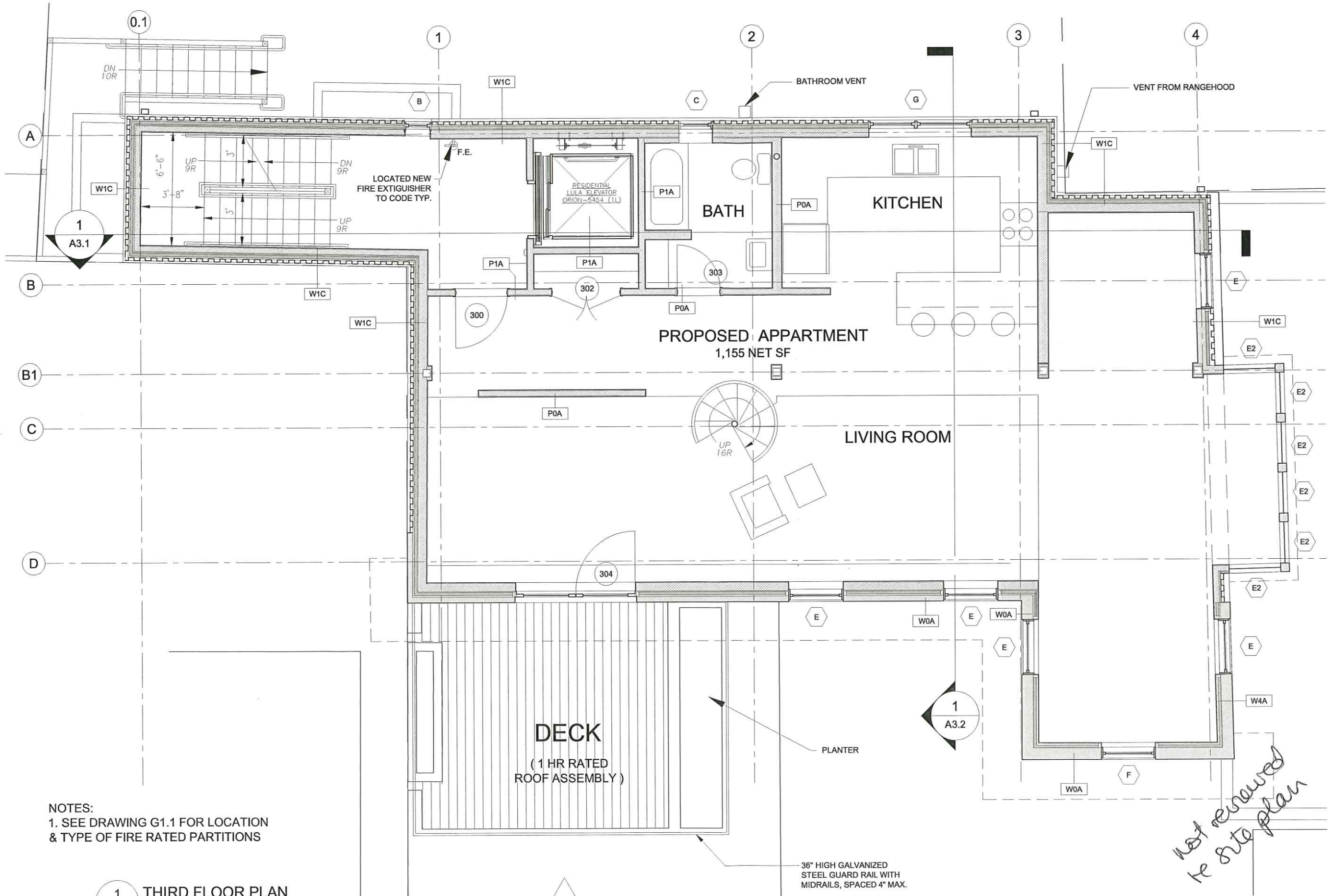
DRAWN BY: JLR

CHECKED BY: JLR

SCALE: 3/16"=1'-0"

SHEET TITLE:
 THIRD FLOOR PLAN

A1.3



NOTES:
 1. SEE DRAWING G1.1 FOR LOCATION & TYPE OF FIRE RATED PARTITIONS

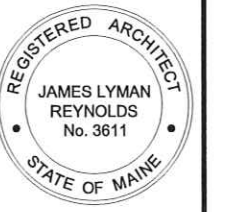
1 THIRD FLOOR PLAN
 A-1.3 3/16" = 1'-0"

