

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION PERMIT

Permit Number: 101486

Please Read
Application And
Notes, If Any,
Attached

This is to certify that PEARL PROPERTIES LLC / Joe Reynolds
has permission to Mixed Use amendment to permit# 081124 4 story addition to 3 story addition w/ mezzanine
AT 61 INDIA ST CBL 020 E021001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

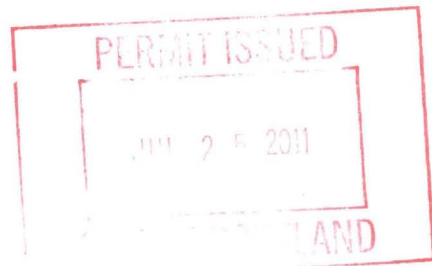
A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Sam Burke 7/25/11
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a “Stop Work Order” and subsequent release to continue with construction.**

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Re-Bar Schedule Inspection: Prior to pouring concrete**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating, drywalling or covering.**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.
NOTE: There is a \$75.00 fee per inspection at this point.**

 X **The final report of Special Inspections shall be submitted prior to the final inspection or the issuance of the Certificate of Occupancy**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1486	Date Applied For: 12/01/2010	CBL: 020 E021001
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Location of Construction: 61 INDIA ST	Owner Name: PEARL PROPERTIES LLC	Owner Address: 198 TUTTLE RD	Phone:
Business Name:	Contractor Name: Joe Reynolds	Contractor Address: 198 Tuttle Road Cumberland	Phone (207) 838-7296
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial	

Proposed Use: Commercial - Mixed Use amendment to permit# 081124 4 story addition to 3 story addition w/ mezzanine	Proposed Project Description: Mixed Use amendment to permit# 081124 4 story addition to 3 story addition w/ mezzanine
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 12/01/2010

Note: **Ok to Issue:**

- 1) The rear stairs must not exceed 50 sq feet nor project more than 6 feet from the building as shown.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) Separate permits shall be required for any new signage.
- 4) This property addition shall remain a retail use on the first floor with a business use on the second floor and one apartment above. Any change of use shall require a separate permit application for review and approval.
- 5) It will be necessary for the separate retail and business uses to apply for a tenant fit-up permits to verify approvable uses and meet the required fire and building codes.
- 6) On the rear, the roof overhang cannot extend more than 2 feet.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 07/25/2011

Note: **Ok to Issue:**

- 1) Prior to the final inspection a sealed letter shall be submitted to this office from the engineer confirming that based on inspections performed the structural work is in substantial compliance with the approved plans.
- 2) Application approval based upon information provided by applicant including memo with revisions received 4/27/11. Any deviation from approved plans requires separate review and approval prior to work.
- 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial kitchen exhaust hood systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 4) Separate permits are required for tenant fit up areas or new occupancy or use.
- 5) Other conditions may apply from the previously approved permits.
- 6) The note on plan C1.1 to rebuild the original porch is not approved on this permit and will be submitted on the next phase.
- 7) It is understood that the sprinkler system will now be upgraded to a full NFPA 13 system to be extended to the 1 story block building and the carriage house.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 04/26/2011

Note: **Ok to Issue:**

- 1) Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit.
- 2) Sprinkler protection shall be maintained.
Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.

Location of Construction: 61 INDIA ST	Owner Name: PEARL PROPERTIES LLC	Owner Address: 198 TUTTLE RD	Phone:
Business Name:	Contractor Name: Joe Reynolds	Contractor Address: 198 Tuttle Road Cumberland	Phone (207) 838-7296
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial	

2/9/2011-jmb: Spoke to Joe R. Today, he will submit the revised architectural plans this week. I also emailed Joe that the S2 series of structural sections was not submitted and the bay bump out is not shown. I verbally released the stop work order and approved continuation of work on the project.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1486	Issue Date:	CBL: 020 E021001
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Location of Construction: 61 INDIA ST	Owner Name: PEARL PROPERTIES LLC	Owner Address: 198 TUTTLE RD	Phone:
Business Name:	Contractor Name: Joe Reynolds	Contractor Address: 198 Tuttle Road Cumberland	Phone 2078387296
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial	Zone: B-2b

Past Use: Commercial - mixed Use	Proposed Use: Commercial - Mixed Use amendment to permit# 081124 4 story addition to 3 story addition w/ mezzanine <i># Elevator</i>	Permit Fee: \$1,120.00	Cost of Work: \$110,000.00	CEO District: 1
FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>*See Conditions</i>		INSPECTION: Use Group: <i>M/B/R</i> Type: <i>5A</i> <i>IBC-2009</i>		

Proposed Project Description:
 Mixed Use amendment to permit# 081124 4 story addition to 3 story
 addition w/ mezzanine *# Elevator*

Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i> 7/25/11
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: Idobson	Date Applied For: 12/01/2010	Zoning Approval
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i. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i># 10-99900006</i> Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> <i>ok with conditions</i> Date: _____	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
	<i>MCS 7/25/11</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>61 INDIA STREET</u>		
Total Square Footage of Proposed Structure/Area <u>3,620</u>	Square Footage of Lot <u>7,672</u>	Number of Stories <u>3 + mezzanine</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>20 E 21</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Joe Reynolds</u> Address <u>198 Tuttle Rd</u> City, State & Zip <u>Cumberland, ME 04021</u>	Telephone: <u>838-7296</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>110,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>MIXED</u> Number of Residential Units <u>2</u>		
If vacant, what was the previous use? _____		
Proposed Specific use: <u>RETAIL / OFFICE / RESIDENCE</u>		
Is property part of a subdivision? <u>NO</u> If yes, please name _____		
Project description: <u>Amendment to EXISTING PERMIT 4 story to 3 story with mezzanine</u>		
Contractor's name: <u>OWNER</u>		
Address: _____		
City, State & Zip: <u>Above</u> Telephone: _____		
Who should we contact when the permit is ready: _____ Telephone: _____		
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

RECEIVED

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703

DEC - 1 2010
Dept. of Building Inspections
City of Portland, Maine

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: <u>[Signature]</u>	Date: <u>12/1/10</u>
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This is not a permit; you may not commence ANY work until the permit is issued

Principally, the revised set of plans for my 61 India St. project reflect my desire to change the design from a 4 story structure to a 3 story structure, with mezzanine. With the reduction in volume on the top level, there is also a plan for a new deck, accessed from the mezzanine.

Additionally, I plan to install a NFPA 13 sprinkler system in the entire new structure, as well as to the adjoining 1 story building to the east and 2 story structure to the south.

It is my understanding that a single staircase, as depicted, will satisfy all code requirements. I would like to relocate the stairs (from the previous plan) to the northwest corner of the building and provide access to a right of way that I hold to Newbury St. This will require a slight repositioning of the corral for rubbish storage.

The new plan also includes a residential LU/LA elevator for accessing the 3rd floor apartment.

My abutters to the north have granted me an easement for 4 parking spaces and as a result I have decided not to construct the automobile roundtable as previously planned.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

*Director of Planning and Urban Development
Penny St. Louis Littell
Division Director – Tammy Munson*

December 8, 2010

PEARL PROPERTIES LLC
198 TUTTLE RD
CUMBERLAND, ME 04021

CBL: 020 E021001
Located at 61 INDIA ST

Hand Delivery

Dear Joseph Reynolds,

STOP WORK ORDER

An evaluation of the above-referenced property on December 1, 2010 revealed that the building construction on the approved permit #08-1124 has significantly changed or been added to. An amendment and approval to this permit is required per Section 105.1 of the 2003 International Building Code in order for work to continue.

Appropriate permitting has not been issued for the property listed above, therefore all construction activity at that property must STOP immediately. This is a STOP WORK ORDER pursuant to Section 114. of 2003 International Building Code and the 2003 International Residential Code of the City of Portland.

On December 1, 2010 you did submit an amendment application, and meetings have been scheduled with staff and you for site plan, life safety and building code review. You may resume construction activity only after issuance of the appropriate amendment to building permit #08-1124 and the subsequent lifting of this order.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A of M.R.S.A. Section 4452. This constitutes an appealable decision pursuant to Section 112 of the City of Portland Building Code.

If you wish to discuss this matter, or you have any questions, please feel free to contact me.

Sincerely,

Jeanie Bourke @ (207) 874-8715
CEO/Plan Review

**City of Portland
Inspection Services
RETURN OF SERVICE**

On the 8th day of December, 2010 I made service of the stop work order no building permit

upon, Paul Properties Joe Reynolds at 61 India.

By delivering a copy in hand.

By leaving copies at the individual's dwelling house or usual place of abode with a person of suitable age or discretion who resides therein and whose name is _____.

By delivering a copy to an agent authorized to receive service of process, and whose name is _____.

By (describe other manner of service) _____

continuation of Brick restoration is approved and securing & weatherization of The building. jsb

Signature of Person Making Service

DATED: 12/8/10

jsb

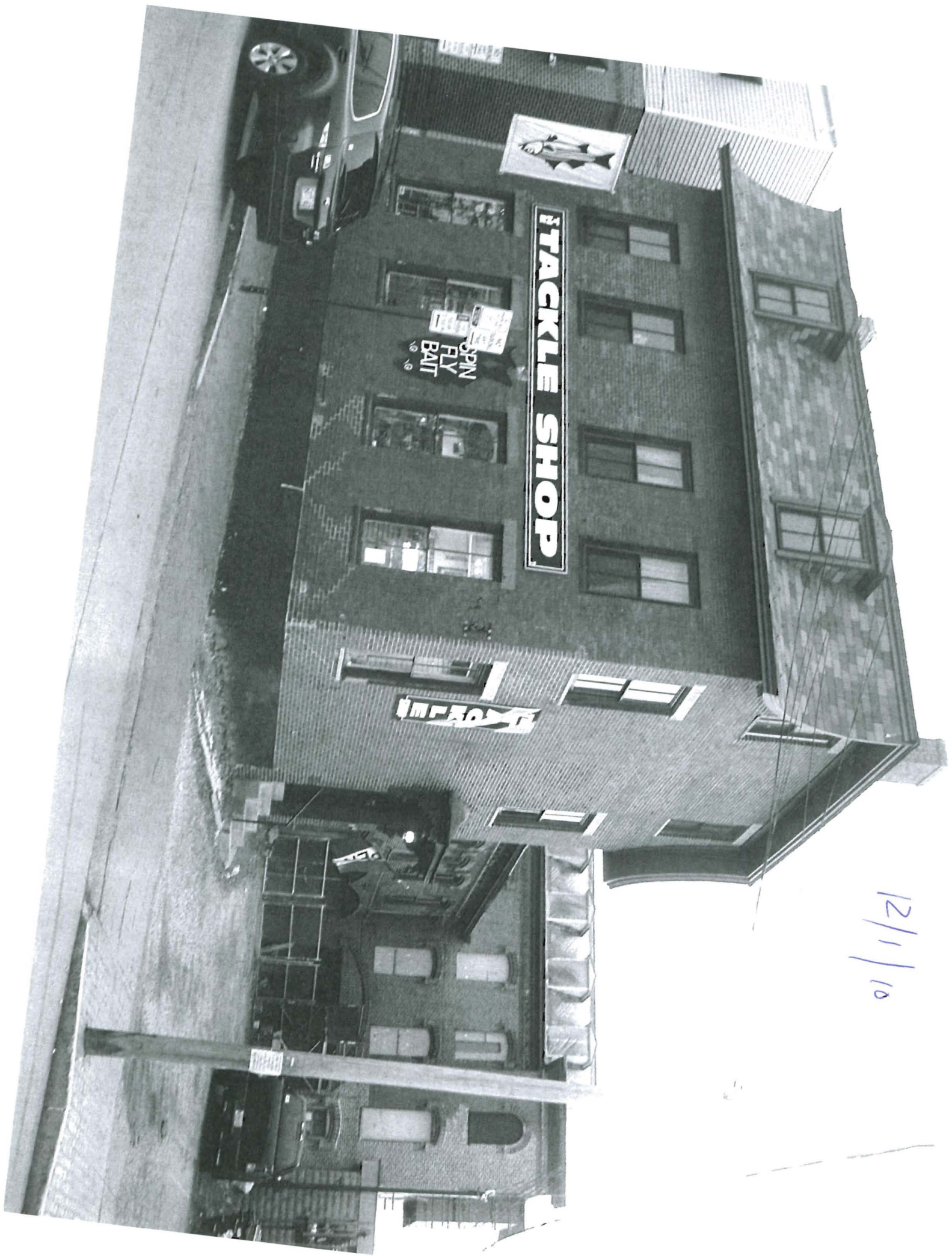
I have received the above referenced documents

Person Receiving Service

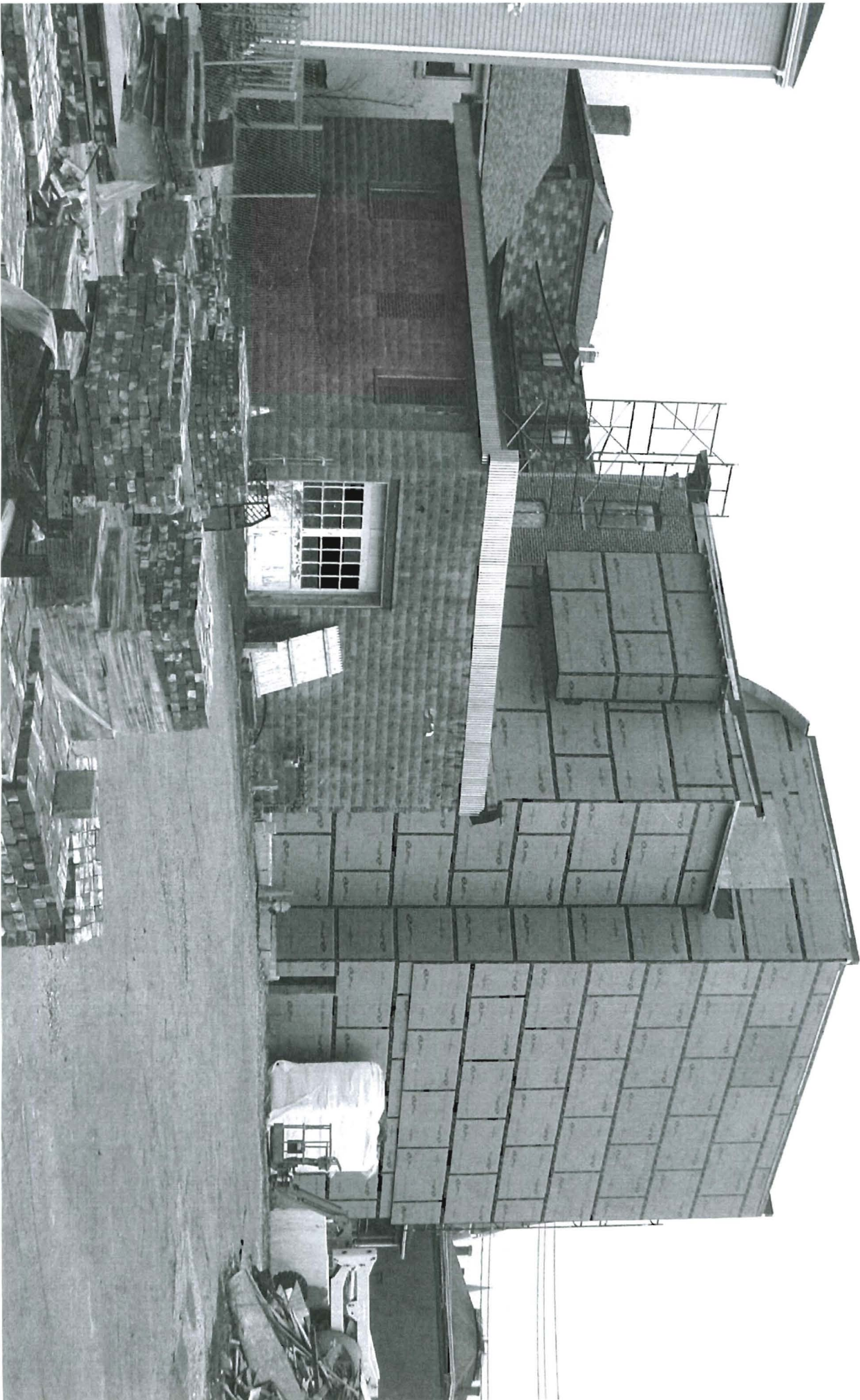
jsb

Refused to sign

Unable to sign



12/1/10



12/1/10

Jeanie Bourke - Re: Current status Re: 61 India Street

From: Jean Fraser
To: Reynolds, Joseph
Date: 2/3/2011 11:27 AM
Subject: Re: Current status Re: 61 India Street
CC: Bourke, Jeanie; Gautreau, Keith; jemreyn@aol.com

Joe,

I saw Keith's latest e-mail so it looks like you are good to go- except I would like to have Building code and Fire review on the cladding and paint/treatment materials (inside and out) BEFORE we sign off on that from a site plan viewpoint as we would like to know that the final sample will be what actually goes up. We usually have a manufacturers spec etc for cladding so for this project it will have to be an actual sample.

thank you
Jean

Jean Fraser, Planner
City of Portland
874 8728

>>> Joseph Reynolds <josephwreynolds@yahoo.com> 2/1/2011 9:06 PM >>>
Jean,

Here's my latest status report:

Re: Cladding I'm working on finding that brand of paint in a matte finish; unfortunately that which gives it such a durable coating also makes it shiny. I am sorry that I did not sand and coat the back; I plan to do that before putting it up.

Re: Plan updates/notation Railing details and parking plan notations will be made on revised plan submission.

Re: Revised Plans I spoke with Keith this morning and he thought our draft design as submitted last week would be acceptable from his standpoint if we included a rated door in the corridor between the two stairs. He was going to confirm that Jeanie was okay with that and get back to me.

When I spoke with Jeanie last Thursday, she confirmed that scenario would be acceptable from an IBC standpoint as well; so it seems we are good to go.

If these opinions don't change and I hear back an affirmation of that from Inspections, you should be seeing our revised submissions shortly.

Thank you, Joe Reynolds.

--- On **Thu, 1/27/11, Jean Fraser <JF@portlandmaine.gov>** wrote:

From: Jean Fraser <JF@portlandmaine.gov>
Subject: Current status Re: 61 India Street
To: "Joseph Reynolds" <josephwreynolds@yahoo.com>
Date: Thursday, January 27, 2011, 12:34 PM

Joe,

Thank you for leaving a set of plans and the sample of the cladding on Wednesday and we discussed them that morning at our Development Review meeting (which included Alex Jaegerman).

This is where things stand as far as I am aware:

1. Access and parking: We are OK with the hand-sketched plans sent back in December (and clarified in your e-mail more recently); this information (ie how the parking requirement is to be met and the interim and long term access arrangements) needs to be noted on the final revised site plan and cross referenced to the easement area.
2. Stairs/Egress 2nd floor: While from a site plan viewpoint the second internal stairs seem OK, I understand that this does not meet Building and Fire codes and that the egress from the second floor is still under discussion with Inspections and Fire Dept reviewers.
3. Details of railings: The Planning office requests larger scale and more detailed plans like the one you showed me at the December meeting- which clarifies materials and dimensions etc.
4. Cladding: The Planning office is generally OK with the paint color except it should be semi gloss or matt. However, I suggest that you first need to check out the steel cladding with Building codes/Inspections as I understand that to meet code any metal siding needs to be fabricated from "approved corrosion-resistant materials or shall be protected front and back with porcelain enamel, or otherwise be treated to render the metal resistant to corrosion. Thickness shall be a minimum of 0.0149-inch steel sheet mounted on wood or metal furring strips or approved sheathing. Attachment shall be with corrosion-resistant fastenings, metal ties or other approved devices or methods. Grounding of metal veneers on buildings shall be per the NEC 2009." The sample we have seen is clearly corroded and not protected from further corrosion.

Please do not hesitate to call if any questions.

Jean

Jean Fraser, Planner
City of Portland
874 8728

>>> Joseph Reynolds <josephwreynolds@yahoo.com> 1/24/2011 11:26 AM >>>
Jean,

I met with Jeanie Bourke this A.M. and she convinced me that we were close to resolving the remaining issues with my amendment application and that my idea to change occupancy class on the 2nd floor was not the best way forward. Please disregard that notion. I am sorry for any confusion it may have generated.

I have attached a draft of my plan for the second stair/egress that is necessary to satisfy the NFPA requirements. It is essentially the same design as is found in my existing permit. I am hopeful Jeanie/Keith can vet this design for compliance this week and have everything wrapped-up shortly thereafter.

I have a sample of the cladding to show you. Do I need to schedule a time to meet or shall I leave it with the receptionist? Thanks, Joe.

--- On **Mon, 1/24/11, Jean Fraser <JF@portlandmaine.gov>** wrote:

From: Jean Fraser <JF@portlandmaine.gov>
Subject: Re: 61 India Street
To: "Joseph Reynolds" <josephwreynolds@yahoo.com>
Cc: "Jeanie Bourke" <JMB@portlandmaine.gov>, "Keith Gautreau" <KNG@portlandmaine.gov>
Date: Monday, January 24, 2011, 9:39 AM

Joe,

I think this may cause issues re the site plan as the approval letter and plans are very specific (see attached approval letter)- I would like to check with my planning colleagues and Marge Schmuckal (Zoning Administrator); maybe if the amendment plans are clear re this change its OK so I will get back to you on this.

Jean.

>>> Joseph Reynolds <josephwreynolds@yahoo.com> 1/24/2011 6:52 AM
>>>

Thanks for your apology Keith.

Though I am dismayed to hear your change of view on this matter, ultimately I want to build something that is safe. If you now feel that my current proposal is not, so be it, let's move ahead and find a design that is.

What really smarts though, is waiting the six weeks that have passed since I submitted the information you requested that was supposed to satisfy your end of the review. Despite numerous emails and messages left, not hearing any response had left me feeling frustrated and perplexed.

In hopes of getting this project back on track ASAP, it is my intention to withdraw my proposal for a Business occupancy on the 2nd floor and instead incorporate it with the residential unit above as storage space. Please let me know if this change creates any new conflict with your review or, as I am hoping, it allows my amendment application to move forward.

Thanks, Joe Reynolds.

--- On **Fri, 1/21/11, Keith Gautreau <KNG@portlandmaine.gov>** wrote:

From: Keith Gautreau <KNG@portlandmaine.gov>
 Subject: Re: 61 India Street
 To: "Jean Fraser" <JF@portlandmaine.gov>
 Cc: "Jeanie Bourke" <JMB@portlandmaine.gov>, "Joseph Reynolds" <josephwreynolds@yahoo.com>
 Date: Friday, January 21, 2011, 12:35 PM

Hi Jean,

In the meeting I said it was possible to do the single means of egress with sprinklers. Unfortunately, I misspoke. Looking into it further, the single means of egress (his proposed enclosed stair) can serve no other levels. The enclosed stairwell currently serves the residential apartment from above.

NFPA 101 Section 38.2.4 Any business occupancy three or fewer stories in height, and not exceeding an occupant load of 30 people per floor, shall be permitted a single separate exit to each floor, provided that the following criteria are met:

(1) This arrangement shall be permitted only where the total travel distance to the outside of the building does not exceed 100 ft and where the exit is enclosed in accordance with 7.1.3.2, serves as an exit from not other levels, and discharges directly to the outside.

Joe, I apologize for misleading you in the meeting but I stand corrected. It looks like even with sprinklers you will need a second means of egress from the second floor.

Call me if you have any questions.

Thanks,
Keith

Keith Gautreau, Fire Captain
Fire Prevention Bureau
Portland Fire Department
380 Congress Street
Portland, ME 04101
(207)874-8405
kng@portlandmaine.gov

>>> Jean Fraser 1/19/2011 3:26 PM >>>
Keith

I did tell him (last Wed) you were OK but you had said you wanted to speak to Jeanie and he has not heard from anyone other than me last week.

As you know our computer systems are in "transition" and I just wanted to check that Jeanie wasn't waiting on you or vice versa nor that Jeanie wasn't waiting on me for some reason.

If you could speak to Jeanie that would be great.

Thanks
Jean

>>> Keith Gautreau 1/19/2011 2:21 PM >>>
Okay Jean. I thought I was pretty clear in the meeting we had up in planning that I was all set with what he was proposing with the sprinklers to be able to allow him the single means of egress. I'm not sure if Jeanie has finished looking into IBC for approval. I will talk to Jeanie today.

Keith

Keith Gautreau, Fire Captain
Fire Prevention Bureau
Portland Fire Department

380 Congress Street
Portland, ME 04101
(207)874-8405
kng@portlandmaine.govh
>>> Jean Fraser 1/19/2011 1:11 PM >>>
Keith and Jeanie

Planning is OK in principle with his revisions and just waiting for the final revised plans with final details re access etc.

I understand Joe is waiting for feedback/sign off from you two before he can submit the final revised plans to us for final site plan review....and in the meantime he is under a stop work order.

Could you let him know where things stand and if you need any more from him or whether you can sign off on what you have?.

Many thanks
Jean

Jeanie Bourke - Fwd: Re: Current status Re: 61 India Street

From: Jean Fraser
To: Andrews, Deb; Jaegerman, Alex
Date: 2/8/2011 1:46 PM
Subject: Fwd: Re: Current status Re: 61 India Street
CC: Bourke, Jeanie

For info; the approved was horizontal metal cladding, light charcoal grey.

Given the increased extent of the cladding we could suggest another color

It will still need to meet code requirements and I will ask for the spec.

>>> Joseph Reynolds <josephwreynolds@yahoo.com> 2/8/2011 1:12 PM >>>

Hi Jean,

I just got off the phone with my brother James, he is swamped with other client's (paying) work and doubtful of finishing my India St. drawings by the end of the day. I will get you them ASAP but I'm afraid it won't be before tomorrow's meeting, sorry.

One note on the steel cladding: I have been convinced that it would be wiser to use new material rather than try to recondition my old stock so we are planning on using the material (and color) that has already been approved in the Scott Teas' original plans. James' drawings will reflect this.

Thanks, Joe Reynolds.

James Lyman Reynolds
architect

Jeanie Bourke, C.E.O.
Building Inspections Division
389 Congress Street
Portland, Maine 04101

Re.: 61 India Street - Building Permit Documents – Rev. #5 dated 04/20/11

April 26, 2011

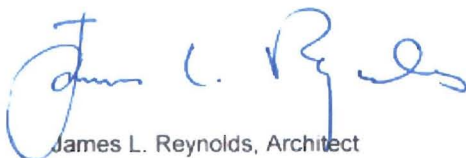
Dear Ms. Bourke,

Please be advised that pursuant to our conversation for the above reference project, that I herby amend the submitted documents to reflect clarifications/additional information regarding the following items

1. The reference Table citation for Maximum Area of Exterior Wall Openings Base on Fire Separation Distance located on sheet G1.2 should refer to table 705.8 (and as per 2009 UBC)
2. We are calling for a 1 hour rated assembly in the existing adjacent 1 story cement block garage in order to obviate the need for protected openings in the adjacent structure above. My interpretation is that garage structure may be classified as a Type III A Construction, and as such the existing heavy timber roof joists would not need to be wrapped with 5/8" F.R.S.R. to achieve a 1 hour rated roof assembly. We propose to cover the entire underside surface of the roof deck assembly with 5/8" F.R.S.R. in order to insure adequate rated protection of the secondary roof deck assembly, and thereby achieve the required 1 hour rating.
3. The proposed first floor bathroom vent, as indicated in drawing A1.1 shall be located on the exterior wall adjacent to the final bathroom location (and revised from drawing A2.3).
4. The exterior balcony guard detail as shown in drawing A2.1 shall meet code requirements as described in Section 1013 of the 2009 UBC (with a minimum height of 42" A.F.F.).
5. Omit all references to widows A1 and E1 in the window schedule on drawing A7.0.
6. The exterior wall assemblies where required to meet a 1 hour rating classification from the exterior shall achieve the rating by either 4" of brick veneer on the exterior and 5/8" F.R.S.R. on the interior or by utilizing 5/8" min. exterior gypsum sheathing on the outside of the exterior wall framing members, and 5/8" F.R.S.R. on the interior wall and ceiling surfaces. See drawing G1.4 for detailed Exterior Wall assemblies W1B and W1C.

Please let me know if you have any questions or require further information, and thank you for your attention to this matter.

Cordially yours,



James L. Reynolds, Architect

Cc. Joseph Reynolds

4303 U S Route 209

Stone Ridge, New York 12484

tel. 845.687.9161

RECEIVED
APR 27 2011
Dept. of Building Inspections
City of Portland Maine

Jeanie Bourke - 4.26.11 Permit Memo

From: <JemReyn@aol.com>
To: <JMB@portlandmaine.gov>
Date: 4/26/2011 12:53 PM
Subject: 4.26.11 Permit Memo
CC: <josephwreynolds@yahoo.com>
Attachments: BuildingDeptMemo4.26.11.pdf

Good afternoon Jeanie,

Please find attached copy of memorandum regarding the outstanding permit related items that we discussed earlier this morning.

Please let me know if you have any further questions or comments.

Cordially,

James

james lyman reynolds, architect | 4303 route 209 | stone ridge | new york
www.jameslymanreynolds.com <<http://www.jameslymanreynolds.com/>>
T. 845-687-9161 | F 845-687-9025

RECEIVED
APR 27 2011
Dept. of Building Inspections
City of Portland Maine

To Jeanne Borek Inspectors
so BP can be issued



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Planning and Urban Development Department
Penny St Louis, Director

Planning Division
Alexander Jaegerman, Director

July 20, 2011

Mr. Joseph W. Reynolds
Pearl Properties LLC
198 Tuttle Road
Cumberland, ME 04021

Project Name: Amendment to approved Site Plan
Infill and Refurbishment, 3 story with mezzanine on 4th level
Address: 61 India Street
Project ID: 10-99900006
CBL: 020-E-021-001
Applicant: Pearl Properties LLC (Joe Reynolds)

See conds i + vii -
they do not hold up
B.P.

call me if any
questions
Jean
x 8728

Dear Mr Reynolds:

On July 20, 2011, the Portland Planning Authority approved the amended Level II Site Plan for the infill and refurbishment of the structure to the rear of 61 India Street to create a three story building with mezzanine on the 4th level, including revised parking layout, elevations and materials, and to make a lot line adjustment in respect of the rear boundary, as shown on the approved plans with the following conditions:

- i. That the applicant shall submit the recorded affidavit that corrects the clerical errors in the deed description for the lot line adjustment (as confirmed by Sebago Technics in the attached 7.19.2011 e-mail), prior to the issuance of a certificate of occupancy; and
- ii. That the proposed new building is limited to retail on the first floor, business on the second floor and a single residential unit comprising a maximum total of 2000 sq ft on floor three and level 4 mezzanine; and
- iii. That there shall be no stubbing or roughing-in of plumbing and electrical for a "future" separate apartment on the top floor (level 4); and
- iv. That there shall be a building permit application for any change of use to add a new apartment; if this occurs within five years of the creation of the second residential lot/unit in this property (which was issued a change of use permit on March 28, 2006) and within five years of the creation of the third residential lot/unit (which was the subject of the current approval), an application for Subdivision Review shall also be submitted. The dates of the creation of the second and third residential lots/units shall be determined by the date of the earliest sale document (lease, purchase and sale agreement, purchase option or deed) for each; and

- v. That there shall be building permit applications for the actual tenants of the retail and office space for confirming use and for tenant fit-up; and
- vi. That the proposal requires a total of 5 parking spaces of which two (2) are located on site along the India Street driveway. The remaining three (3) spaces shall be provided off site as follows:
 - 1) Prior to development of the lot adjacent at the rear, one (1) space shall be located to the rear of the property (in easement area) as accessed via the adjacent parcel and shown on plan C1.0, and two (2) shall be leased off site and be subject to a signed 3-5 year contract which shall be submitted to the Planning Authority prior to the issuance of a final Certificate of Occupancy; and
 - 2) In the event the one (1) rear parking space is unavailable or inaccessible at any time, the applicant shall submit to the Planning Authority a signed 3-5 year contract to lease a replacement off site space for the required parking space; and
 - 3) If and when the development on the adjacent parcel is able to make available parking spaces for the occupants of 61 India Street (agreement to this effect seen during review; evidence of availability to be submitted to the Planning Authority), these may be substituted one for one for the (required) leased off site parking spaces.
- vii. That Plans A2.1, A2.2, A2.3 and A2.4 shall be revised to show the final exterior roof and cladding materials and railing specifications, to be submitted for review and approval prior to installation; and
- viii. That separate permits shall be required for any new signage; and
- ix. That the issued building permit shall be amended to show the approved changes; and
- x. That the roof overhang on the rear of the building shall not extend more than 2 feet; and
- xi. That the rear stairs shall not exceed 50 square feet nor project more than 6 feet from the building as shown in the approved plans.

The approval is based on the submitted site plans prepared by James Lyman Reynolds Rev #5 dated 4/20/2011: C0.1 Demolition Plan; C1.0 Site Plan; C1.1 Utility Plan; L1.0 Landscaping Plan; A2.1 Southwest Elevation; A2.2 Southeast Elevation; A2.3 Northeast Elevation; A2.4 Northwest Elevation. If you need to make any modifications to the approved site plan, you must submit an amended site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

- 1 **Develop Site According to Plan** The site shall be developed and maintained as depicted on the site plan and in the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or

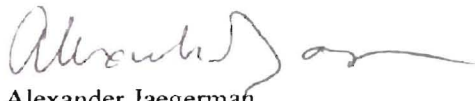
Planning Authority pursuant to the terms of Chapter 14. Land Use, of the Portland City Code.

2. **Separate Building Permits Are Required** This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division. (If applicable)
3. **Site Plan Expiration** The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period up to three (3) years from the approval date as agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the one (1) year expiration date. (If applicable)
4. **Preconstruction Meeting** Please contact the Development Review Coordinator prior to the commencement of the work subject of the approved amendments, who will confirm that the contractor is working from the approved site plan.
5. **As-Built Final Plans** Final sets of as-built plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.

The Development Review Coordinator must be notified five (5) working days prior to the date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser (207) 874-8728 .

Sincerely,



Alexander Jaegerman
Planning Division Director

Electronic Distribution:

Penny St. Louis, Director of Planning & Urban Development Dept
Alexander Jaegerman, Division Director, Planning
Barbara Barhydt, Development Review Services Manager, Planning
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator, Planning
Marge Schmuckal, Zoning Administrator, Inspections Division
Tammy Munson, Plan Reviewer, Inspections Division
Lannie Dobson, Administration, Inspections Division

Michael Bobinsky, Director, Public Services
Katherine Earley, Engineering Services Manager, Public Services
Bill Clark, Project Engineer, Public Services
David Margolis-Pineo, Deputy City Engineer, Public Services
David Senus, P.E., Woodard & Curran
Jane Ward, Administration, Public Services
Capt. Keith Gautreau, Fire Department
Jeff Tarling, City Arborist, Public Services
Tom Errico, P.E., T M Lin Associates
Assessor's Office

Approval Letter File

O:\PLAN\Dev Rev\India Street - 61 (Building Addition)\Post Approval\Dec 2010 amendments\Approval letters\final Approval letter - 7/20/2011 61 India.docx

From: "James Seymour" <jseymour@sebagotechnics.com>
To: "Jean Fraser" <JF@portlandmaine.gov>, <josephwreynolds@yahoo.com>
CC: <WBC@portlandmaine.gov>, <05109@sebagotechnics.com>, "Matthew EK" <mek@s..
Date: 7/19/2011 3:32 PM
Subject: Bay House-61 India St property line revision
Attachments: 88121.pdf

To All concerned,

I had Matthew Ek, PLS take a look at the description for the Exhibit A for the Bay House (Village at Oceangate LLC to Pearl Properties, LLC) and found that in fact there was a clerical error made in the description which is noted on the attached

The reversal of the Bearing from N-W to S-W corrects the closure and there is no setback violation with the revision

We feel this can be cleaned up with a simple affidavit for correction Please let me know how you would like to proceed from this point.

I believe Mr Reynolds would like this to be resolved ASAP.

Thank you.

James R Seymour P E

Sebago Technics Inc

1 Chabot Street.

PO Box 1339

Westbrook, ME 04098-1339

Tel 207 856-0277 ext 277

Fax 207 856-2206

-----Original Message-----

From: copier@sebagotechnics.com [mailto:copier@sebagotechnics.com]

Sent: Tuesday, July 19, 2011 3:11 PM

To: James Seymour

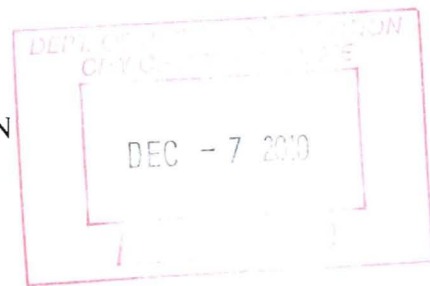
Subject: Attached image data.

This is image data from the scanner.

6/17/11
 added comments

City of Portland
 Development Review Application
 Planning Division Transmittal form

Application Number: 10-99900006 **Application Date:** 12-3-2010
Project Name: CHG 4 TO 3 W/MEZZANINE plans dated 11-29-2010
Address: 61 India St **CBL:** 020 - E-021-001
Project Description: India St; 61, Change Of Story To 3 With Mezzanine, Joe Reynolds, Applicant Ref#
Zoning: B2B
Other Reviews Required:
Review Type: ADMINISTRATIVE AMENDED SITE PLAN



circulated 12-6-2010

Distribution List:

<input type="checkbox"/> Planner	Jean Fraser	<input type="checkbox"/> Parking	John Peverada
<input checked="" type="checkbox"/> Zoning Administrator	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Stormwater	Dan Goyette	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Keith Gautreau	<input type="checkbox"/> Inspections	Tammy Munson
<input type="checkbox"/> City Arborist	Jeff Tarling	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> Outside Agency	
		<input type="checkbox"/> DRC Coordinator	Phil DiPierro

Preliminary Comments needed by: Meeting w/ applicant ? 12-8-10
 for clarification etc - issues?

Final Comments needed by:
 tbc - 12-15-10 probably

thanks Jean.

E-mail exchange Joe Reynolds
"explaining" amendments

see circled

From: Jean Fraser
To: JosephWReynolds@yahoo.com
Date: 12/2/2010 10:57 AM
Subject: Another issue and question Fwd: Site Plan Review Re: 61 India Street
Attachments: APP 2 - b1, b2 & b2b designguidelines.pdf

Joe,

I just noticed that the plan says that the main front elevation is "existing brick facade to be rebuilt" whereas the approved plan (and the elevations in the revised plan set) shows this elevation to be retained.

Could you please clarify and confirm your intentions regarding the front elevation that faces India Street.

Given the scale of rebuilding and new materials/windows, the project is likely to be subject to a design review under the Site Plan ordinance and the standards listed below would be the criteria for reviewing the revised proposals- please bring these to the attention of your architect (although many would probably not apply because of the footprint location). A design review includes several planning staff usually including the Planning Division Director.

thank you
Jean

from City's Land use ordinance:

(iii) B1, B1-b, B2, B2-b Zones: Development in the B1, B1-b, B2 and B2-b business zones shall provide an established street wall with entrances and public portions of the building oriented to and directly accessible from the public sidewalk and shall be designed and scaled to be compatible with surrounding residential and commercial development as demonstrated by compliance with all applicable design standards listed in the Design Manual.

From the Design Manual:

The Design Guidelines are attached.

>>> Jean Fraser 12/1/2010 4:48 PM >>>

Joe,

I have discussed the revised plans with the Development Review team today and while we welcome the comprehensive plan set, it appears that the following revisions are being proposed (as compared to the approved plans and elevations):

Rear area indicated to accommodate 4 parking spaces rather than one;

New deck on top floor;

New addition for stairs (all levels) at rear;

All floors have revised floor areas due to new stairs at rear;

New bay window and other revised windows;

New walls/metal cladding over a much larger part of the structure (especially on southeast elevation).

Due to the number and scale of changes we request that you submit an amendment application so that these changes can be reviewed under the Site Plan and Zoning ordinances.

The application is as for a level II site plan application (available on the City's web site) and there is a fee of \$250. I will hold the 7 sets of plans so you just need to submit 7 sets of the

>>> Joseph Reynolds <josephwreynolds@yahoo.com> 11/29/2010 1:32 PM >>>

Jean,

Later today I will be submitting to your office the revised plans (7 copies) for my India St. project.

I will include a copy of an easement that was recorded at the Registry of Deeds in April of this year that grants to me 4 parking spaces on the land that I sold (also in April 2010) to the developers of the Village at Ocean Gate project. In light of this arrangement, I no longer intend to install an "automobile turnstyle" as previously proposed; the current plans reflect this change.

Also different from the original TFH submission, other than the reduction in size and number of residential units from 2 to 1, is a plan to move the stairs to the northwest corner of the building and provide direct access to my right of way to Newbury Street.

Finally, I have asked my brother to update the Utility, Landscape and Site plans to reflect changes/amendments that were previously accepted. Hopefully it will be a benefit to have them in the same template as the new plans.

Thanks for your consideration, Joe.

--- On **Wed, 10/27/10, Jean Fraser <JF@portlandmaine.gov>** wrote:

From: Jean Fraser <JF@portlandmaine.gov>
Subject: Re: 61 India Street
To: "Joseph Reynolds" <josephwreynolds@yahoo.com>
Cc: jemreyn@aol.com
Date: Wednesday, October 27, 2010, 4:19 PM

Joe,

Sorry for the delay in this reply- it arrived in the middle of a race to meet a deadline.

I attach the three plans that were approved (in addition to building plans) on Oct 6, 2008. Plan C1.0 had a hand written amendment re the material for the driveway which said " 4" layer reclaimed/crushed asphalt cover NB: Post-build impervious is 94.5%."

You had 2 amendments that I am aware of:

1. Re Water and Gas- see attached pdf with what you submitted and we were OK with that;
2. Approved Amendments to reduce 4th floor area to create a mezzanine (I don't have pdf of that just a hard copy but could make pdfs if that is what you need).

The file is public and you/brother are welcome to look through it and get paper copies of anything.

I am not aware of any hand drawn changes unless you gave something to Phil diPierro more recently (he is copied on this in case he has some other plans).

Jean

Jean Fraser, Planner
City of Portland

874 8728

>>> Joseph Reynolds <josephwreynolds@yahoo.com> 10/26/2010 10:31 AM >>>

Hi Jean,

Finally I've got the plans that you requested in order. My brother James (a registered architect in New York State who has recently received his license in Maine, too) will be sending them to you directly.

I wondered if it might be possible at this point to "clean-up" some of my previous changes to the application which I'm afraid were done a little hastily. In particular, I'm thinking of hand drawn revisions that I made to the parking/landscape/utility plans prior to the initial approval of the project.

I would very much like to make this submission of plans the last for the project and would hope that the final set on record with you can be as accurate and professional as possible.

Along these lines, would it be possible to get a copy of my current (approved) set of plans so that we can be assured of properly addressing any changes that have come up?

Thanks for your time, I look forward to working with you again.

Sincerely,
Joe Reynolds

--- On **Fri, 6/26/09, Jean Fraser <JF@portlandmaine.gov>** wrote:

From: Jean Fraser <JF@portlandmaine.gov>
Subject: 61 India Street
To: josephwreynolds@yahoo.com
Date: Friday, June 26, 2009, 1:29 PM

Joe,

I am writing to confirm that the amended proposals (as delivered to me on June 16, 2009) are OK and will be treated as a diminimus amendment subject to you providing 7 sets of these final plans (A1.3, A1.4 and front elevation) (to me), each dated and stamped (by an architect or engineer) so that I can circulate to other departments to document the changes.

Also please ensure that the Building Permit application is updated with plans/details that match these amended final plans.

Please call if any questions (I am in on Monday but not this afternoon).

Jean

Jean Fraser
Planner, City of Portland
874 8728

completed application form (where relevant to the amendments) and any other supporting information. The application needs to include the following additional information:

Layout of the parking spaces to the rear, showing access, parking aisle and turnaround areas (so that all vehicles are able to exit the site facing forward) - please refer to the latest (August 2010) version of the City's Technical Standards which are also available on the City's web site - this gives minimum size of parking spaces, parking aisles etc

A spec sheet or internet ref for the metal cladding so we can see what it looks like; vertical cladding is less vernacular than horizontal cladding.

Details of the railings on the new deck (or a spec reference).

I appreciate that you are retaining the front elevation and using slate roofing at the front and our request does not indicate that we necessarily have concerns regarding the amendments; we will expedite the review if time is an issue for you.