*not removed
 to site plan*

**PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101**
PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

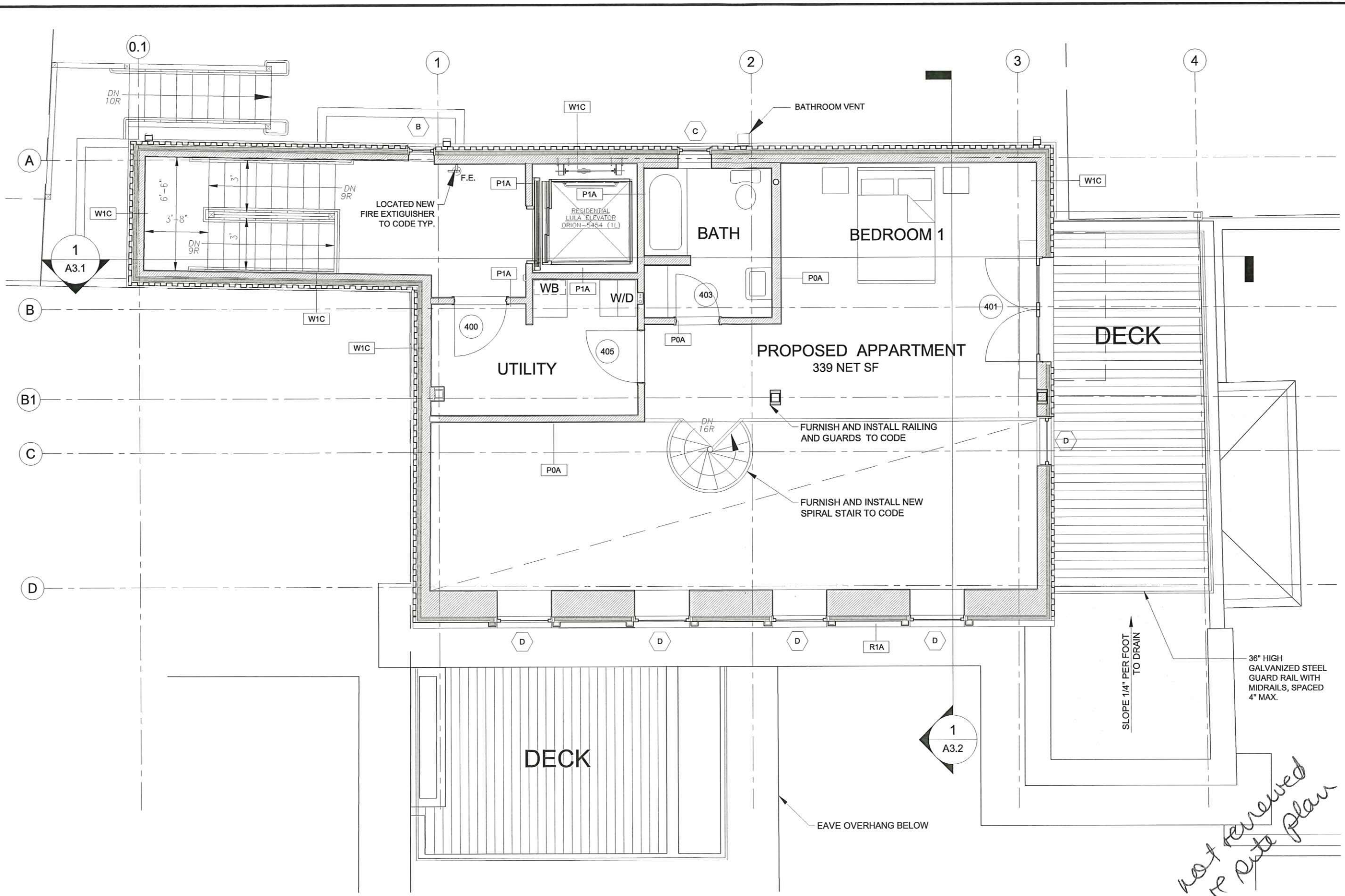
JAMES LYMAN REYNOLDS
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4303 US Route 209
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Ph (845) 687-9161

CONSULTANTS:
AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #4 - 11/20/10
REVISION #5 - 04/20/11



DATE: 8.25.08
PROJECT No. INDIA ST
DRAWN BY: JLR
CHECKED BY: JLR
SCALE: 3/16"=1'-0"
SHEET TITLE:
MEZZANINE FLOOR PLAN

A1.4



*Not reviewed
re site plan*

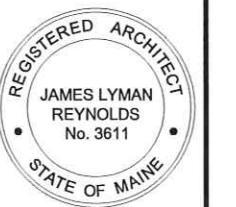
1 MEZZANINE FLOOR PLAN
A-1.4 3/16" = 1'-0"

**PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101**
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CONSULTANTS:

AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #5 - 04/20/11



DATE: 8.25.08

PROJECT No. INDIA ST

DRAWN BY: JLR

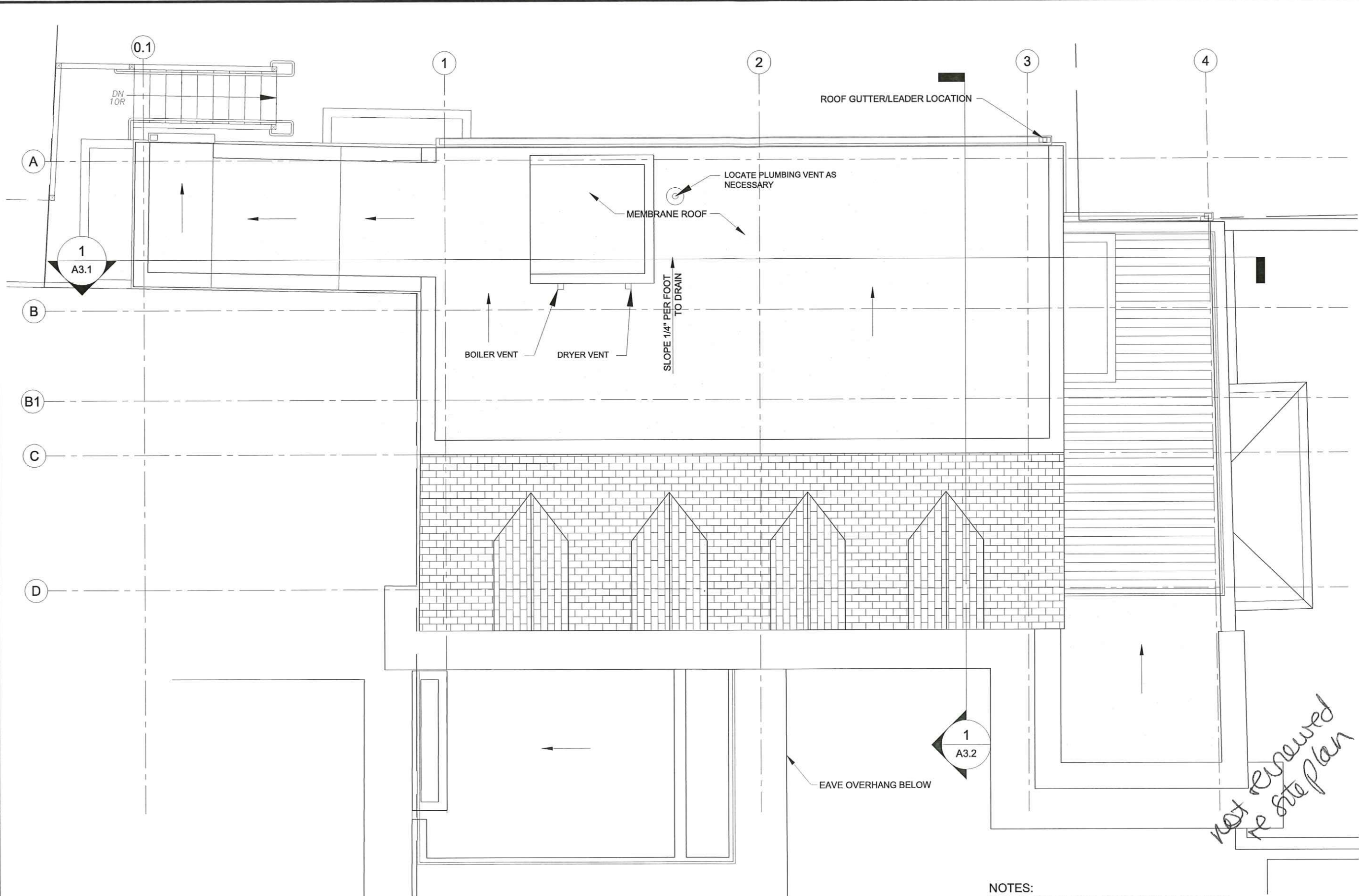
CHECKED BY: JLR

SCALE: 3/16"=1'-0"

SHEET TITLE:

ROOF PLAN

A1.5



not reviewed re site plan

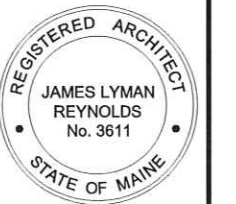
NOTES:
MECHANICAL AND PLUMBING ELEMENTS
ARE NOT SHOWN, REFER TO MECHANICAL
AND PLUMBING DRAWINGS

1 ROOF PLAN
A-1.5 3/16" = 1'-0"

PROPOSED ADDITIONS TO
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CONSULTANTS:
 AMENDMENTS:
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 REVISION #5 - 04/20/11



DATE: 8.25.08
 PROJECT No. INDIA ST
 DRAWN BY: JLR
 CHECKED BY: JLR
 SCALE: 1/8"=1'-0"
 SHEET TITLE:
 SOUTH WEST ELEVATION

A2.1

KEY TO MATERIALS		
	MATERIAL	COLOR
B1	BRICK - EXISTING	EXISTING
B2	BRICK - NEW	TO MATCH EXISTING BRICK
B3	BLOCK - EXISTING	EXISTING
C1	CORNICE - WOOD	DARK GREEN
C2	BAY WINDOW*	DARK GREEN
M1	VINYL SIDING -	"MAJESTIC" T-LOK BARKWOOD W/ 5" DUTCH LAP EVEREST GREY
M2	METAL - FLASHING	TO MATCH M1
M3	METAL - STRUT	GALVANIZED STEEL
S1	SLATE	GREY MIX
F1	FENCE - PRIVACY	DARK GREEN
F2	FENCE - PRIVACY	DARK GREEN
G1	GUTTER - STEEL	GALVANIZED
G2	LEADER - STEEL	GALVANIZED
H1	HANDRAIL/GUARD	GALVANIZED
W1	WINDOW - BTHRM.	DARK GREEN
W2	WINDOW - KITCHEN	DARK GREEN
W3	WINDOW - STAIR	DARK GREEN
W4	WINDOW- DORMER	DARK GREEN
W5	WINDOW - BAY	DARK GREEN
V1	VENT - BATHROOM	PAINT TO MATCH M1
V2	VENT - RANGEHOOD	PAINT TO MATCH M1
V3	VENT - BOILER	BLACK
V4	VENT - DRYER	PAINT TO MATCH M1

Understood a different vinyl product may be used

Understood will be copper this is OK w/ Deb subject to Andrew's comments in e-mail

Cond. approved for these by reviewed + approved prior to installation.

CITY OF PORTLAND APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10-6-2008
 As amended 12-17-2008 re cond iii of 2008 app.

Amended 7-20-2011 re revs to egress, elevations materials, pkg+ rear lot line subject to cond's - see note above

NOTES:
 1. SEE DRAWING G1.2 FOR ALLOWABLE AREA OF UNPROTECTED OPENINGS.



1 SOUTH WEST ELEVATION
 A-2.1 1/8" = 1'-0"

NOTES:
 1. SEE DRAWING G1.2 FOR ALLOWABLE AREA OF UNPROTECTED OPENINGS.
 2. SEE DRAWING A2.1 FOR KEY TO MATERIALS

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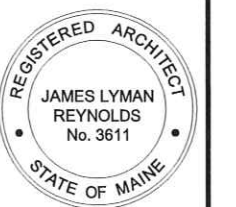
PROPOSED ADDITIONS TO
 61 INDIA STREET
 PORTLAND, MAINE 04101
 PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

JAMES LYMAN REYNOLDS
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CONSULTANTS:

AMENDMENTS:

REVISION #4 - 11/20/10
 REVISION #5 - 04/20/11



DATE: 8.25.08

PROJECT No. INDIA ST

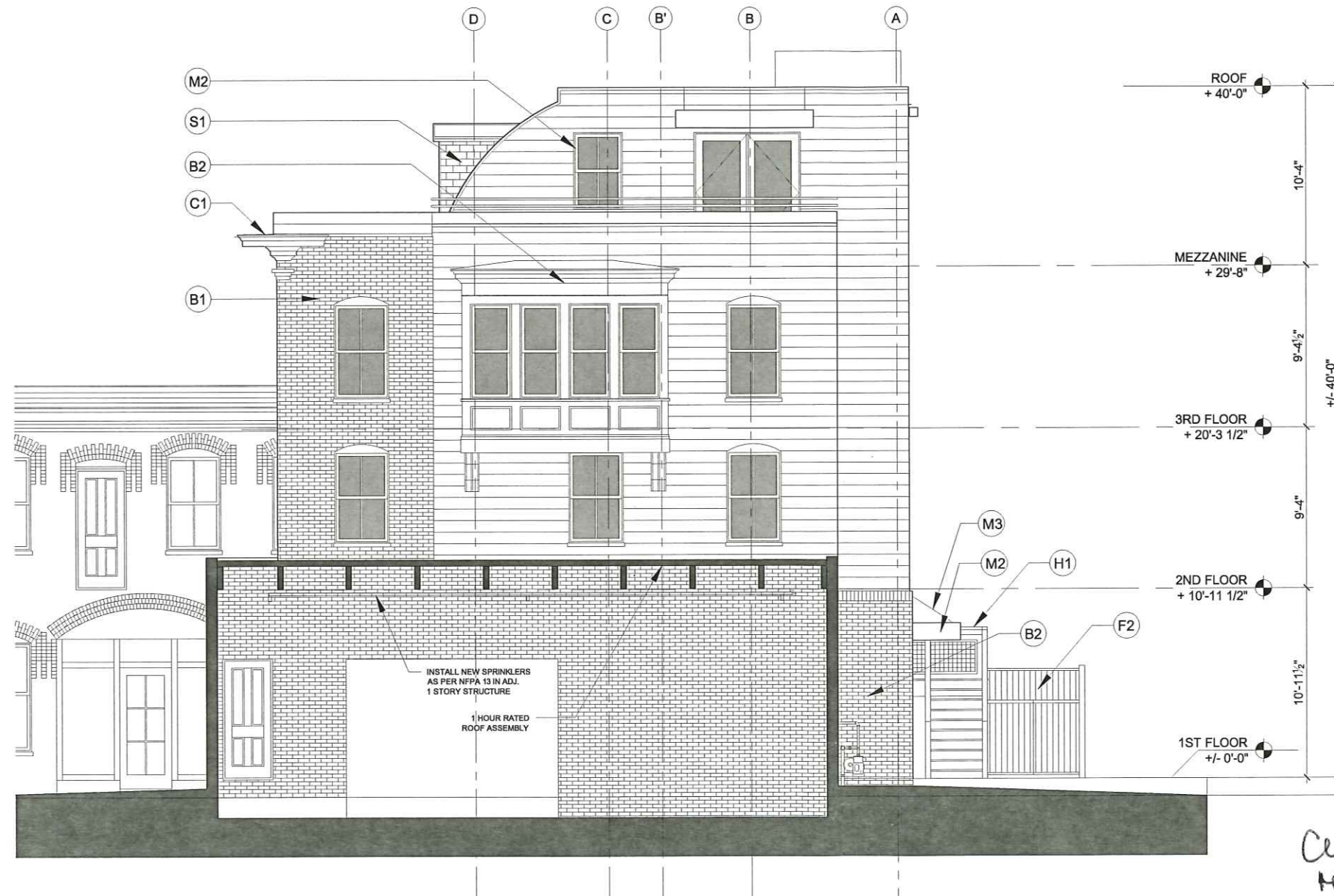
DRAWN BY: JLR

CHECKED BY: JLR

SCALE: AS INDICATED

SHEET TITLE:
 SOUTH EAST ELEVATION

A2.2



CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10-6-2008
 as amended 12-17-2008
 re conditii of 2008 app.

Amended 7-20-2011
 re revs. to express,
 elevations, materials,
 parking + rear lot line -
 subject to conds
 see note A2.1

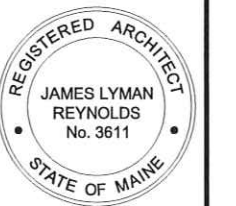
1 SOUTHEAST ELEVATION
 A-2.2 3/16" = 1'-0"

PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101
PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

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CONSULTANTS:

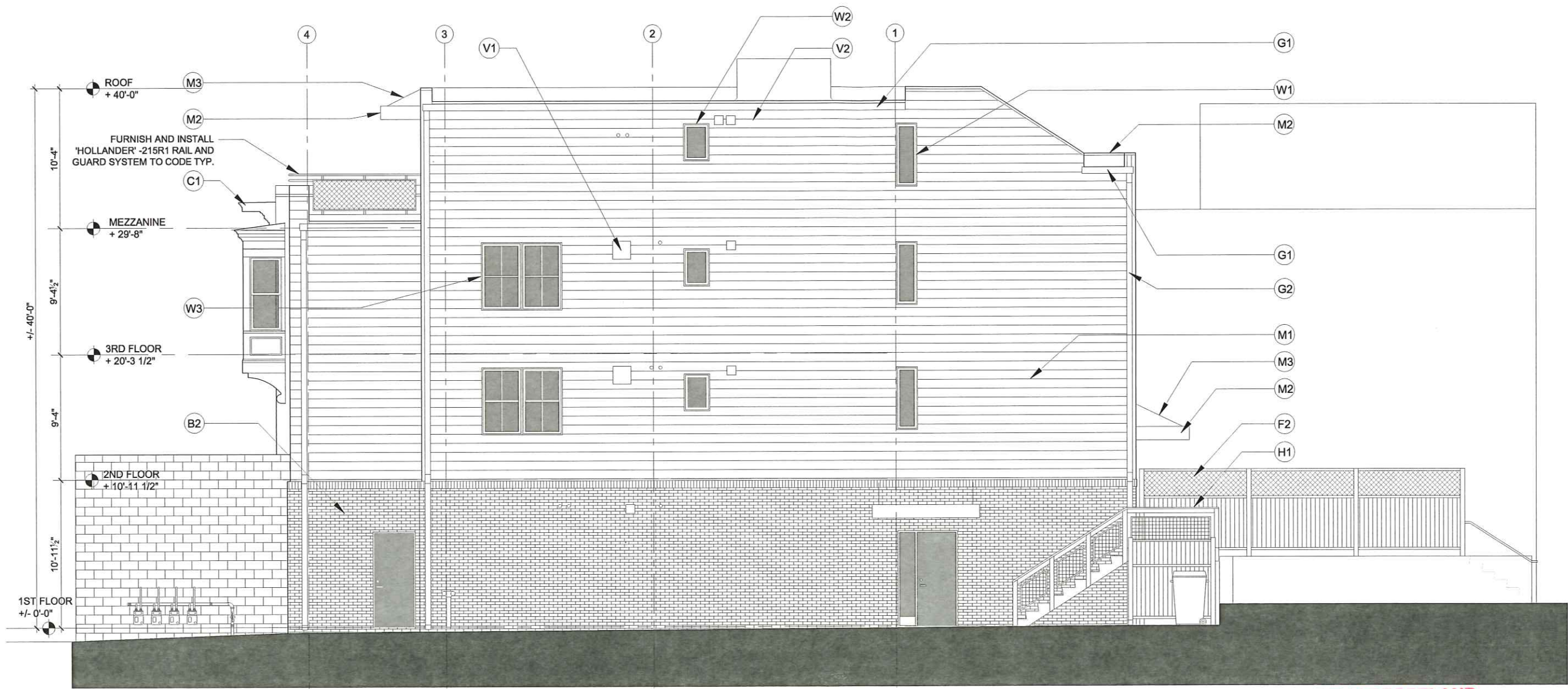
AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #4 - 11/20/10
REVISION #5 - 04/20/11