I understand that you have also sent the revised plans to the Inspections Division but a Building Permit for this work would not be issued until the Site Plan amendment application is reviewed and approved- so please do not progress any work associated with the revisions until the Building Permit is issued.

Please do not hesitate to call me if you have any questions.

Thank you
Jean

Jean Fraser, Planner
City of Portland
874 8728

>>> Joseph Reynolds <josephwreynolds@yahoo.com> 11/29/2010 4:25 PM >>>

Understood, thanks Jean. Whatever I need to to, please let me know.

As I was reading over my email to you from earlier today I realize that I was mistaken when I said "reduction in residential units...", I should have said floors, sorry for the error.
Joe.

On **Mon, 11/29/10, Jean Fraser <JF@portlandmaine.gov>** wrote:

From: Jean Fraser <JF@portlandmaine.gov>
Subject: Re: 61 India Street
To: "Joseph Reynolds" <josephwreynolds@yahoo.com>
Date: Monday, November 29, 2010, 1:59 PM

Joe,

OK - I will look for these.

Please bear in mind that the scale of changes and their impacts on the conditions of approval may mean this requires an amendment application- I am not sure and will discuss it with Barbara Barhydt when she comes in tomorrow (she is not in today).

Jean



Level II – Preliminary and Final Site Plans Development Review Application Portland, Maine

Planning and Urban Development Department
Planning Division

Portland's Planning and Urban Development Department coordinates the development review process for site plan, subdivision and other applications under the City's Land Use Code. Attached is the application form for a Level II: Preliminary or Final Site Plan. Please note that Portland has delegated review from the State of Maine for reviews under the Site Location of Development Act, Chapter 500 Stormwater Permits, and Traffic Movement Permits. General information pertaining to the thresholds of review, public noticing procedures and the fee structure is contained in the Notice to Developer's Packet.

Level II: Site Plan Development includes:

- New structures with a total floor area of less than 10,000 sf except in Industrial Zones.
- New structures with a total floor area of less than 20,000 sf in Industrial Zones.
- Any new temporary or permanent parking area, paving of an unpaved surface parking area, or creation of other impervious surface area greater than 7,500 sf.
- Building addition(s) with a total floor area of less than 10,000 sf (cumulatively within a 3 year period) except in Industrial Zones.
- Building addition(s) with a total floor area of less than 20,000 sf in Industrial Zones.
- Park improvements. New structures or buildings with a total floor area of less than 10,000 sf, facilities encompassing an area of greater than 7,500 sf and less than 20,000 sf (excludes rehabilitation or replacement of existing facilities)
- New piers, docks, wharves, bridges, retaining walls, and other structures within the Shoreland Zone.
- Land disturbance between 1 and 3 acres (includes stripping, grading, grubbing, filling or excavation)
- A change in the use of a total floor area between 10,000 and 20,000 sf in any existing building (cumulatively within a 3 year period).
- Construction of a lodging house, bed and breakfast facility, emergency shelter or special needs independent living unit.
- Signage subject to approval pursuant to Section 14-526 (d) 8.a (IV) of the Land Use Code.
- Any new major or minor auto service station with less than 10,000 sf of building area that is outside the B-2 or B-5 zones.
- The creation of day care or home babysitting facilities to serve more than 12 children in a residential zone (not permitted as a home occupation under section 14-410) in any principal structure that has not been used as a residence within the 5 years preceding the application.

The Land Use Code (including Article V), the Technical Manual, and the Design Manual are available on the City's web site at <http://www.portlandmaine.gov/planning/default.asp> or copies may be purchased at the Planning Division Office.

Planning Division
Fourth Floor, City Hall
389 Congress Street
(207) 874-8721

Office Hours
Monday thru Friday
8:00 a.m. – 4:30 p.m.

Engineer Name: <i>Reurgence Engineering</i> Address: <i>Same as Prior Approval</i> City/State: _____ Zip Code: _____	Engineer Contact Information Work # _____ Cell # _____ Fax# _____ e-mail: _____
Surveyor Name: <i>Same as Prior Approval</i> Address: _____ City/State: _____ Zip Code: _____	Surveyor Contact Information Work # _____ Cell # _____ Fax# _____ e-mail: _____
Architect Name: <i>James Reynolds</i> Address: <i>Route 209</i> City/State: <i>Stone Ridge, NY</i> Zip Code: _____	Architect Contact Information Work # _____ Cell # _____ Fax# _____ e-mail: _____
Attorney Name: _____ Address: _____ City/State: _____ Zip Code: _____	Attorney Contact Information Work # _____ Cell # _____ Fax# _____ e-mail: _____

APPLICATION FEES:

Check all reviews that apply. (Payment may be made by Cash or Check payable to the City of Portland.)

Level II Development (check applicable reviews) <input type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee) <hr/> The City invoices separately for the following <ul style="list-style-type: none"> • Notices (\$.75 each) • Legal Ad (% of total Ad) • Planning Review (\$40.00 hour) • Legal Review (\$75.00 hour) Third party review is assessed separately	Fees Paid (office use) _____ _____	Other Reviews (check applicable reviews) <input type="checkbox"/> Traffic Movement (\$1,000) <input type="checkbox"/> Stormwater Quality (\$250) <input type="checkbox"/> Section 14-403 Review (\$400 + \$25/lot) # of Lots ____ x \$25/lot = _____ <input type="checkbox"/> Other _____ <input type="checkbox"/> Change of Use <input type="checkbox"/> Flood Plain <input type="checkbox"/> Shoreland <input type="checkbox"/> Design Review <input type="checkbox"/> Housing Replacement <input type="checkbox"/> Historic Preservation	Fees Paid (office use) _____ _____
Plan Amendments (check applicable reviews) <input checked="" type="checkbox"/> Planning Staff Review (\$250) <input type="checkbox"/> Planning Board Review (\$500)	Fees Paid (office use) _____ _____		

PROJECT NAME: 61 INDIA STREET

PROPOSED DEVELOPMENT ADDRESS:
SAME

PROJECT DESCRIPTION:
AMENDMENT TO PRIOR APPROVED PERMIT -
CHANGE OF 4 STORY TO 3 WITH MEZZANINE

CHART/BLOCK/LOT 020 E 021 001 PRELIMINARY PLAN _____ (date)
FINAL PLAN _____ (date)

CONTACT INFORMATION:

<p>Applicant - must be owner, Lessee or Buyer</p> <p>Name: <u>Joe Reynolds</u></p> <p>Business Name, if applicable: <u>Pearl Properties</u></p> <p>Address: <u>198 Tuttle Rd.</u></p> <p>City/State: <u>Cumberland ME</u> Zip Code: <u>04021</u></p>	<p>Applicant Contact Information</p> <p>Work # <u>SAME</u></p> <p>Home#</p> <p>Cell # Fax#</p> <p>e-mail</p>
<p>Owner - (if different from Applicant)</p> <p>Name <u>SAME</u></p> <p>Address:</p> <p>City/State Zip Code:</p>	<p>Owner Contact Information</p> <p>Work #</p> <p>Home# <u>SAME</u></p> <p>Cell # Fax#</p> <p>e-mail.</p>
<p>Agent/ Representative</p> <p>Name: <u>SAME</u></p> <p>Address:</p> <p>City/State Zip Code:</p>	<p>Agent/Representative Contact information</p> <p>Work #</p> <p>Cell #</p> <p>e-mail.</p>
<p>Billing Information</p> <p>Name: <u>SAME</u></p> <p>Address:</p> <p>City/State Zip Code:</p>	<p>Billing Information</p> <p>Work #</p> <p>Cell # Fax#</p> <p>e-mail.</p>

APPLICATION SUBMISSION

As of December 1, 2010, all electronic and written application materials must be uploaded to a website for review. At the time of application, instructions for uploading the plans will be provided to the applicant. One paper set of the plans, written materials, and application fee must be submitted to the Planning Division. Cities to start the review process.

On December 1, 2010, **submissions shall include seven (7) packets with folded plans containing the following materials:**

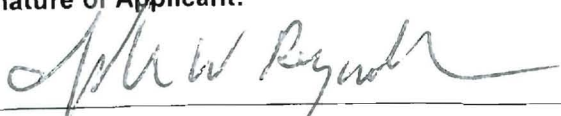
1. **Seven (7) full size site plans** that must be **folded**.
2. Seven (7) copies of all written materials or as follows, unless otherwise noted.
 - a. Application form that is completed and signed
 - b. Cover letter stating the nature of the project.
 - c. All Written Submittals (Sec. 14-525.2 (c)), including evidence of right, title and interest.
5. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
6. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
7. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
8. One (1) set of plans reduced to 11 x 17

Refer to the application checklist for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Level II Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.

Signature of Applicant: 	Date: 12/3/10
--	------------------

PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area	7672		sq. ft.
Proposed Total Disturbed Area of the Site	SAME AS EXISTING PERMIT		sq. ft.
(If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)			
IMPERVIOUS SURFACE AREA			
• Proposed Total Paved Area			sq. ft.
• Existing Total Impervious Area			sq. ft.
• Proposed Total Impervious Area			sq. ft.
• Proposed Total Impervious Area			sq. ft.
• Proposed Impervious Net Change			sq. ft.
BUILDING AREA			
• Proposed Building Footprint			sq. ft.
• Proposed Building Footprint Net change			sq. ft.
• Existing Total Building Floor Area			sq. ft.
• Proposed Total Building Floor Area		from plan note 4976	sq. ft.
• Proposed Building Floor Area Net Change		jr	sq. ft.
• New Building			(yes or no)
ZONING			
• Existing			
• Proposed, if applicable		(df note: B2b)	
LAND USE			
• Existing			
• Proposed			
RESIDENTIAL, IF APPLICABLE			
• Proposed Number of Affordable Housing Units			
• Proposed Number of Residential Units to be Demolished			
• Existing Number of Residential Units			
• Proposed Number of Residential Units			
• Subdivision, Proposed Number of Lots			
PARKING SPACES			
• Existing Number of Parking Spaces			
• Proposed Number of Parking Spaces			
• Number of Handicapped Parking Spaces			
• Proposed Total Parking Spaces			
BICYCLE PARKING SPACES			
• Existing Number of Bicycle Parking Spaces			
• Existing Number of Bicycle Parking Spaces			
• Proposed Number of Bicycle Parking Spaces			
• Total Bicycle Parking Spaces			
ESTIMATED COST OF PROJECT			

General Submittal Requirements – Preliminary Plan (Optional)

Level II Site Plan

Preliminary Plan Phase Check list (if elected by applicant)

Applicant Checklist	Planner Checklist	Number of Copies	Written Submittal Requirements
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Completed application form
<input type="checkbox"/>	<input type="checkbox"/>	1	Application fees
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written description of project
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Evidence of right, title and interest.
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Copies of required State and/or Federal permits.
<input type="checkbox"/>	<input type="checkbox"/>	7 ((1 paper copy as of Dec. 1)	Written assessment of zoning.
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written description of existing and proposed easements or other burdens.
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written requests for waivers from individual site plan and/or technical standards, where applicable.
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Traffic analysis (may be preliminary, in nature, during the preliminary plan phase).
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written summary of significant natural features located on the site.
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written summary of project's consistency with related city master plans.
Applicant Checklist	Planner Checklist	Number of Copies	Site Plan Submittal Requirements
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Boundary Survey meeting the requirements of Section 13 of the City of Portland Technical Manual.
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Preliminary Site Plan Including the following: (*information provided may be preliminary in nature during preliminary plan phase):
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed site access and circulation.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed grading and contours.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed utilities (preliminary layout).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, transit infrastructure, roadway improvements).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary stormwater management and erosion control plan.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b) 1. of the Land Use Code).

Proposed alterations to and protection measures for significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code).

Existing and proposed easements or public or private rights of way.

**General Submittal Requirements – Final Plan (Required)
Level II Site Plan**

Final Plan Phase Check list (including items listed above in General Requirements for Preliminary Plan, if applicant did not elect to submit for a preliminary plan review)

Applicant Checklist	Planner Checklist	Number of Copies	Written Submittal Requirement
<input type="checkbox"/>	<input type="checkbox"/>	1	Evidence of financial and technical capacity.
<input type="checkbox"/>	<input type="checkbox"/>	1	Evidence of utilities' capacity to serve the development
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual).
<input type="checkbox"/>	<input type="checkbox"/>	1	Construction management plan.
<input type="checkbox"/>	<input type="checkbox"/>	1	Traffic Plan (if development will (1) generate 100 or more PCE or (2) generate 25 or more PCE and is located on an arterial, within 1/2 mile of a high crash location, and/or within ¼ mile of an intersection identified in a previous traffic study as a failing intersection)
<input type="checkbox"/>	<input type="checkbox"/>	1	Stormwater management plan.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written summary of solid waste generation and proposed management of solid waste.
<input type="checkbox"/>	<input type="checkbox"/>	1	Written assessment of conformity with applicable design standards.
<input type="checkbox"/>	<input type="checkbox"/>	1	Manufacturer's verification that HVAC and manufacturing equipment meets applicable state and federal emissions requirements.

Final Plan Phase			
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Final Site Plan Including the following
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures on the site with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed site access and circulation.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed grading and contours.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways. Proposed curb lines must be shown.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed loading and servicing areas, including applicable turning templates for delivery vehicles
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed snow storage areas or snow removal plan.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed trash and recycling facilities.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed utilities.

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<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Location and details of proposed infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, public transit infrastructure, roadway improvements).
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Proposed septic system, if not connecting to municipal sewer (Portland Waste Water Application included in this application)
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Proposed finish floor elevation (FFE).
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Exterior building elevation(s) (showing all 4 sides).
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Proposed stormwater management and erosion controls.
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Exterior lighting plan, including street lighting improvements..
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Proposed signage
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Identification of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1 of the Land Use Code) Wetlands must be delineated.
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Proposed alterations to and protection measures for of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code).
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Total area and limits of proposed land disturbance
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Soil type and location of test pits and borings.
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Details of proposed pier rehabilitation (Shoreland areas only)
<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ Existing and proposed easements or public or private rights of way.

CITY OF PORTLAND WASTEWATER CAPACITY APPLICATION

Department of Public Services,
55 Portland Street,
Portland, Maine 04101-2991



Mr. Frank J. Brancely,
Senior Engineering Technician,
Phone #: (207) 874-8832,
Fax #: (207) 874-8852,
E-mail: fjb@portlandmaine.gov

Date 12/3/10

1. Please, Submit Utility, Site, and Locus Plans.

Site Address 61 INDIA STREET / Amendment to existing permit
(Regarding addressing, please contact Leslie Kaynor, either at 756-8346, or at LMK@portlandmaine.gov)
 Chart Block Lot Number: 20 ED21 001

Proposed Use: _____
 Previous Use: _____

Existing Sanitary Flows: _____ GPD
 Existing Process Flows: _____ GPD

Description and location of City sewer, at proposed building sewer lateral connection: _____

Site Category: Commercial _____
 Industrial (complete part 4 below) _____
 Governmental _____
 Residential _____
 Other (specify) _____

Clearly, indicate the proposed connection, on the submitted plans.

2. Please, Submit Domestic Wastewater Design Flow Calculations.

Estimated Domestic Wastewater Flow Generated: _____ GPD
 Peaking Factor/ Peak Times: _____

Specify the source of design guidelines: (i.e. "Handbook of Subsurface Wastewater Disposal in Maine,"
"Plumbers and Pipe Fitters Calculation Manual," Portland Water District Records, Other (specify)

Note: Please submit calculations showing the derivation of your design flows, either on the following page, in the space provided, or attached, as a separate sheet.

3. Please, Submit Contact Information.

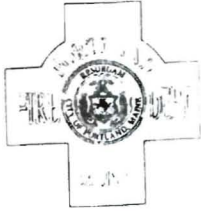
Owner/Developer Name: _____
 Owner/Developer Address: _____
 Phone: _____ Fax: _____ E-mail: _____
 Engineering Consultant Name: _____
 Engineering Consultant Address: _____
 Phone: _____ Fax: _____ E-mail: _____
 City Planner's Name: _____ Phone: _____

Note: Consultants and Developers should allow +/- 15 days, for capacity status, prior to Planning Board Review.

4. Please, Submit Industrial Process Wastewater Flow Calculations

Estimated Industrial Process Wastewater Flows Generated: _____ GPD
 Do you currently hold Federal or State discharge permits? Yes _____ No _____
 Is the process wastewater termed categorical under CFR 40? Yes _____ No _____
 OSHA Standard Industrial Code (SIC): _____
 Peaking Factor/Peak Process Times: _____

(<http://www.osha.gov/oshstats/sicser.html>)



PORTLAND FIRE DEPARTMENT SITE REVIEW FIRE DEPARTMENT CHECKLIST



A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews

1. Name, address, telephone number of applicant.
2. Name address, telephone number of architect
3. Proposed uses of any structures [NFPA and IBC classification]
4. Square footage of all structures [total and per story]
5. Elevation of all structures
6. Proposed fire protection of all structures
 - **As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)**
7. Hydrant locations
8. Water main[s] size and location
9. Access to all structures [min. 2 sides]
10. A code summary shall be included referencing NFPA 1 and all fire department. Technical standards.

Some structures may require Fire flows using annex H of NFPA 1

Exhibit A

A certain lot or parcel of land situated on the southerly side of, but not adjacent to Newbury Street, in the City of Portland, County of Cumberland, State of Maine, being depicted on a plan of land entitled "Boundary & Topographic Survey of The Bay House," as "Area to be Transferred to The Village at Oceangate, LLC 1,606 sq ft 0.04 acres" dated July 12, 2005 and revised through June 3, 2008, Sheet 2 of 15, by Sebago Technics, Inc., said parcel being more particularly bounded and described as follows

Beginning at a 5/8 inch rebar found at a corner of land now or formerly of Wooden Nickel, LLC, as described in a deed recorded at the Cumberland County Registry of Deeds in Book 14219, Page 166, said rebar being a corner of property now or formerly of The Village at Ocean Gate, LLC, as described in a deed recorded in Book 25625, Page 275;

Thence N 45°-55'-20" E, by and along land of The Village at Ocean Gate, LLC, a distance of 47.65 feet to a point;

Thence S 42°-39'-58" E, by and along land of The Village at Ocean Gate, LLC, a distance of 56.58 feet to a PK nail found,

Thence S 42°-31'-42" W, by and along land of The Village at Ocean Gate, LLC, a distance of 26.11 feet to a capped 5/8 inch rebar set;

Thence N 45°-16'-56" W, passing through land of the Grantor, a distance of 16.96 feet to a capped 5/8 inch rebar set;

Thence N 46°-47'-05" W, passing through land of the Grantor, a distance of 20.14 feet to a capped 5/8 inch rebar set;

Thence N 49°-22'-47" W, passing through land of the Grantor, a distance of 20.62 feet to a capped 5/8 inch rebar set;

Thence S 47°-36'-06" W, passing through land of the Grantor, a distance of 16.99 feet to the point of beginning

Pearl Properties, LLC

[Handwritten Signature]

By: [Handwritten Signature]
Joseph W. Reynolds
Its duly authorized Manager

State of MA
County of Suffolk

April 21, 2010

Personally appeared before me the above-named Demetrios Dasco, Manager of The Village at Oceangate, LLC and acknowledged the foregoing to be his free act and deed in said capacity and the free act and deed of said company.

[Handwritten Signature]
Print name:
Notary Public/Attorney at Law
My commission expires: 2/20/11

State of Maine
County of Cumberland

April 6, 2010

Personally appeared before me the above-named Joseph W. Reynolds, Manager of Pearl Properties, LLC, and acknowledged the foregoing to be his free act and deed in said capacity and the free act and deed of said company.

[Handwritten Signature]
Print name: John S. Thomson
Notary Public/Attorney at Law
My commission expires: N/A

Exhibit A

A certain lot or parcel of land situated on the southerly side of, but not adjacent to Newbury Street, in the City of Portland, County of Cumberland, State of Maine, being depicted on a plan of land entitled "Boundary & Topographic Survey of The Bay House," as "Area to be Transferred to The Village at Oceangate, LLC 1,606 sq ft 0.04 acres" dated July 12, 2005 and revised through June 3, 2008, Sheet 2 of 15, by Sebago Technics, Inc., said parcel being more particularly bounded and described as follows:

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Thence N 45°-55'-20" E, by and along land of The Village at Ocean Gate, LLC, a distance of 47.65 feet to a point,

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Thence S 47°-36'-06" W, passing through land of the Grantor, a distance of 16.99 feet to the point of beginning.

Note: On the submitted plans, please show the locations, where the building's sanitary, and process water sewer laterals, exit the facility, where they enter the city's sewer, the location of any control manholes, wet wells, or other access points, and the locations of any filters, strainers, or grease traps.

Notes, Comments, or Calculations:

No Change from existing permit

NOV 29 2010

Easement

This Easement is entered into this 5th day of April, 2010, by and between The Village at Océangate, LLC, a Maine limited liability company with a mailing address of 35 Fay Street Suite 107-B, Boston, Massachusetts 02118 ("VOG") and Pearl Properties, LLC, a Maine limited liability company with a mailing address c/o Joseph Reynolds 198 Tuttle Road, Cumberland, Maine 04021 ("Pearl").

WHEREAS, VOG owns certain land described in a deed from Village Café, Inc. dated November 15, 2007, and recorded in the Cumberland County Registry of Deeds in Book 25625, Page 275 (the "VOG Land"); and

WHEREAS, on or about the date hereof, Pearl conveyed an approximately 1,600 square foot parcel of land to VOG (the "Parcel"), such Parcel being more particularly described on **Exhibit A** attached hereto; and

WHEREAS, the Parcel is a portion of land described in a deed from Wooden Nickel, LLC to Pearl dated August 5, 2005 and recorded at said Registry in Book 23005, Page 267 (the "Pearl Land"); and

WHEREAS, as partial consideration for the transfer of the Parcel VOG wishes to grant Pearl the right to use the Parcel for parking of vehicles for the benefit of the retained portion of the Pearl Land until VOG provides written notice to Pearl of its commencement of construction of a parking garage on the VOG Land, in which event the right of Pearl to park vehicles on the Parcel is to be replaced with the right to use four (4) parking spaces in the parking garage to be constructed on the VOG Land;

WHEREAS, as partial consideration for the transfer of the Parcel VOG wishes to grant to Pearl the right to use certain portions of the Parcel and the VOG land for pedestrian and vehicular access;

WHEREAS, as partial consideration for the transfer of the Parcel, VOG wishes to grant to Pearl the right to install for Pearl's benefit gates and fences along and upon certain portions of the Parcel and the VOG land; and

WHEREAS, the parties desire to enter into this Easement to grant to Pearl the parking, pedestrian and vehicular access as well as gate and fencing installation rights described above.

NOW, THEREFORE, in consideration of \$1.00 and other good and valuable consideration the agreements of VOG and Pearl below, the receipt and sufficiency of which hereby is acknowledged, VOG and Pearl agree as follows:

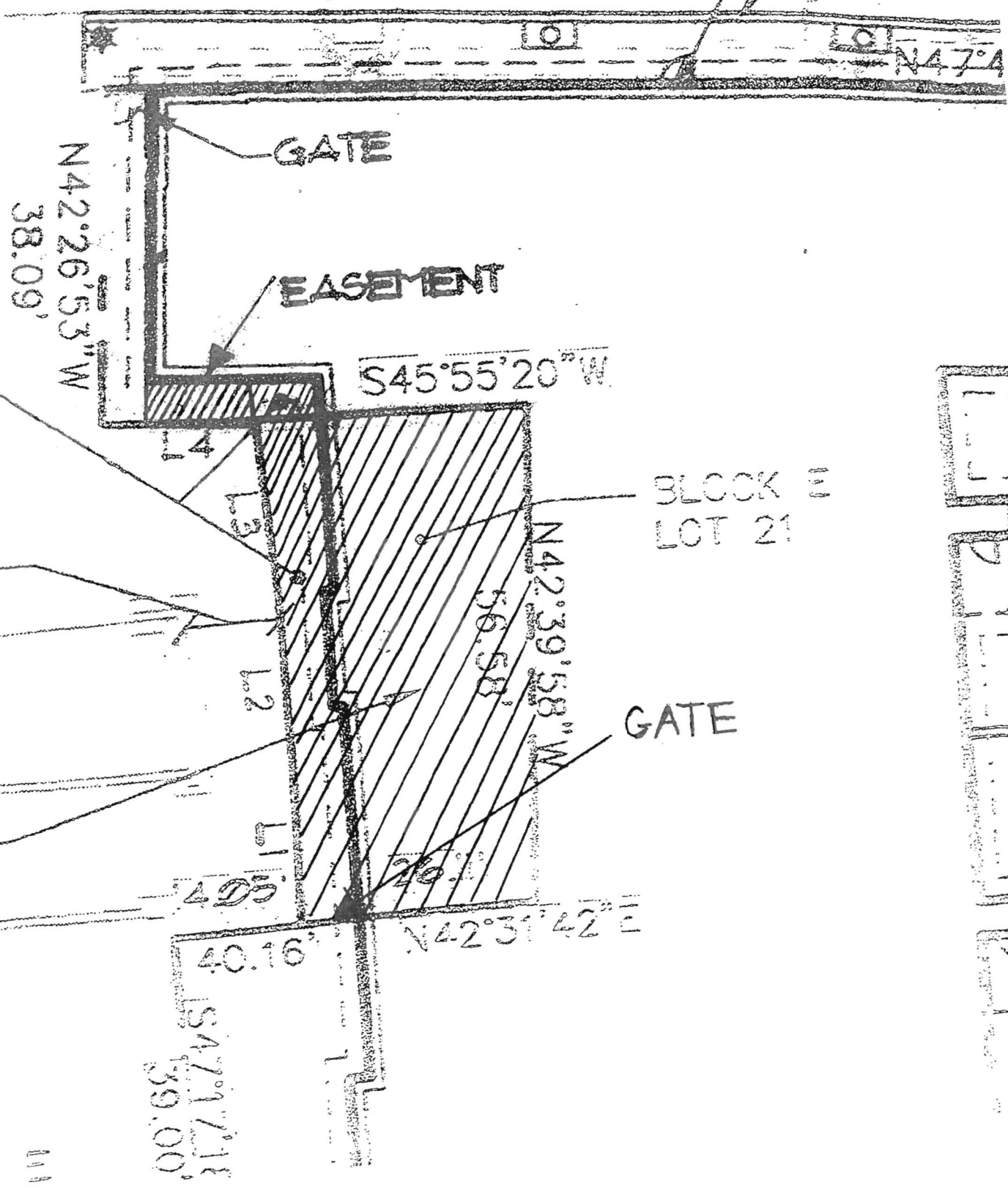
1. VOG hereby grants to Pearl an easement, appurtenant to the retained portion of the Pearl Land, for the use of the Parcel for parking of vehicles without the

payment of parking rent or other fees or charges, which easement shall be revocable by VOG upon the delivery of written notice to Pearl that VOG intends to immediately commence construction of a parking garage on the VOG Land (the "Notice"), in which event the right and easement of Pearl to park vehicles on the Parcel shall immediately and automatically be released and replaced with the parking rights and easement provided below.

2. VOG hereby grants to Pearl an easement, appurtenant to the retained portion of the Pearl Land, for the use of four (4) parking spaces in a parking garage to be constructed on the VOG Land. The four parking spaces shall be located in the lower level of the parking garage in an area that is reasonably proximate to the retained portion of the Pearl Land. The use of such parking spaces shall be without the payment of any parking rent, fees or charges by Pearl. The use of the parking spaces by Pearl shall be subject to customary and reasonable rules with respect to the operation of the parking garage, such as temporary closure of the garage for sweeping, striping or repair and provisions for the security of the parking garage.
3. The parking space easement rights granted above may not be exercised by Pearl unless and until (i) the Notice and/or an affidavit thereof is recorded in the Cumberland County Registry of Deeds and (ii) the issuance of a certificate of occupancy for the parking garage.
4. In the event that condition (ii) above is not satisfied within twenty-four (24) months after the Notice, subject to seasonal weather and force majeure events that delay the completion and availability for use of the garage, Pearl shall have the right to park up to four (4) vehicles in any area on the VOG Land reasonably proximate to the retained portion of the Pearl Land that can practically accommodate such parking and the right of Pearl to park in such area shall remain in effect until condition (ii) above is satisfied.
5. Either party agrees to provide to the other promptly upon request a confirmation in recordable form of the status of the conditions above with respect to the existence or release of the easement rights.
6. VOG also grants to Pearl a non-exclusive, perpetual easement, appurtenant to Pearl's retained portion of the Pearl Land, to use the cross-hatched area depicted on **Exhibit B** attached hereto, or so much thereof not occupied by building(s) constructed on the Parcel and/or VOG Land from time to time, for purposes of pedestrian and vehicular access (where feasible), for accessing Pearl's retained land with workers, vehicles and equipment to construct, maintain, repair or replace improvements on Pearl's retained land and for vehicle parking. By way of clarification, the foregoing easement area shall be defined on the easterly and northerly sides by the façade of the building(s) constructed on the Parcel and/or VOG Land from time to time, which building(s) may be removed, reconstructed,

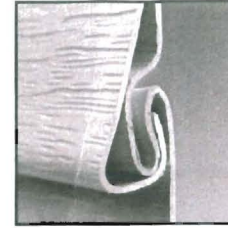
Exhibit B

EXISTING
TYP. 4



T-LOK BARKWOOD

I have sample of



ADVANCED LOCKING SYSTEM AND NAIL HEM

Precise, secure fastening, easier installation and tighter fit combine to deliver added strength and stability — even in high winds



AN INDUSTRY FAVORITE FOR 30+ YEARS

A Mastic bestseller, thanks to its attractive lines, superior quality — and 30+ years of proven performance.



PREMIUM .048 THICKNESS

Superior thickness and impact formulation provides 25% more impact resistance than standard .040 panels



165 MPH WIND SPEED — RATED UP TO 165 MPH



**1/2" PANEL PROJECTION (D 4", T 2-2/3")
5/8" PANEL PROJECTION (D 5", D 5" DLAP)
3/4" PANEL PROJECTION (S 8")**

Enhanced shadow lines replicate the appearance of real wood siding



MASTIC HANG-TOUGH™ TECHNOLOGY

Exclusive formulation and process boosts durability so panels are more resistant to cracking, impact and thermal distortion. As an added benefit, rich color resides throughout the panel — virtually eliminating the appearance of nicks and minor surface scratches.



CLASS 1(A) FIRE RATING



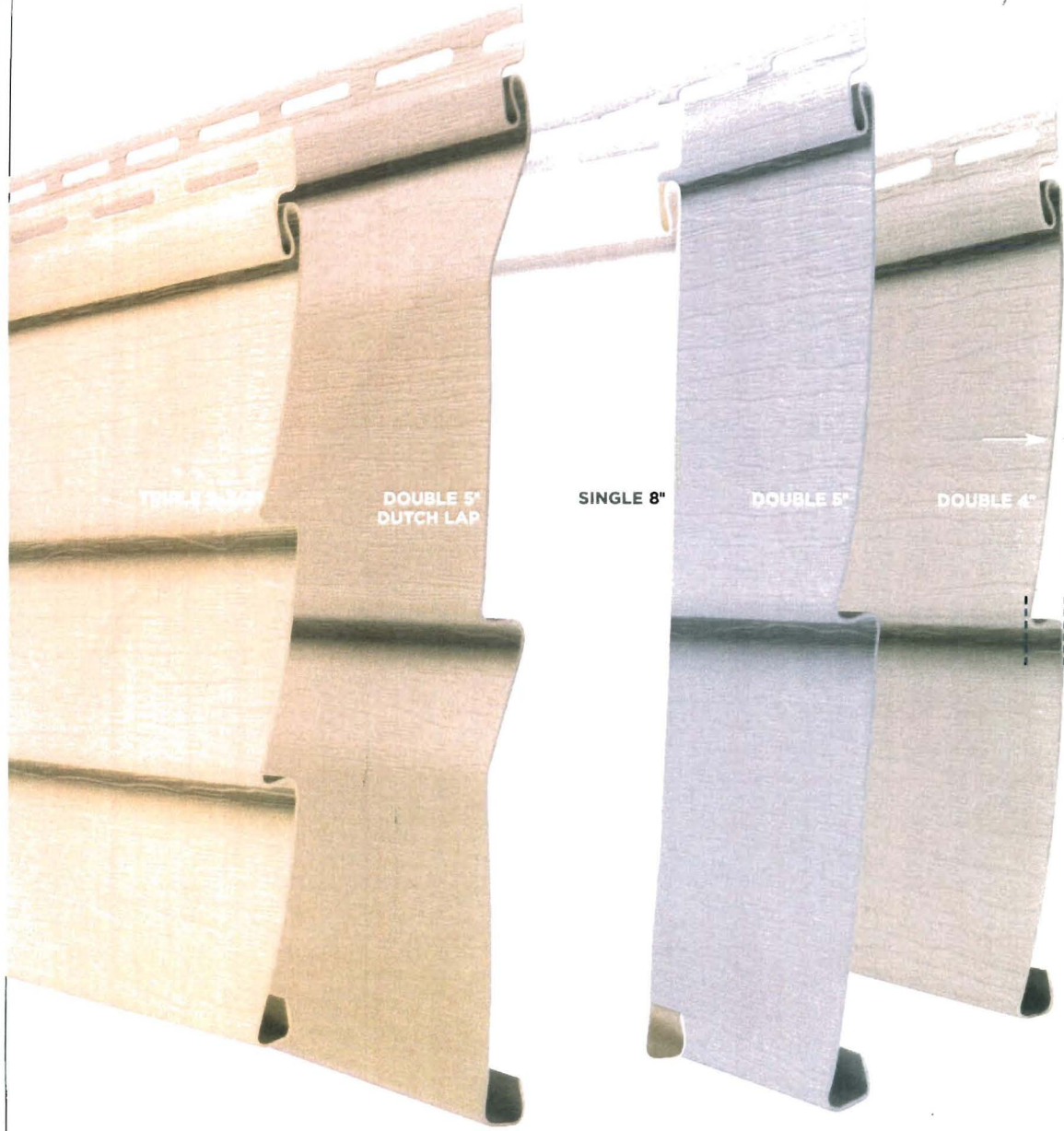
MASTIC V.I.P. LIMITED LIFETIME WARRANTY

Premium guarantee of lasting quality and peace of mind — backed by Mastic, a trusted industry leader for 50+ years (see warranty for complete details).



METRO-DADE COUNTY APPROVED

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ORE
APR 25 2011
RECEIVED



DOUBLE 4", DOUBLE 5", DOUBLE 5" DUTCH LAP AND TRIPLE 2-2/3" ARE ALSO AVAILABLE IN DREAMCOLOR™ HUES

More than 700 DreamColors and a custom color-matching program make it easy to match existing construction and virtually any architectural style.

4/17/11 - Comments Submitted

pg 1 of 2

Applicant: TFH Arch - Joe Reynolds Date: 8/6/08

Address: 61 India St C-B-L: 020-E-21

CHECK-LIST AGAINST ZONING ORDINANCE

#08-112A

Date -

Zone Location - B2b

Interior or corner lot -

within existing footprint Business

Proposed Use/Work - proposed 4 story addition - retail 1st floor

Sevage Disposal - city & New D.U. - New walls -

Lot Street Frontage - 50' min - 49.50' existing

Front Yard - N/A - building upon existing footprint

Rear Yard - 10' min - 10'6" given

Side Yard - None req - ok

Projections -

Width of Lot - None req. Height - 45' max - 42' given - 43' height - per plans received on 10/1/08

Lot Area - NO min req - 7672 sq given

Lot Coverage/Impervious Surface - 90% max req - 97.1% existing & no change proposed

Area per Family - Not meeting check 14-343 2 parking spaces req for existing (1 for each D.U.)

Off-street Parking - 5 shown req 3 on site (near rear two up front) 4 leased across the street

Site Plan - 2008-0116 7 PKG shown ok 10/2/08

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 1A - Zone C

need revised all better - site plan (not from 2004) 9/26/08? Furniture redated & somebody freehanded an easement in

Marge Schmuckal - 61 India Street

From: Marge Schmuckal
To: Jean Fraser
Date: 6/17/2011 10:47 AM
Subject: 61 India Street

Jean,
I have reviewed the latest revision of these plans concerning this site for zoning.

I have several conditions:

1. The issued building permit must be amended to show the approved changes.
2. On the rear, the roof overhang cannot extend more than 2 feet.
3. The rear stairs must not exceed 50 square feet nor project more than 6 feet from the building as shown.
4. All other conditions outlined on the original permit are still in force.

Marge Schmuckal
Zoning Administrator

New Addition

uses & parking

1st floor: proposed retail - 946[#] - No parking req.

2nd floor: #Business use - 980[#] : 334 = 2.9 or
3 pkg req.

3rd floor: 1 Apt \approx 1,047.5[#] 2 pkg req.
New const.

5 pkg req
for New

Existing Bldg

uses & parking

1st floor retail (Anchors Shop) - 1383[#] - No parking req.
& office use 144[#] - No parking req.

2nd floor 1 Apt in exist Bldg = 1 pkg req

3rd floor 1 Apt in existg Bldg = 1 pkg req
2 pkg req

TOTAL

2 + 5 = 7 req
parking spaces

→ set for inspection

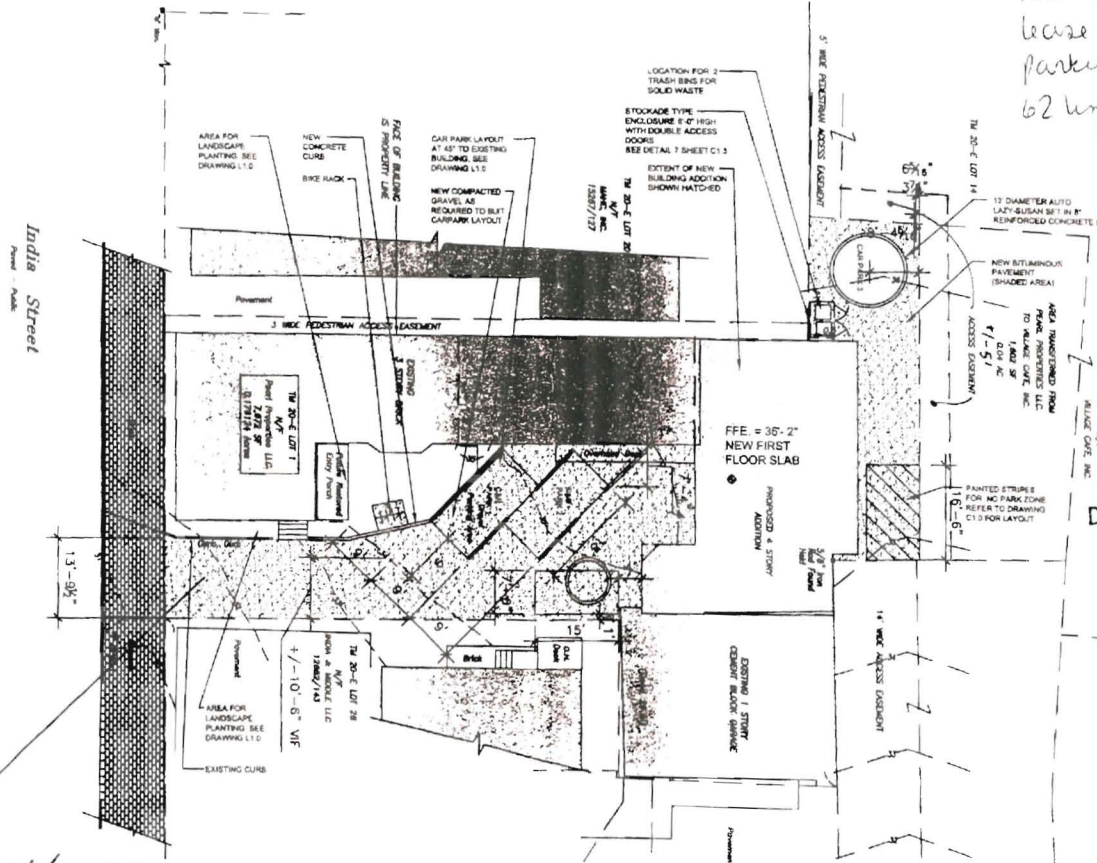
Approved
plan doc set -
61 India St
Joe Reynolds

and recent amendment
to utilities

NOTES:
1. SNOW TO BE REMOVED
FROM THE SITE

Part of approval set is
lease for 4 off-site
parking spaces in lot 4
62 India - see letter
lease attached -
dated 10.1.08.