DATE: 8.25.08
PROJECT No. INDIA ST
DRAWN BY: JLR
CHECKED BY: JLR
SCALE: 1/8"=1'0"

SHEET TITLE:
NORTH EAST ELEVATION

A2.3



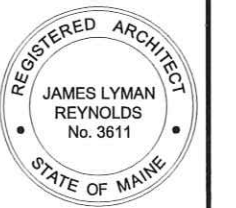
1 NORTHEAST ELEVATION
A-2.3 1/8" = 1'-0"

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 10-6-2008
*as amended 12-17-2008
re cond. iii of 2008 app.*
*amended 7-20-2011 re
revs to egress, elevs, mats,
plug, & rear lot line
Add to conds - see note A2.1*

PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101
PEARL PROPERTIES LLC, 196 TUTTLE ROAD, CUMBERLAND ME 04021

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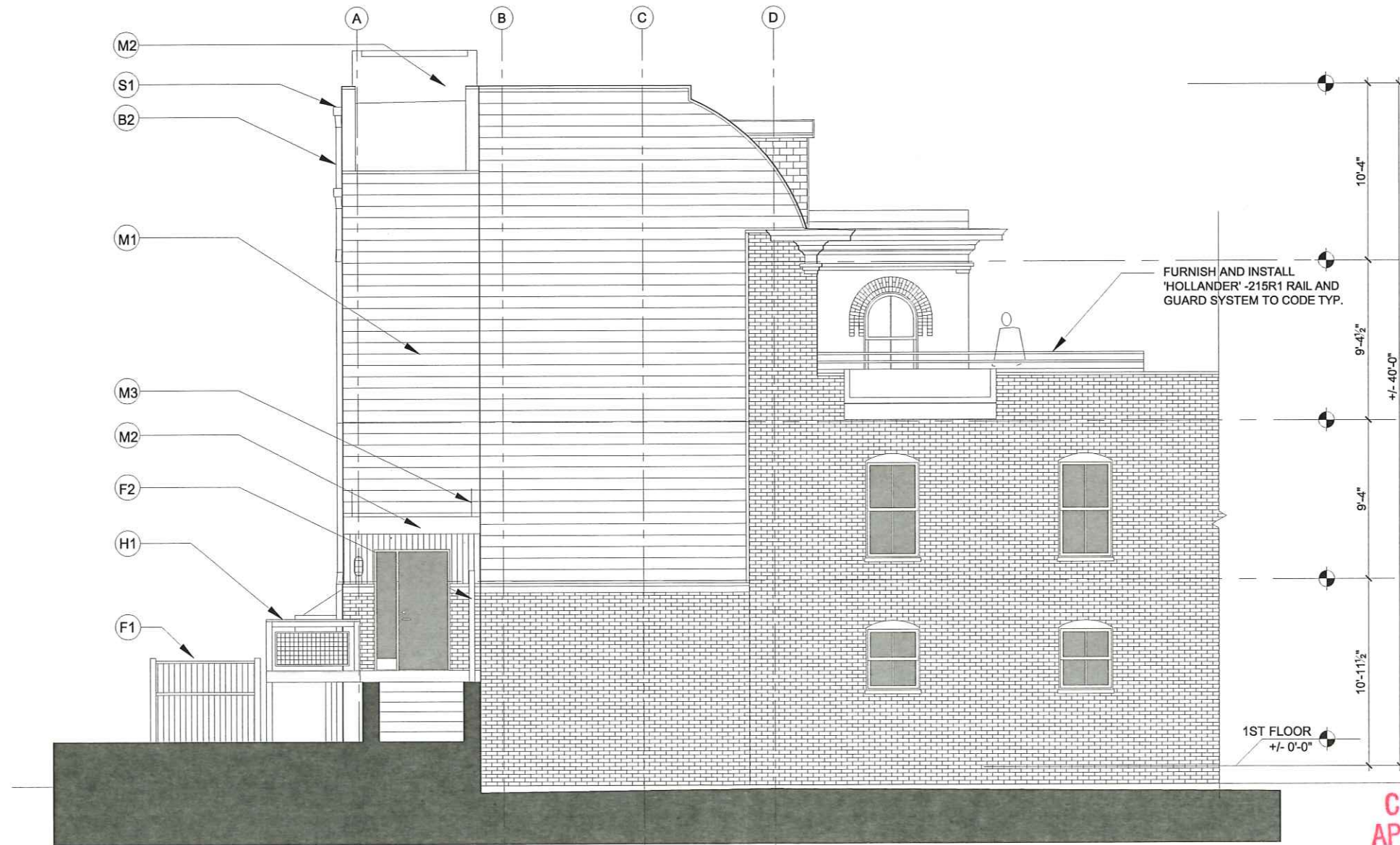
CONSULTANTS:
AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #4 - 11/20/10
REVISION #5 - 04/20/11



DATE: 8.25.08
PROJECT No. INDIA ST
DRAWN BY: JLR
CHECKED BY: JLR
SCALE: 1/8"=1'0"
SHEET TITLE: NORTH WEST ELEVATION

A2.4

- NOTES:
1. SEE DRAWING G1.2 FOR ALLOWABLE AREA OF UNPROTECTED OPENINGS.
2. SEE DRAWING A2.1 FOR KEY TO MATERIALS



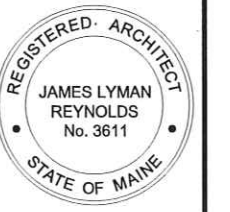
1 NORTHWEST ELEVATION
A-2.4 1/8" = 1'-0"

**CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 6-6-2008**
as amended 12-17-2008 re
cond iii of 2008 app.
Amended 7-20-2011 to re-sho
express, elevs, mats, p/cg, rear lot
line - per the cond - see note A2.1