187
Planned



CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Condition
Date of Approval: 10.06.08
ordin amended 12-7-08
whites amended 2-6-09

RECEIVED

OCT 1 2008

City of Portland
Planning Division



4" layer
reclaimed / crushed
asphalt cover

NB: post-build impervious is 94.5%

1 SITE PLAN PROPOSED
C1.0 1" = 20'

© 2008 TFH ARCHITECTS

PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101
PEARL PROPERTIES LLC, 199 TUTTLE ROAD, CUMBERLAND ME 04021



CONSULTANT:

REVISIONS
REVISION #1 9/19/08



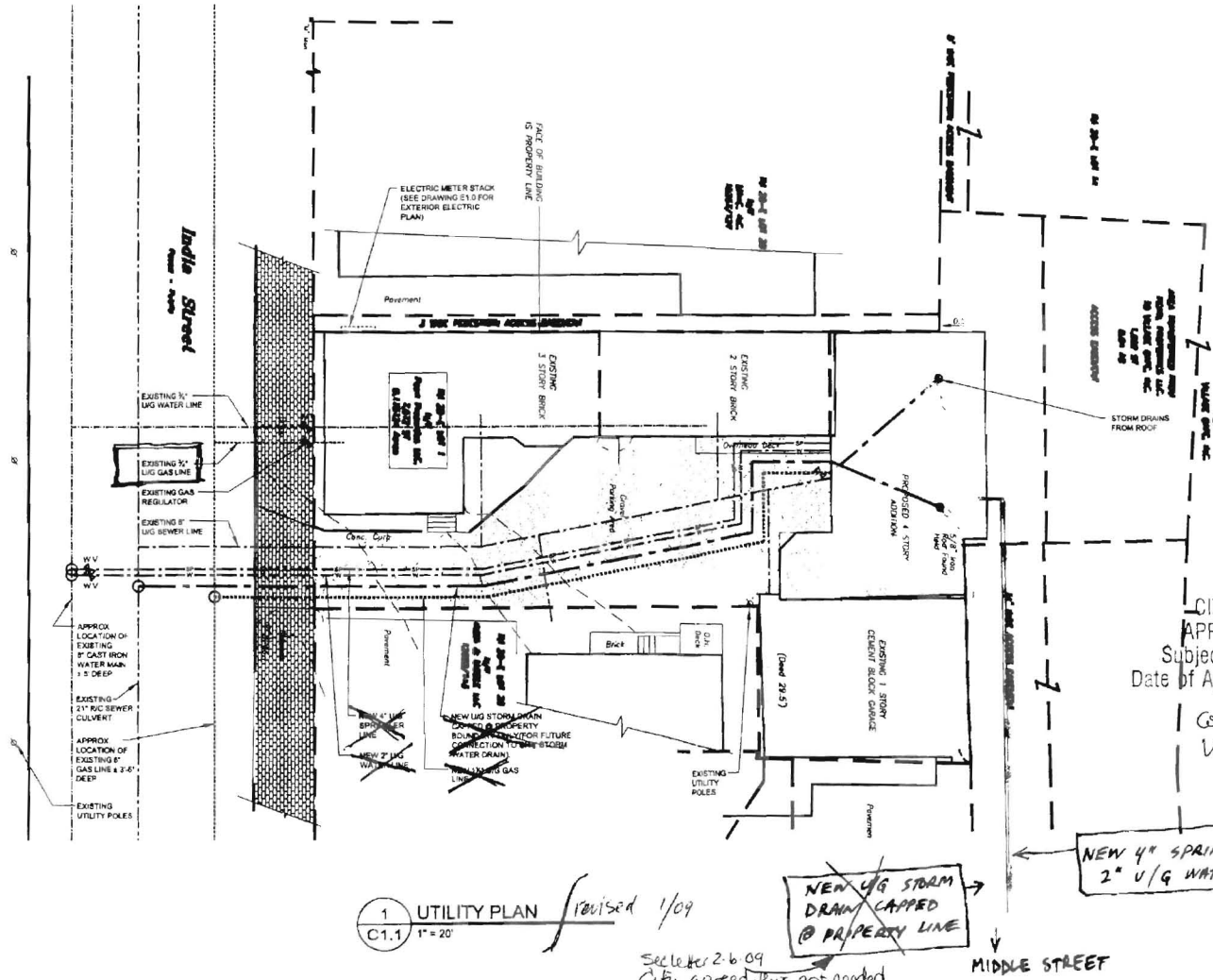
DATE: 9/25/08
PROJECT No.: 0808
DRAWN BY: RTI
CHECKED BY: TBT
SCALE: AS SHOWN

SHEET TITLE:
SITE PLAN
PROPOSED
LAYOUT &
GRADING

C1.0

2/11/09

Approved



1 UTILITY PLAN *revised 1/09*
 C1.1 1" = 20'

*See letter 2-6-09
 City agreed this not needed*

~~NEW 4" U/G STORM
 DRAIN CAPPED
 @ PROPERTY LINE~~

~~NEW 4" SPRINKLER
 2" U/G WATER LINE~~

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10-6-08

*Cond. iii amended 12-17-08
 Whites " 2-06-09
 letter*



© 2008 TFH ARCHITECTS

PROPOSED ADDITIONS TO
 61 INDIA STREET
 PORTLAND, MAINE 04101
 PEARL PROPERTIES LLC, 196 TUTTLE ROAD, CUMBERLAND ME 04021

TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND, MAINE 04101
 TELEPHONE: 207.775.6141
 ARCHITECTURE PLANNING

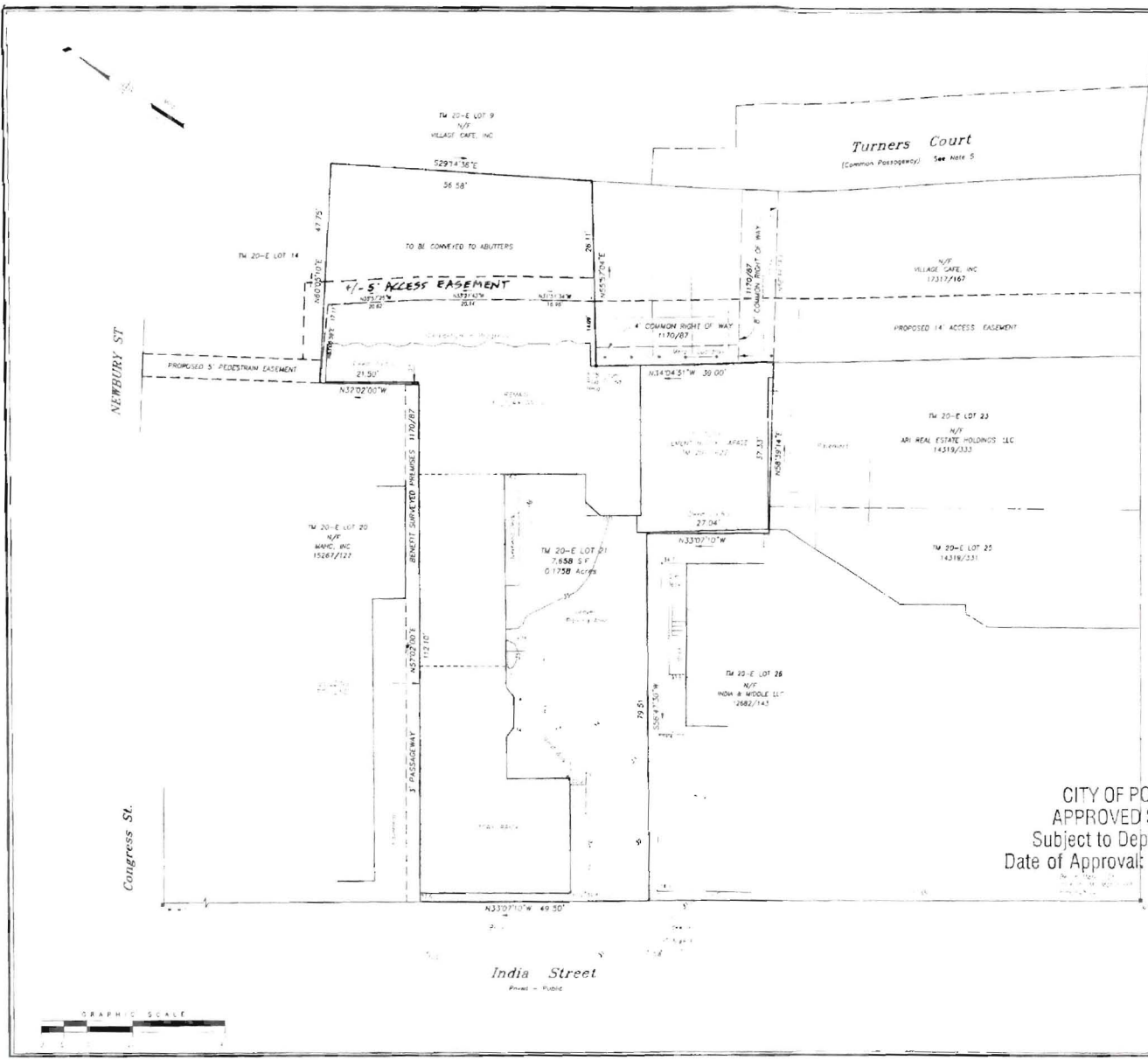
CONSULTANTS



DATE:	8/25/08
PROJECT NO.	0809
DRAWN BY:	RTL
CHECKED BY:	TST
SCALE:	AS SHOWN
SHEET TITLE:	UTILITY PLAN

C1.1
revised 1/09

C:\Documents and Settings\jbarney\My Documents\Projects\Boundary\Boundary\0802.dwg, 8/22/2008 10:37:57 AM, 1:0



PLAN REFERENCES

1. CITY OF PORTLAND ZONING ORDINANCE, SECTION 23.010

2. CITY OF PORTLAND ZONING ORDINANCE, SECTION 23.020

3. CITY OF PORTLAND ZONING ORDINANCE, SECTION 23.030

4. CITY OF PORTLAND ZONING ORDINANCE, SECTION 23.040

5. CITY OF PORTLAND ZONING ORDINANCE, SECTION 23.050

NOTES

1. THIS SURVEY IS BASED ON THE RECORD PLATS REFERENCED HEREIN.

2. THE SURVEYOR HAS REVIEWED THE RECORD PLATS AND HAS FOUND THEM TO BE CORRECT.

3. THE SURVEYOR HAS REVIEWED THE FIELD NOTES AND HAS FOUND THEM TO BE CORRECT.

4. THE SURVEYOR HAS REVIEWED THE PHOTOGRAPHS AND HAS FOUND THEM TO BE CORRECT.

5. THE SURVEYOR HAS REVIEWED THE MEASUREMENTS AND HAS FOUND THEM TO BE CORRECT.

CERTIFICATION

I, OWEN HASKELL, INC., a duly qualified and licensed Professional Land Surveyor, do hereby certify that the foregoing is a true and correct copy of the original survey as shown to me by the client.

OWEN HASKELL, INC.
 1000 STATE STREET
 PORTLAND, ME 04101
 1938
 MEASUREMENTS
 1000 STATE STREET
 PORTLAND, ME 04101

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10-06-08

amended 12-17-08
amended 2-6-09
amended
one submitted

BOUNDARY SURVEY			
81 INDIA STREET PORTLAND, MAINE			
MADE FOR PEARL PROPERTIES LLC			
OWEN HASKELL, INC.			
1000 STATE STREET PORTLAND, ME 04101 PROFESSIONAL LAND SURVEYOR			
Drawn By: [Signature]	Date: [Date]	Job No: [Number]	
Track By: [Signature]	Scale: [Scale]	Drawn No: [Number]	
Check By: [Signature]			
Block No: [Number]			



APPLICATION FOR MINOR SITE PLAN REVIEW



61 INDIA STREET, PORTLAND, ME 04101

July 30, 2008

This application is for minor site plan review of proposed additions to the existing property at 61 India Street,, Portland ME 04101. The application has been prepared by TFH Architects and is submitted to the City of Portland, on behalf of the applicant Pearl Properties LLC.

A list of drawings included in the application is provided on drawing G1.0.

Marge Schmuckal - Re: Fwd: Re: 61 India Street

3/25/11

From: Barbara Barhydt
To: Schmuckal, Marge
Date: 3/25/2011 1:12 PM
Subject: Re: Fwd: Re: 61 India Street

Joe Reynolds - Danielle - Marge -
Barbara - Jean - Jim Seymour

how does this affect the Bay House project
contract zone
BSB -> No front, side or rear setbacks
required
they would have to do that

Marge,

Are you available to join us for this meeting?

Thank you.

Barbara Gordon Regar -

>>> Barbara Barhydt Friday, March 25, 2011 1:10 PM >>>
Hi Joe:

I have asked Jean and Danielle to join us. I will ask Marge as well. We can meet at 3 p.m. on Wednesday 30. We can meet in the 4th floor conference room. Joe, please confirm that you can meet at that time.

Jennifer, please reserve the room for this meeting.

Thank you.

Need the revised deed -
revised Joe's project plan

Barbara

>>> Joseph Reynolds <josephwreynolds@yahoo.com> Thursday, March 24, 2011 5:54 PM >>>
Hi Barbara,

Sebago Technics has completed some surveying work to modify my property line where it shares a boundary with the Bay House project. They suggested that I set up a meeting with you to go over the issue and explain the need for the change in anticipation of filing for any necessary amendment procedure. Is there any time next week when we could meet to discuss this matter?

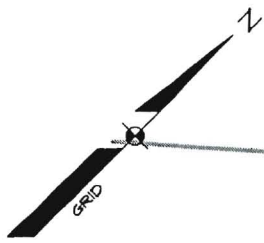
Thank you, Joe Reynolds.

--- On Tue, 3/22/11, Barbara Barhydt <BAB@portlandmaine.gov> wrote:

From: Barbara Barhydt <BAB@portlandmaine.gov>
Subject: Fwd: Re: 61 India Street
To: "Jean Fraser" <JF@portlandmaine.gov>, josephwreynolds@yahoo.com
Date: Tuesday, March 22, 2011, 12:32 PM

NEWBURY STREET

S 47°47'16" W 256.87'



N42°26'53" W
38.09'

S45°55'20" W
18.39'

P.O.B.

L4
L3
L2
L1

THE VILLAGE AT
OCEAN GATE, LLC

PEARL
PROPERTIES, LLC

AREA TO BE
TRANSFERED
TO ABUTTER (BLOCK E
LOT 21) 47 S.F. (SUBJECT
TO TEMPORARY
CONSTRUCTION
EASEMENT)

N 42°31'42" E
0.94'

N42°31'42"E
15.00'

BUILDING
NO. 2

S47°17'19"E
39.00'

LINE DATA

LINE	BEARING	LENGTH
L1	N45°16'56"W	16.96
L2	N46°47'05"W	20.14
L3	N49°22'47"W	20.62
L4	S47°36'06"W	16.99

3/30/11

Sebago Technics

Engineering Expertise You Can Build On

One Chabot Street Westbrook, ME 04098-1339
250 Goddard Road Suite B Lewiston, ME 04240
Tel: (207) 856-0277 Tel: (207) 783-5656

WWW.SEBAGOTECHNICS.COM

EXHIBIT B
THE BAY HOUSE

LOCATION:
112-113 NEWBURY ST. & 40 HANCOCK ST.
PORTLAND, MAINE

FOR:
THE VILLAGE AT
OCEAN GATE, LLC

SCALE: 1"=20'

DATE: 03-23-11

SHEET:
1 OF 1

Exhibit A

A certain parcel of land situated on the northwesterly side of Middle Street, City of Portland, County of Cumberland, State of Maine, as shown on a plan entitled "3rd Amended Subdivision Plat of The Bay House, for The Village at Ocean Gate, LLC, by Sebago Technics, Inc., dated March 14, 2011, and being bounded and described as follows:

Commencing at the southwesterly sideline of Hancock Street and the southeasterly sideline of Newbury Street;

Thence S 47°-47'-16" W, along the southeasterly sideline of Newbury Street, a distance of 256.87 feet;

Thence S 42°-26'-53" E, a distance of 38.09 feet to the Point of Beginning;

Thence N 47°-36'-06" E, along remaining land of Pearl Properties, LLC (as described in Deed Book 23005, Page 267 after their conveyance of Deed Book 27688, Page 258), a distance of 16.99 feet;

Thence S 49°-22'-47" E, along same land of Pearl Properties, LLC, a distance of 20.62 feet;

Thence S 46°-47'-05" E, along same land of Pearl Properties, LLC, a distance of 20.14 feet;

Thence S 45°-16'-56" E, along same land of Pearl Properties, LLC, a distance of 16.96 feet to land of The Village at Oceangate, LLC;

Thence N 42°-31'-42" E, along land of The Village at Oceangate, LLC, a distance of 0.94 feet;

Thence N 46°-47'-05" W, through land of The Village at Oceangate, LLC, being parallel with and 11.00 feet northeasterly of the northeasterly face of concrete of the building on land of Pearl Properties, LLC, a distance of 58.12 feet;

Thence S 45°-55'-20" W, along land of The Village at Oceangate, LLC, a distance of 18.39 feet to the Point of Beginning.

Meaning and intending to describe a parcel of land containing 47 square feet and being shown on Exhibit B attached herewith.

Subject to a Temporary Construction Easement over the entire parcel described herein, extending the existing Temporary Construction Easement described in Deed Book 27688, Page 258.

Bearings are Maine State Plane Grid, West Zone.

MWE:mwe/dlf



PORTLAND MAINE

Planning Division
Jean Fraser, Planner

4-25-2011

Marge.

Re: 61 India St.
(Joe Reynolds)

UI # 2008-0116

Joe has brought in what should be final plans. I can't get into UI to print a cover sheet for these revisions - but Joe tells me his brother has redesigned the rear deck & steps so that it meets zoning.

Jeanie has a set of plans, as does Keith, so I hope to wrap this up at Dev Rev 4-27-11

Thanks you

(Send e mail tell me comments are in as I am not sure if/when I can get access to UI)

389 Congress Street, 4th floor • Portland, ME • (207) 874-8728 • Fx 756-8258

Email: jf@portlandmaine.gov



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

_____ 12/10 _____ 20 10

Received from Joe Reynolds

Location of Work 61 India St

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 4120

Building (IL) _____ Plumbing (IS) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

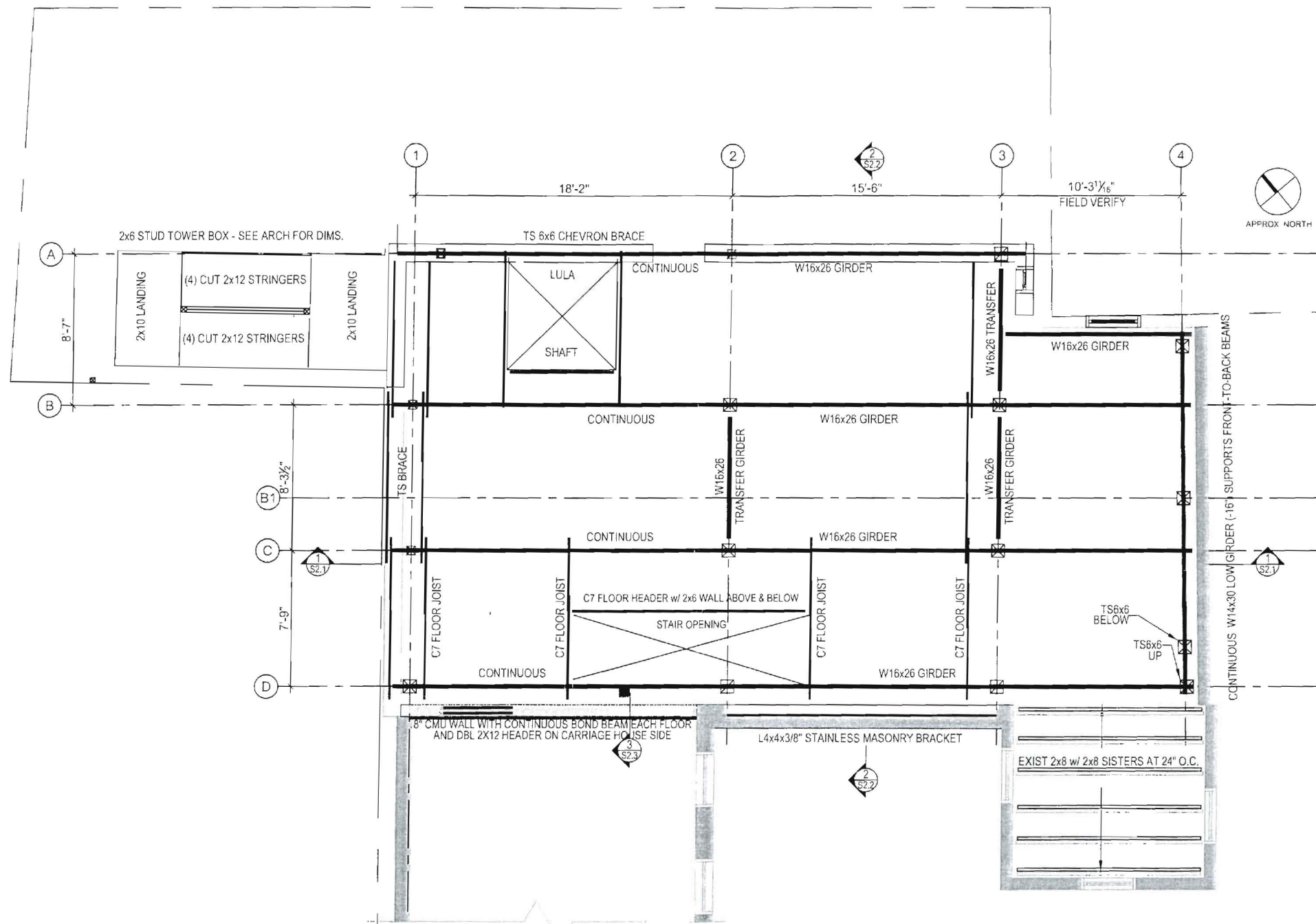
CBL: 20821

Check #: CC Total Collected \$ 4120

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



2 SECOND FLOOR FRAMING PLAN
3/16" = 1'-0"

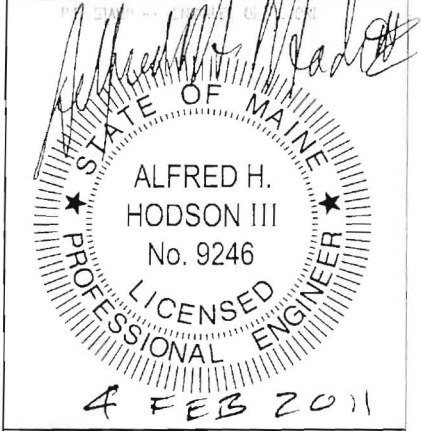
RESURGENCE
ENGINEERING & PRESERVATION, INC.
132 BRENTWOOD STREET
PORTLAND, ME 04103
V/F (207) 773-4880
RESURGENCE@VERIZON.NET

CLIENT PEARL PROPERTIES
61 INDIA STREET
PORTLAND, ME 04101

DATE: 11 NOV 08
SCALE: AS NOTED

DRAWN BY: A. HODSON
CHECKED BY: A. HODSON

PROJECT NUMBER: 08-003
CAD FILE: 61INDIA08.DWG



PROJECT: 61 INDIA STREET
LIVERY
STRUCTURAL STABILIZATION
ISSUED FOR BUILDING PERMIT
04 SEPTEMBER 08
REVISED 11 NOVEMBER 08

REVISION
03 MARCH 2009
REMOVED UPPER FLOOR COLUMN LINE

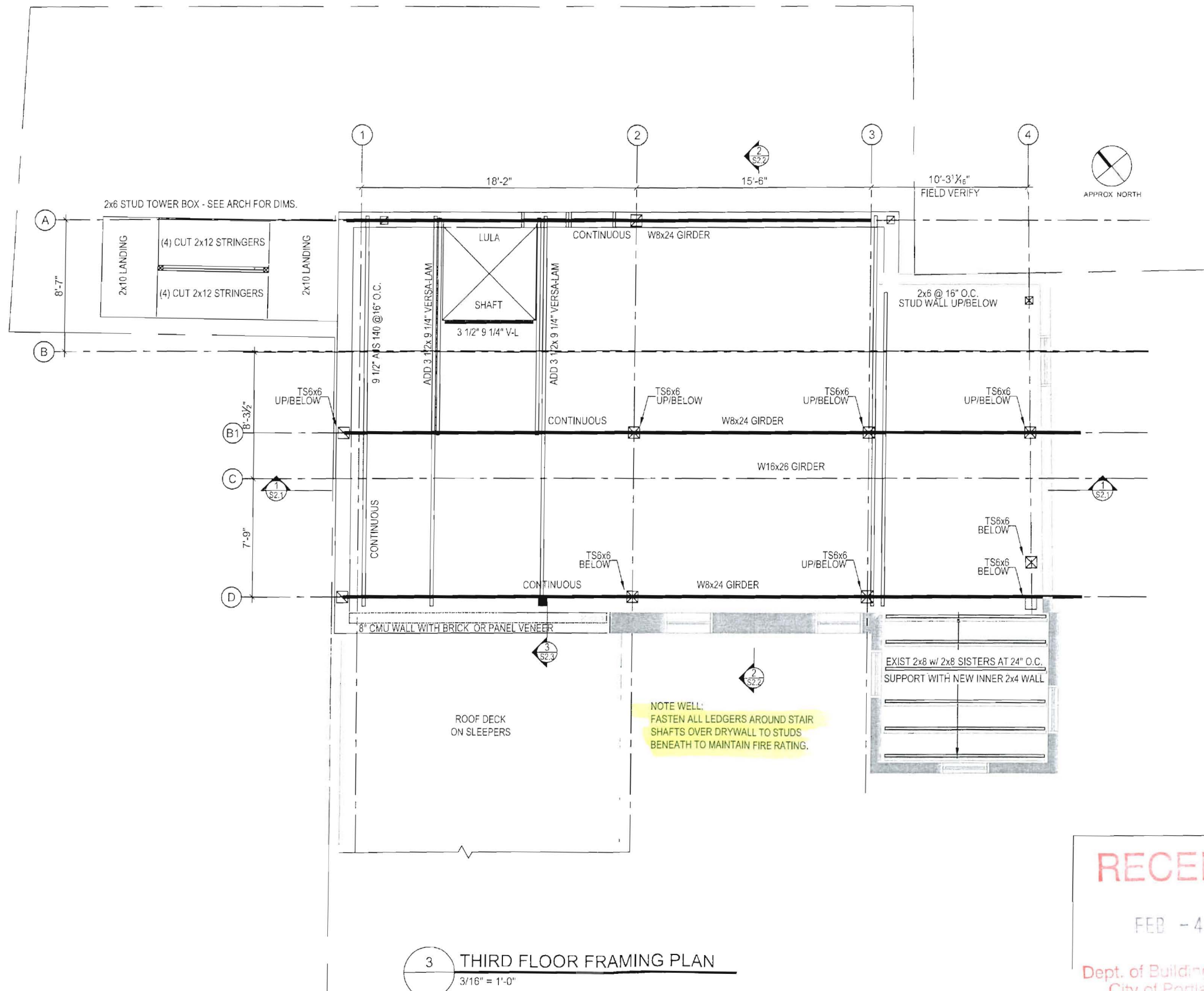
REVISION
04 FEB 2011
MEZZANINE AND BARREL VAULT

RECEIVED

FEB - 4 2011

Dept. of Building Inspections
City of Portland Maine

S1.2
SHEET 1 OF 11



3 THIRD FLOOR FRAMING PLAN
3/16" = 1'-0"

RESURGENCE
ENGINEERING & PRESERVATION, INC
132 BRENTWOOD STREET
PORTLAND, ME 04103
V/F (207) 773-4880
RESURGENCE@VERIZON.NET

CLIENT PEARL PROPERTIES
61 INDIA STREET
PORTLAND, ME 04101

DATE: 11 NOV 08
SCALE: AS NOTED

DRAWN BY: A. HODSON
CHECKED BY: A. HODSON

PROJECT NUMBER: 08-003
CAD FILE: 61INDIABBS.DWG

STATE OF MAINE
ALFRED H. HODSON III
No. 9246
LICENSED PROFESSIONAL ENGINEER
4 - FEB - 2011

PROJECT: 61 INDIA STREET
LIVERY
STRUCTURAL STABILIZATION

ISSUED FOR PERMIT
04 SEPTEMBER 2008
REVISED 11 NOVEMBER 2008

REVISION
03 MARCH 2009
REMOVED UPPER FLOOR COLUMN LINE

REVISION
04 FEB 2011
MEZZANINE AND BARREL VAULT

RECEIVED

FEB - 4 2011

Dept. of Building Inspections
City of Portland Maine

PREPARED BY: A.H.

S1.3
SHEET 1 OF 1

RESURGENCE
 ENGINEERING & PRESERVATION, INC.
 132 BRENTWOOD STREET
 PORTLAND, ME 04103
 V/F (207) 773-4880
 RESURGENCE@VERIZON.NET

CLIENT PEARL PROPERTIES
 61 INDIA STREET
 PORTLAND, ME 04101

DATE 11 NOV 08 SCALE AS NOTED

DRAWN BY A. HODSON CHECKED BY A. HODSON

PROJECT NUMBER 08-003 CAD FILE 61INDIABBS.DWG

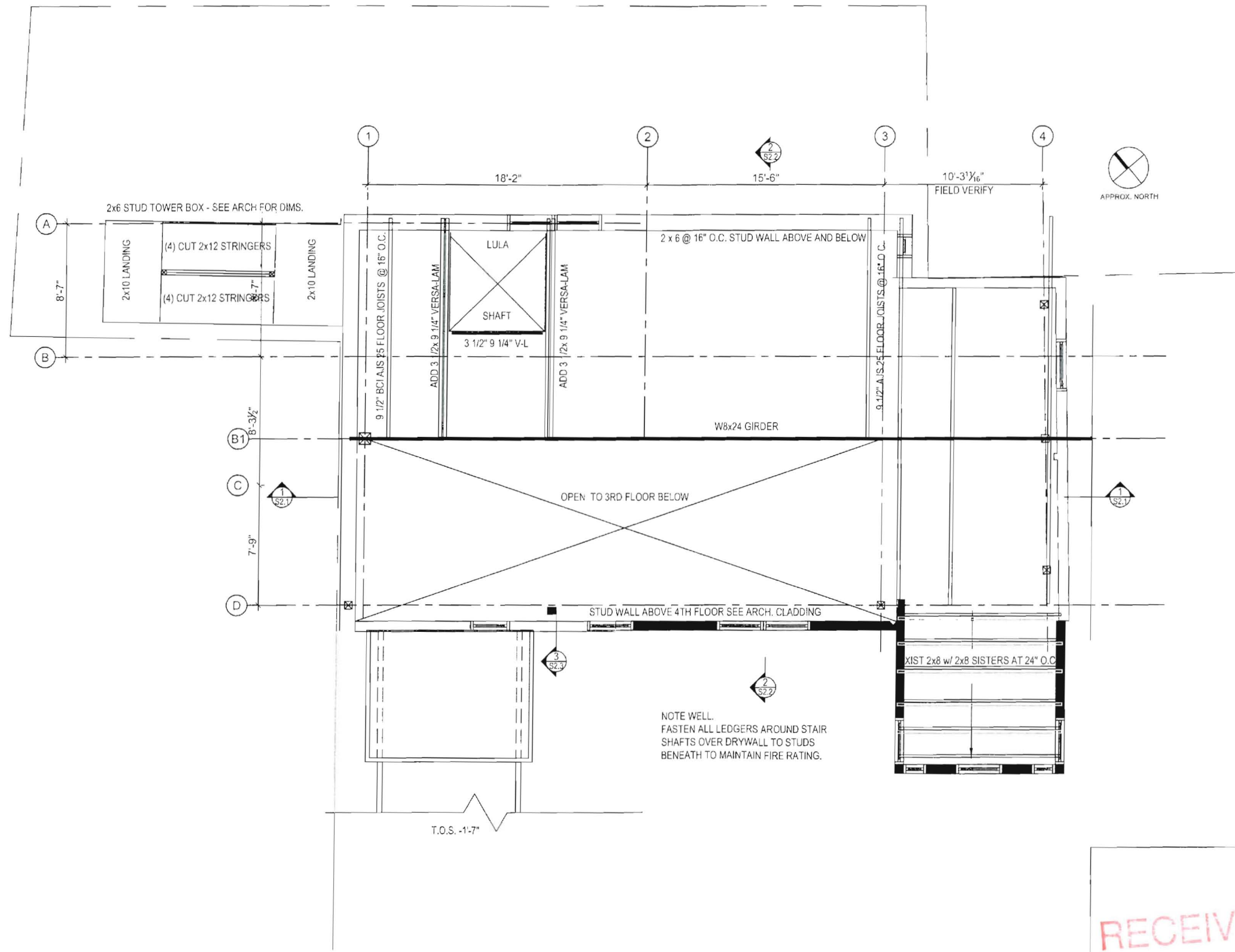
Alfred H. Hodson III
 STATE OF MAINE
 ALFRED H. HODSON III
 No. 9246
 LICENSED PROFESSIONAL ENGINEER
 4 FEB 2011

PROJECT 61 INDIA STREET
 LIVERY
 STRUCTURAL STABILIZATION

ISSUED FOR PERMIT
 04 SEPTEMBER 2008
 REVISED 11 NOVEMBER 2008

REVISION
 03 MARCH 2009
 REMOVED UPPER FLOOR COLUMN LINE

REVISION
 04 FEB 2011
 MEZZANINE AND BARREL VAULT



4 FOURTH FLOOR FRAMING PLAN
 3/16" = 1'-0"

RECEIVED

Dept. of Planning & Development
 City of Portland

FRAME: S1.4
 SHEET 1 OF 11

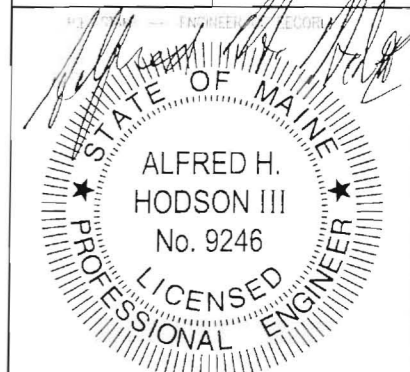
RESURGENCE
 ENGINEERING & PRESERVATION, INC
 132 BRENTWOOD STREET
 PORTLAND, ME 04103
 V/F (207) 773-4880
 RESURGENCE@VERIZON.NET

CLIENT PEARL PROPERTIES
 61 INDIA STREET
 PORTLAND, ME 04101

DATE 11 NOV 08
 SCALE AS NOTED

DRAWN BY A. HODSON
 CHECKED BY A. HODSON

PROJECT NUMBER 08-003
 CAL FILE 61INDIABBS.DWG



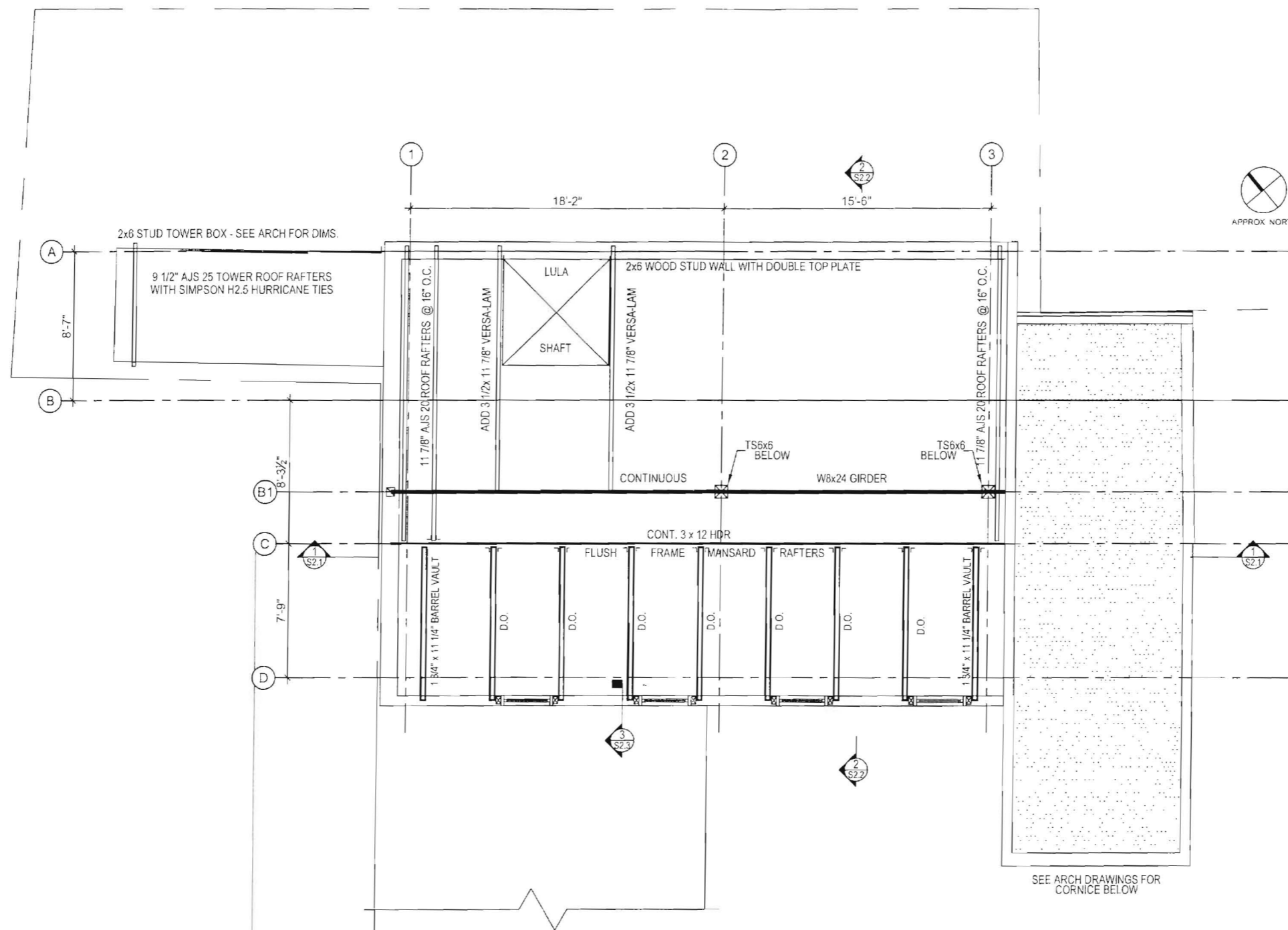
4 FEB 2011

PROJECT 61 INDIA STREET
 LIVERY
 STRUCTURAL STABILIZATION

ISSUED FOR PERMIT
 04 SEPTEMBER 2008
 REVISED 11 NOVEMBER 2008

REVISION
 03 MARCH 2009
 REMOVED UPPER FLOOR COLUMN LINE

REVISION
 04 FEB 2011
 MEZZANINE AND BARREL VAULT



5 ROOF FRAMING PLAN
 3/16" = 1'-0"

RECEIVED

FEB 4 2011
 Dept. of Building Inspections
 City of Portland, Maine

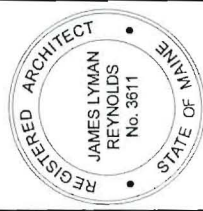
DRAWING NUMBER
S1.5
 SHEET

© JAMES LYMAN REYNOLDS ARCHITECT P.C.

PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101
PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

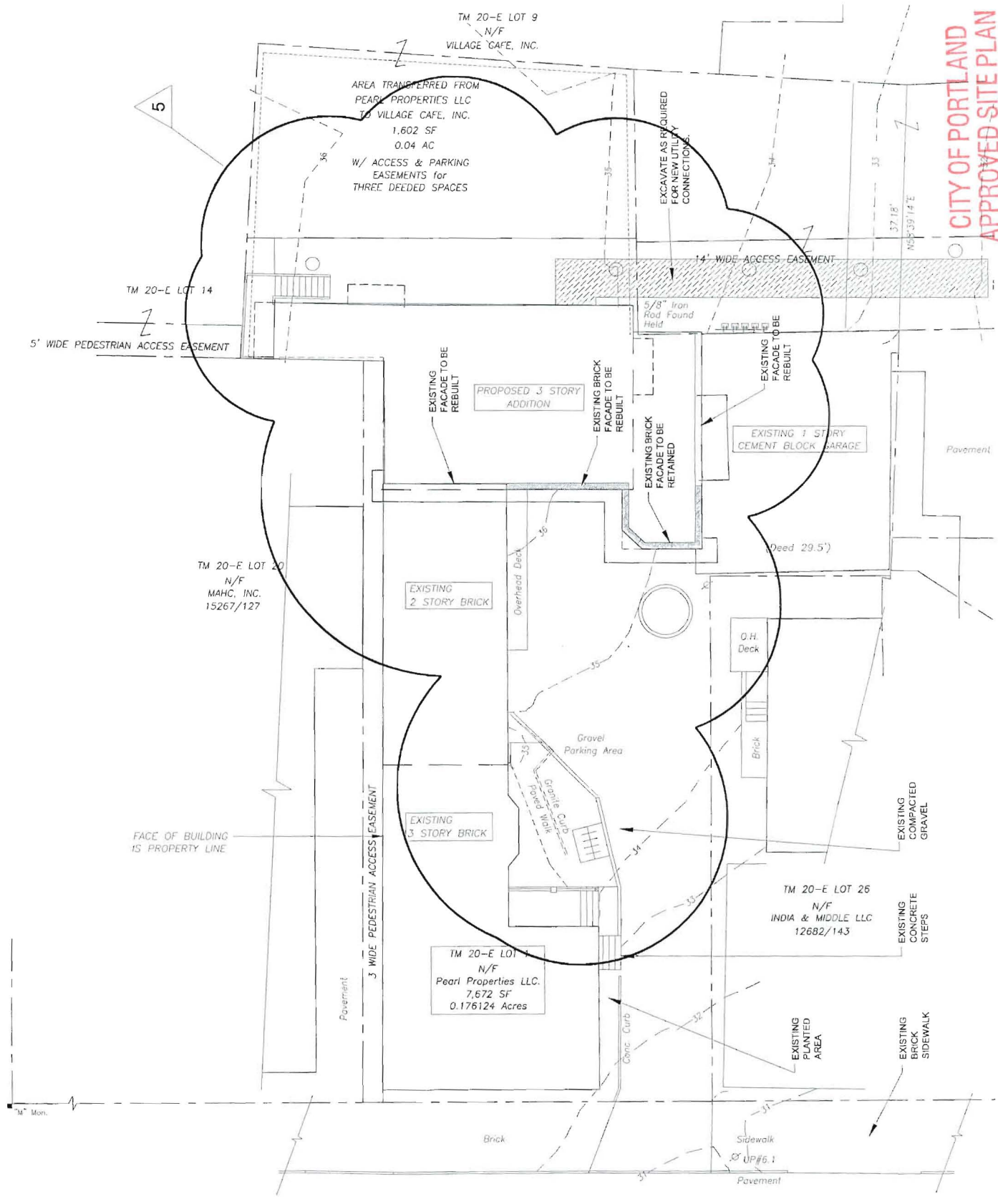
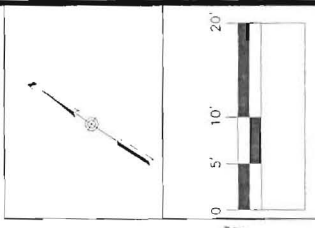
JAMES LYMAN REYNOLDS ARCHITECT
4303 US Route 209
Stone Ridge, NY 12484
Ph (845) 687-9161

CONSULTANTS:
AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #3 - 3/02/09
REVISION #5 - 04/20/11



DATE: 8.25.08
PROJECT No: INDIA STREET
DRAWN BY:
CHECKED BY: JLR
SCALE: AS INDICATED
SHEET TITLE:
DEMOLITION PLAN

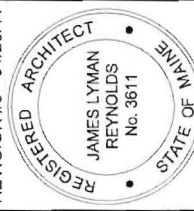
C0.1



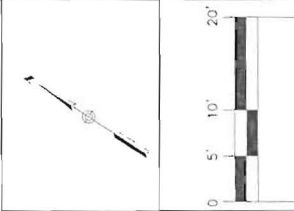
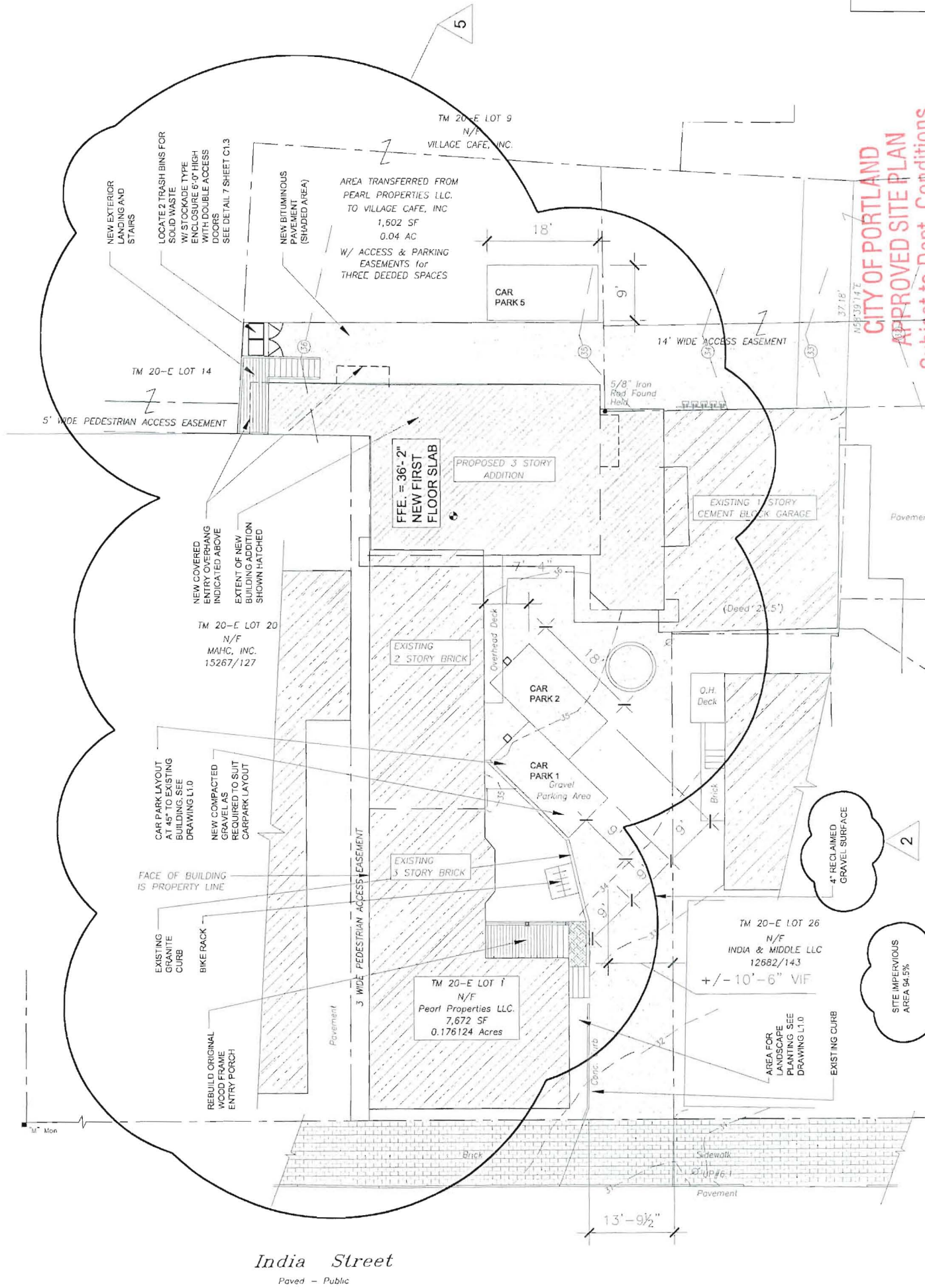
**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
Date of Approval: 10-6-2008 as amended 12-17-08 re condition #11 and amended 7-20-2011 (revis. parking, elevs + lot line)