PROPOSED ADDITIONS TO
 61 INDIA STREET
 PORTLAND, MAINE 04101
 PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

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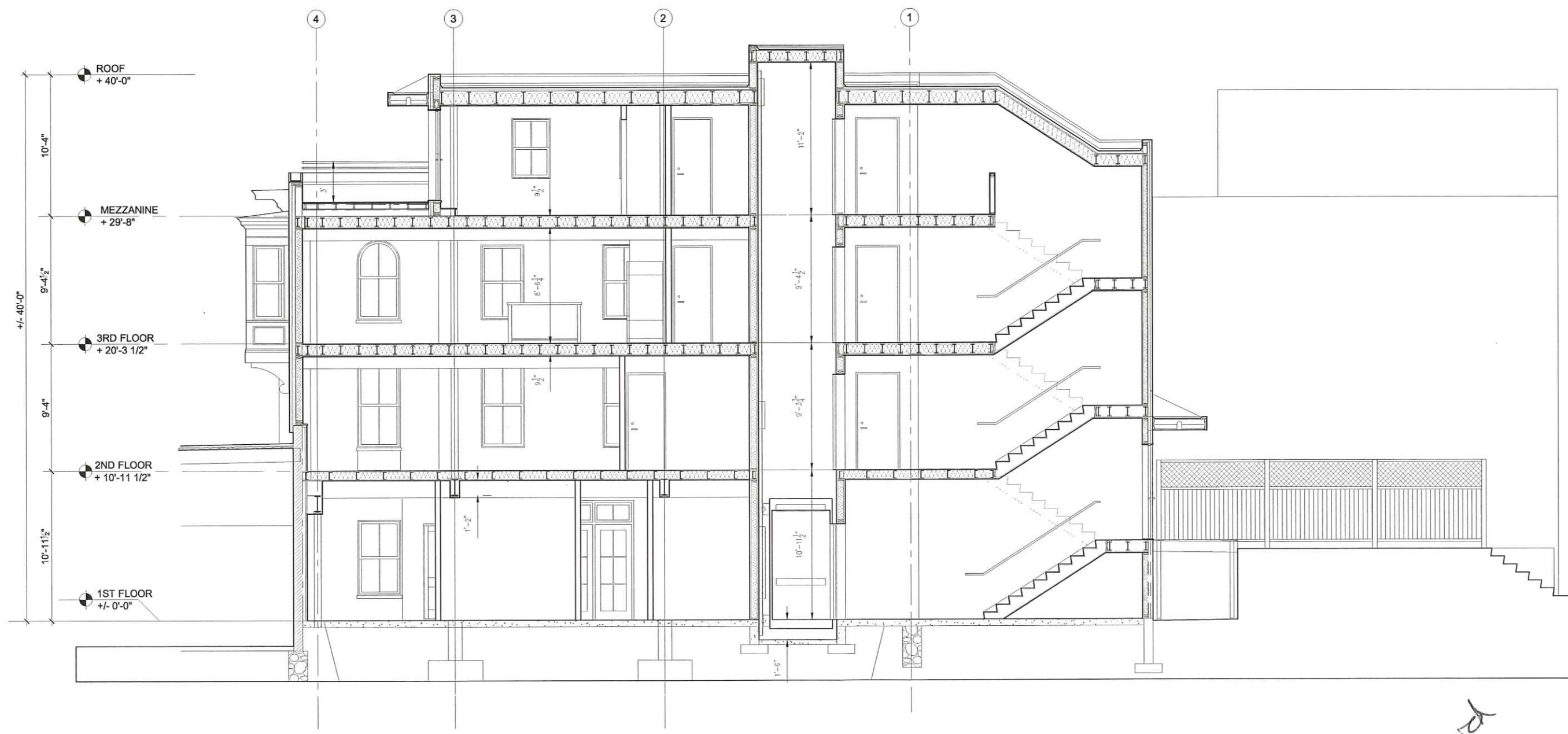
CONSULTANTS:
 AMENDMENTS:
 REVISION #2 - 12/01/08
 REVISION #5 - 04/20/11



DATE: 8.25.08
 PROJECT No. INDIA ST
 DRAWN BY: JLR
 CHECKED BY: JLR
 SCALE: 1/8"=1'-0"
 SHEET TITLE:
 BUILDING SECTION

A3.1

NOTES:
 1. SEE DRAWING G1.4 AND G1.5 FOR WALL, FLOOR AND ROOF ASSEMBLIES



*not reviewed
 re Site Plan*

1 BUILDING SECTION
 A-3.1 1/8" = 1'-0"

NOTES:
 1. SEE DRAWING G1.4 AND G1.5
 FOR WALL, FLOOR AND ROOF
 ASSEMBLIES

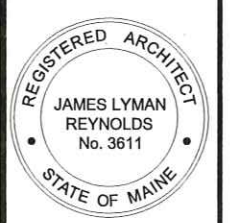
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 REVISION #5 - 04/20/11



DATE: 8.25.08
 PROJECT No. INDIA ST
 DRAWN BY: JLR
 CHECKED BY: JLR
 SCALE: 1/8"=1'0"

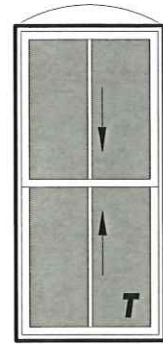
SHEET TITLE:
 BUILDING SECTION

*not renewed
 re site plan*

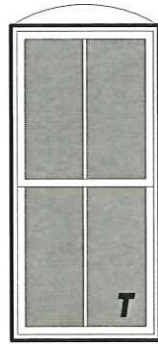
1 BUILDING SECTION
 A-3.2 1/8" = 1'-0"

A3.2

WINDOW TYPES - SCALE 1/4"=1'-0"



A DOUBLE HUNG



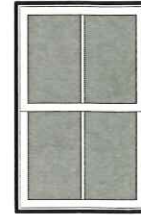
A1 FIXED FIRE RATED GLAZING



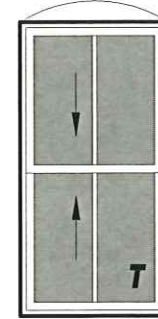
B FIXED



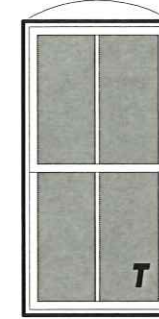
C AWNING



D DOUBLE HUNG



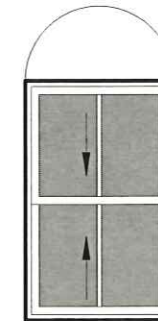
E DOUBLE HUNG



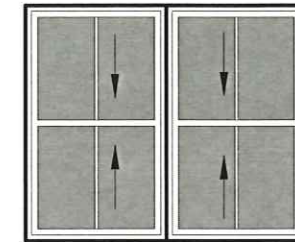
E1 FIXED FIRE RATED GLAZING



E2 DOUBLE HUNG



F DOUBLE HUNG



G PAIR OF DOUBLE HUNG

LEGEND:
 T = TEMPERED GLASS
 FG = FIBERGLASS
 AL = ALUMINUM
 DH = DOUBLE HUNG
 AW = AWNING
 LV = LOUVER
 F = FIXED
 CL = GLIDER