India Street
Paved - Public

1 SITE PLAN DEMOLITION
C0.1 1" = 20'



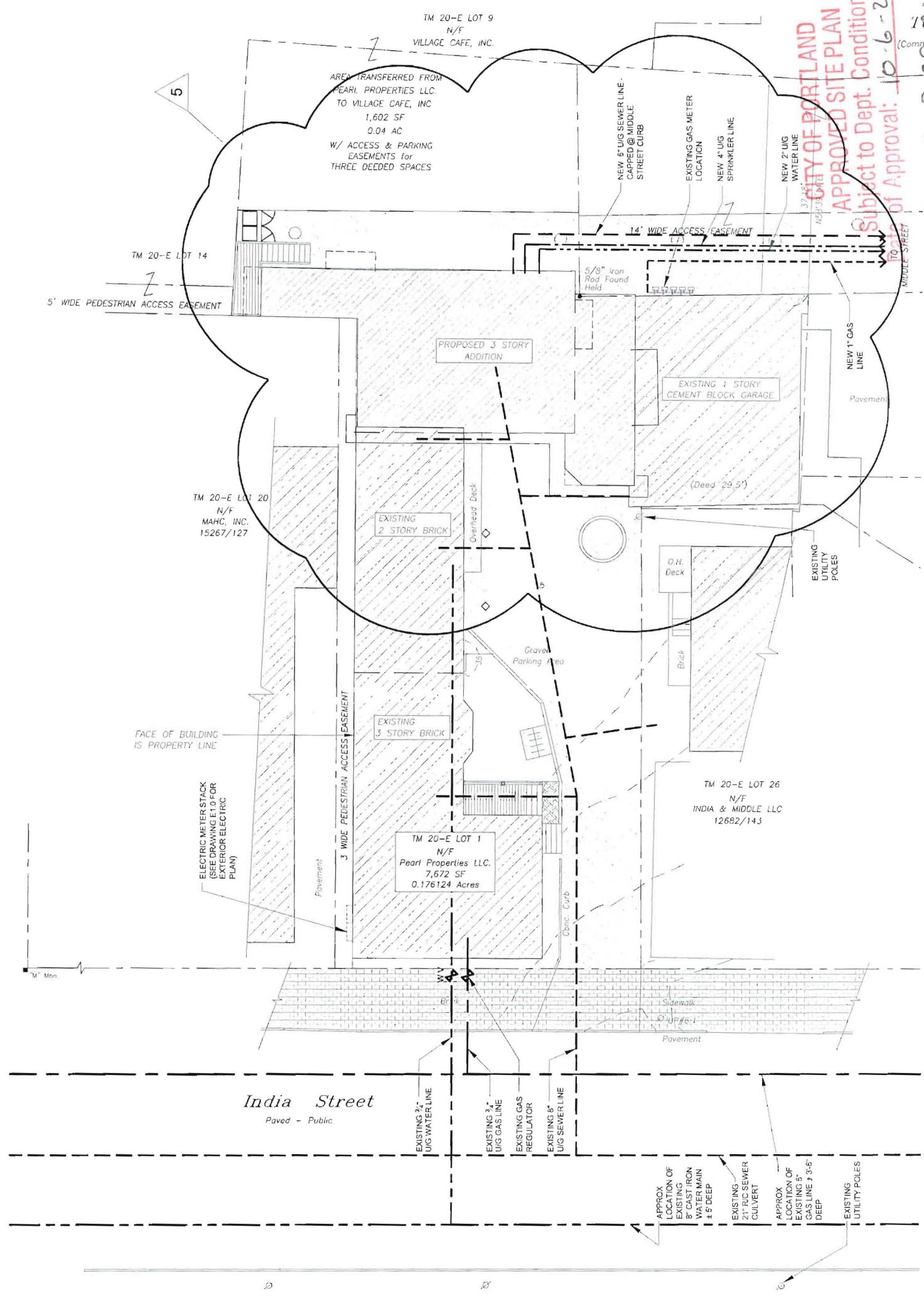
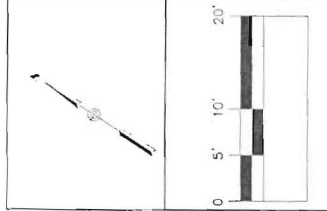
NOTES:
1. SNOW TO BE REMOVED FROM THE SITE



CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 10-6-2008 as amended 12-17-2008 re cond. iii and amended 7-20-2011 re revisions to elevations, materials & parking 10-9990006 One Sol

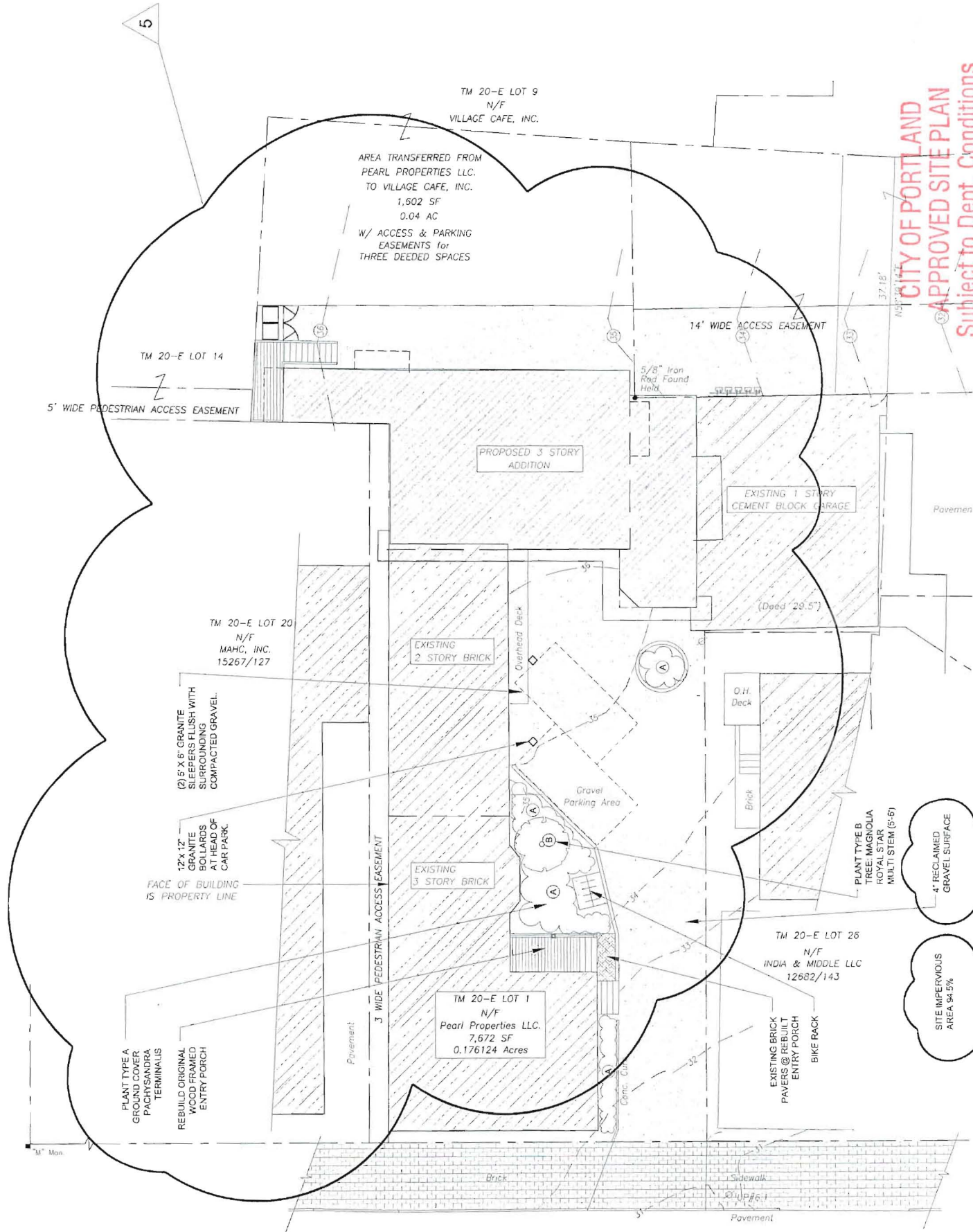
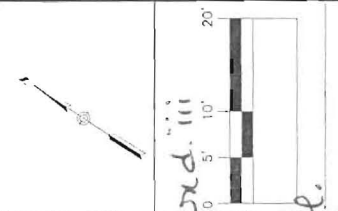
1 SITE PLAN PROPOSED
C1.0 1" = 20'

India Street
Paved - Public



CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 10-6-2008
as amended 12-17-2008 re condition
and amended 7-20-2011 re revs to
draws, materials & pkg.
10-99900006 m.dnp

1 UTILITY PLAN
C1.1 1" = 20'



CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 10-6-2008

as amended 12-17-08 re cond. iii
as amended 7-20-2011 re revs
to elevs, materials - lotting
10 - 999 0000 to in one set.

India Street
Paved - Public

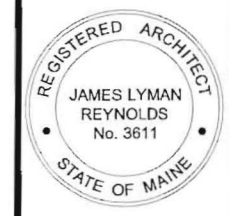
1 LANDSCAPE PLAN
L1.0 1" = 20'



PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101
PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

JAMES LYMAN REYNOLDS
 ARCHITECT
 4303 US Route 209
 Stone Ridge, NY 12484
 Ph (845) 687-9161

CONSULTANTS:
 AMENDMENTS:
 REVISION #2 - 12/01/08
 REVISION #4 - 11/20/10
 REVISION #5 - 04/20/11



DATE: 8.25.08
 PROJECT No. INDIA ST
 DRAWN BY: JLR
 CHECKED BY: JLR
 SCALE: 1/8"=1'-0"
 SHEET TITLE:
 SOUTH WEST ELEVATION

A2.1

KEY TO MATERIALS		
	MATERIAL	COLOR
B1	BRICK - EXISTING	EXISTING
B2	BRICK - NEW	TO MATCH EXISTING BRICK
B3	BLOCK - EXISTING	EXISTING
C1	CORNICE - WOOD	DARK GREEN
C2	BAY WINDOW	DARK GREEN
M1	VINYL SIDING -	"MAJESTIC" T-LOK BARKWOOD W/ 5" DUTCH LAP EVEREST GREY
M2	METAL - FLASHING	TO MATCH M1
M3	METAL - STRUT	GALVANIZED STEEL
S1	SLATE	GREY MIX
F1	FENCE - PRIVACY	DARK GREEN
F2	FENCE - PRIVACY	DARK GREEN
G1	GUTTER - STEEL	GALVANIZED
G2	LEADER - STEEL	GALVANIZED
H1	HANDRAIL/GUARD	GALVANIZED
W1	WINDOW - BTHRM.	DARK GREEN
W2	WINDOW - KITCHEN	DARK GREEN
W3	WINDOW - STAIR	DARK GREEN
W4	WINDOW - DORMER	DARK GREEN
W5	WINDOW - BAY	DARK GREEN
V1	VENT - BATHROOM	PAINT TO MATCH M1
V2	VENT - RANGEHOOD	PAINT TO MATCH M1
V3	VENT - BOILER	BLACK
V4	VENT - DRYER	PAINT TO MATCH M1

may be something else similar

to be upper

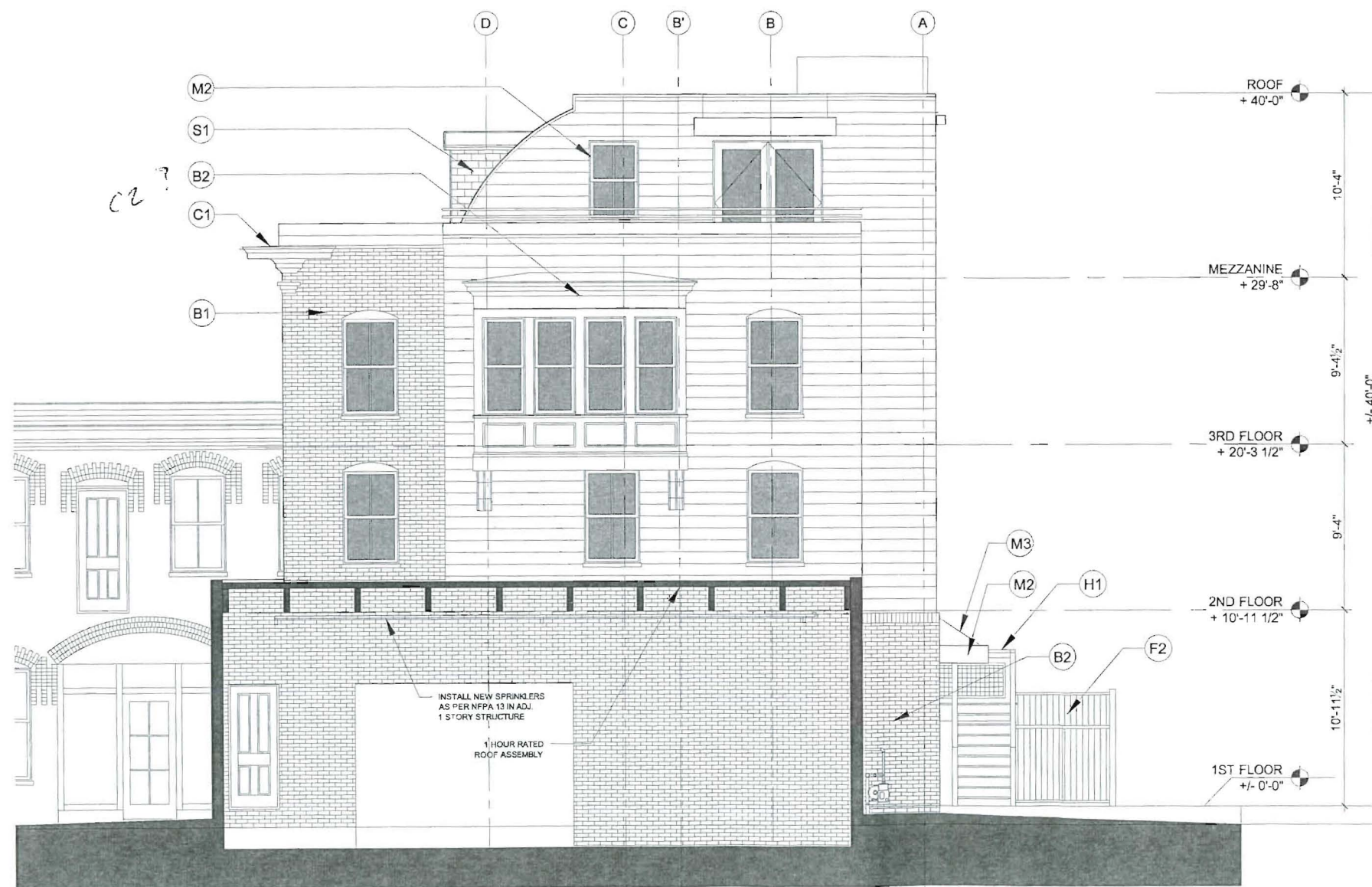


CITY OF PORTLAND APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10-6-2008

as amended 12-17-2008 re cond iii and amended 7-20-2011 re revs to elevs, materials + pkg. This plan subject to condition requiring final roof material + cladding to be submitted to PI DW. for rev. + approval BEFORE INSTALLATION

NOTES:
 1. SEE DRAWING G1.2 FOR ALLOWABLE AREA OF UNPROTECTED OPENINGS.

1 SOUTH WEST ELEVATION
 A-2.1 1/8" = 1'-0"



NOTES:
 1. SEE DRAWING G1.2 FOR ALLOWABLE AREA OF UNPROTECTED OPENINGS.
 2. SEE DRAWING A2.1 FOR KEY TO MATERIALS

© JAMES LYMAN REYNOLDS ARCHITECT P.C.

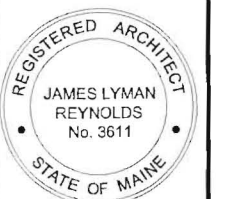
PROPOSED ADDITIONS TO
 61 INDIA STREET
 PORTLAND, MAINE 04101
 PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

JAMES LYMAN REYNOLDS
 ARCHITECT
 4303 US Route 209
 Stone Ridge, NY 12484
 Ph (845) 687-9161

CONSULTANTS

AMENDMENTS:

REVISION #4 - 11/20/10
 REVISION #5 - 04/20/11



DATE: 8.25.08

PROJECT No. INDIA ST

DRAWN BY: JLR

CHECKED BY: JLR

SCALE: AS INDICATED

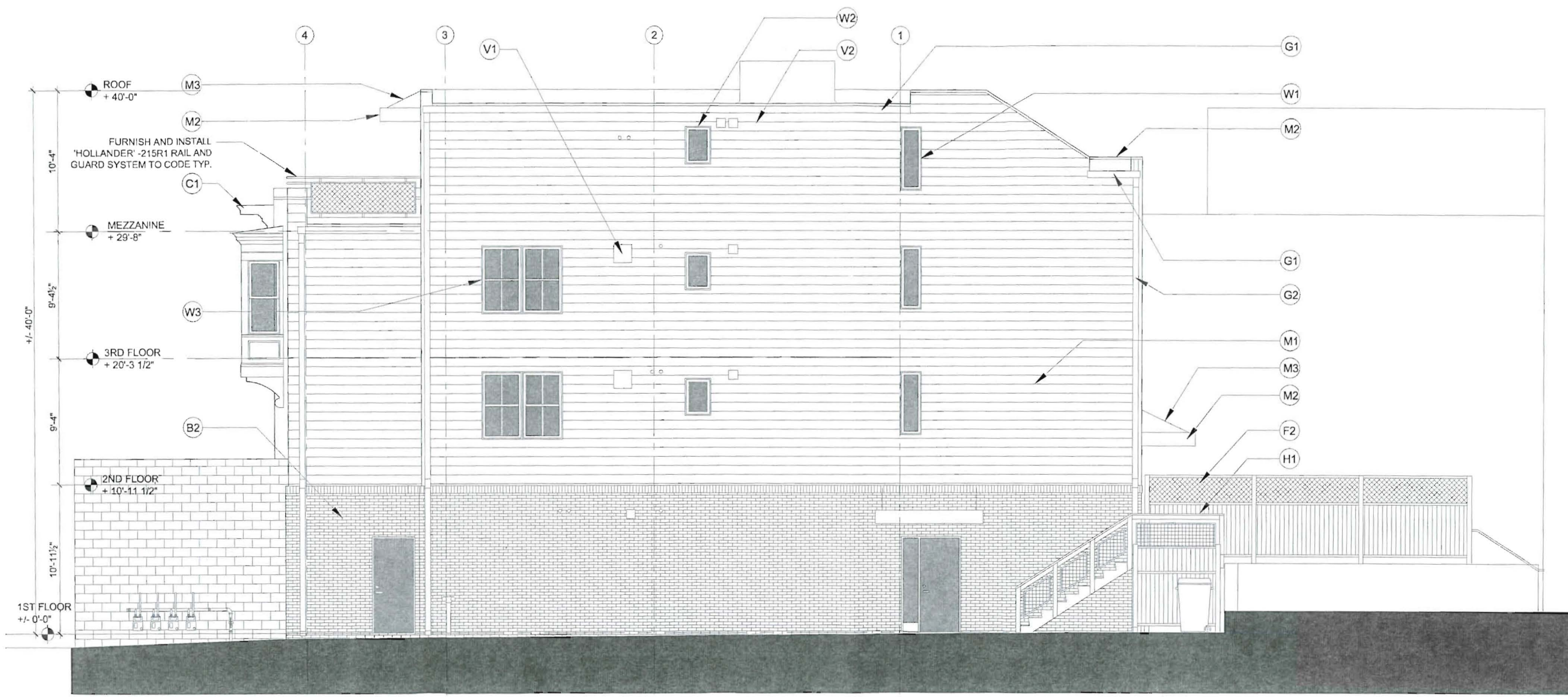
SHEET TITLE:
 SOUTH EAST
 ELEVATION

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10-6-2008

As amended 12-17-2008
 re cond. iii -
 amended 7-20-2011 re
 revs. to materials,
 elevs, + p/cg
 See note on A.2.1

1 SOUTH EAST ELEVATION
 A-2.2 3/16" = 1'-0"

A2.2



1
A-2.3
NORTHEAST ELEVATION
1/8" = 1'-0"

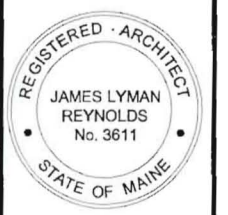
**CITY OF PORTLAND
APPROVED SITE PLAN**
 Subject to Dept. Conditions
 Date of Approval: 10-6-2008
 as amended 12-17-2008
 re cond iii
 as amended 7.20.2011 re
 elevs, materials + pkg
 see note A 2.1

© JAMES LYMAN REYNOLDS
ARCHITECT P.C.

**PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101**
 PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

**JAMES LYMAN
REYNOLDS**
ARCHITECT
 4303 US Route 209
 Stone Ridge, NY 12484
 Ph (845) 687-9161

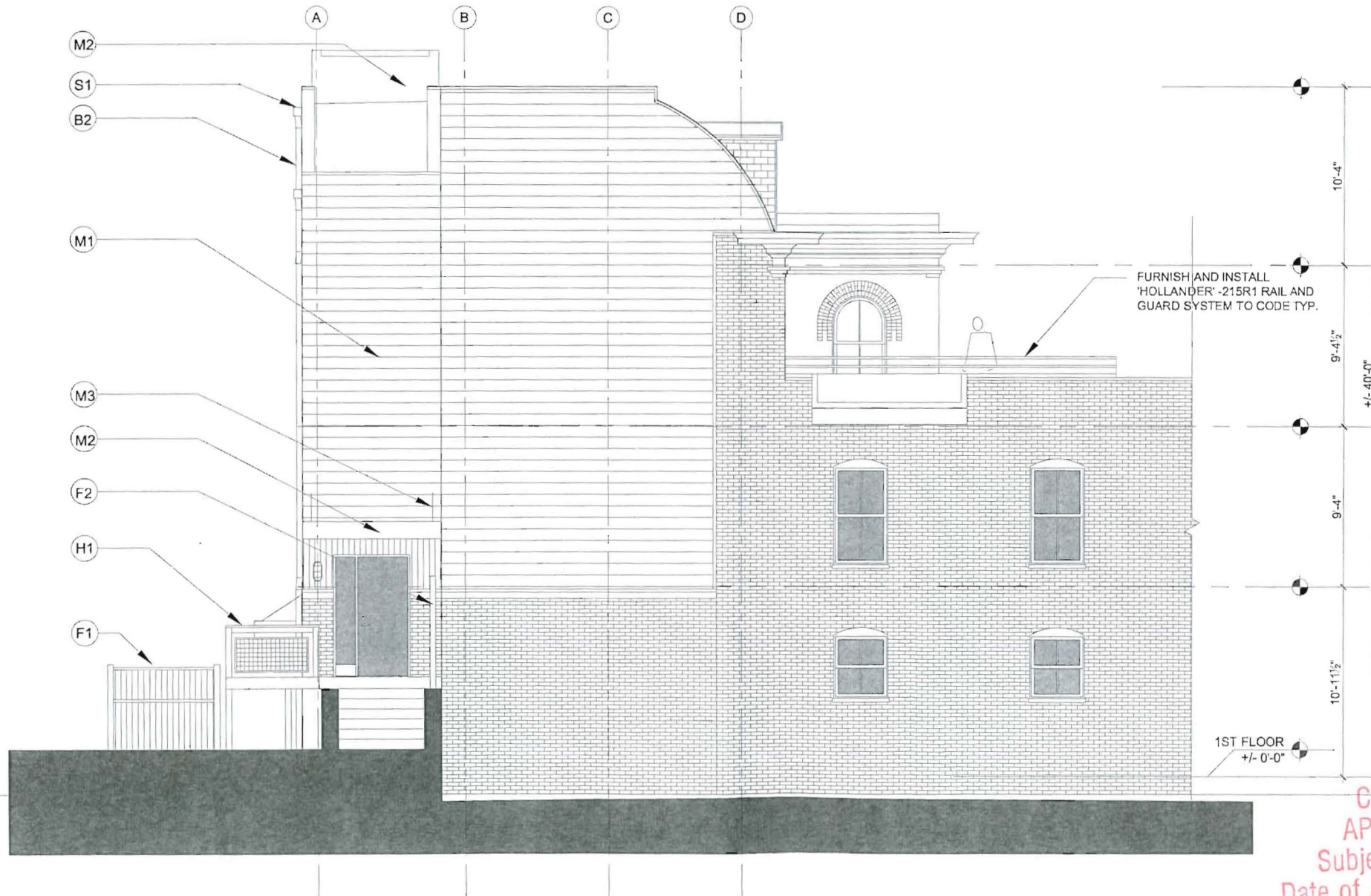
CONSULTANTS:
 AMENDMENTS:
 REVISION #2 - 12/01/08
 REVISION #4 - 11/20/10
 REVISION #5 - 04/20/11



DATE: 8.25.08
 PROJECT No. INDIA ST
 DRAWN BY: JLR
 CHECKED BY: JLR
 SCALE: 1/8"=1'-0"
 SHEET TITLE:
 NORTH EAST
 ELEVATION

A2.3

- NOTES:
 1. SEE DRAWING G1.2 FOR ALLOWABLE AREA OF UNPROTECTED OPENINGS.
 2. SEE DRAWING A2.1 FOR KEY TO MATERIALS



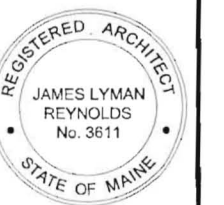
1 NORTHWEST ELEVATION
 A-2.4 1/8" = 1'-0"

JAMES LYMAN REYNOLDS
 ARCHITECT P.C.

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 61 INDIA STREET
 PORTLAND, MAINE 04101
 PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

JAMES LYMAN REYNOLDS
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CONSULTANTS:
 AMENDMENTS:
 REVISION #2 - 12/01/08
 REVISION #4 - 11/20/10
 REVISION #5 - 04/20/11

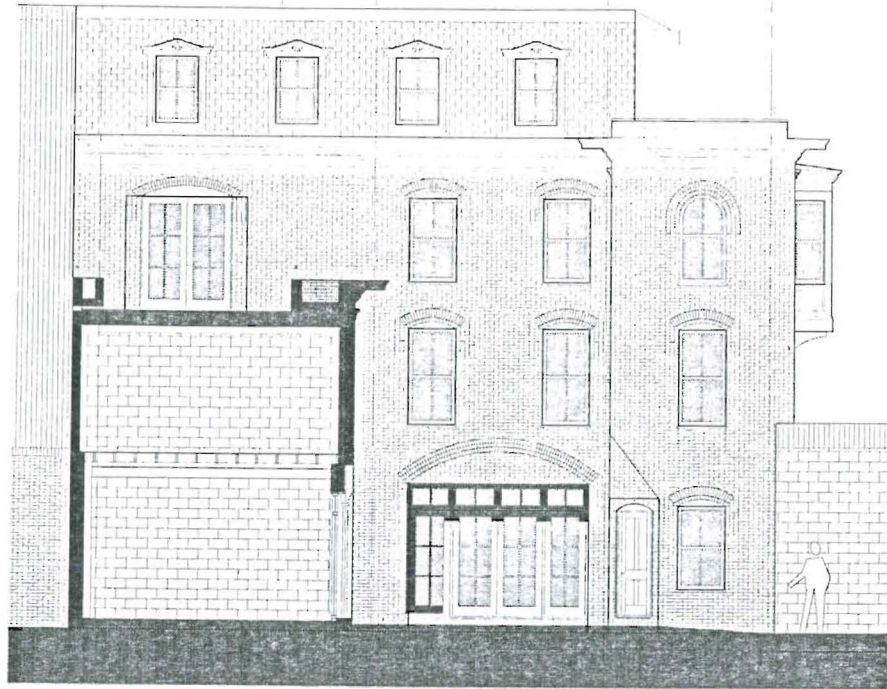


DATE: 8.25.08
 PROJECT No. INDIA ST
 DRAWN BY: JLR
 CHECKED BY: JLR
 SCALE: 1/8"=1'0"

SHEET TITLE:
 NORTH WEST ELEVATION

A2.4

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10-6-2008
 as amended 12-17-2008
 re cond iii
 as amended 7-20-2011
 re revs to elevs, mats
 + pkg see note A.2.1



PROPOSED ADDITIONS to EXISTING BUILDING at 61 INDIA STREET PORTLAND, MAINE

RECEIVED

DEC - 1 2010

Dept. of Building Inspections
City of Portland Maine

20321

ZONE REQUIREMENTS

For City Planning Zone: B2b

Dimension requirements	Required	Proposed
Min. Lot Size (Bus. use)	None	7,672 sf.
Min. Area/unit (Res. use)	1,000 sf/unit	7,672 sf/unit
Min. Street Frontage	50'	49.50' (as existing)
Min/Max. Front Yard	NA	(as existing)
Min. Rear Yard	10'	10.5'
Min. Side Yard	None	None (as existing)
Min. Lot Width	None	49.1' (as existing)
Max. Structure Height	45'	40.0'
Max. Impervious area	90%	94.5% (as existing)

Car park requirements	Required	Proposed
Extg. Res. units	2 spaces	2 spaces
Extg. Retail unit (<2,000sf)	0 spaces	0 spaces
New Retail unit (<2,000sf)	0 spaces	0 spaces
New Bus. unit (<1,000sf)	2 spaces	2 spaces
New Res. units	1 spaces	1 spaces
Total car parks	5 spaces	5 spaces

DRAWING INDEX

- G1.0 Zone Requirements & Drawing Index
- G1.1 Code Summary & Fire Protection
- G1.2 Boundary Separation Distances
- G1.3 Area of unprotected openings
- G1.4 Exterior wall & roof assemblies
- G1.5 Interior & floor assemblies
- C0.1 Site Demolition Plan
- C1.0 Site Layout & Grading Plan
- C1.1 Utility Plan
- C1.2 Site Details
- C1.3 Site Details
- L1.0 Landscape Plan
- E1.0 Exterior Electric Plan
- S0.0 Structural General Notes
- S1.1 Foundation Plan
- S1.2 Second Floor Framing Plan
- S1.3 Third Floor Framing Plan
- S1.4 Fourth Floor Framing Plan
- S1.5 Roof Framing Plan
- S2.1 "C" Line Framing Section
- S2.2 Section Through Building at Archway
- S2.3 Details

- A1.1 Proposed 1st Floor
- A1.2 Proposed 2nd Floor
- A1.3 Proposed 3rd Floor
- A1.4 Proposed Mezzanine Level
- A1.5 Proposed Roof Plan
- A2.1 Proposed Elevation: Southwest
- A2.2 Proposed Elevation: Southeast
- A2.3 Proposed Elevation: Northeast
- A2.4 Proposed Elevation: Northwest
- A3.1 Building Section
- A3.2 Building Section
- A5.1 Details
- A5.2 Details
- A6.0 Stairs
- A7.0 Window Schedule
- A7.1 Door Schedule

RECEIVED

NOV 29 2010

Dept. of Building Inspections
City of Portland Maine

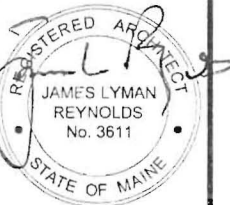
JAMES LYMAN REYNOLDS
ARCHITECT P.C.

PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101
PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

JAMES LYMAN REYNOLDS
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CONSULTANTS:

AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #4 - 11/20/10



DATE: 8.25.08

PROJECT No. INDIA ST

DRAWN BY: JLR

CHECKED BY:

SCALE: N/A

SHEET TITLE
ZONE
SUMMARY &
DRAWING INDEX

G1.0

CODE SUMMARY

Building Code: IBC 2003
NFPA 101 2003

Occupancy: IBC Business Group B
IBC Residential Group R-2
IBC Mercantile Group M
NFPA Business
NFPA Residential
NFPA Mercantile

No. of Floors: 3

Construction: IBC Type 5A
NFPA 5 (111)

Sprinkler: NFPA 13 compliant areas served:
New 3-floor addition w/ Mezz. and adjacent 1-Story and 2-Story structures

Fire Ratings:
IBC Table 601 Structural frame 1Hr
IBC Table 601 Exterior walls (<30' sep dist) 1Hr
IBC Table 601 Exterior walls (≥30' sep dist) 0Hr
IBC Table 601 Interior walls (bearing) 1Hr
IBC Table 601 Interior walls (non bearing) 0Hr
IBC Table 601 Floors 1Hr
IBC Table 601 Roof 1Hr
IBC 302.3.2 Occ. use separation 1 and 2Hr
IBC 1019.1 Stairs (< 4 floors) 1Hr
IBC 707.4 Shafts (< 4 floors) 1Hr
IBC 1013.3 R-2 Common path = 75' max.
IBC 1013.3 B Common path = 100' max.
IBC 1014.1 One Means of egress
IBC 1015.1 Exit travel dist = 250' max.
IBC 1018.2 R-2 travel distance = 50' max.

FLOOR AREAS

(New 3-story addition only)

1st Floor (Mercantile)	1,234.0
1st Floor circulation	261.6
2nd Floor (Business)	1,231.5
2nd Floor circulation	259.2
3rd Floor (Residential)	1,031.4
3rd Floor circulation	251.0
Mezzanine(Residential)	361.6
Mezzanine circulation	346.4

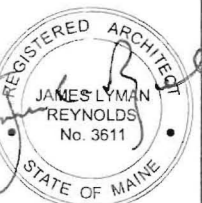
Total Area (square feet) 4,976.7 (gross)

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DRAWN BY:

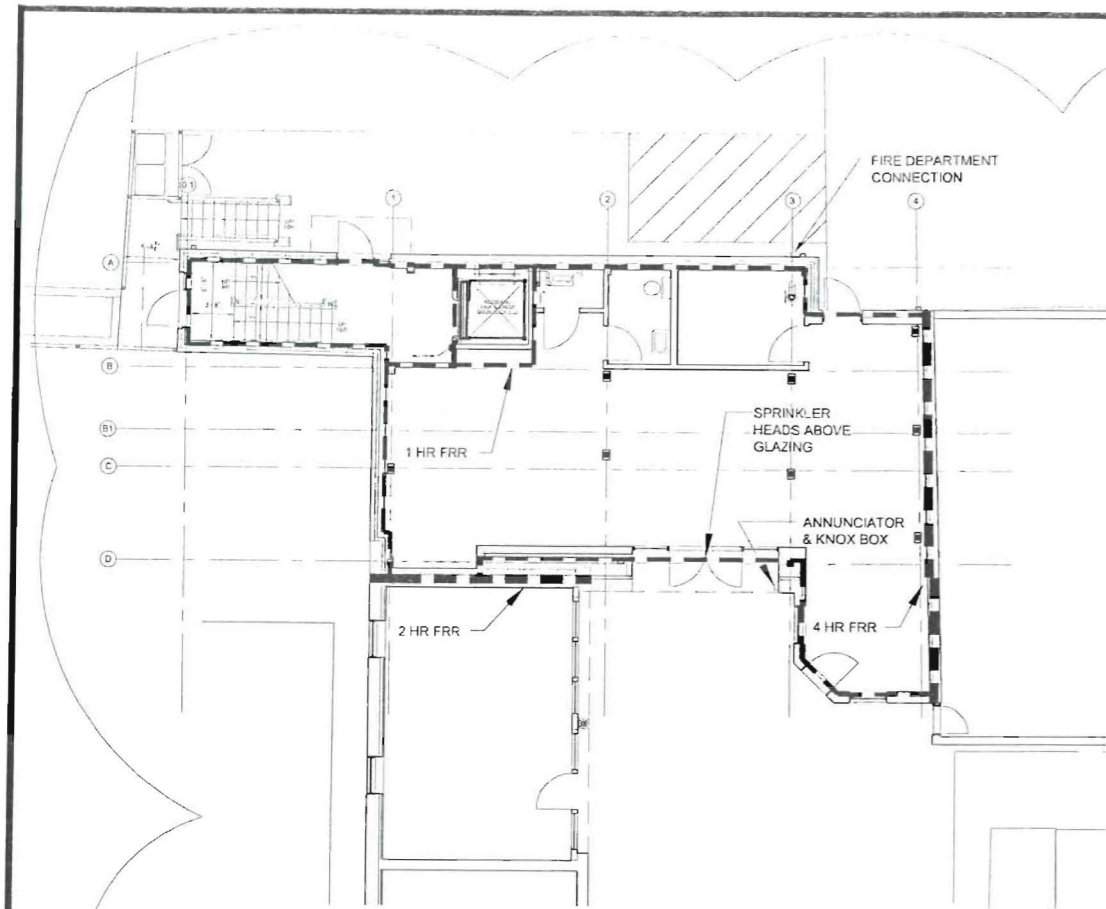
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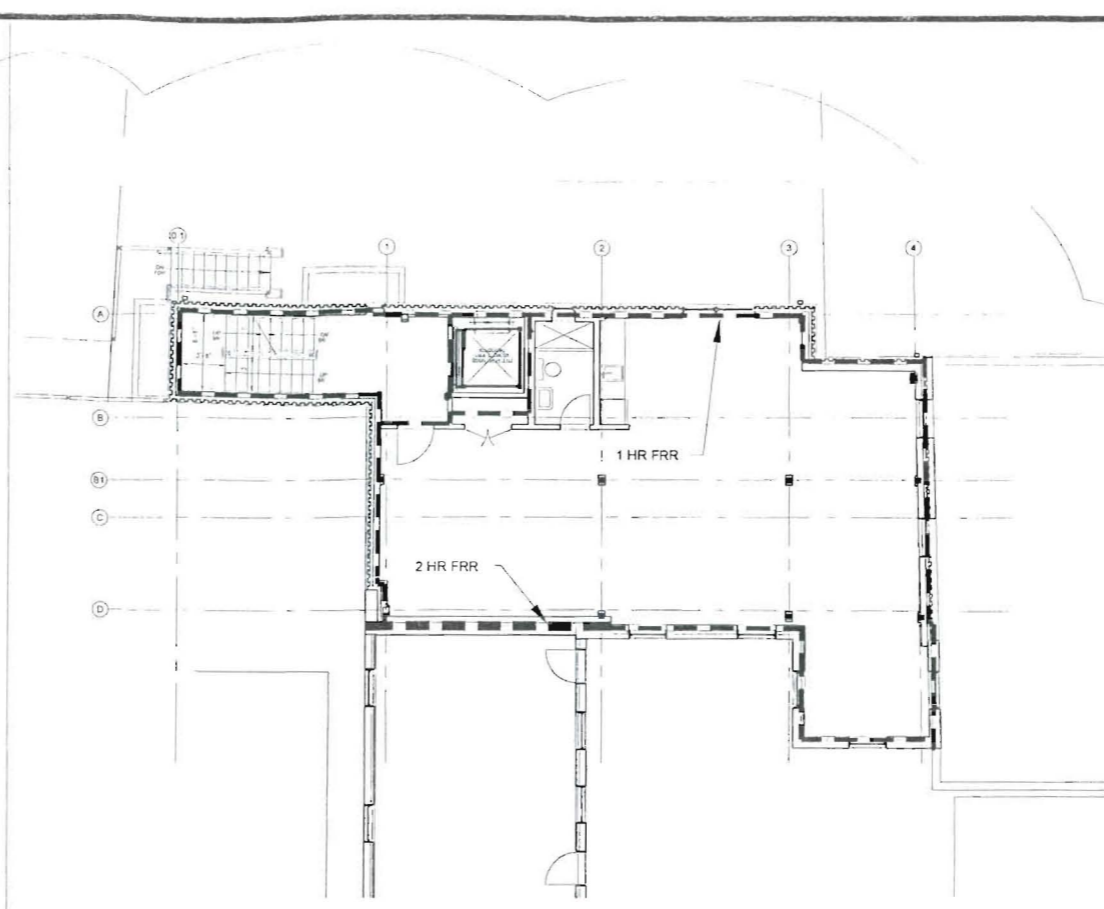
SHEET TITLE:

CODE SUMMARY & FIRE PROTECTION

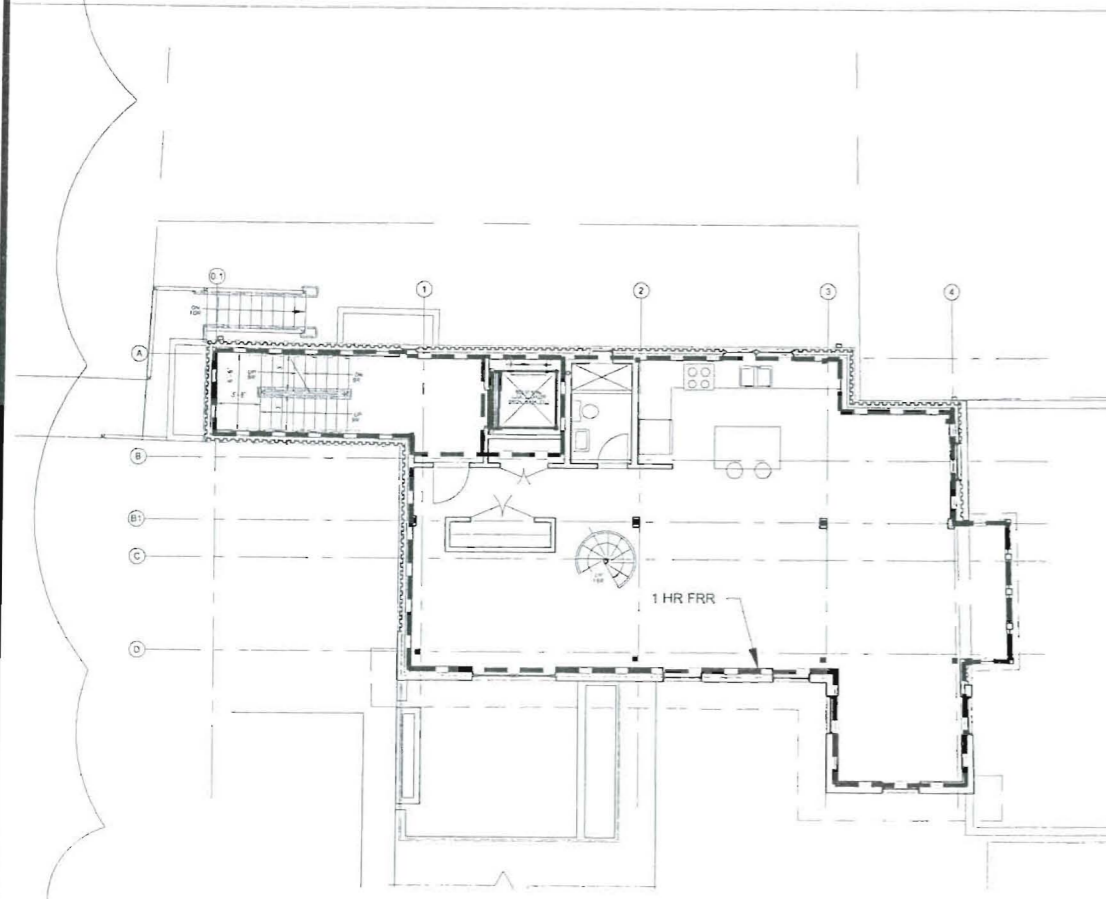
G1.1



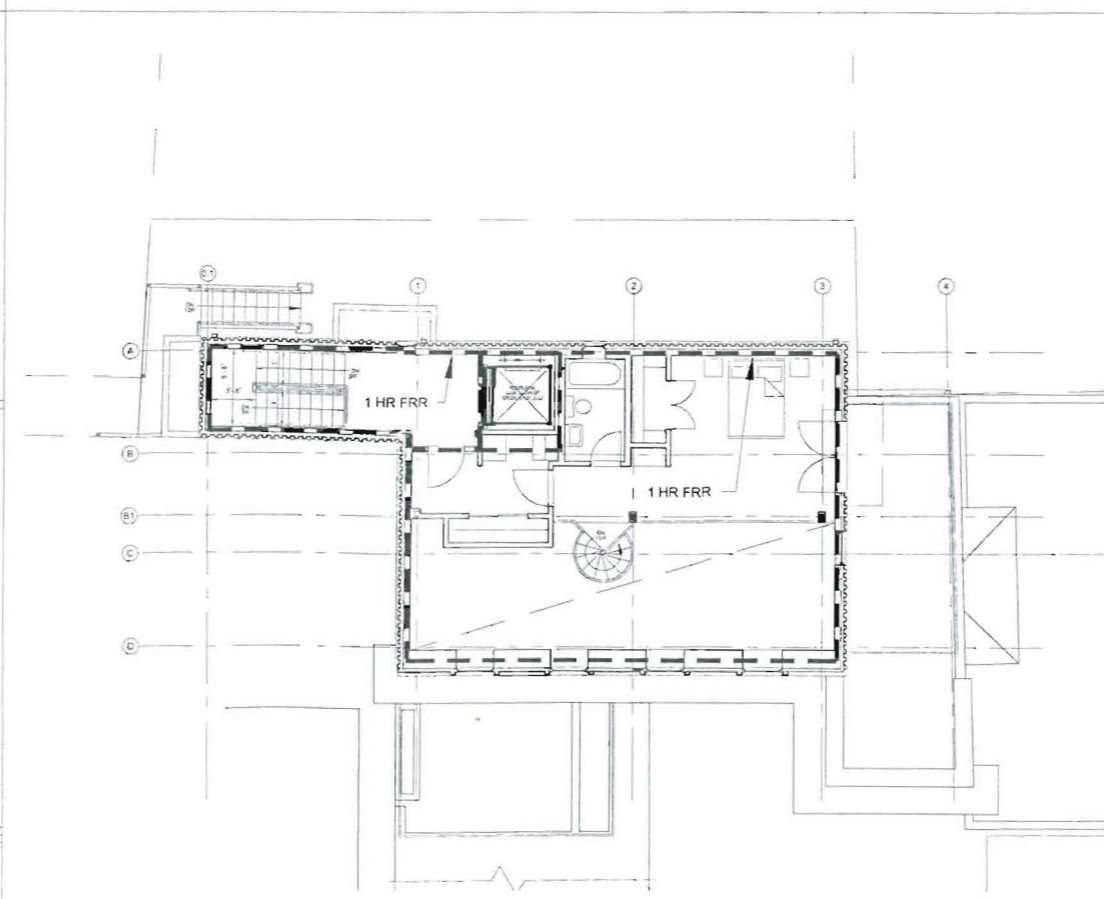
1ST. FLOOR



2ND. FLOOR



3RD. FLOOR



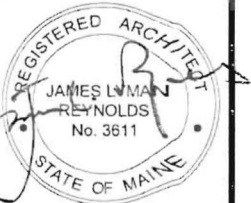
MEZZANINE LEVEL

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CONSULTANTS
AMENDMENTS:
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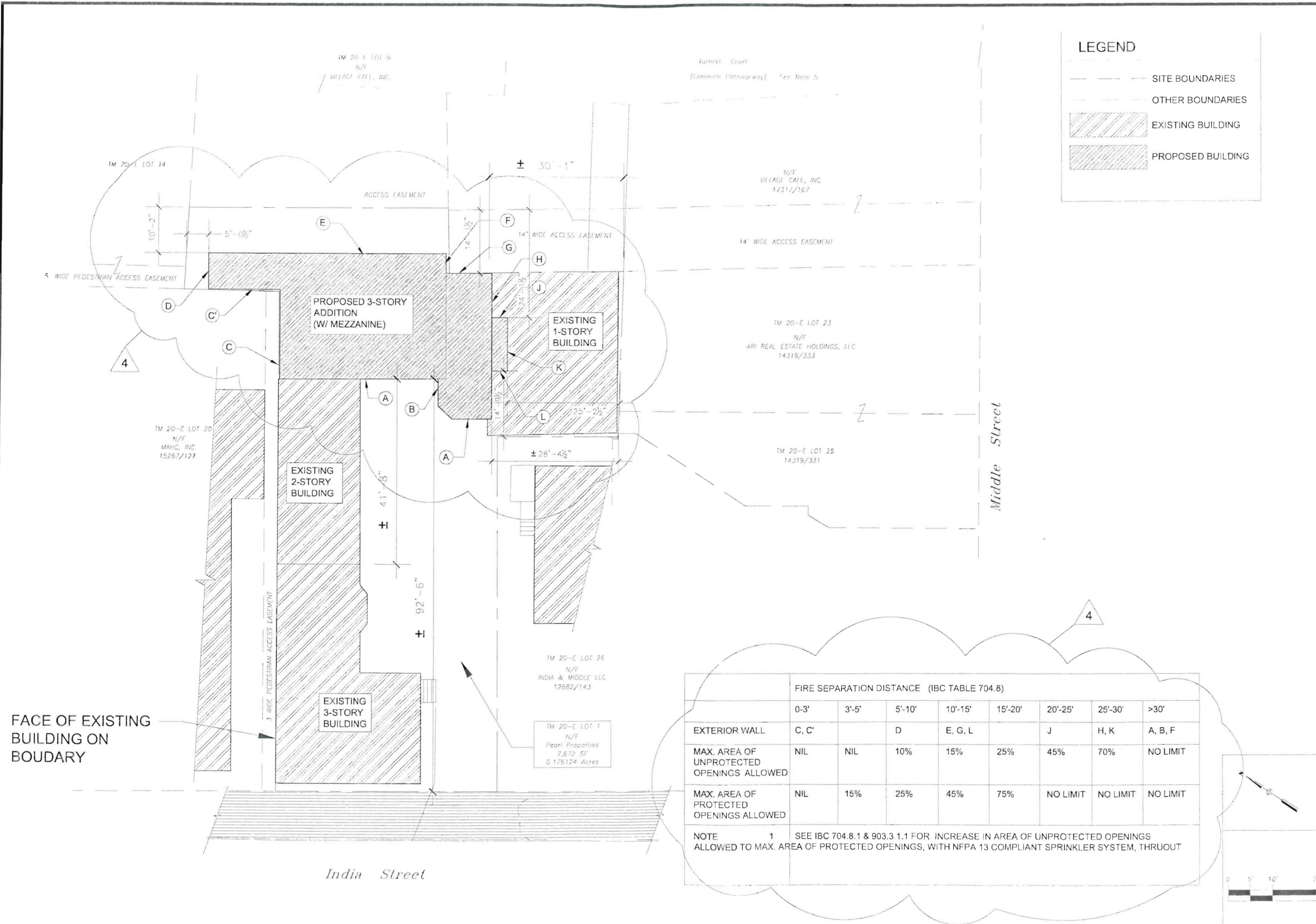
DATE: 8-25-08
PROJECT No. INDIA STREET
DRAWN BY: JLR
CHECKED BY: JLR
SCALE: AS INDICATED

SHEET TITLE:
BOUNDARY SEPARATION DISTANCES

G1.2

LEGEND

- SITE BOUNDARIES
- OTHER BOUNDARIES
- EXISTING BUILDING
- PROPOSED BUILDING



	FIRE SEPARATION DISTANCE (IBC TABLE 704.8)							
	0-3'	3'-5'	5'-10'	10'-15'	15'-20'	20'-25'	25'-30'	>30'
EXTERIOR WALL	C, C'		D	E, G, L		J	H, K	A, B, F
MAX. AREA OF UNPROTECTED OPENINGS ALLOWED	NIL	NIL	10%	15%	25%	45%	70%	NO LIMIT
MAX. AREA OF PROTECTED OPENINGS ALLOWED	NIL	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NO LIMIT

NOTE 1 SEE IBC 704.8.1 & 903.3.1.1 FOR INCREASE IN AREA OF UNPROTECTED OPENINGS ALLOWED TO MAX. AREA OF PROTECTED OPENINGS, WITH NFPA 13 COMPLIANT SPRINKLER SYSTEM, THRUOUT

FACE OF EXISTING BUILDING ON BOUDARY

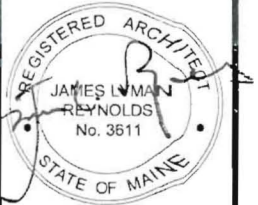
**PROPOSED ADDITIONS TO
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PORTLAND, MAINE 04101**

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CONSULTANTS:

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REVISION #4 - 11/20/10



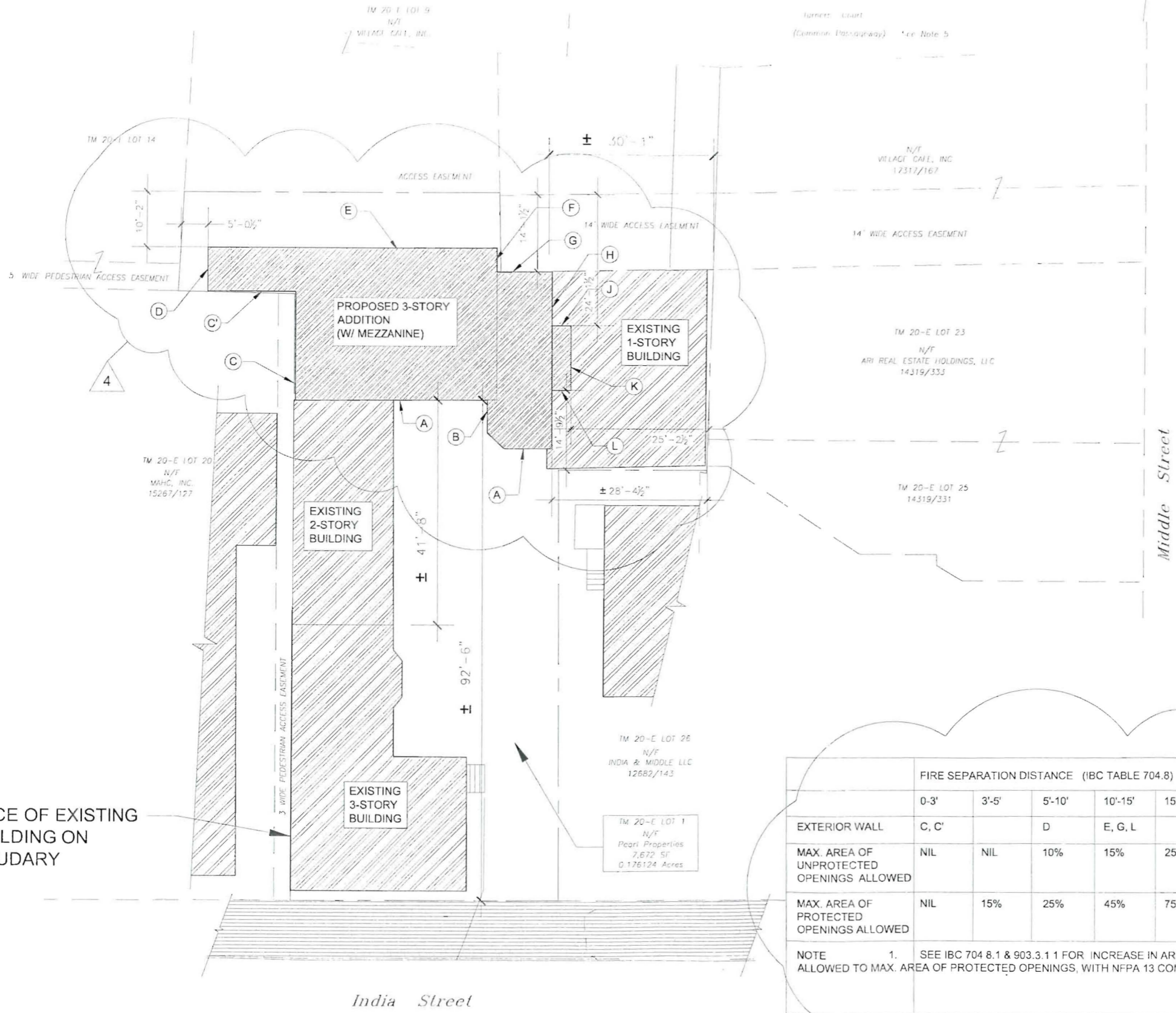
DATE: 8.25.08
PROJECT No: INDIA STREET
DRAWN BY: JLR
CHECKED BY: JLR
SCALE: AS INDICATED

SHEET TITLE:
BOUNDARY SEPARATION DISTANCES

G1.2

LEGEND

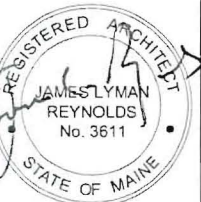
- SITE BOUNDARIES
- OTHER BOUNDARIES
- EXISTING BUILDING
- PROPOSED BUILDING



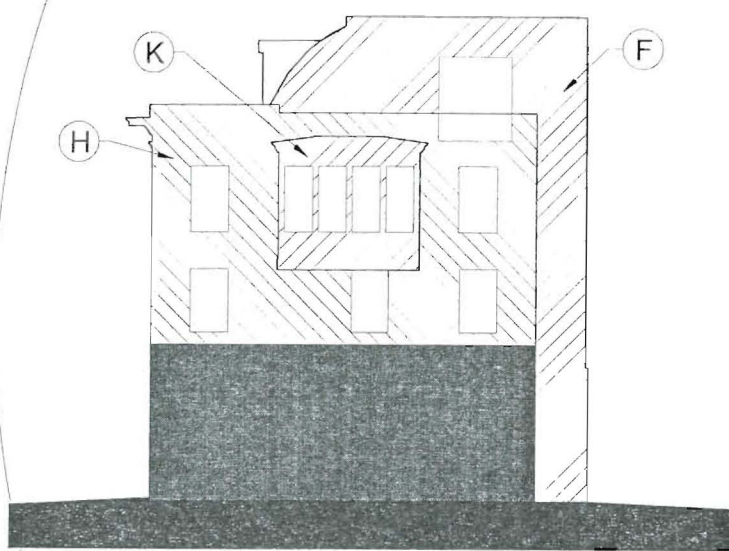
	FIRE SEPARATION DISTANCE (IBC TABLE 704.8)							
	0-3'	3'-5'	5'-10'	10'-15'	15'-20'	20'-25'	25'-30'	>30'
EXTERIOR WALL	C, C'		D	E, G, L		J	H, K	A, B, F
MAX. AREA OF UNPROTECTED OPENINGS ALLOWED	NIL	NIL	10%	15%	25%	45%	70%	NO LIMIT
MAX. AREA OF PROTECTED OPENINGS ALLOWED	NIL	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NO LIMIT

NOTE 1. SEE IBC 704.8.1 & 903.3.1.1 FOR INCREASE IN AREA OF UNPROTECTED OPENINGS ALLOWED TO MAX. AREA OF PROTECTED OPENINGS, WITH NFPA 13 COMPLIANT SPRINKLER SYSTEM, THRUOUT

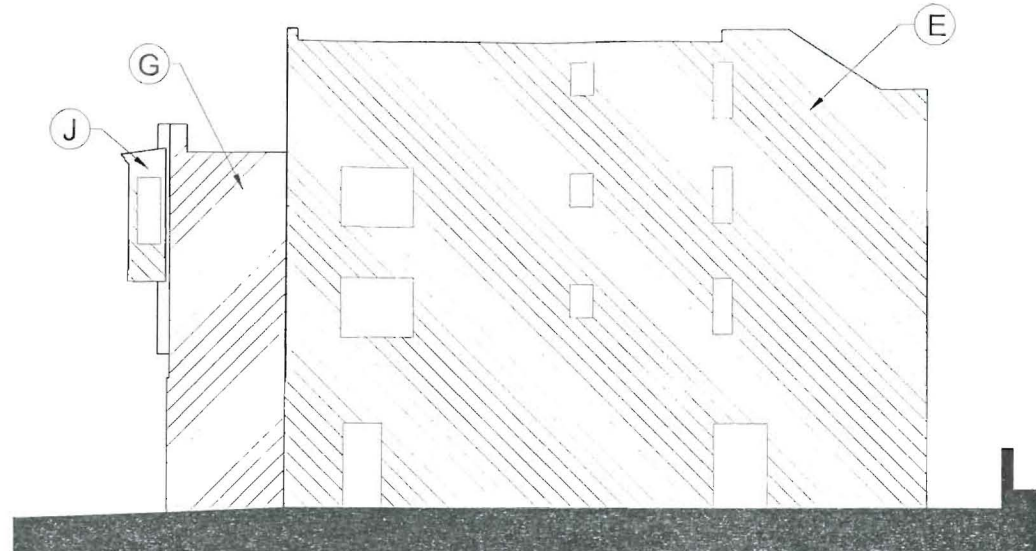




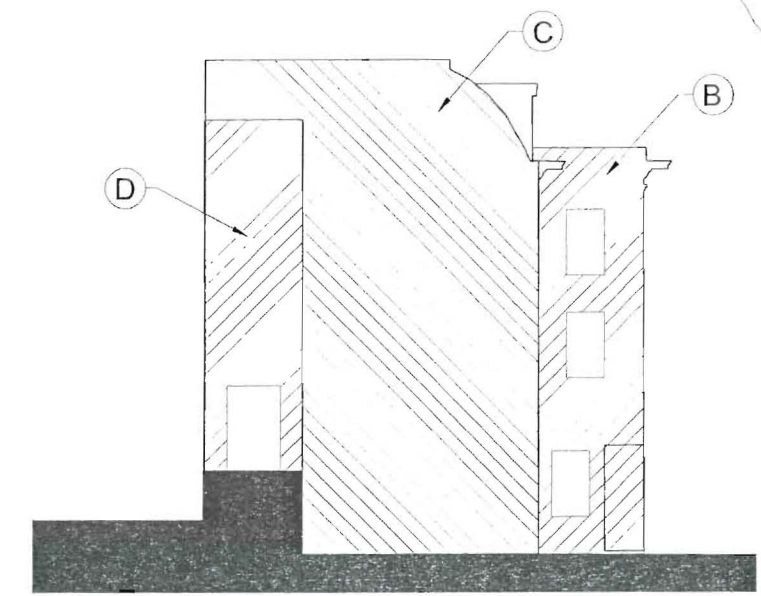
NOTES:
1. SEE DRAWING G1.2 FOR WALL LOCATIONS & SEPARATION DISTANCES TO LOT BOUNDARIES



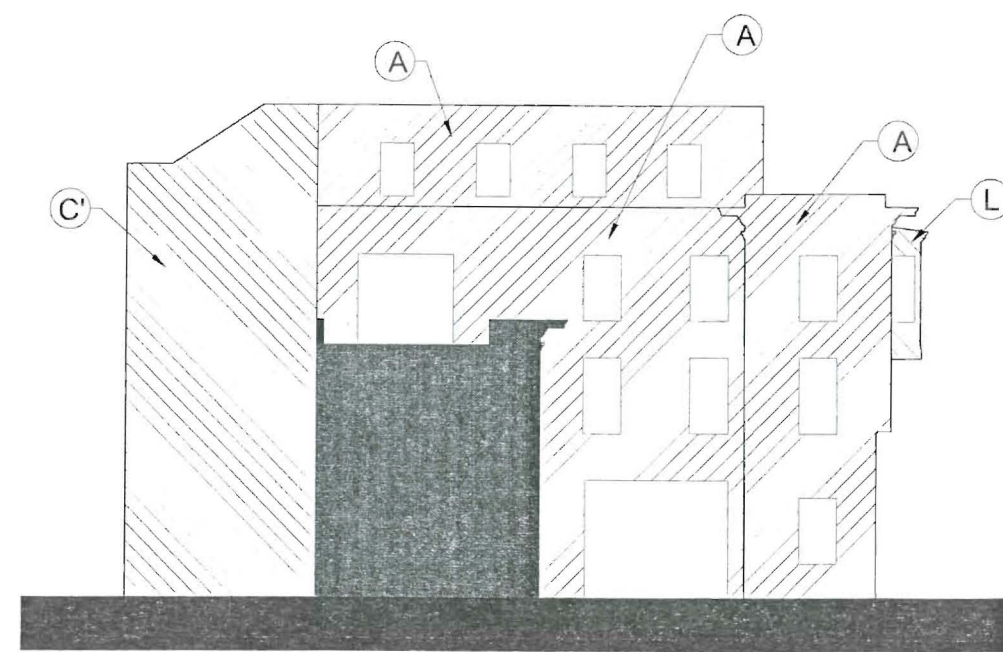
SOUTH-EAST ELEVATION



NORTH-EAST ELEVATION



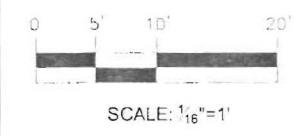
NORTH-WEST ELEVATION



SOUTH-WEST ELEVATION

EXTERIOR WALL	AREA OF UNPROTECTED OPENINGS (NOTE 1)										
	A	B	C, C'	D	E	F	G	H	J	K	L
MAX. AREA OF UNPROTECTED OPENINGS ALLOWED	NO LIMIT	NO LIMIT	NIL	15%	45%	NO LIMIT	45%	NO LIMIT	NO LIMIT	NO LIMIT	45%
AREA OF WALL (SF)	NA	NA	1,458.9	238.3	2,065.1	332.3	296.0	491.5	34.5	147.8	26.9
AREA OF UN PROTECTED OPENINGS (SF)	NA	NA	NIL	31.6	129.6	43.1	22.4	84.9	10.7	59.2	10.7
% OF WALL UNPROTECTED	NA	NA	NIL	13.3%	6.3%	12.9%	7.6%	17.2%	31.0%	40.0%	39.8%
NOTE	1 REFER TO G1.2 FOR FIRE SEPARATION DISTANCES TO LOT BOUNDARIES 2. WALLS C', D, AND E MUST BE RATED 1HR MIN. PER IBC 1019.1.4 FOR EXTERIOR STAIR WALL RETURNS										

4

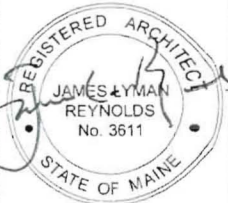


**PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101**
PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

JAMES LYMAN REYNOLDS
ARCHITECT
4303 US Route 209
Stone Ridge, NY 12484
Ph (845) 687-9161

CONSULTANTS:

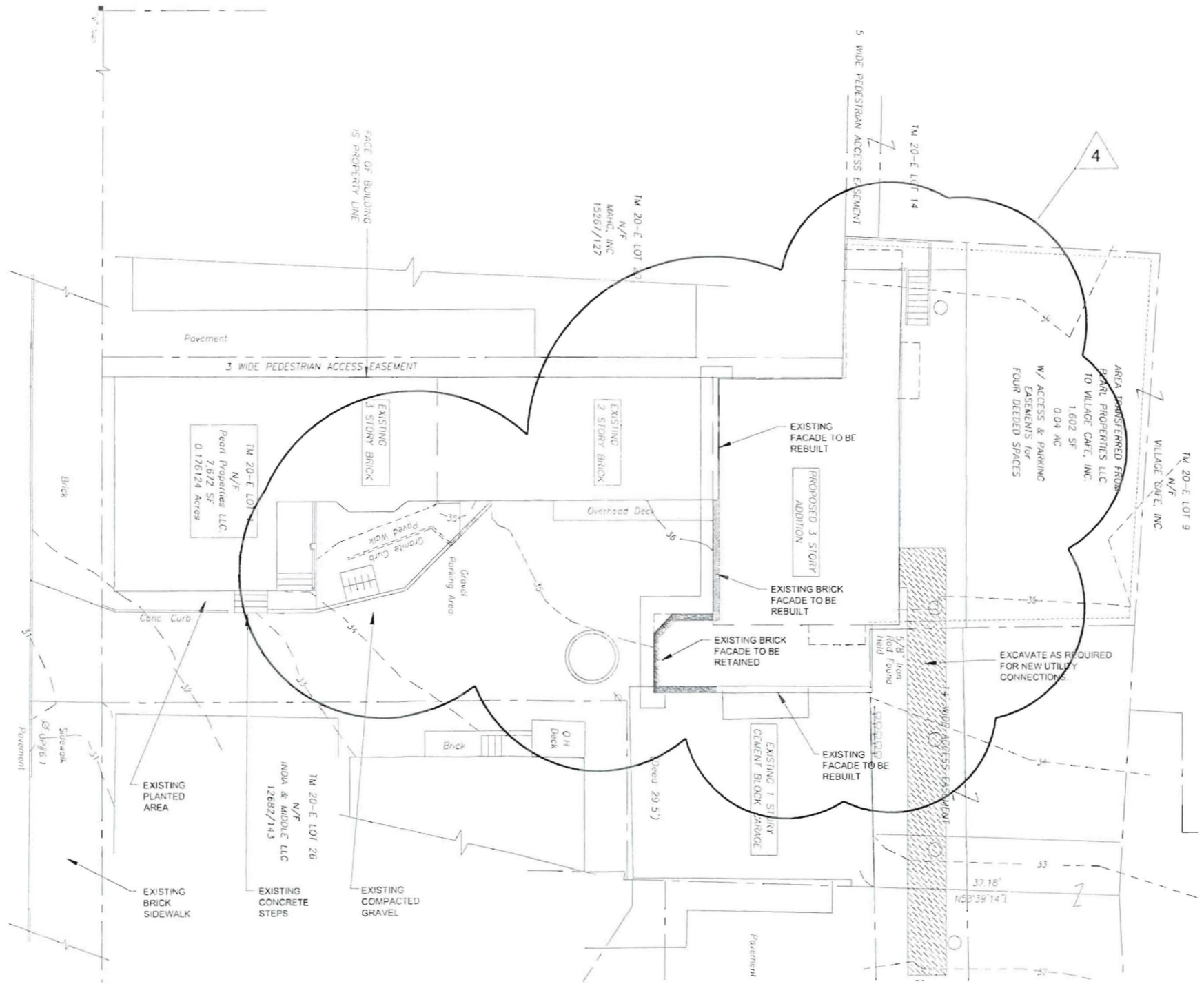
AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #3 - 3/02/09
REVISION #4 - 11/20/10



DATE: 8.25.08
PROJECT No. INDIA STREET
DRAWN BY:
CHECKED BY: JLR
SCALE: AS INDICATED

SHEET TITLE:
DEMOLITION PLAN

C0.1



1 SITE PLAN DEMOLITION
C0.1 1" = 20'

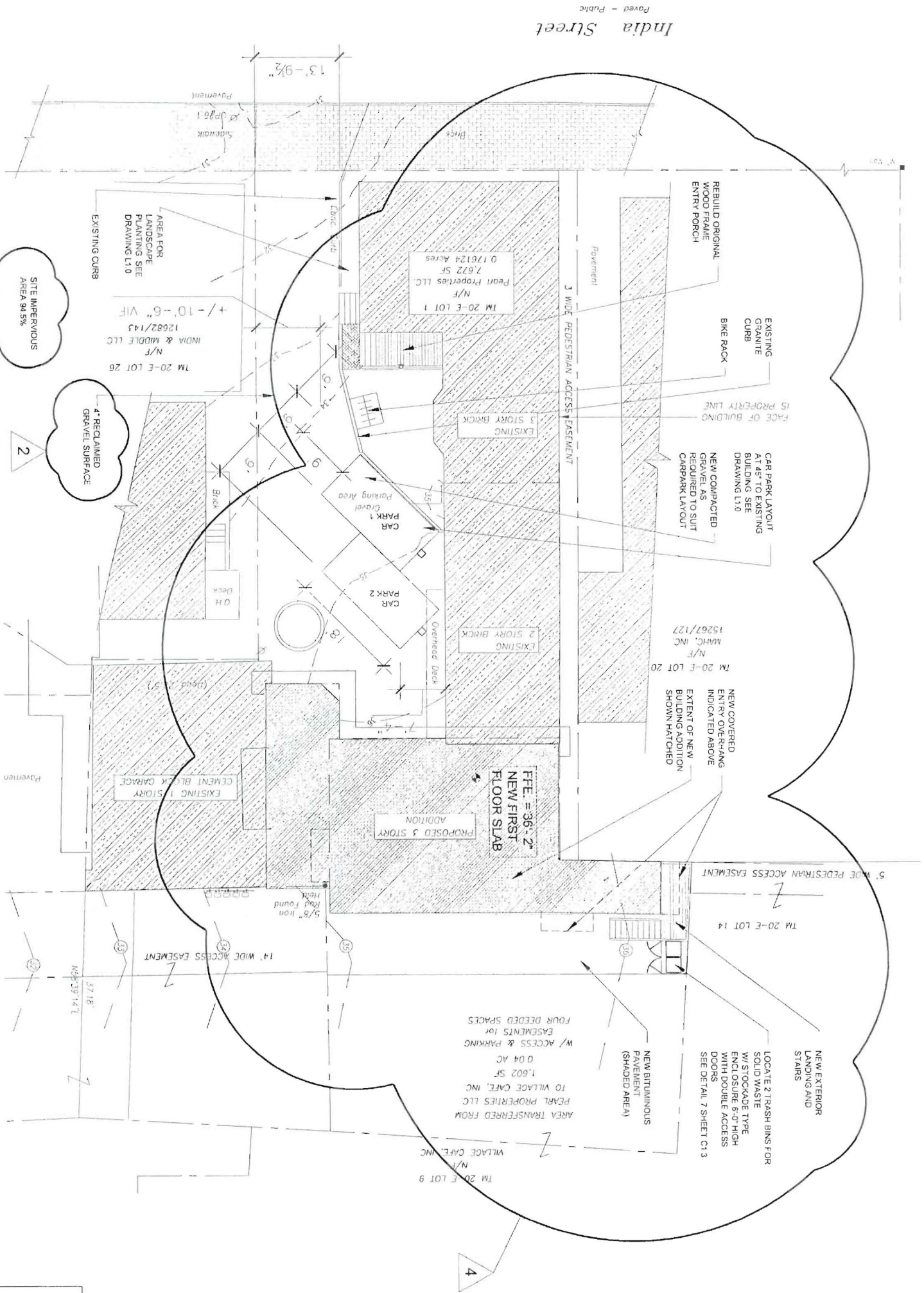
India Street
Road - Public

3

8

8

NOTES:
 1. SNOW TO BE REMOVED
 FROM THE SITE



1 SITE PLAN PROPOSED
 C1.0 1" = 20'

PROPOSED ADDITIONS TO
 61 INDIA STREET
 PORTLAND, MAINE 04101

PEARL PROPERTIES LLC 198 TUTTLE ROAD, CUMBERLAND ME 04021

JAMES LYMAN REYNOLDS
 ARCHITECT P.C.

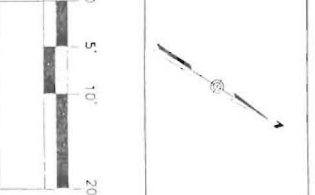
JAMES LYMAN
 REYNOLDS
 ARCHITECT
 4303 US Route 209
 Stone Ridge, NY 12484
 Ph (945) 687-9161

CONSULTANTS:

AMENDMENTS:
 REVISION #2 - 12/01/08
 REVISION #3 - 3/02/09
 REVISION #3 - 11/20/10



DATE: 8.25.08
 PROJECT No: INDIA STREET
 DRAWN BY: JLR
 CHECKED BY: JLR
 SCALE: AS INDICATED
 SHEET TITLE:
 SITE PLAN
 PROPOSED
 LAYOUT &
 GRADING



C1.0

PROPOSED ADDITIONS TO 61 INDIA STREET PORTLAND, MAINE 04101

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ARCHITECT

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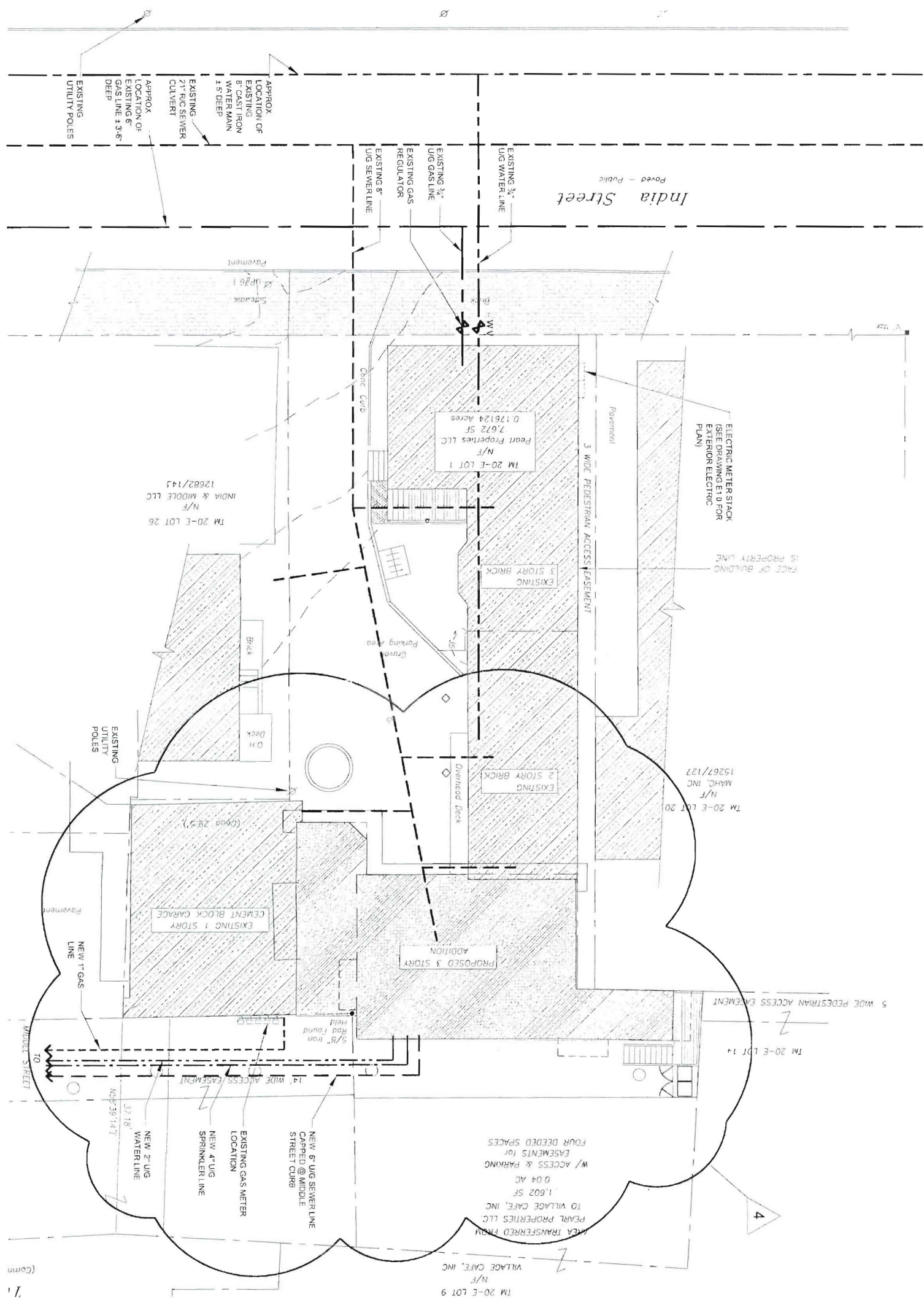
CONSULTANTS

AMENDMENTS:
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REVISION #3 - 3/02/09
REVISION #4 - 11/20/10

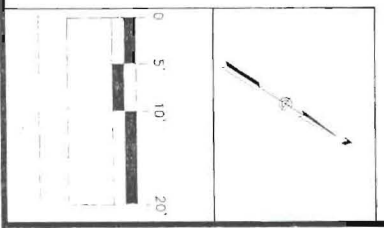


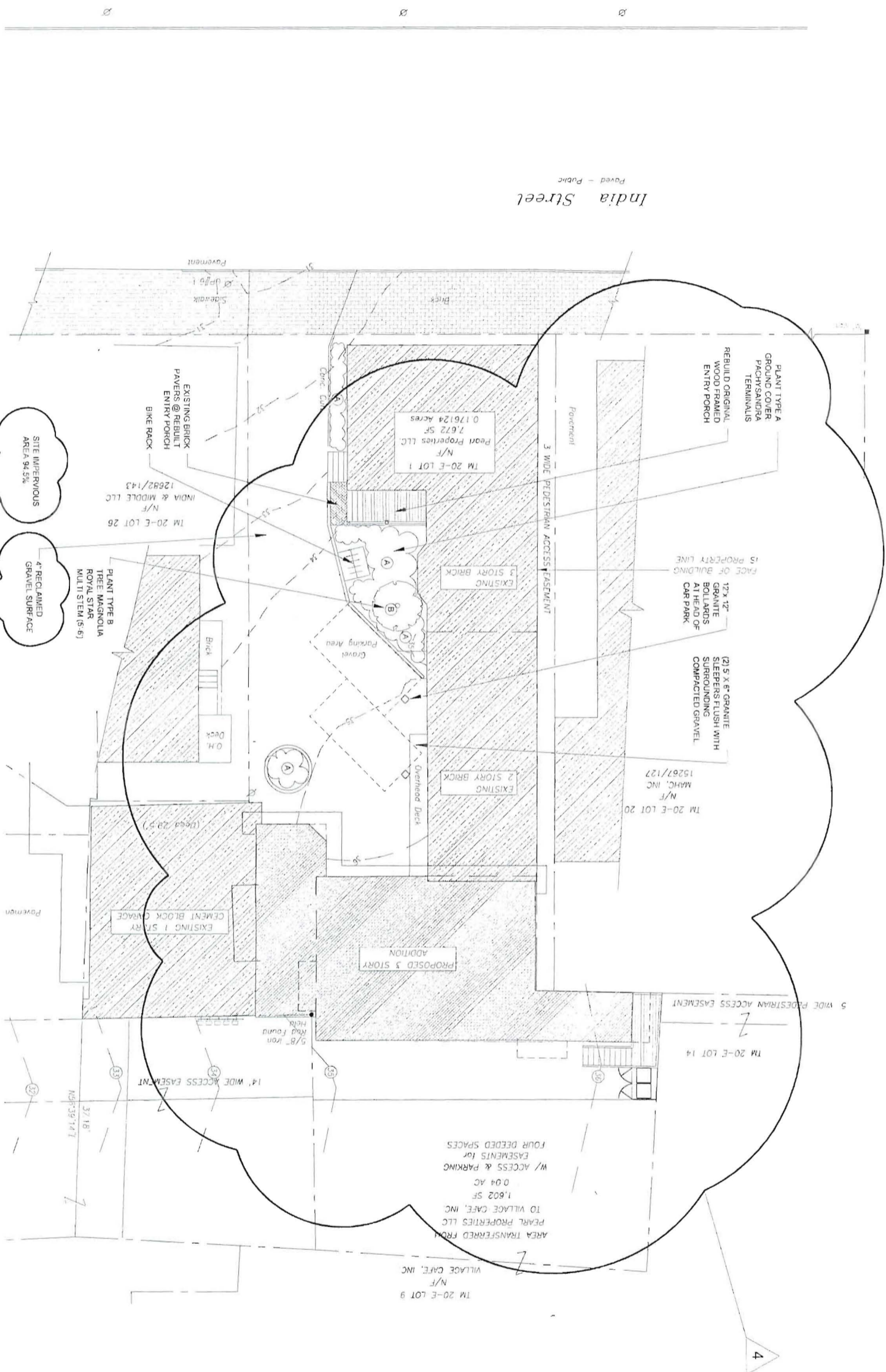
DATE: 8.25.08
PROJECT No. INDIA STREET
DRAWN BY:
CHECKED BY: JLR
SCALE: AS INDICATED
SHEET TITLE:
UTILITY PLAN

C1.1

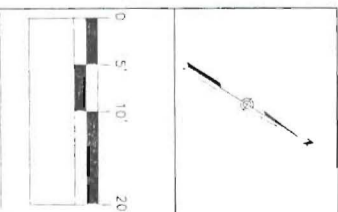


1 UTILITY PLAN
C1.1 1" = 20'





1 LANDSCAPE PLAN
L1.0 1" = 20'



JAMES LYMAN REYNOLDS
ARCHITECT P.C.

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Slate Forge, NY 12484
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CONSULTANTS

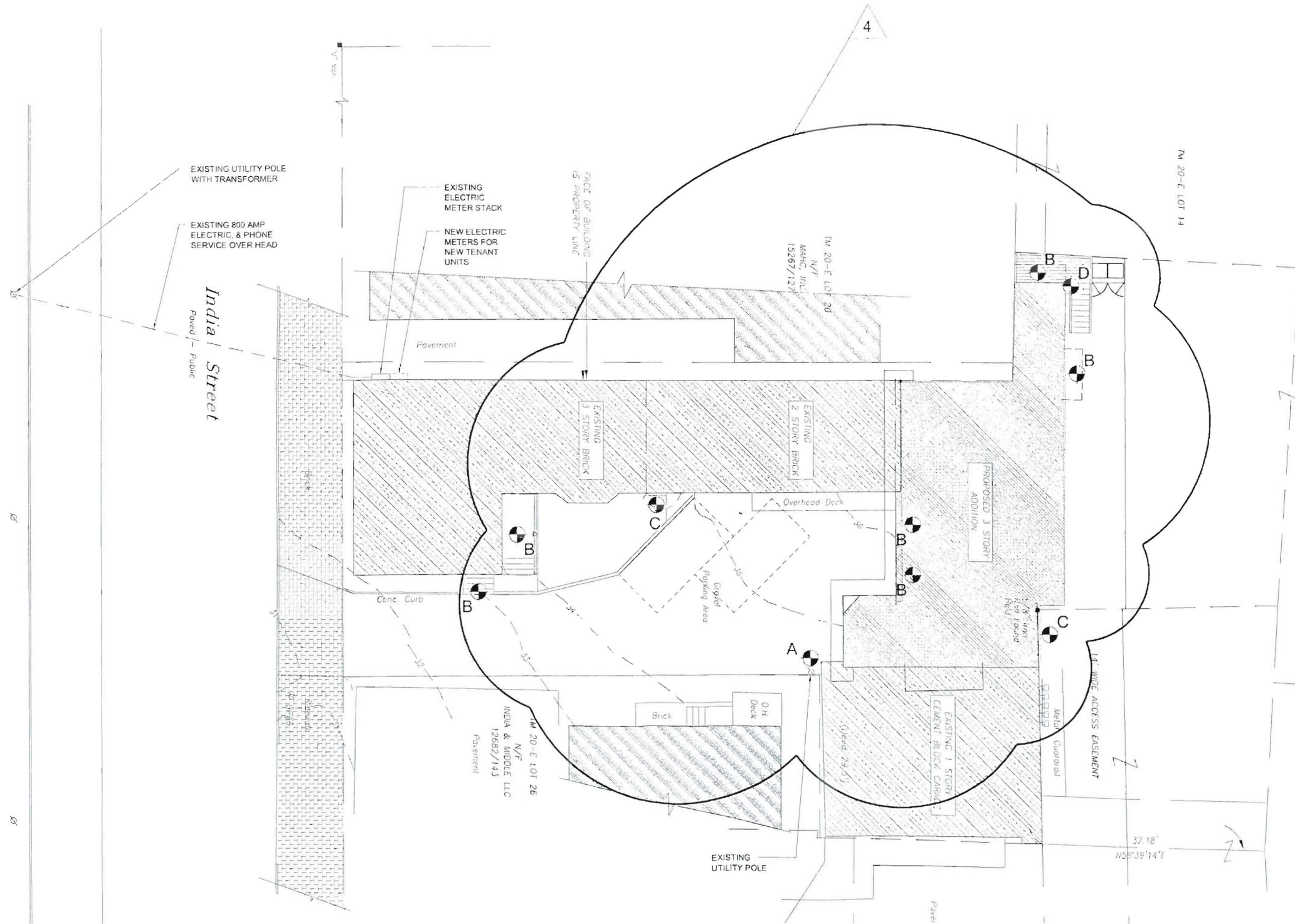
AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #3 - 3/02/09
REVISION #4 - 11/20/10

REGISTERED ARCHITECT
STATE OF MAINE
JAMES LYMAN
REYNOLDS
No. 3611

DATE 8.25.08
PROJECT No. INDIA STREET
DRAWN BY
CHECKED BY JLR
SCALE AS INDICATED

SHEET TITLE
LANDSCAPING
PLAN

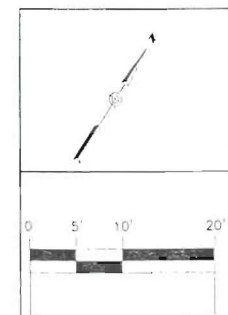
L1.0



LIGHT FIXTURES:

- A POLE MOUNT
Kim Wall Form
KN-WF 21 Half face
42 w compact fluorescent
- B CANOPY CEILING
Kim Wall Form
KN-WF 20 Full face
26 w compact fluorescent
- C BUILDING MOUNT
Kim Wall Form
KN-WF 21 Half face
26 w compact fluorescent
- D BUILDING MOUNT
Kim Wall Form
KN-WF 21 Half face
42 w compact fluorescent

1 EXTERIOR ELECTRIC PLAN
E1.1 1" = 20'



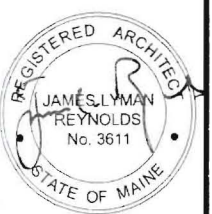
JAMES LYMAN REYNOLDS
ARCHITECT P.C.

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CONSULTANTS

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DATE 8.25.08
PROJECT No INDIA STREET
DRAWN BY:
CHECKED BY: JLR
SCALE AS INDICATED

SHEET TITLE:
EXTERIOR
ELECTRIC PLAN

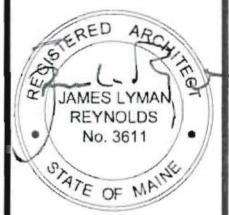
E1.0

PROPOSED ADDITIONS TO
 61 INDIA STREET
 PORTLAND, MAINE 04101
 PEARL PROPERTIES LLC 198 TUTTLE ROAD, CUMBERLAND ME 04021

JAMES LYMAN REYNOLDS
 ARCHITECT
 4303 US Route 209
 Stone Ridge, NY 12484
 Ph (845) 687-9161

CONSULTANTS:

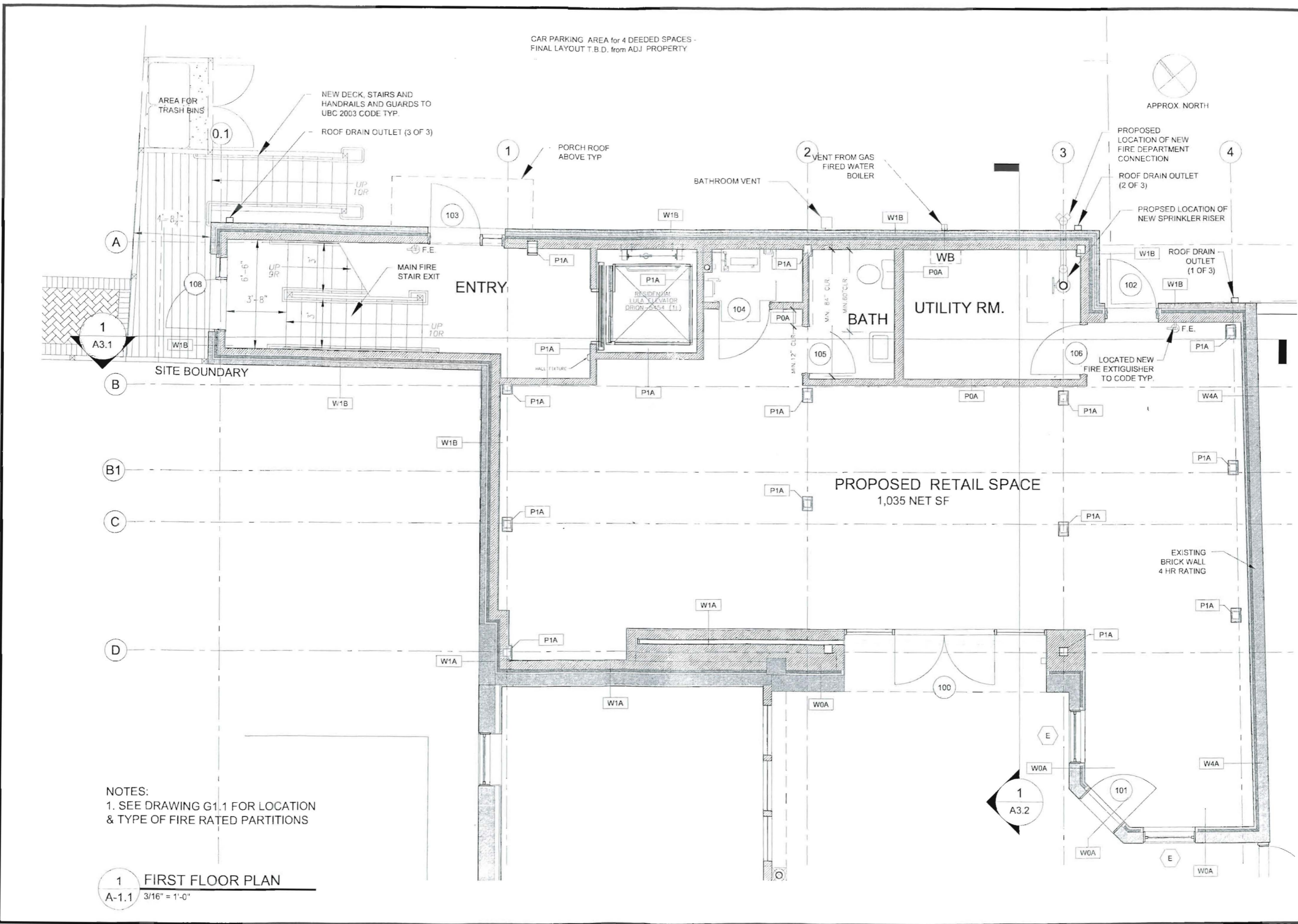
AMENDMENTS
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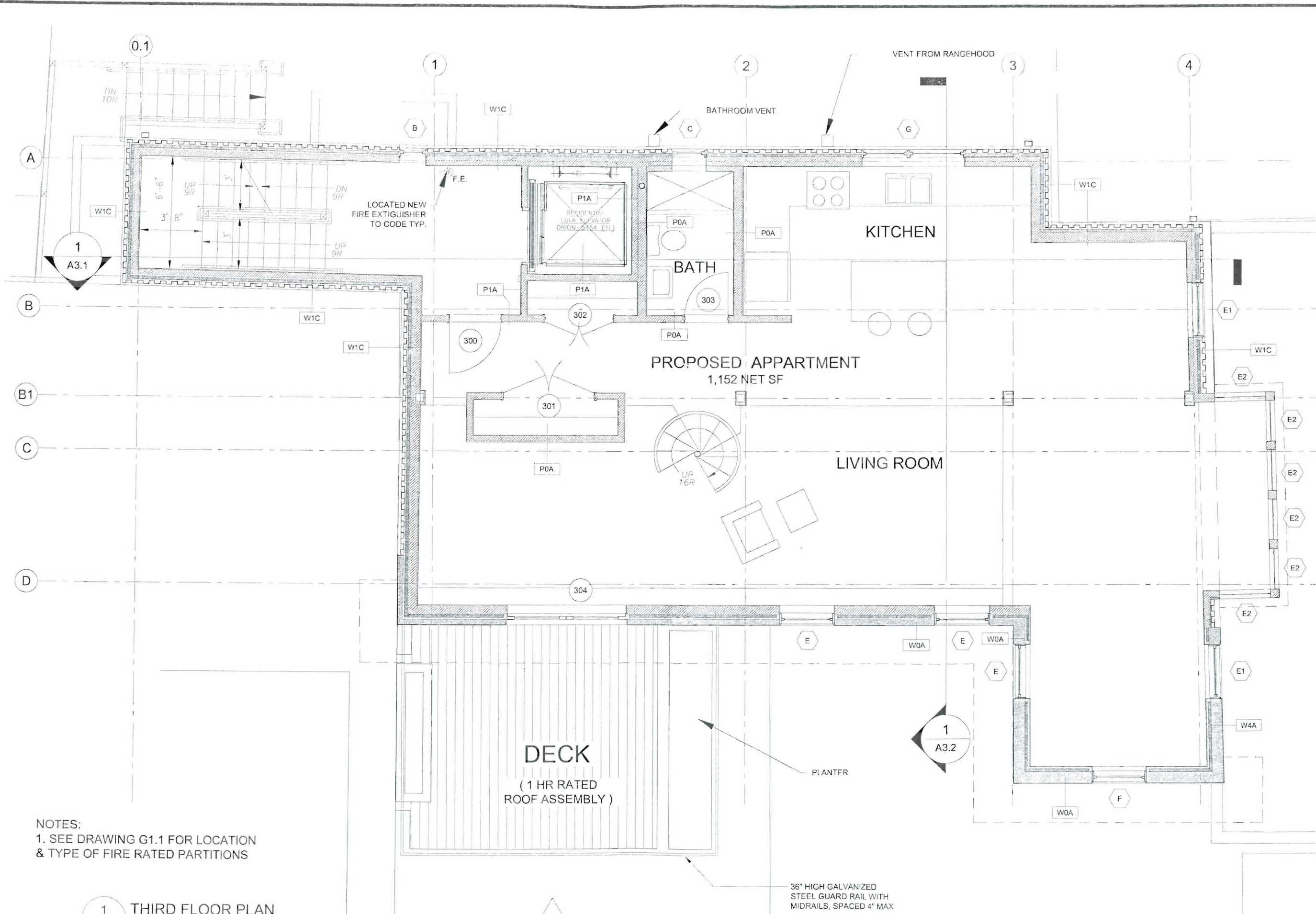
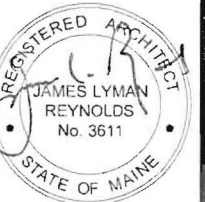


DATE: 8.25.08
 PROJECT No. INDIA ST
 DRAWN BY: JLR
 CHECKED BY: JLR
 SCALE: AS INDICATED

SHEET TITLE:
 FIRST FLOOR PLAN

A1.1

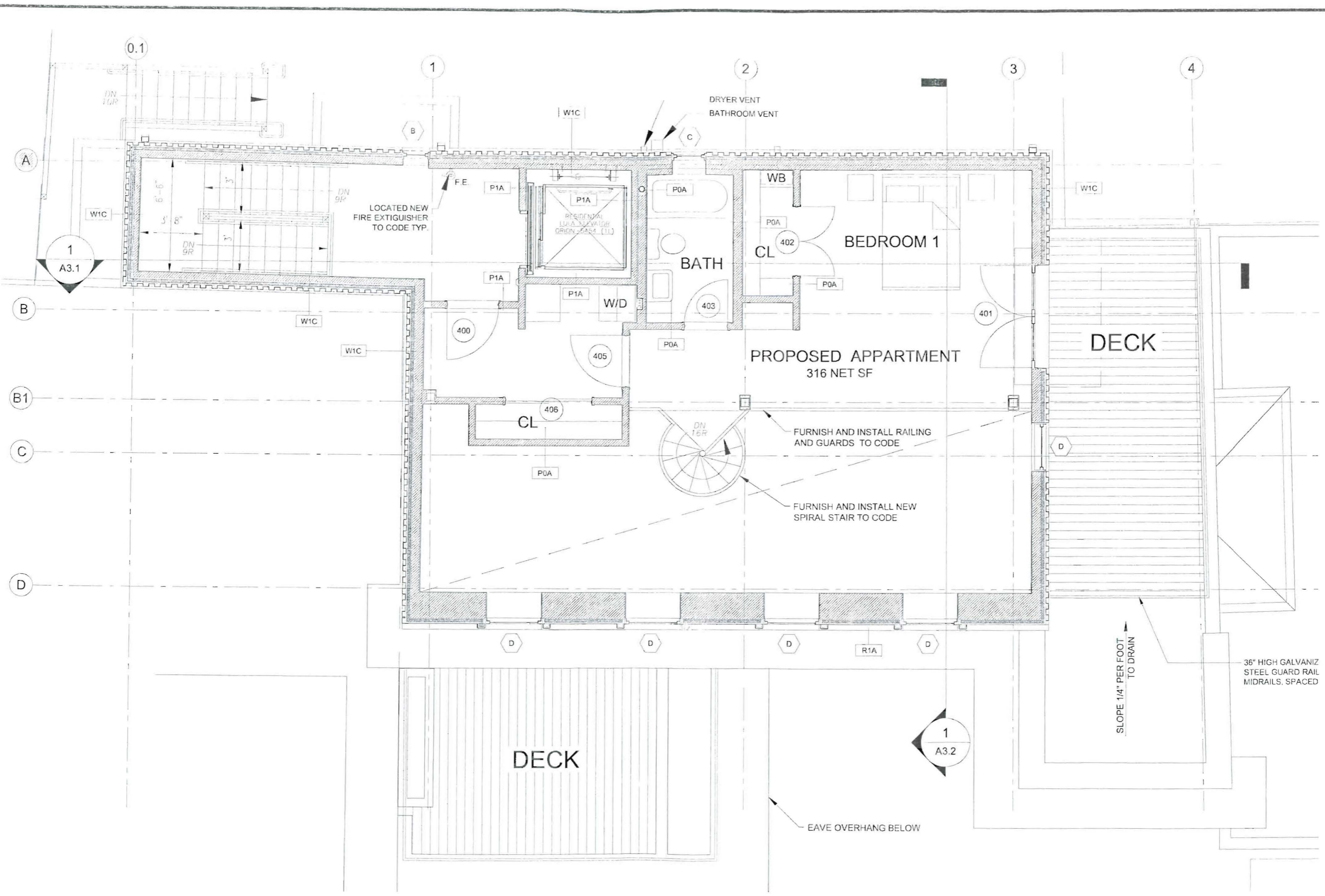
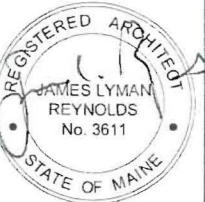




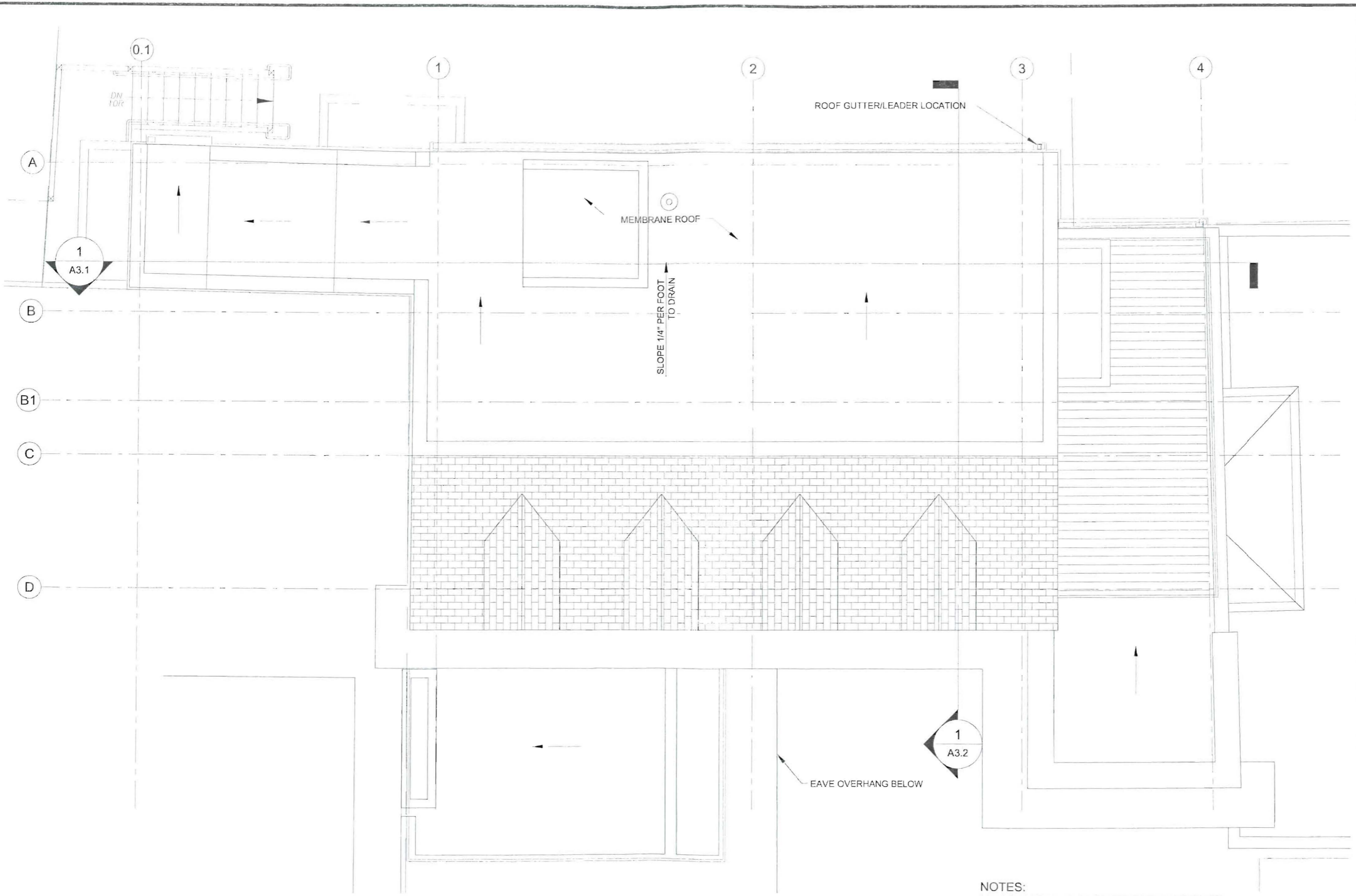
NOTES:
1. SEE DRAWING G1.1 FOR LOCATION & TYPE OF FIRE RATED PARTITIONS

1 THIRD FLOOR PLAN
A-1.3 3/16" = 1'-0"

36" HIGH GALVANIZED STEEL GUARD RAIL WITH MIDRAILS, SPACED 4" MAX



1 MEZZANINE FLOOR PLAN
A-1.4 3/16" = 1'-0"



1 ROOF PLAN
A-1.5 3/16" = 1'-0"

NOTES:
MECHANICAL AND PLUMBING ELEMENTS
ARE NOT SHOWN, REFER TO MECHANICAL
AND PLUMBING DRAWINGS

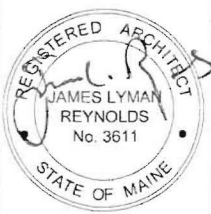
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ARCHITECT P.C.

PROPOSED ADDITIONS TO
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CONSULTANTS:

AMENDMENTS:
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PROJECT No. INDIA ST
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SCALE: 3/16"=1'0"

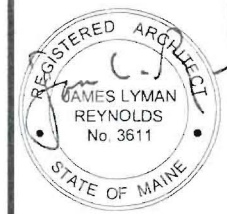
SHEET TITLE:
ROOF
PLAN

A1.5

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DATE: 8.25.08
 PROJECT No. INDIA ST
 DRAWN BY: JLR
 CHECKED BY: JLR
 SCALE: 1/8"=1'-0"
 SHEET TITLE:
 SOUTH WEST ELEVATION

A2.1

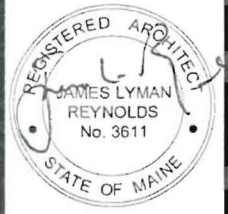
KEY TO MATERIALS

MATERIAL	COLOR	
B1	BRICK - EXISTING	EXISTING
B2	BRICK - NEW	TO MATCH EXISTING BRICK
B3	BLOCK - EXISTING	EXISTING
C1	CORNICE - WOOD	WHITE
C2	BAY WINDOW	DARK GREEN
M1	METAL - PANEL	METECNO MORIN L-24W-2 LINEAR PANEL W/ CONCEALED FASTNERS LIGHT CHARCOAL GREY
M2	METAL - FLASHING	TO MATCH M1
M3	METAL - STRUT	GALVANIZED STEEL
S1	SLATE	GREY MIX
F1	FENCE - PRIVACY	DARK GREEN
F2	FENCE - PRIVACY	DARK GREEN
G1	GUTTER - STEEL	GALVANIZED
G2	LEADER - STEEL	GALVANIZED
H1	HANDRAIL/GUARD	GALVANIZED
W1	WINDOW - BTHRM	DARK GREEN
W2	WINDOW - KITCHEN	DARK GREEN
W3	WINDOW - STAIR	DARK GREEN
W4	WINDOW- DORMER	DARK GREEN
W5	WINDOW - BAY	DARK GREEN
V1	VENT - BATHROOM	PAINT TO MATCH M1
V2	VENT - RANGEHOOD	PAINT TO MATCH M1
V3	VENT - BOILER	BLACK
V4	VENT - DRYER	PAINT TO MATCH M1

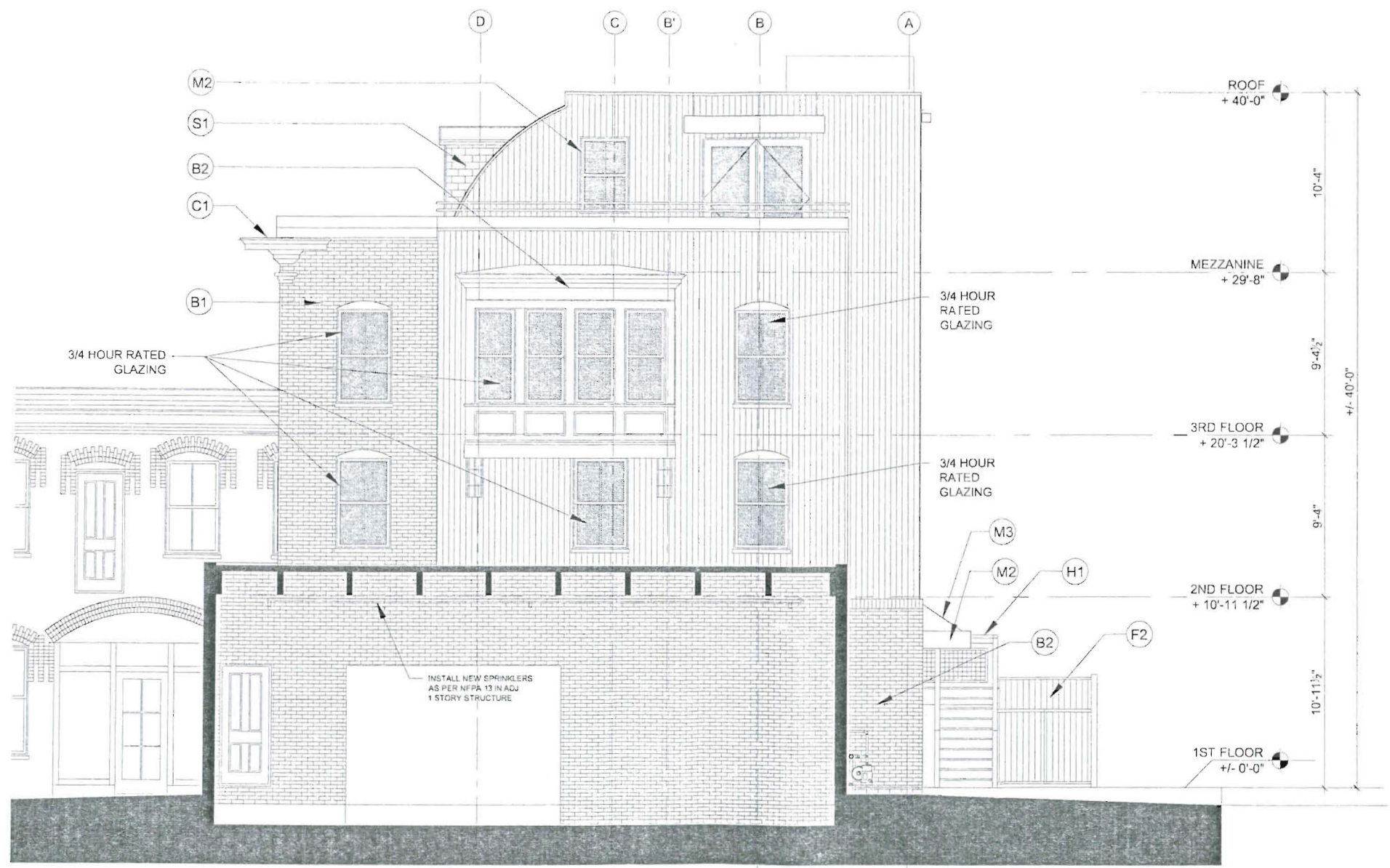


1 SOUTH WEST ELEVATION
 A-2.1 1/8" = 1'-0"

NOTES:
 1. SEE DRAWING G1.2 FOR ALLOWABLE AREA OF UNPROTECTED OPENINGS.



NOTES:
1. SEE DRAWING G1.2 FOR ALLOWABLE AREA OF UNPROTECTED OPENINGS.
2. SEE DRAWING A2.1 FOR KEY TO MATERIALS

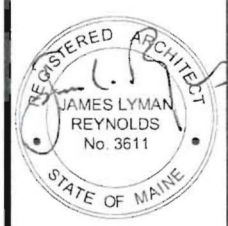


1 SOUTHEAST ELEVATION
A-2.2 3/16" = 1'-0"

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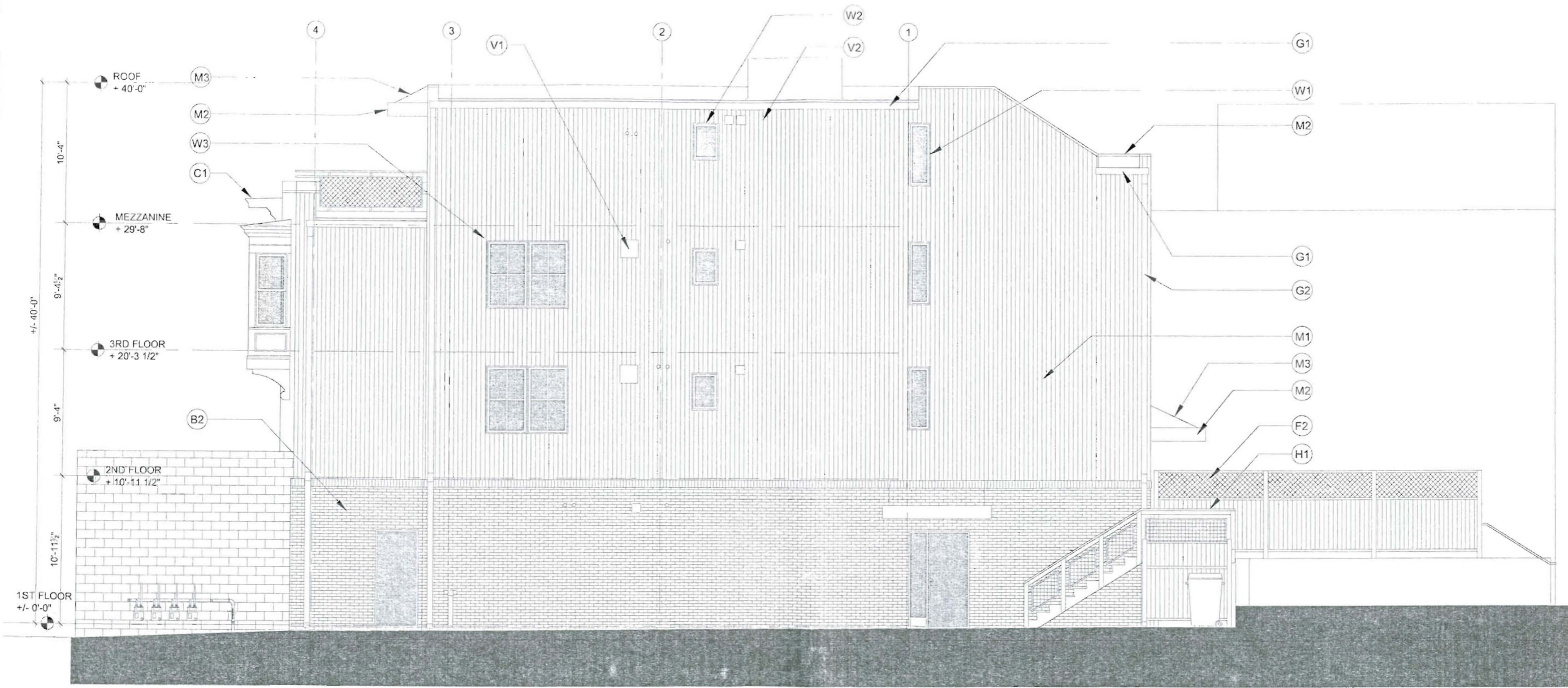
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DATE: 8.25.08
 PROJECT No. INDIA ST
 DRAWN BY: JLR
 CHECKED BY: JLR
 SCALE: 1/8" = 1'-0"

SHEET TITLE:
 NORTH EAST ELEVATION

A2.3



1 NORTHEAST ELEVATION
 A-2.3 1/8" = 1'-0"

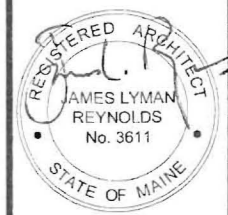
NOTES:
 1. SEE DRAWING G1.2 FOR ALLOWABLE AREA OF UNPROTECTED OPENINGS.
 2. SEE DRAWING A2.1 FOR KEY TO MATERIALS

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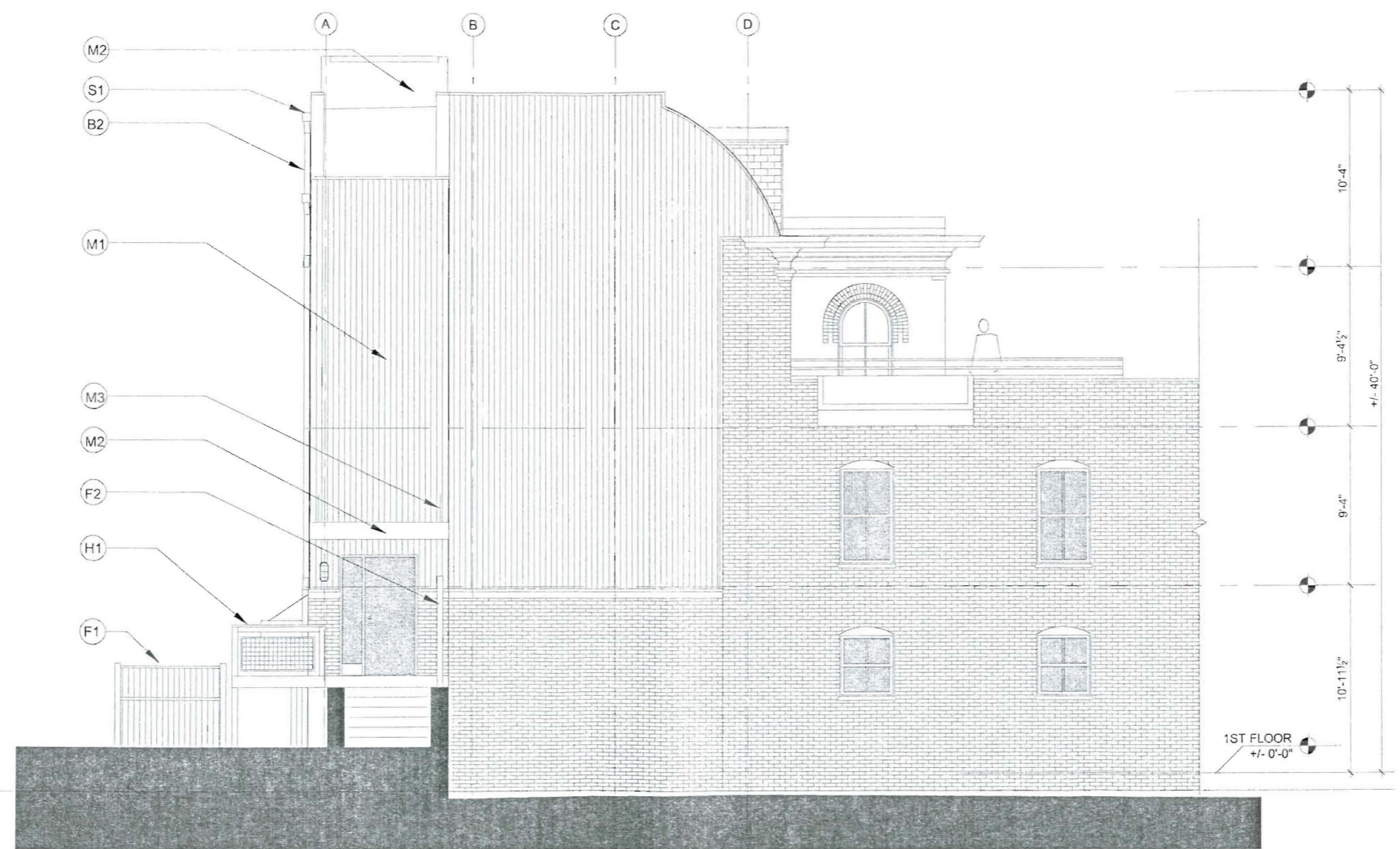
PROJECT No. INDIA ST

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CHECKED BY: JLR

SCALE: 1/8" = 1'0"

SHEET TITLE:
 NORTH WEST ELEVATION



1 NORTHWEST ELEVATION
 A-2.4 1/8" = 1'-0"

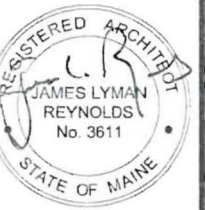
A2.4

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DATE: 8.25.08

PROJECT No. INDIA ST

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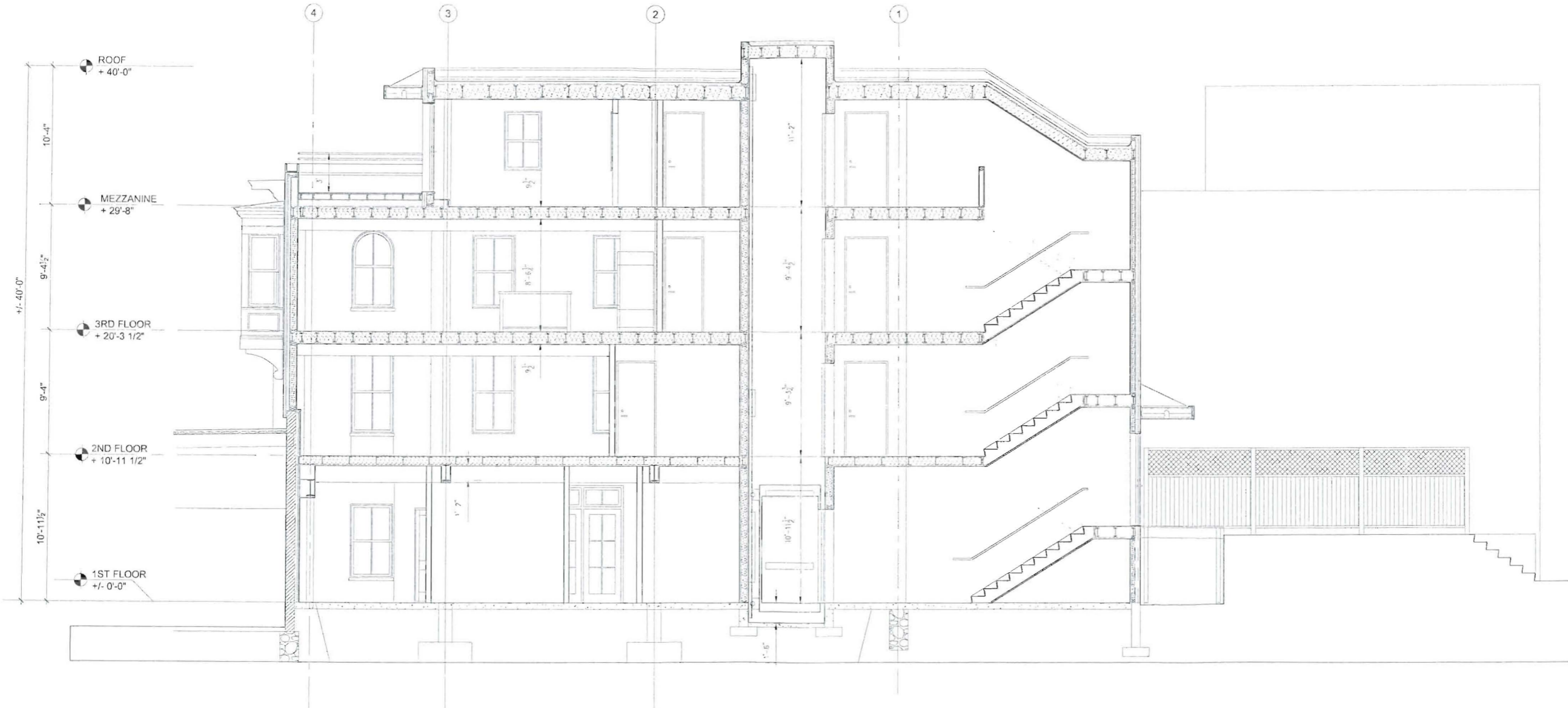
CHECKED BY: JLR

SCALE: 1/8" = 1'-0"

SHEET TITLE:
 BUILDING SECTION

A3.1

NOTES:
 1. SEE DRAWING G1.4 AND G1.5
 FOR WALL, FLOOR AND ROOF
 ASSEMBLIES

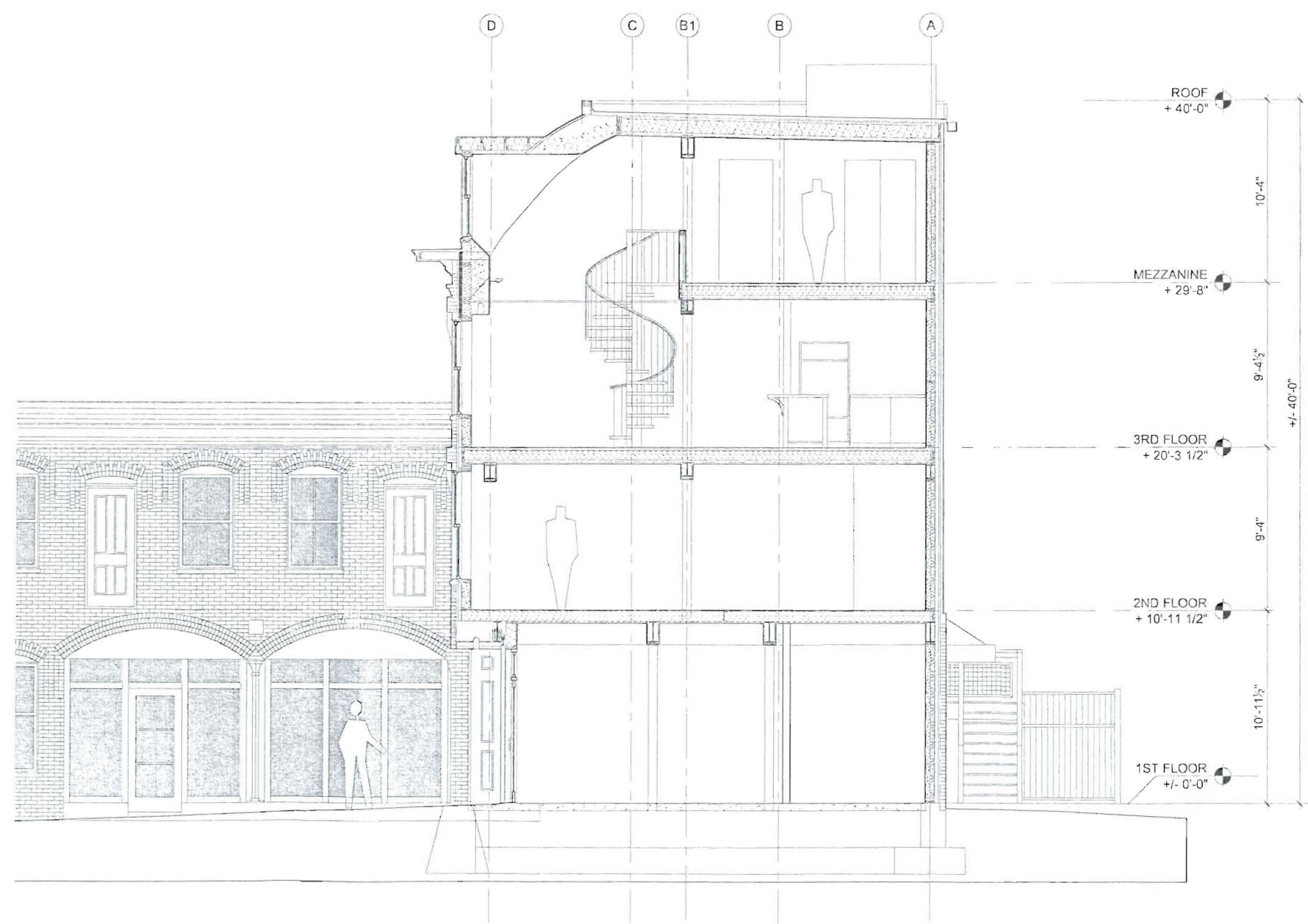


1 BUILDING SECTION
 A-3.1 1/8" = 1'-0"

NOTES:
 1. SEE DRAWING G1.4 AND G1.5
 FOR WALL, FLOOR AND ROOF
 ASSEMBLIES

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PROPOSED ADDITIONS TO
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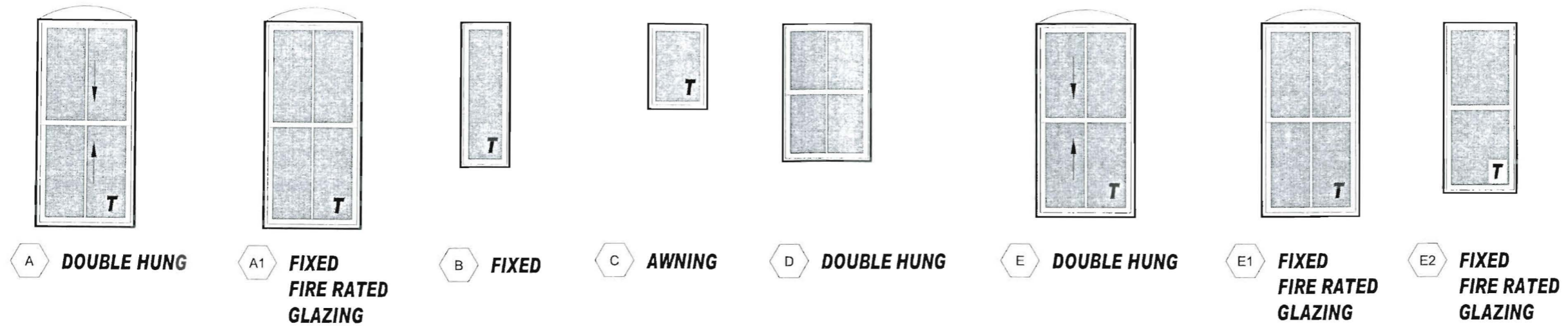
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SHEET TITLE:
 BUILDING
 SECTION

1 BUILDING SECTION
 A-3.2 1/8" = 1'-0"

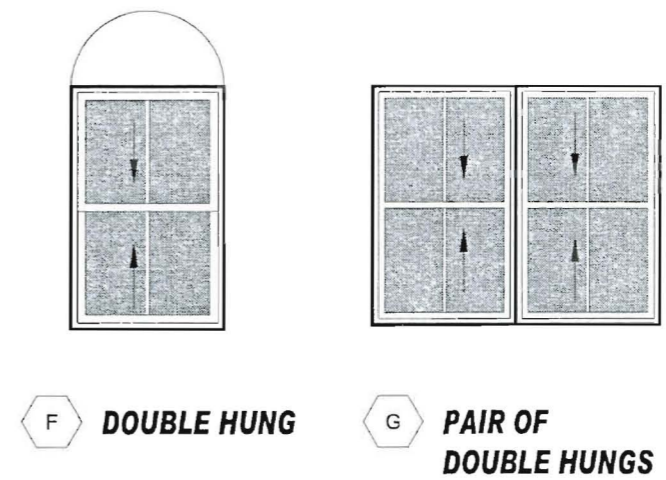
A3.2

WINDOW TYPES - SCALE 1/4"=1'-0"



LEGEND:
 T = TEMPERED GLASS
 FG = FIBERGLASS
 AL = ALUMINUM
 DH = DOUBLE HUNG
 AW = AWNING
 LV = LOUVER
 F = FIXED
 CL = GLIDER

NOTES:
 1. ALL GLAZING WITHIN 18" OF THE FLOOR TO BE TEMPERED
 2. FULL SCREENS ALL OPENINGS
 3. CONTRACTOR TO VERIFY ALL ROUGH OPENINGS
 4. CONTRACTOR TO VERIFY THAT ALL EGRESS OPENINGS MEET EGRESS REQUIREMENTS
 5. ALL EXTERIOR GLAZING INSULATED
 6. FRAME OPENINGS WITH ELEVATIONS