NOTES:
 1. ALL GLAZING WITHIN 18" OF THE FLOOR TO BE TEMPERED
 2. FULL SCREENS ALL OPENINGS
 3. CONTRACTOR TO VERIFY ALL ROUGH OPENINGS
 4. CONTRACTOR TO VERIFY THAT ALL EGRESS OPENINGS MEET EGRESS REQUIREMENTS
 5. ALL EXTERIOR GLAZING INSULATED
 6. FRAME OPENINGS WITH ELEVATIONS

WINDOW SCHEDULE

KEY	ACTION	ROUGH OPENING (WxH) VIF	R.O. HEAD HEIGHT FROM SUB FLOOR	DETAILS			MATERIAL	FINISH	REMARKS
				HEAD	JAMB	SILL			
A	DH	3'-2-1/2" X 6'-8-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS
A1	F	3'-2-1/2" X 6'-8-1/2"	-	-	-	-	MTL	-	3/4 HOUR FIRE RATED GLAZING - PERMANANTLY FIXED 2 OVER 2 WITH FIRE RATED FRAME
B	F	1'-8-1/2" X 4'-8-1/2"	-	-	-	-	MTL	-	TEMPERED GLASS
C	AW	2'-0-1/2" X 2'-9-1/2"	-	-	-	-	MTL	-	TEMPERED GLASS
D	DH	3'-0-1/2" X 5'-0-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS
E	DH	3'-2-1/2" X 6'-2-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS
E1	F	3'-2-1/2" X 6'-2-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS, 3/4 HOUR FIRE RATED GLAZING - PERMANANTLY FIXED 2 OVER 2 WITH FIRE RATED FRAME
E2	F	2'-4-1/2" X 5'-6-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS
F	DH	3'-2-1/2" X 5'-0-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS
G	DH	6'-0-1/2" X 5'-0-1/2"	-	-	-	-	MTL	-	PAIR OF DOUBLE HUNG

*not reviewed
 re site plan*

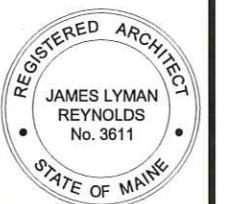
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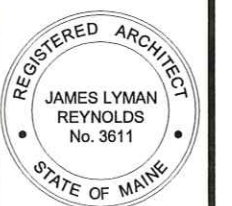
DATE: 8.25.08
 PROJECT No. INDIA ST
 DRAWN BY: JLR
 CHECKED BY: JLR
 SCALE: AS INDICATED

SHEET TITLE:
 WINDOW SCHEDULE

A7.0

CONSULTANTS:

AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #4 - 11/20/10
REVISION #5 - 04/20/11



DATE: 8.25.08

PROJECT No. INDIA ST

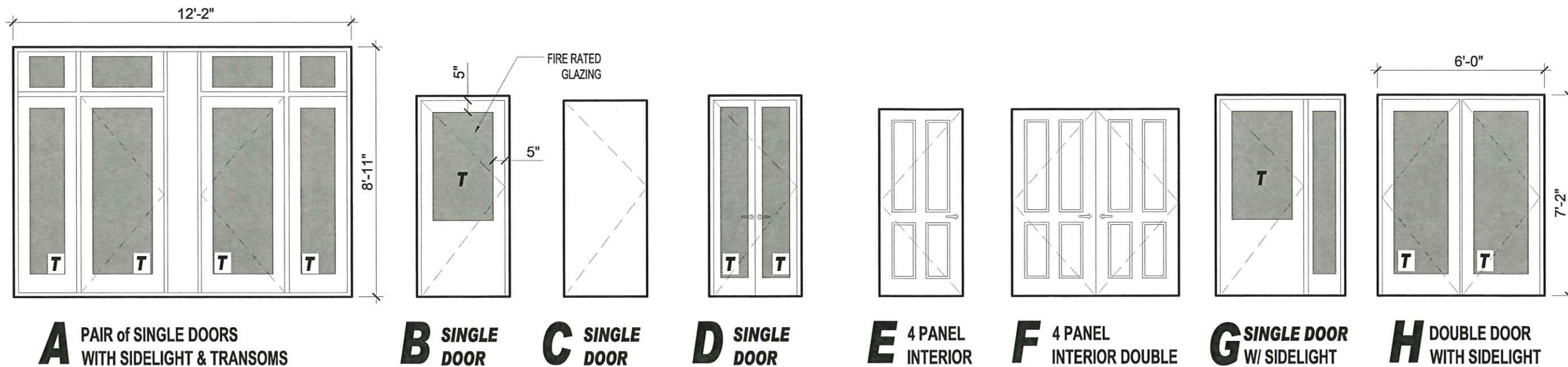
DRAWN BY: JLR

CHECKED BY: JLR

SCALE: AS INDICATED

SHEET TITLE:
DOOR SCHEDULE PLAN

DOOR TYPES - SCALE 1/4"=1'-0"



A PAIR of SINGLE DOORS WITH SIDELIGHT & TRANSOMS

B SINGLE DOOR

C SINGLE DOOR

D SINGLE DOOR

E 4 PANEL INTERIOR

F 4 PANEL INTERIOR DOUBLE

G SINGLE DOOR W/ SIDELIGHT

H DOUBLE DOOR WITH SIDELIGHT

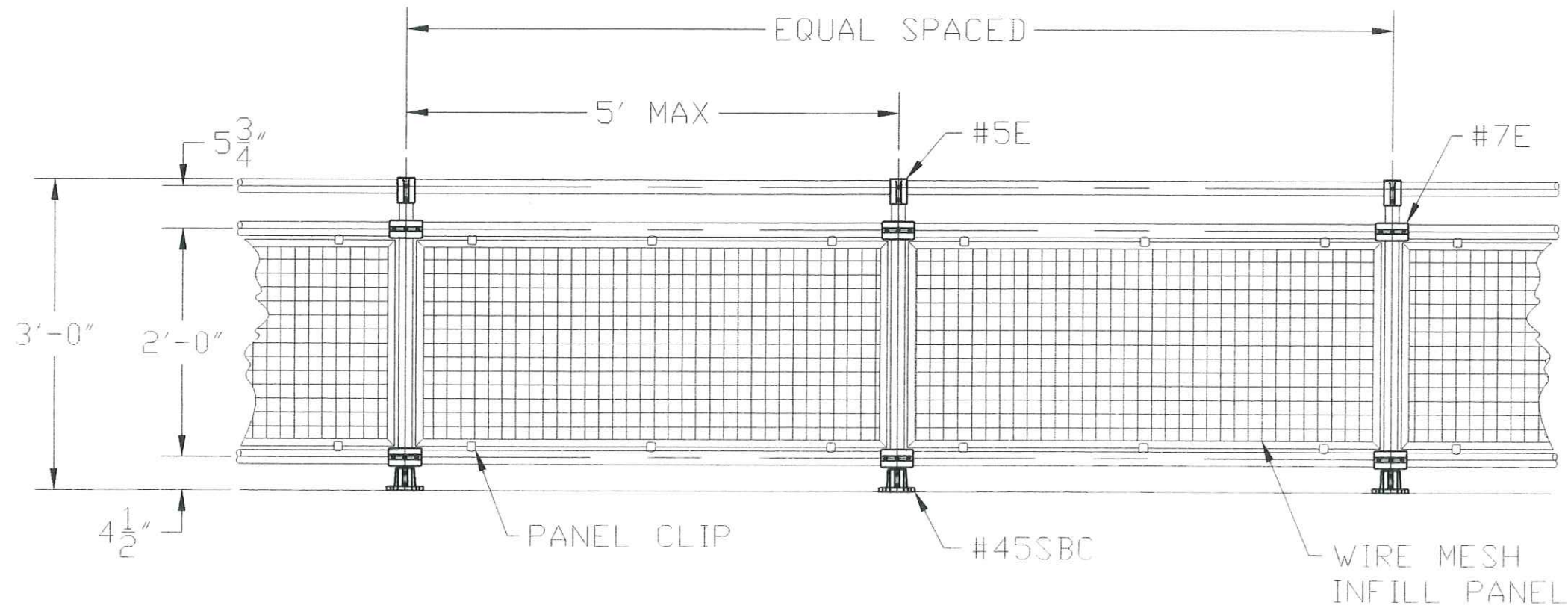
DOOR SCHEDULE

DOOR NO.	TYPE	DOOR SIZE			MATERIAL	FINISH	INSULATED	FRAME			GENERAL			REMARKS		
		WIDTH	HEIGHT	THICKNESS				TYPE	MATERIAL	THRESHOLD	HEAD	JAMB	SILL		CLOSER	FIRE RATING (MINUTES)
100	A	3'-0"	7'-0"	-	MTL	-	Y	-	MTL	-	-	-	Y	45	MLS	EGRESS HARDWARE/ FIXED SIELIGHT
101	E	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	Y	45	MLS	EXISTING DOOR
102	C	3'-0"	7'-0"	-	MTL	-	Y	-	MTL	-	-	-	Y	-	-	PANIC HARDWARE
103	G	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	Y	-	-	EGRESS HARDWARE / FIXED SIELIGHT
104	C	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	Y	-	-	
105	C	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	Y	-	PR	SELF CLOSER
106	C	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	Y	-	LS	EGRESS HARDWARE
107	G	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	Y	-	LS	EGRESS HARDWARE/ FIXED SIELIGHT
108	G	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	Y	-	LS	EGRESS HARDWARE/ FIXED SIELIGHT
200	C	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	Y	45	-	W/ SELF CLOSER AND SECURITY LOCKSET
201	F	2@2'-0"	7'-0"	-	WD	-	-	-	WD	-	-	-	-	-	-	
202	E	2@2'-6"	7'-0"	-	WD	-	-	-	WD	-	-	-	Y	-	PR	PANIC HARDWARE
203	B	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	Y	45	PR	W/ SELF CLOSER
204	C	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	Y	90	PR	W/ SELF CLOSER AND SECURITY LOCKSET
205	D	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	Y	-	PR	W/ SECURITY LOCKSET
300	C	5'-0"	6'-8"	-	MTL	-	Y	-	MTL	-	-	-	-	-	-	W/ SELF CLOSER AND SECURITY LOCKSET
301	F	2'-6"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	-	
302	F	2'-6"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	-	
303	E	3'-0"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	PR	
304	H	5'-0"	6'-8"	-	MTL	-	-	-	MTL	-	-	-	-	-	-	W/ SECURITY LOCKSET

DOOR SCHEDULE (CONTINUED)

DOOR NO.	TYPE	DOOR SIZE			MATERIAL	FINISH	INSULATED	FRAME			GENERAL			REMARKS		
		WIDTH	HEIGHT	THICKNESS				TYPE	MATERIAL	THRESHOLD	HEAD	JAMB	SILL		CLOSER	FIRE RATING (MINUTES)
400	C	5'-0"	7'-0"	-	MTL	-	Y	-	MTL	-	-	-	-	45 MIN.	MLS	
401	H	2'-6"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	-	
402	F	2@2'-6"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	-	
403	E	2@2'-6"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	PR	DOUBLE DOOR
404																
405	E	3'-0"	6'-8"	-	MTL	-	-	-	MTL	-	-	-	-	-	-	
406	F	2@3'-0"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	-	

not reviewed re site plan



TYPICAL LEVEL HANDRAIL WITH INFILL
SPEED RAIL DETAIL

*noted and
is acceptable
7-20-2011*

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NO.	REVISIONS	DATE	APPROVED
A	ISSUED FOR REVIEW/APPROVAL	4-13-06	BW

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PROJECT	DESCRIPTION
INFILL PANELS	DETAIL PACKAGE

PROJECT NO.	ISSUED BY	DATE
N/A	BW	4-13-06

PROJECT NO.	ISSUED BY	DATE
ANDDIZED 215R1	BW	4-13-06
VARIES		