WINDOW SCHEDULE

KEY	ACTION	ROUGH OPENING (WxH) VIF	R.O. HEAD HEIGHT FROM SUB FLOOR	DETAILS			MATERIAL	FINISH	REMARKS
				HEAD	JAMB	SILL			
A	DH	3'-2-1/2" X 6'-8-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS
A1	F	3'-2-1/2" X 6'-8-1/2"	-	-	-	-	MTL	-	3/4 HOUR FIRE RATED GLAZING - PERMANANTLY FIXED 2 OVER 2 WITH FIRE RATED FRAME
B	F	1'-8-1/2" X 4'-8-1/2"	-	-	-	-	MTL	-	TEMPERED GLASS
C	AW	2'-0-1/2" X 2'-9-1/2"	-	-	-	-	MTL	-	TEMPERED GLASS
D	DH	3'-0-1/2" X 5'-0-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS
E	DH	3'-2-1/2" X 6'-2-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS
E1	F	3'-2-1/2" X 6'-2-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS, 3/4 HOUR FIRE RATED GLAZING - PERMANANTLY FIXED 2 OVER 2 WITH FIRE RATED FRAME
E2	F	2'-4-1/2" X 5'-6-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS, 3/4 HOUR FIRE RATED GLAZING - PERMANANTLY FIXED 2 OVER 2 WITH FIRE RATED FRAME
F	DH	3'-2-1/2" X 5'-0-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS
G	DH	6'-0-1/2" X 5'-0-1/2"	-	-	-	-	MTL	-	PAIR OF DOUBLE HUNG, EGRESS IN BEDROOMS

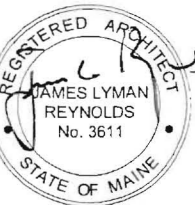
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 PORTLAND, MAINE 04101
 PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

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SHEET TITLE:
 WINDOW SCHEDULE

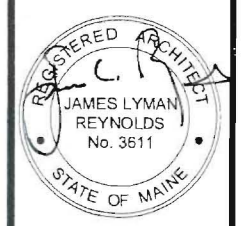
A7.0

PROPOSED ADDITIONS TO
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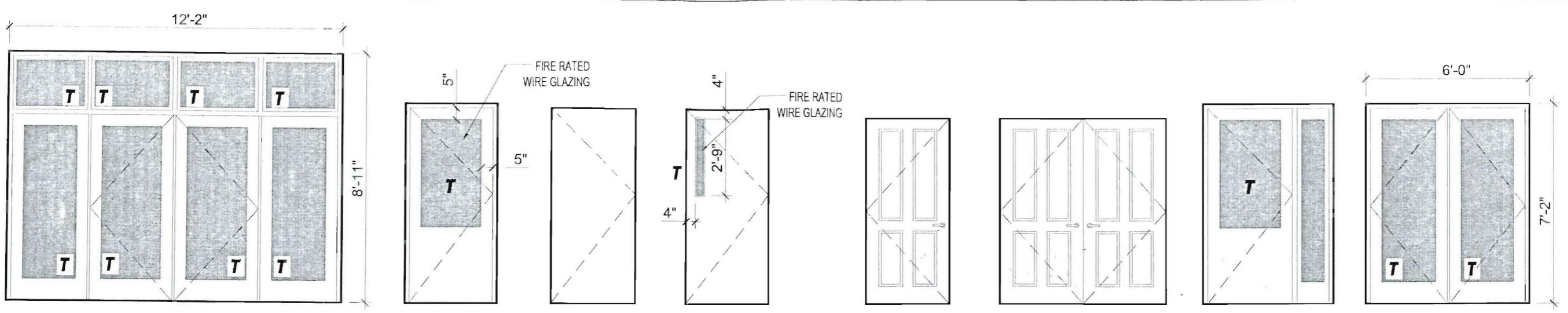
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SCALE: AS INDICATED

SHEET TITLE:
 DOOR SCHEDULE PLAN

A7.1

DOOR TYPES - SCALE 1/4"=1'-0"



A DOUBLE DOOR WITH SIDELIGHTS & TRANSOMS
B SINGLE DOOR
C SINGLE DOOR
D SINGLE DOOR SAFETY GLAZED
E 4 PANEL INTERIOR
F 4 PANEL INTERIOR DOUBLE
G SINGLE DOOR W/ SIDELIGHT
H DOUBLE DOOR WITH SIDELIGHT

DOOR SCHEDULE

DOOR NO	DOOR							FRAME				GENERAL				
	TYPE	SIZE			MATERIAL	FINISH	INSULATED	TYPE	MATERIAL	DETAILS			CLOSER	FIRE RATING (MINUTES)	HARDWARE	REMARKS
		WIDTH	HEIGHT	THICKNESS						HEAD	JAMB	SILL				
100	A	12'-2"	8'-11"	-	MTL	-	Y	-	MTL	-	-	-	Y	45	MLS	SLIDING SECURITY GATE WITH 3'-0" X 6'-8" DOOR WITH PANIC HDW.
101	E	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	Y	45	MLS	EXISTING DOOR
102	C	3'-0"	7'-0"	-	MTL	-	Y	-	MTL	-	-	-	Y	-	-	PANIC HARDWARE
103	G	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	Y	-	-	EGRESS HARDWARE / FIXED SIELIGHT
104	C	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	Y	-	-	-
105	C	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	Y	-	PR	SELF CLOSER
106	C	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	Y	-	LS	EGRESS HARDWARE
108	G	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	Y	-	LS	EGRESS HARDWARE/ FIXED SIELIGHT
200	C	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	Y	45	-	-
201	F	2@2'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	-	-	-	-
202	E	2@2'-6"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	Y	-	PR	PANIC HARDWARE
300	C	5'-0"	6'-8"	-	MTL	-	Y	-	MTL	-	-	-	-	-	-	DOUBLE DOOR WITH 2'-6" SIDELIGHT AND TRANSOM WINDOWS
301	F	2'-6"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	-	-
302	F	2'-6"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	-	-
303	E	3'-0"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	PR	-
304	H	3'-0"	6'-8"	-	MTL	-	-	-	MTL	-	-	-	-	-	-	PANIC HARDWARE

DOOR SCHEDULE (CONTINUED)

DOOR NO	DOOR							FRAME				GENERAL				
	TYPE	SIZE			MATERIAL	FINISH	INSULATED	TYPE	MATERIAL	DETAILS			CLOSER	FIRE RATING (MINUTES)	HARDWARE	REMARKS
		WIDTH	HEIGHT	THICKNESS						HEAD	JAMB	SILL				
400	C	5'-0"	7'-0"	-	MTL	-	Y	-	MTL	-	-	-	-	45 MIN	MLS	-
401	H	2'-6"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	-	-
402	F	2@2'-6"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	-	-
403	E	2@2'-6"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	PR	DOUBLE DOOR
404																
405	E	3'-0"	6'-8"	-	MTL	-	-	-	MTL	-	-	-	-	-	-	-
406	F	2@3'-0"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	-	-



PROPOSED ADDITIONS to EXISTING BUILDING at 61 INDIA STREET PORTLAND, MAINE

12/13/10 met with Joe Reynolds

JAMES LYMAN REYNOLDS
ARCHITECT P.C.
**PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101**
PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

ZONE REQUIREMENTS

For City Planning Zone: B2b

Dimension requirements	Required	Proposed
Min. Lot Size (Bus. use)	None	7,672 sf.
Min. Area/unit (Res. use)	1,000 sf/unit	7,672 sf/unit
Min. Street Frontage	50'	49.50' (as existing)
Min/Max. Front Yard	NA	(as existing)
Min. Rear Yard	10'	10.5'
Min. Side Yard	None	None (as existing)
Min. Lot Width	None	49.1' (as existing)
Max. Structure Height	45'	40.0'
Max. Impervious area	90%	94.5% (as existing)

Car park requirements	Required	Proposed
Extg. Res. units	2 spaces	2 spaces
Extg. Retail unit (<2,000sf)	0 spaces	0 spaces
New Retail unit (<2,000sf)	0 spaces	0 spaces
New Bus. unit (<1,000sf)	2 spaces	2 spaces
New Res. units	1 spaces	1 spaces
Total car parks	5 spaces	5 spaces

DRAWING INDEX

G1.0	Zone Requirements & Drawing Index	A1.1	Proposed 1st Floor
G1.1	Code Summary & Fire Protection	A1.2	Proposed 2nd Floor
G1.2	Boundary Separation Distances	A1.3	Proposed 3rd Floor
G1.3	Area of unprotected openings	A1.4	Proposed Mezzanine Level
G1.4	Exterior wall & roof assemblies	A1.5	Proposed Roof Plan
G1.5	Interior & floor assemblies	A2.1	Proposed Elevation: Southwest
C0.1	Site Demolition Plan	A2.2	Proposed Elevation: Southeast
C1.0	Site Layout & Grading Plan	A2.3	Proposed Elevation: Northeast
C1.1	Utility Plan	A2.4	Proposed Elevation: Northwest
C1.2	Site Details	A3.1	Building Section
C1.3	Site Details	A3.2	Building Section
L1.0	Landscape Plan	A5.1	Details
E1.0	Exterior Electric Plan	A5.2	Details
S0.0	Structural General Notes	A6.0	Stairs
S1.1	Foundation Plan	A7.0	Window Schedule
S1.2	Second Floor Framing Plan	A7.1	Door Schedule
S1.3	Third Floor Framing Plan		
S1.4	Fourth Floor Framing Plan		
S1.5	Roof Framing Plan		
S2.1	"C" Line Framing Section		
S2.2	Section Through Building at Archway		
S2.3	Details		

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SCALE: N/A

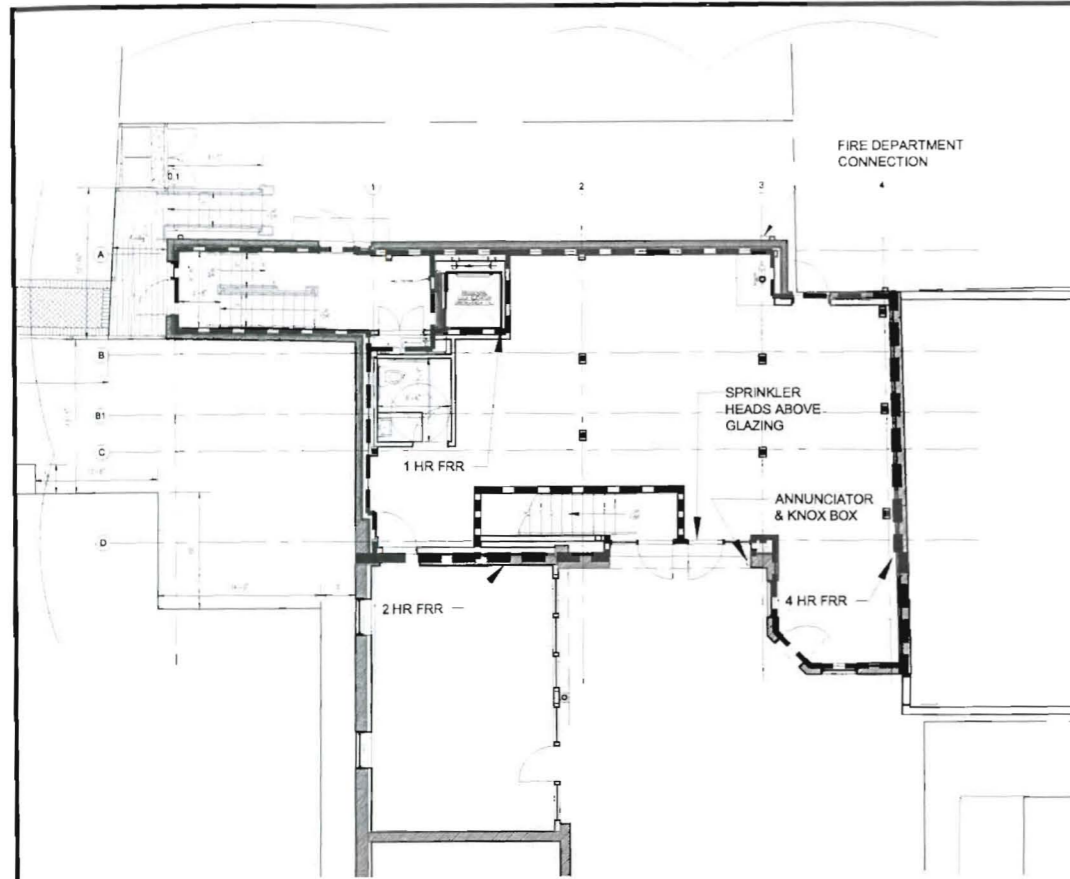
SHEET TITLE:
ZONE
SUMMARY &
DRAWING INDEX

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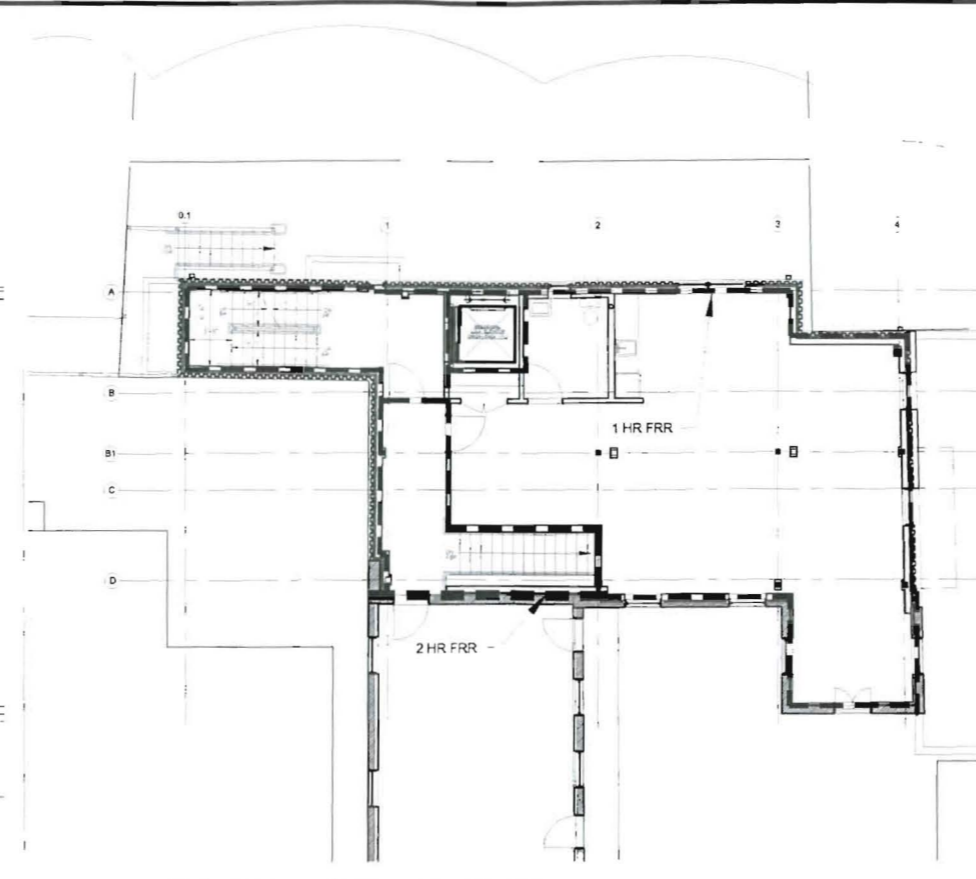
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City of Portland
Planning Division

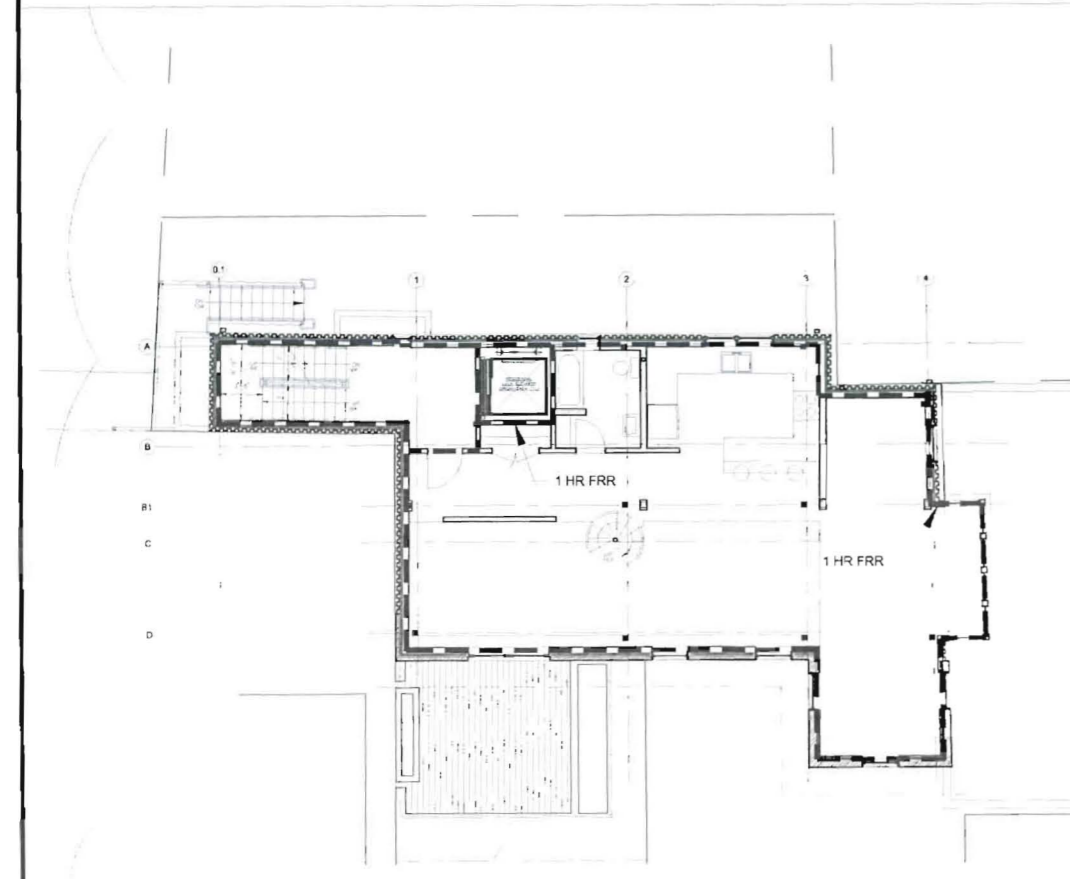
G1.0



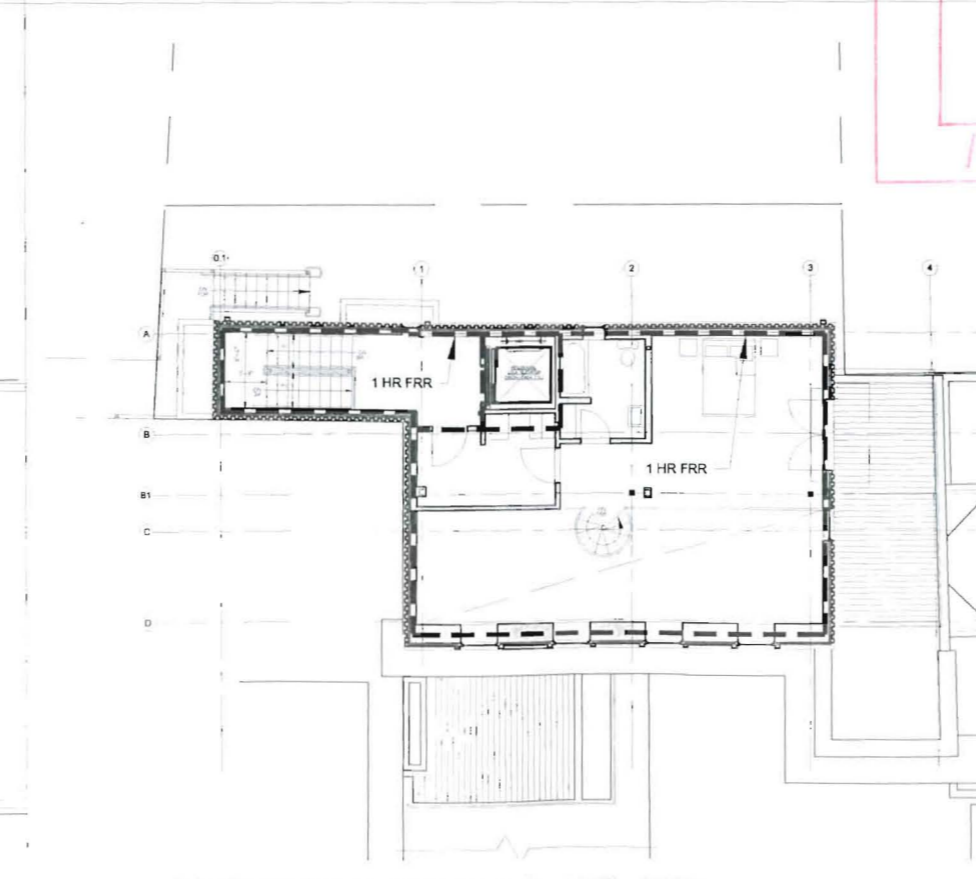
1ST. FLOOR



2ND. FLOOR



3RD. FLOOR



MEZZANINE LEVEL

DEPT. OF BUILDING
CITY OF PORTLAND
APR 25 2011

CODE SUMMARY

Building Code: IBC 2009
NFPA 101 2006

Occupancy: IBC Business Group B
IBC Residential Group R-2
IBC Mercantile Group M
NFPA Business
NFPA Residential
NFPA Mercantile

No. of Floors: 3

Construction: IBC Type 5A
NFPA 5 (111) 5

Sprinkler: NFPA 13 compliant areas served:
New 3-floor addition w/ Mezz. and adjacent 1-Story and 2-Story structures

Fire Ratings:
IBC Table 601 Structural frame 1Hr
IBC Table 601 Exterior walls (<30' sep dist) 1Hr
IBC Table 601 Exterior walls (≥30' sep dist) 0Hr
IBC Table 601 Interior walls (bearing) 1Hr
IBC Table 601 Interior walls (non bearing) 0Hr
IBC Table 601 Floors 1Hr
IBC Table 601 Roof 1 Hr
IBC 302.3.2 Occ. use separation 1 and 2Hr
IBC 1020 Stairs (< 4 floors) 1Hr
IBC 707 Fire Barriers 1and 2 Hr
IBC 1014.3.4 R-2 Common path = 125' max.
IBC 1014.3 B Common path = 100' max.
IBC 1015.1 One Means of egress
IBC 1016.1 Exit travel dist = 250' max.
IBC 1021.2 R-2 travel distance = 50' max.

FLOOR AREAS

(New 3-story addition only)	
1st Floor (Mercantile)	1,234.0
1st Floor circulation	261.6
2nd Floor (Business)	1,231.5
2nd Floor circulation	259.2
3rd Floor (Residential)	1,031.4
3rd Floor circulation	251.0
Mezzanine(Residential)	361.6
Mezzanine circulation	346.4
Total Area (square feet)	4,976.7 (gross)

JAMES LYMAN REYNOLDS ARCHITECT P.C.

PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101
PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

JAMES LYMAN REYNOLDS ARCHITECT
4303 US Route 209
Stone Ridge, NY 12484
Ph (845) 687-9161

CONSULTANTS
AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #4 - 11/20/10
REVISION #5 - 04/20/11



DATE: 8.25.08
PROJECT No. INDIA STREET
DRAWN BY
CHECKED BY JLR
SCALE AS INDICATED
SHEET TITLE
CODE SUMMARY & FIRE PROTECTION

G1.1

**PROPOSED ADDITIONS TO
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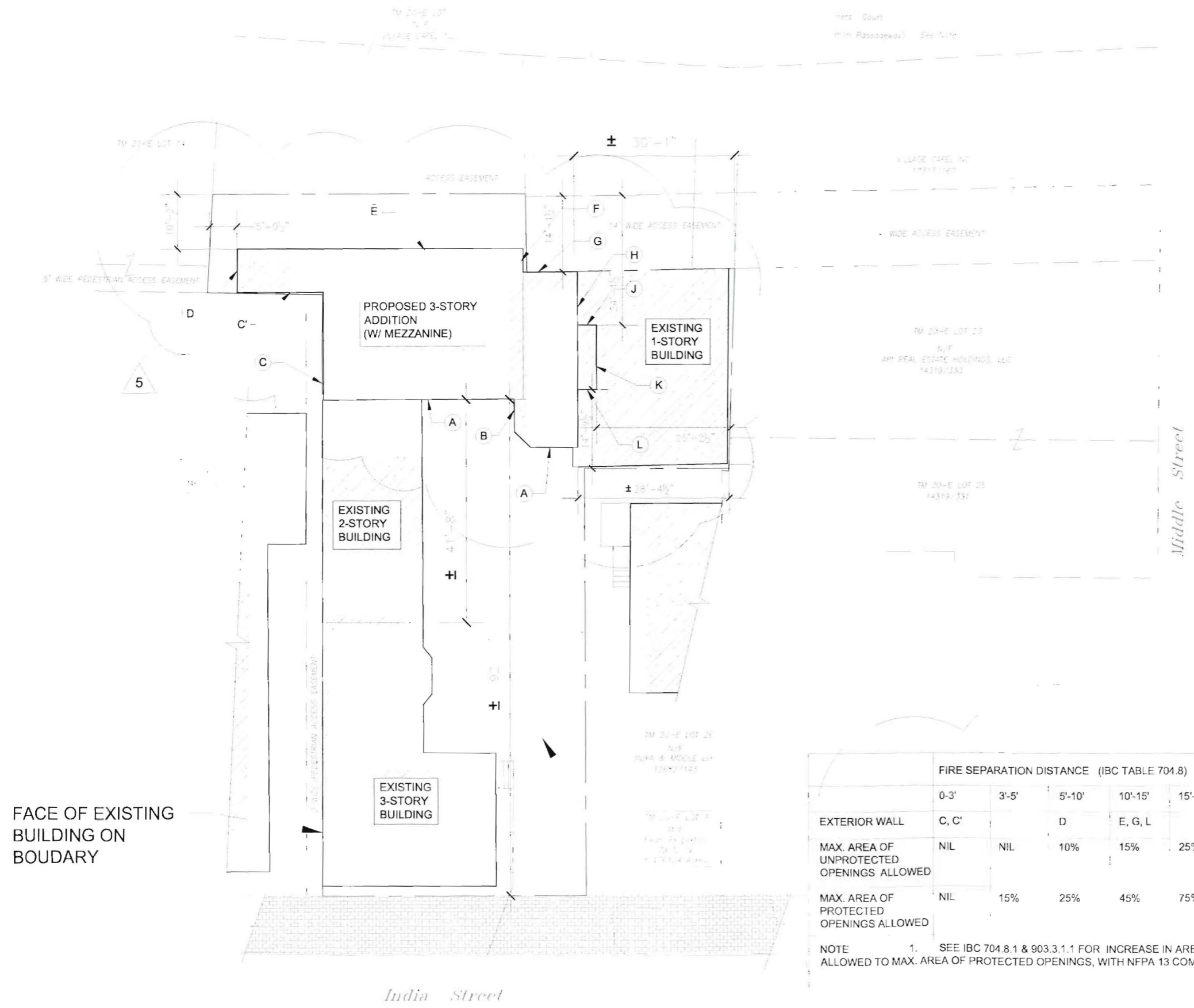
DATE: 8.25.08
PROJECT No. INDIA STREET
DRAWN BY: JLR
CHECKED BY: JLR
SCALE: AS INDICATED

SHEET TITLE:
BOUNDARY SEPARATION DISTANCES

G1.2

LEGEND

- SITE BOUNDARIES
- OTHER BOUNDARIES
- [Hatched Box] EXISTING BUILDING
- [White Box] PROPOSED BUILDING



	FIRE SEPARATION DISTANCE (IBC TABLE 704.8)							
	0-3'	3'-5'	5'-10'	10'-15'	15'-20'	20'-25'	25'-30'	>30'
EXTERIOR WALL	C, C'		D	E, G, L		J	H, K	A, B, F
MAX. AREA OF UNPROTECTED OPENINGS ALLOWED	NIL	NIL	10%	15%	25%	45%	70%	NO LIMIT
MAX. AREA OF PROTECTED OPENINGS ALLOWED	NIL	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NO LIMIT

NOTE 1. SEE IBC 704.8.1 & 903.3.1.1 FOR INCREASE IN AREA OF UNPROTECTED OPENINGS ALLOWED TO MAX. AREA OF PROTECTED OPENINGS, WITH NFPA 13 COMPLIANT SPRINKLER SYSTEM, THRUOUT

FACE OF EXISTING BUILDING ON BOUDARY

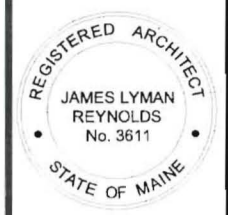
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CONSULTANTS:

AMENDMENTS:

REVISION #5 - 04/20/11



DATE: 8.25.08

PROJECT No. INDIA STREET

DRAWN BY: JLR

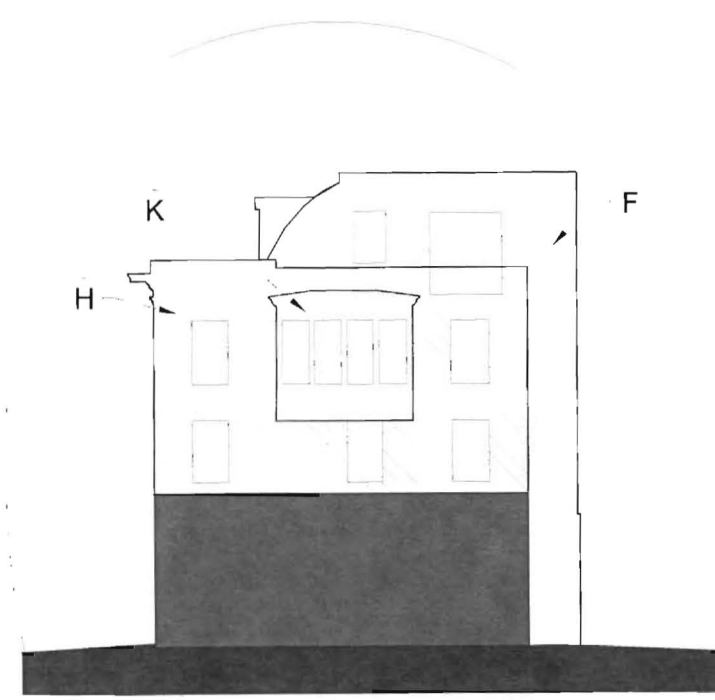
CHECKED BY: JLR

SCALE: AS INDICATED

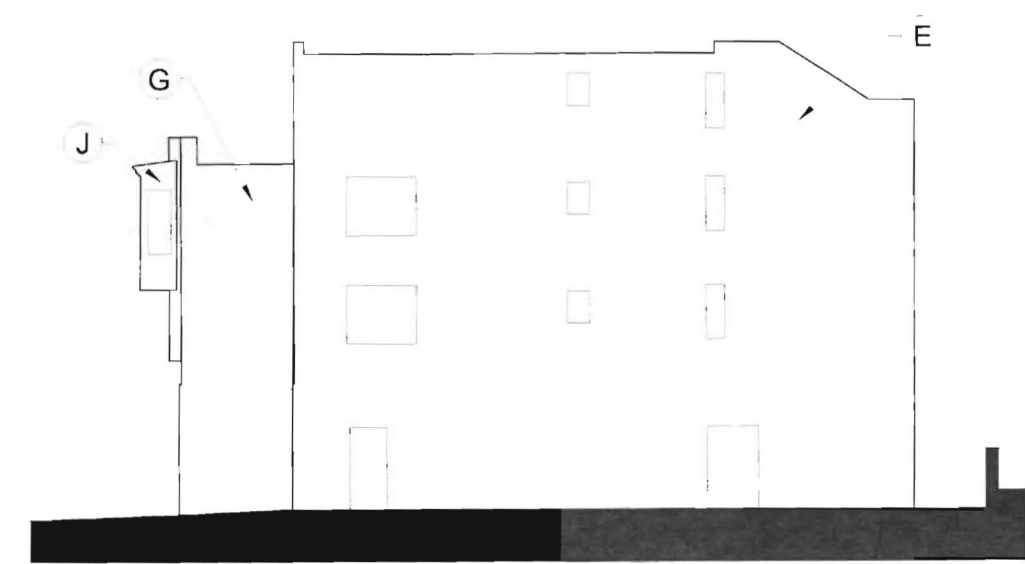
SHEET TITLE:
AREA OF UNPROTECTED OPENINGS

G1.3

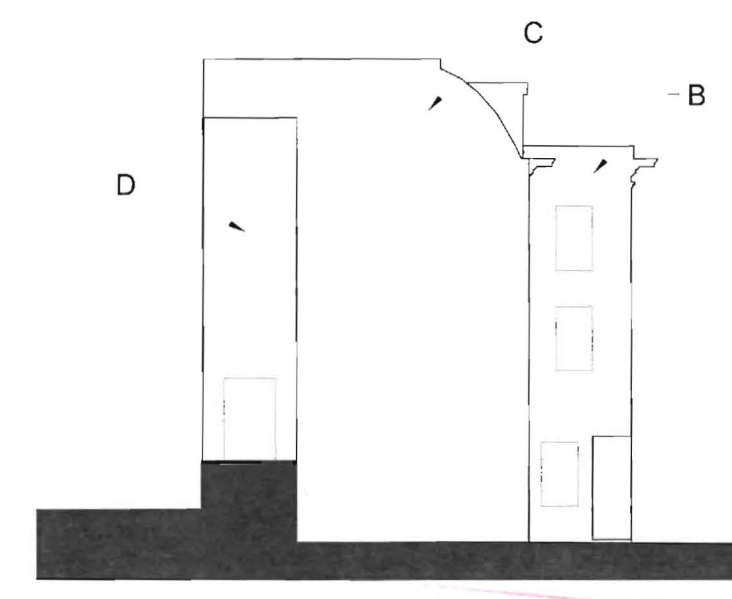
NOTES:
1. SEE DRAWING G1.2 FOR WALL LOCATIONS & SEPARATION DISTANCES TO LOT BOUNDARIES



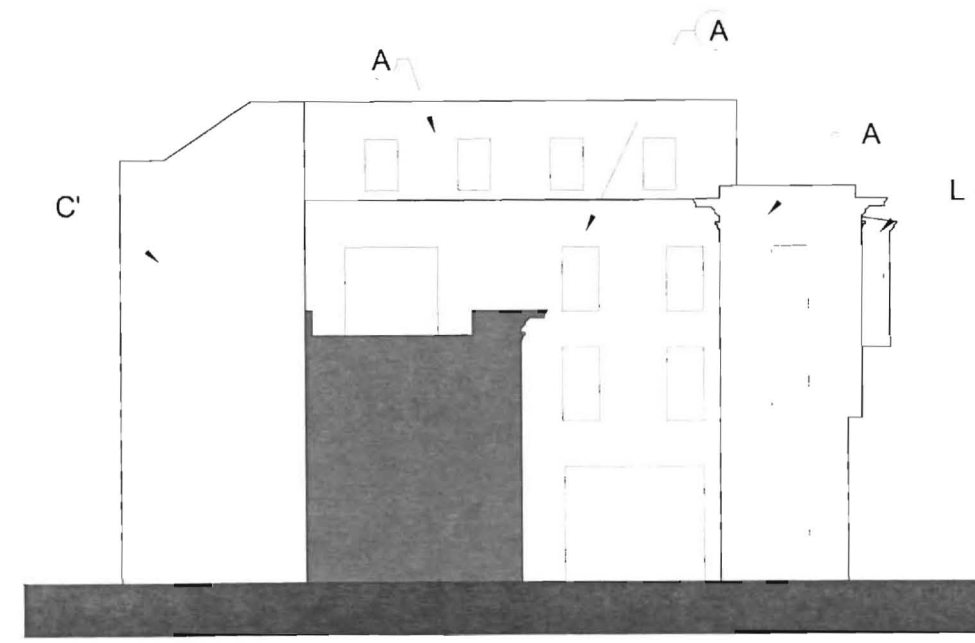
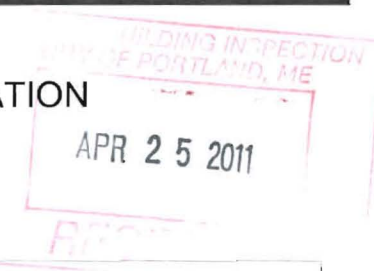
SOUTH-EAST ELEVATION



NORTH-EAST ELEVATION



NORTH-WEST ELEVATION

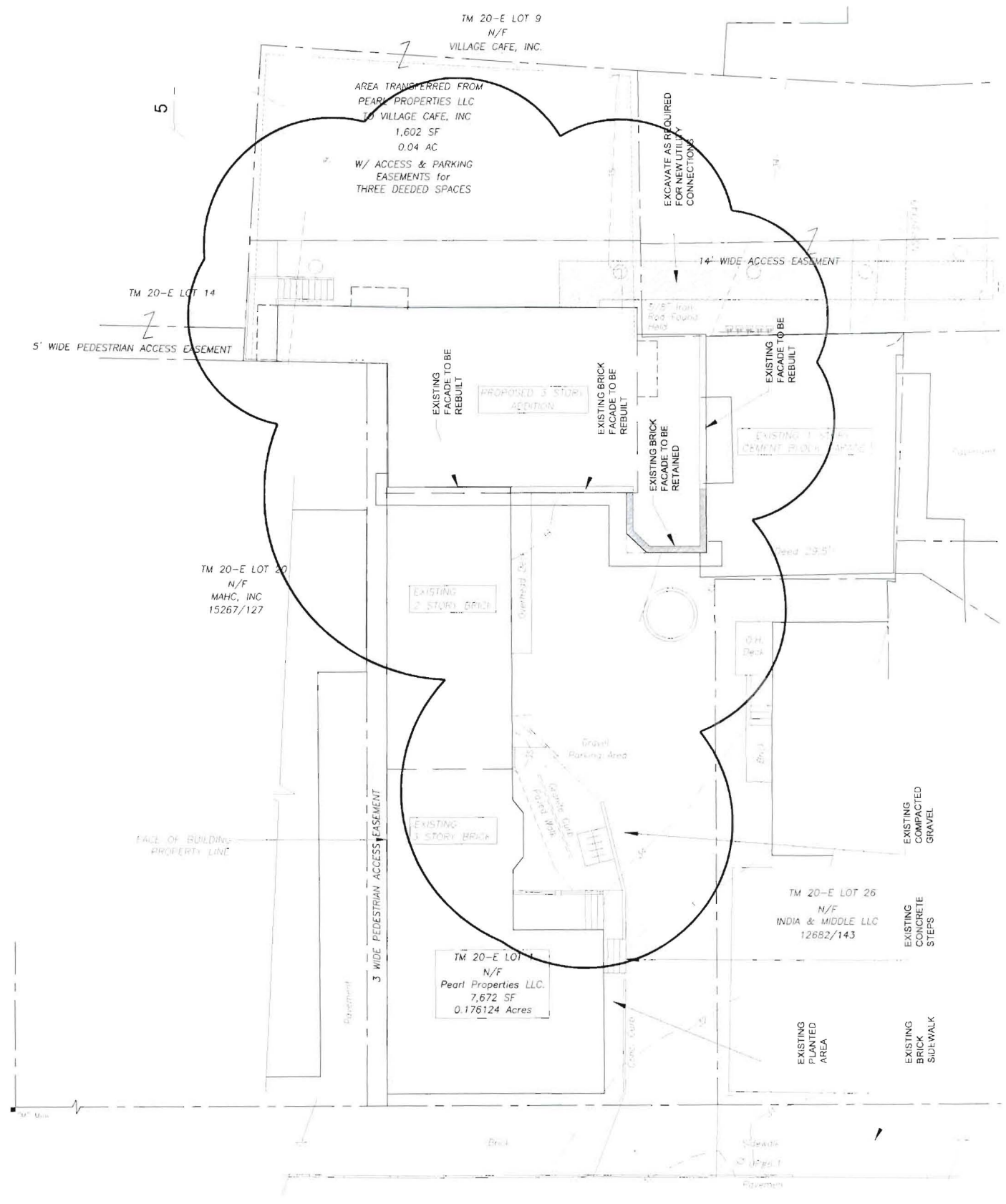
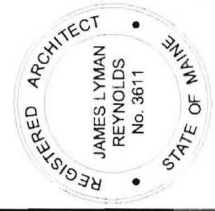


SOUTH-WEST ELEVATION

EXTERIOR WALL	AREA OF UNPROTECTED OPENINGS (NOTE 1)										
	A	B	C, C'	D	E	F	G	H	J	K	L
MAX. AREA OF UNPROTECTED OPENINGS ALLOWED	NO LIMIT	NO LIMIT	NIL	15%	45%	NO LIMIT	45%	NO LIMIT	NO LIMIT	NO LIMIT	45%
AREA OF WALL (SF)	NA	NA	1,458.9	238.3	2,065.1	332.3	296.0	491.5	34.5	147.8	26.9
AREA OF UN PROTECTED OPENINGS (SF)	NA	NA	NIL	31.6	129.6	43.1	22.4	84.9	10.7	59.2	10.7
% OF WALL UNPROTECTED	NA	NA	NIL	13.3%	6.3%	12.9%	7.6%	17.2%	31.0%	40.0%	39.8%
NOTE	1. REFER TO G1.2 FOR FIRE SEPARATION DISTANCES TO LOT BOUNDARIES. 2. WALLS C', D, AND E MUST BE RATED 1HR MIN. PER IBC 1019.1.4 FOR EXTERIOR STAIR WALL RETURNS										



SCALE: 1/16"=1'



1 SITE PLAN DEMOLITION
C0.1 1" = 20'

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REVISION #5 - 04/20/11

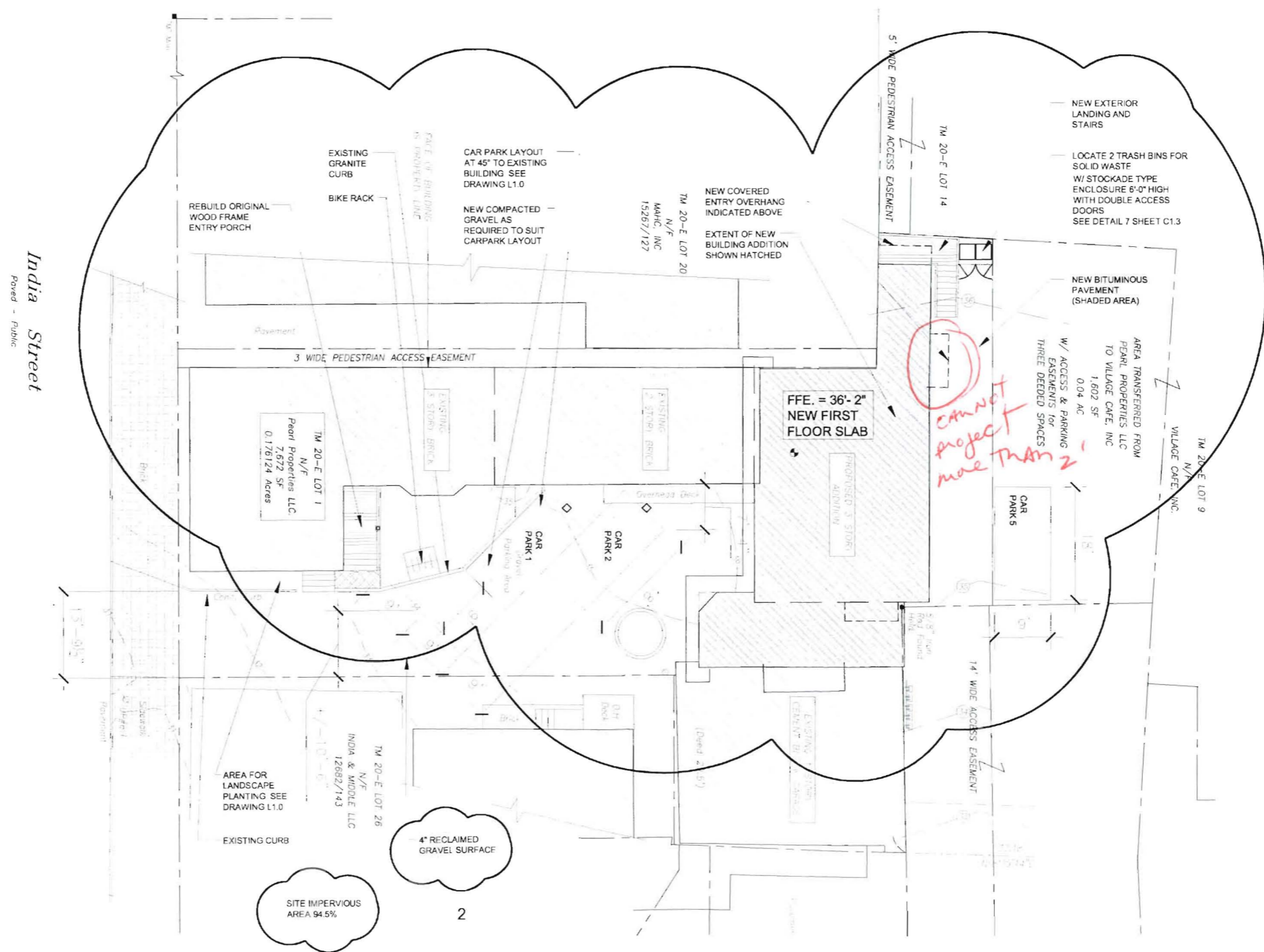


DATE: 8.25.08
PROJECT No. INDIA STREET
DRAWN BY:
CHECKED BY: JLR
SCALE: AS INDICATED

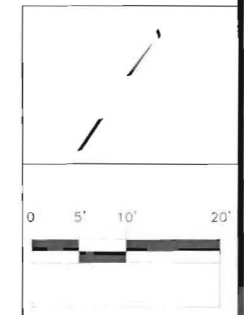
SHEET TITLE:
**SITE PLAN
PROPOSED
LAYOUT &
GRADING**

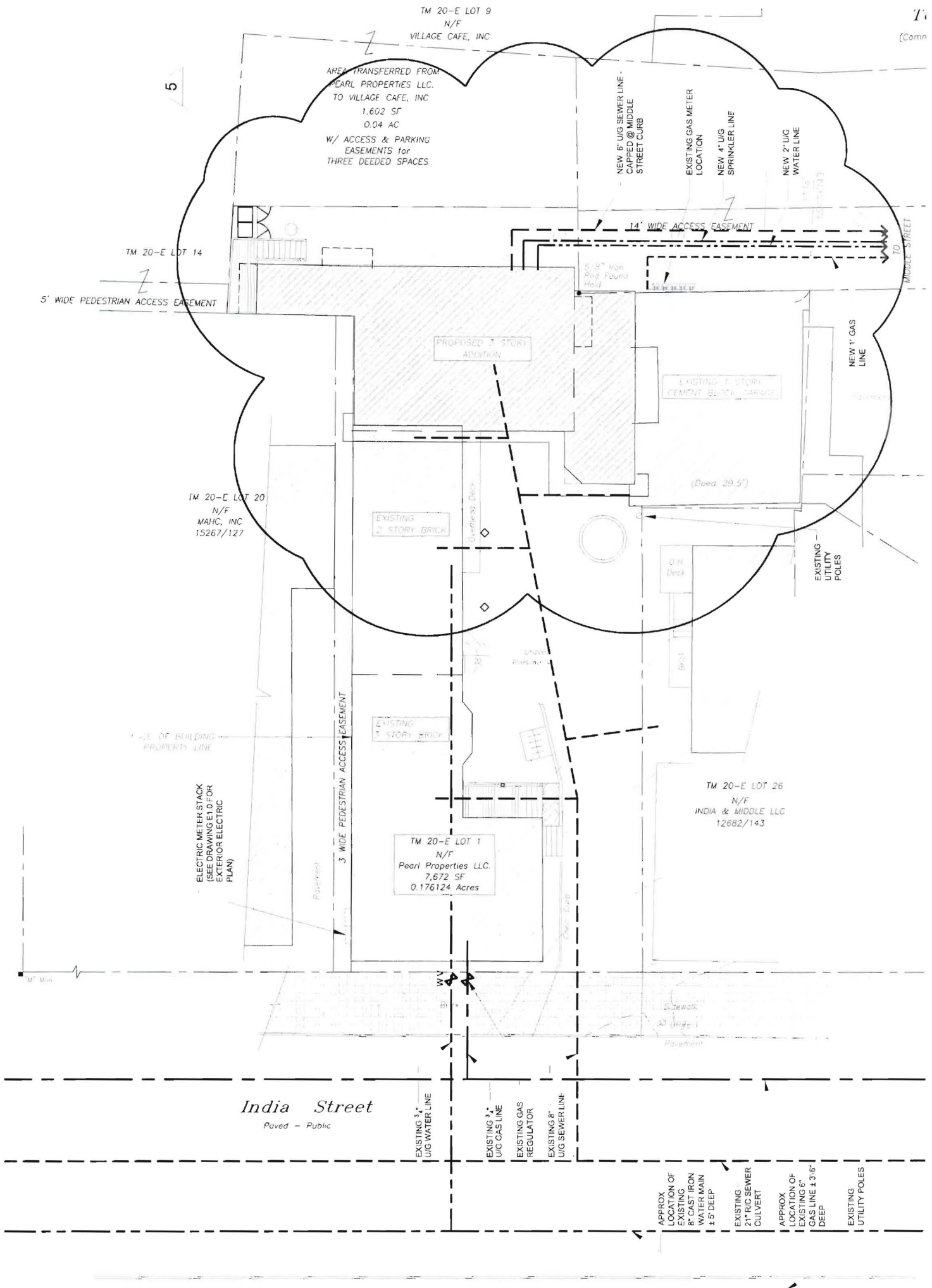
C1.0

NOTES:
1. SNOW TO BE REMOVED FROM THE SITE



1 **SITE PLAN PROPOSED**
C1.0 1" = 20'





1 UTILITY PLAN
C1.1 1" = 20'

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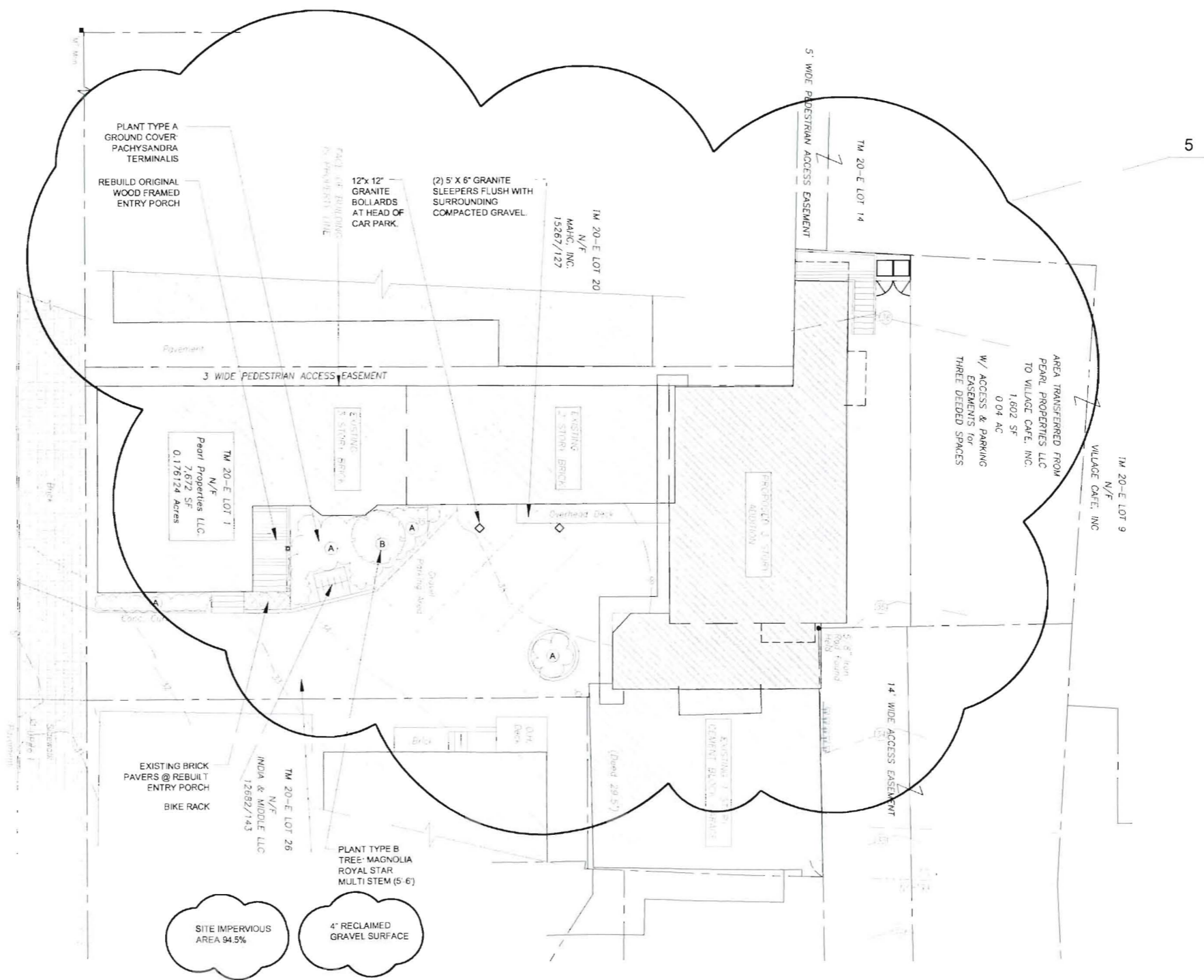
AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #3 - 3/02/09
REVISION #5 - 04/20/11



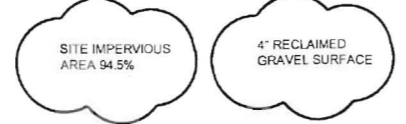
DATE: 8.25.08
PROJECT No. INDIA STREET
DRAWN BY:
CHECKED BY: JLR
SCALE: AS INDICATED

SHEET TITLE:
LANDSCAPING PLAN

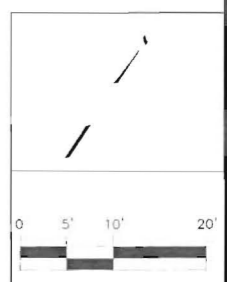
L1.0



India Street
Paved - Public



1 LANDSCAPE PLAN
L1.0 1" = 20'

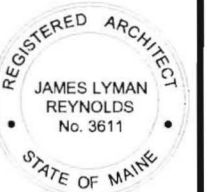


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DRAWN BY:

CHECKED BY: JLR

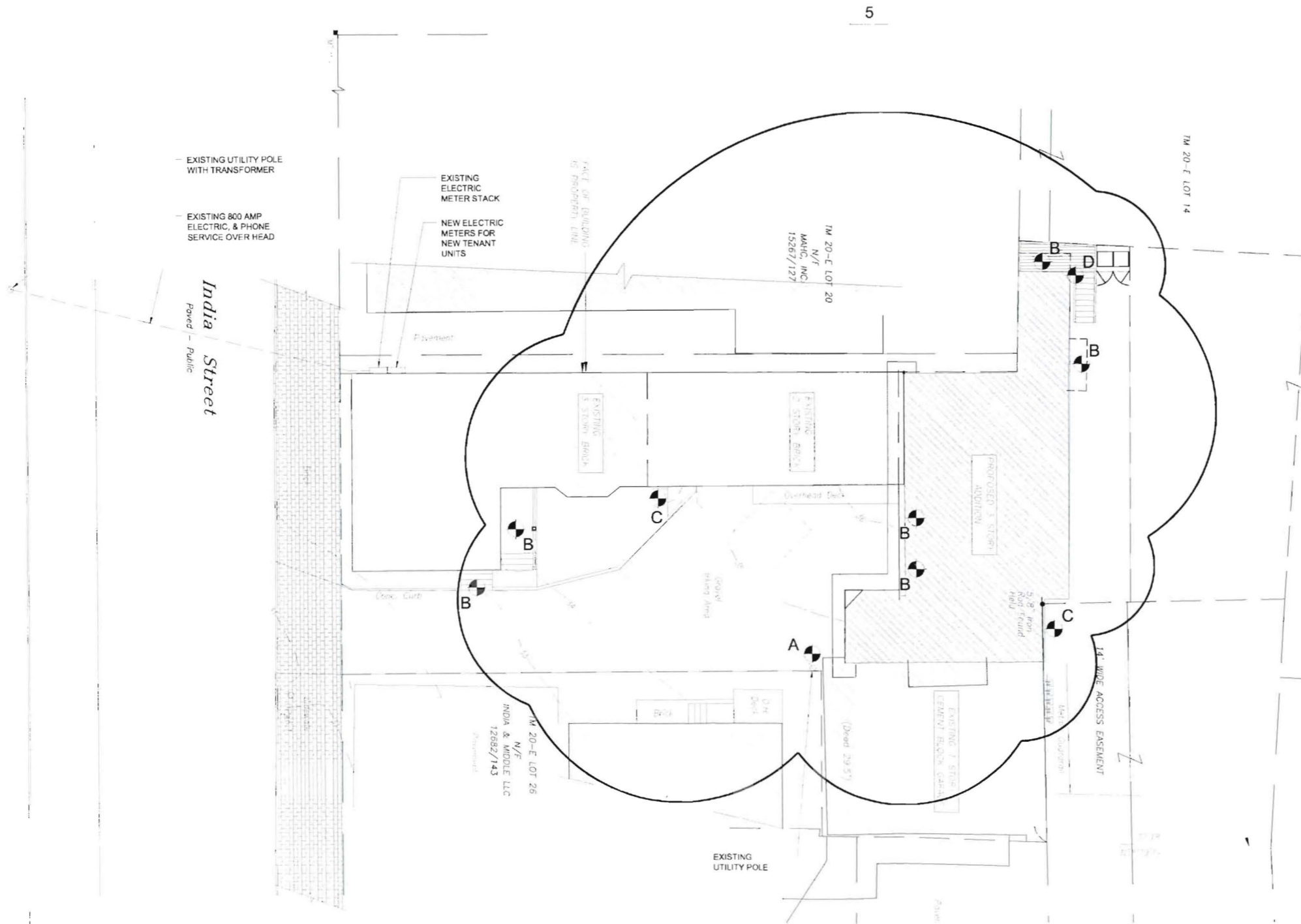
SCALE: AS INDICATED

SHEET TITLE:
EXTERIOR
ELECTRIC PLAN

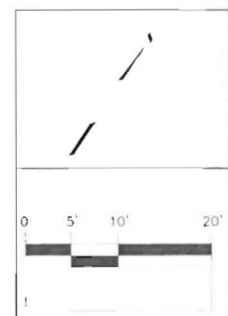
E1.0

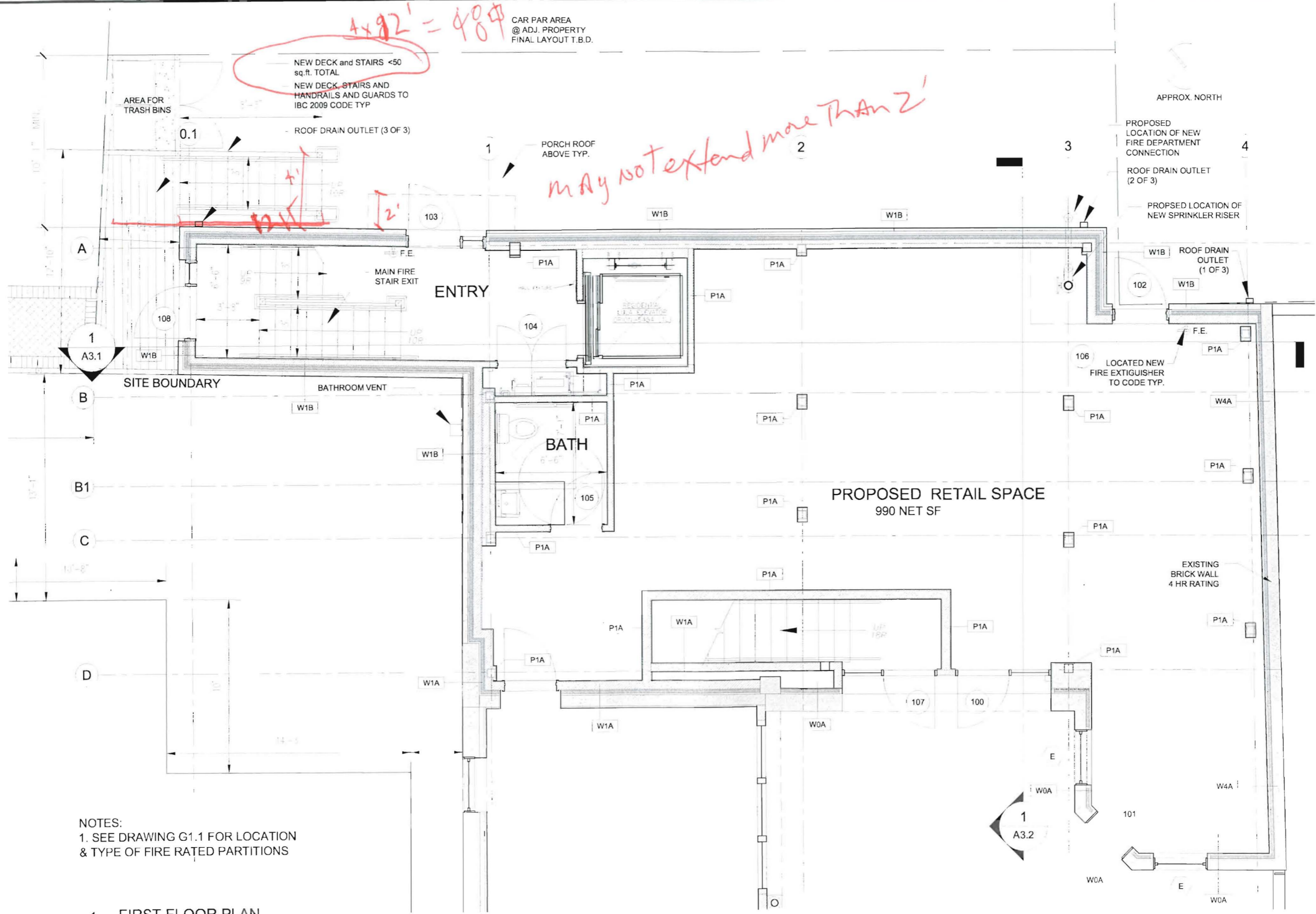
LIGHT FIXTURES:

- A POLE MOUNT
Kim Wall Form
KN-WF 21 Half face
42 w compact fluorescent
- B CANOPY CEILING
Kim Wall Form
KN-WF 20 Full face
26 w compact fluorescent
- C BUILDING MOUNT
Kim Wall Form
KN-WF 21 Half face
26 w compact fluorescent
- D BUILDING MOUNT
Kim Wall Form
KN-WF 21 Half face
42 w compact fluorescent



1 **EXTERIOR ELECTRIC PLAN**
E1.1 / 1" = 20'





4x92' = 400'

CAR PAR AREA
@ ADJ. PROPERTY
FINAL LAYOUT T.B.D.

NEW DECK and STAIRS <50
sq.ft. TOTAL
NEW DECK, STAIRS AND
HANDRAILS AND GUARDS TO
IBC 2009 CODE TYP

may not extend more than 2'

NOTES:
1. SEE DRAWING G1.1 FOR LOCATION
& TYPE OF FIRE RATED PARTITIONS

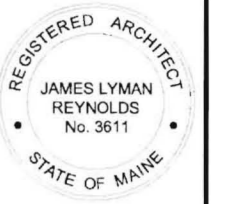
1 FIRST FLOOR PLAN
A-1.1 3/16" = 1'-0"

c JAMES LYMAN REYNOLDS
ARCHITECT P.C.

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CONSULTANTS:
AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #4 - 11/20/10
REVISION #5 - 04/20/11



DATE: 8.25.08
PROJECT No: INDIA ST
DRAWN BY: JLR
CHECKED BY: JLR
SCALE: AS INDICATED

SHEET TITLE:
FIRST
FLOOR
PLAN

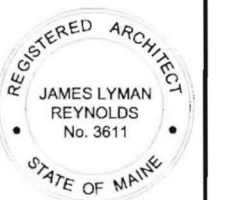
A1.1

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DATE: 8.25.08

PROJECT No. INDIA ST

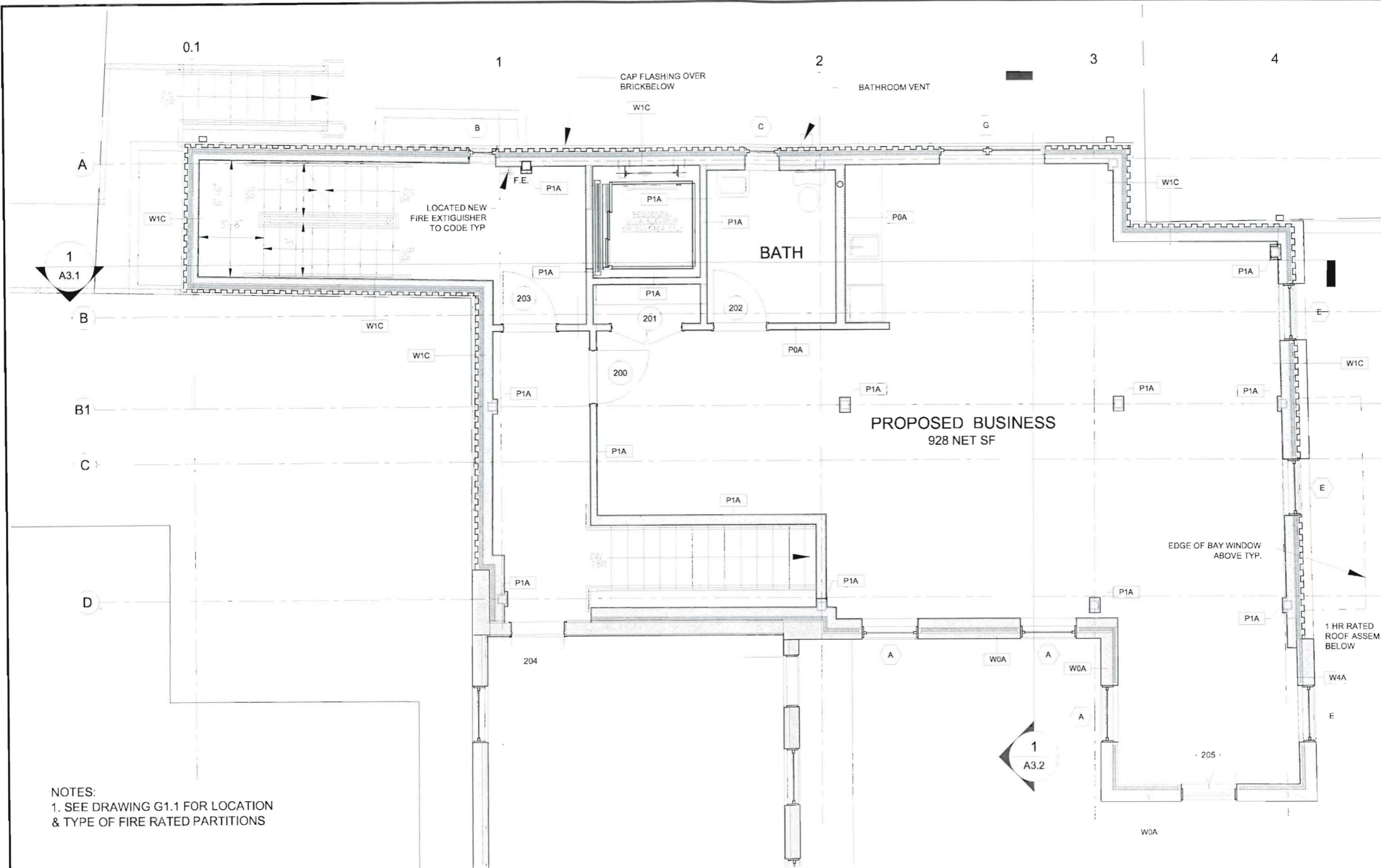
DRAWN BY: JLR

CHECKED BY: JLR

SCALE: 3/16"=1'-0"

SHEET TITLE:
SECOND
FLOOR
PLAN

A1.2



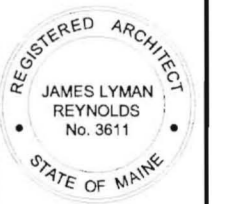
NOTES:
1. SEE DRAWING G1.1 FOR LOCATION
& TYPE OF FIRE RATED PARTITIONS

1 SECOND FLOOR PLAN
A-1.2 3/16"=1'-0"

**PROPOSED ADDITIONS TO
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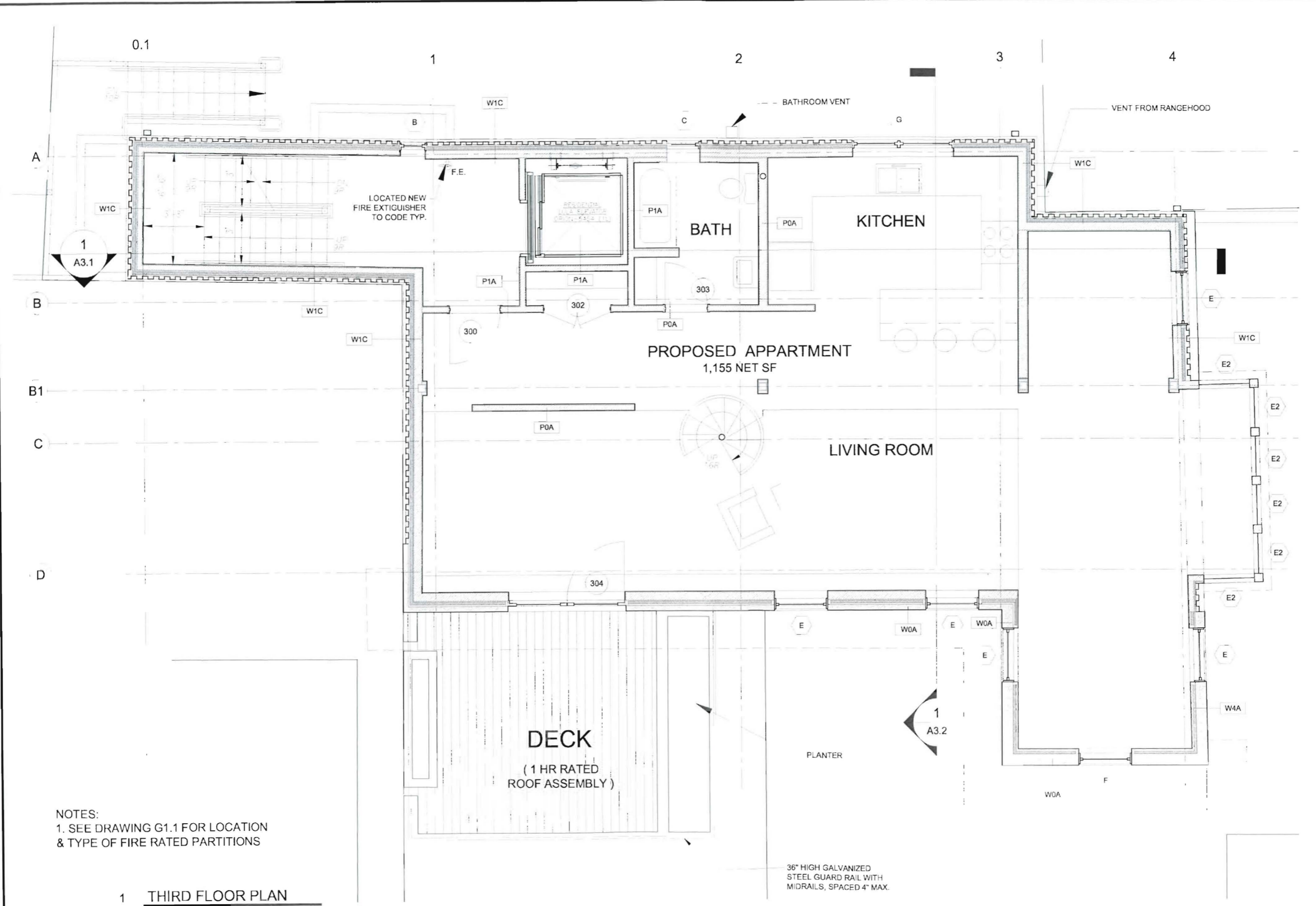
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REVISION #5 - 04/20/11



DATE: 8.25.08
PROJECT No: INDIA ST
DRAWN BY: JLR
CHECKED BY: JLR
SCALE: 3/16"=1'-0"
SHEET TITLE:
THIRD FLOOR PLAN

A1.3



NOTES:
1. SEE DRAWING G1.1 FOR LOCATION & TYPE OF FIRE RATED PARTITIONS

1 THIRD FLOOR PLAN
A-1.3 3/16" = 1'-0"

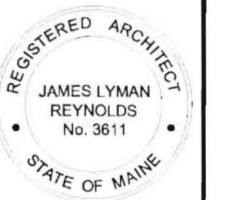
36" HIGH GALVANIZED STEEL GUARD RAIL WITH MIDRAILS, SPACED 4" MAX.

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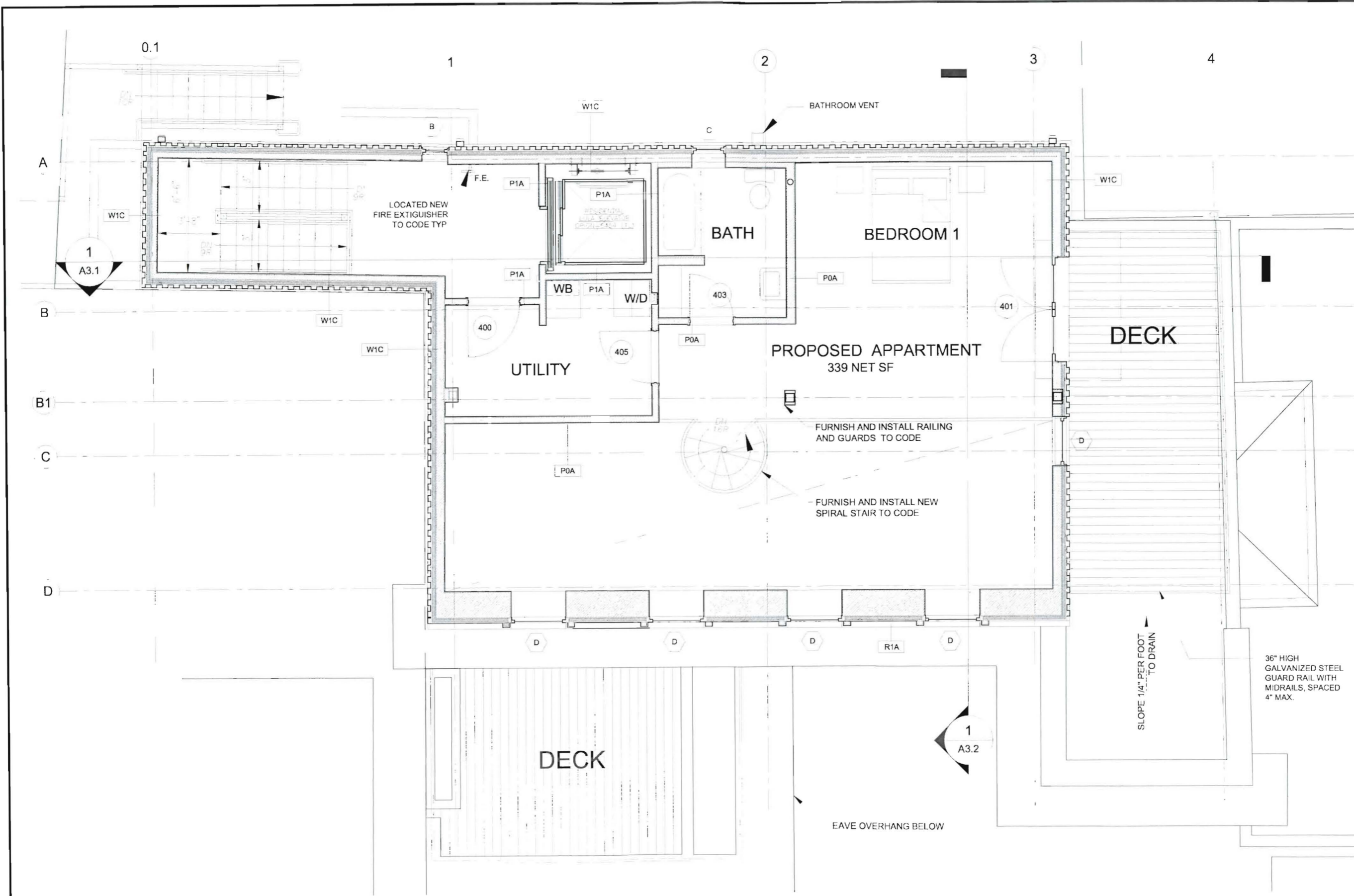
AMENDMENTS:
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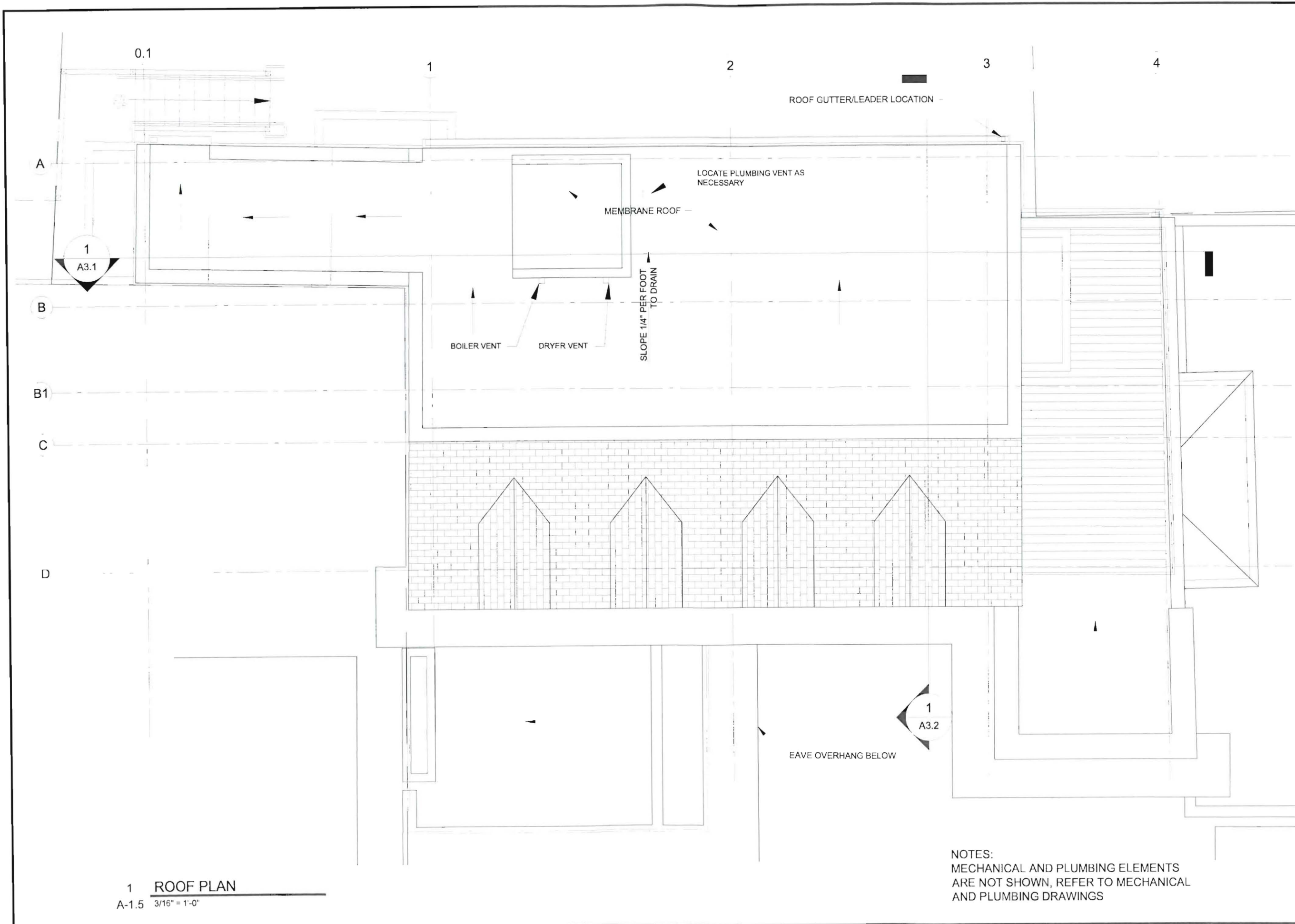
DATE: 8.25.08
PROJECT No. INDIA ST
DRAWN BY: JLR
CHECKED BY: JLR
SCALE: 3/16"=1'-0"

SHEET TITLE
MEZZANINE
FLOOR
PLAN

A1.4



1 MEZZANINE FLOOR PLAN
A-1.4 3/16" = 1'-0"



1 **ROOF PLAN**
 A-1.5 3/16" = 1'-0"

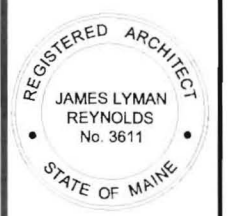
NOTES:
 MECHANICAL AND PLUMBING ELEMENTS
 ARE NOT SHOWN, REFER TO MECHANICAL
 AND PLUMBING DRAWINGS

c JAMES LYMAN REYNOLDS
 ARCHITECT P.C.

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CONSULTANTS
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 REVISION #5 - 04/20/11



DATE: 8.25.08
 PROJECT No. INDIA ST
 DRAWN BY: JLR
 CHECKED BY: JLR
 SCALE: 3/16"=1'0"
 SHEET TITLE:
ROOF PLAN

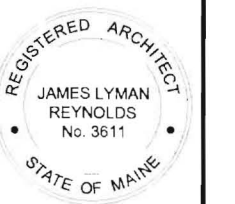
A1.5

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REVISION #5 - 04/20/11



DATE: 8.25.08
PROJECT No: INDIA ST
DRAWN BY: JLR
CHECKED BY: JLR
SCALE: 1/8"=1'0"

SHEET TITLE:
SOUTH WEST
ELEVATION

A2.1

KEY TO MATERIALS

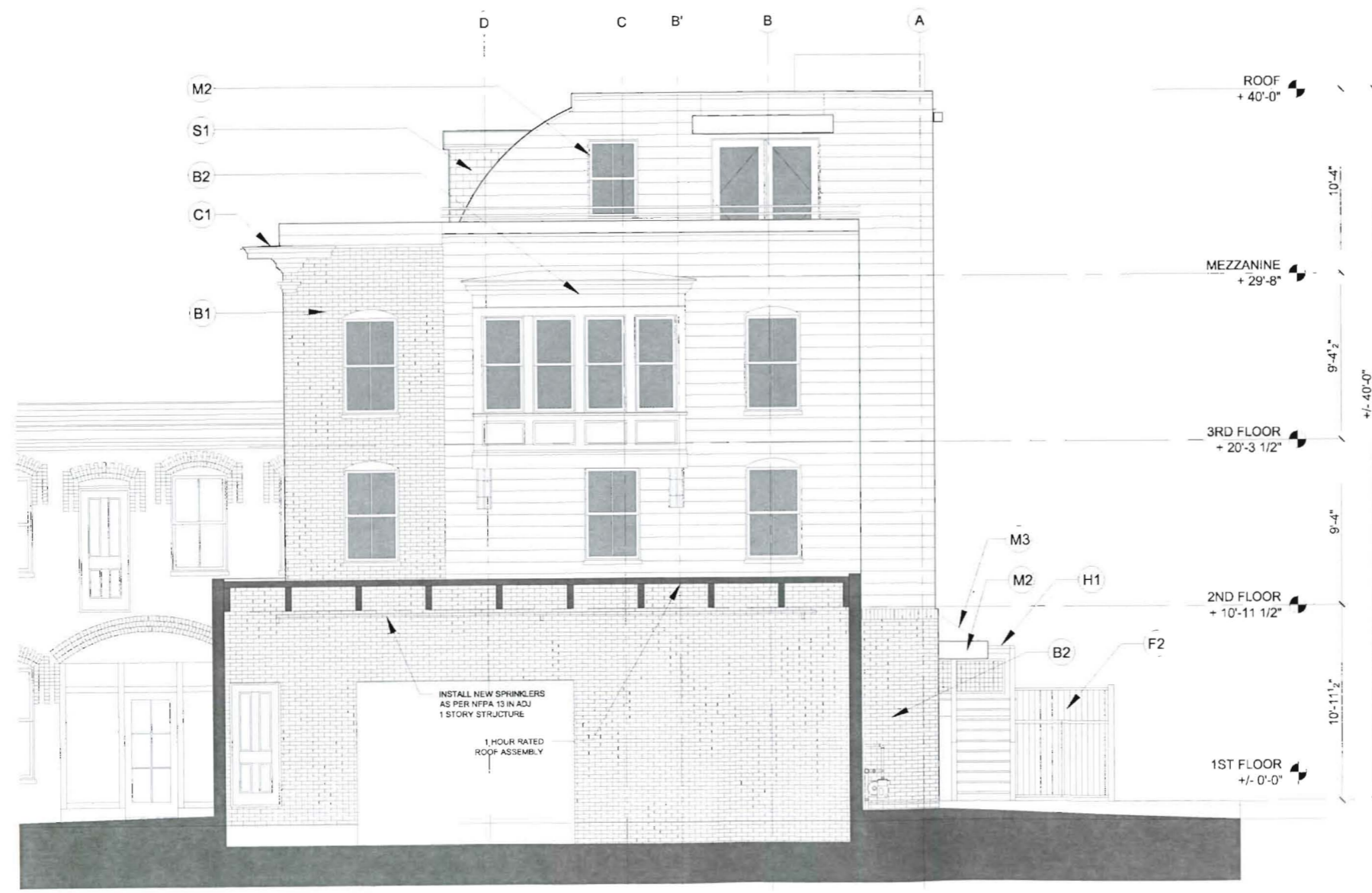
MATERIAL	COLOR	
B1	BRICK - EXISTING	EXISTING
B2	BRICK - NEW	TO MATCH EXISTING BRICK
B3	BLOCK - EXISTING	EXISTING
C1	CORNICE - WOOD	DARK GREEN
C2	BAY WINDOW	DARK GREEN
M1	VINYL SIDING -	"MAJESTIC" T-LOK BARKWOOD W/ 5" DUTCH LAP EVEREST GREY
M2	METAL - FLASHING	TO MATCH M1
M3	METAL - STRUT	GALVANIZED STEEL
S1	SLATE	GREY MIX
F1	FENCE - PRIVACY	DARK GREEN
F2	FENCE - PRIVACY	DARK GREEN
G1	GUTTER - STEEL	GALVANIZED
G2	LEADER - STEEL	GALVANIZED
H1	HANDRAIL/GUARD	GALVANIZED
W1	WINDOW - BTHRM.	DARK GREEN
W2	WINDOW - KITCHEN	DARK GREEN
W3	WINDOW - STAIR	DARK GREEN
W4	WINDOW - DORMER	DARK GREEN
W5	WINDOW - BAY	DARK GREEN
V1	VENT - BATHROOM	PAINT TO MATCH M1
V2	VENT - RANGEHOOD	PAINT TO MATCH M1
V3	VENT - BOILER	BLACK
V4	VENT - DRYER	PAINT TO MATCH M1



1 **SOUTH WEST ELEVATION**

A-2.1 1/8" = 1'-0"

NOTES:
1. SEE DRAWING G1.2 FOR
ALLOWABLE AREA OF
UNPROTECTED OPENINGS.



NOTES:
 1. SEE DRAWING G1.2 FOR ALLOWABLE AREA OF UNPROTECTED OPENINGS.
 2. SEE DRAWING A2.1 FOR KEY TO MATERIALS

c JAMES LYMAN REYNOLDS ARCHITECT P.C.

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 REVISION #5 - 04/20/11



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CHECKED BY: JLR

SCALE: AS INDICATED

SHEET TITLE
 SOUTH EAST
 ELEVATION

1 SOUTHEAST ELEVATION
 A-2.2 3/16" = 1'-0"

A2.2



c JAMES LYMAN REYNOLDS ARCHITECT P.C.

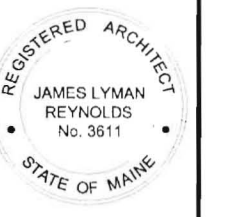
**PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101**

PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

JAMES LYMAN REYNOLDS
ARCHITECT
4303 US Route 209
Stone Ridge, NY 12484
Ph (845) 687-9161

CONSULTANTS

AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #4 - 11/20/10
REVISION #5 - 04/20/11

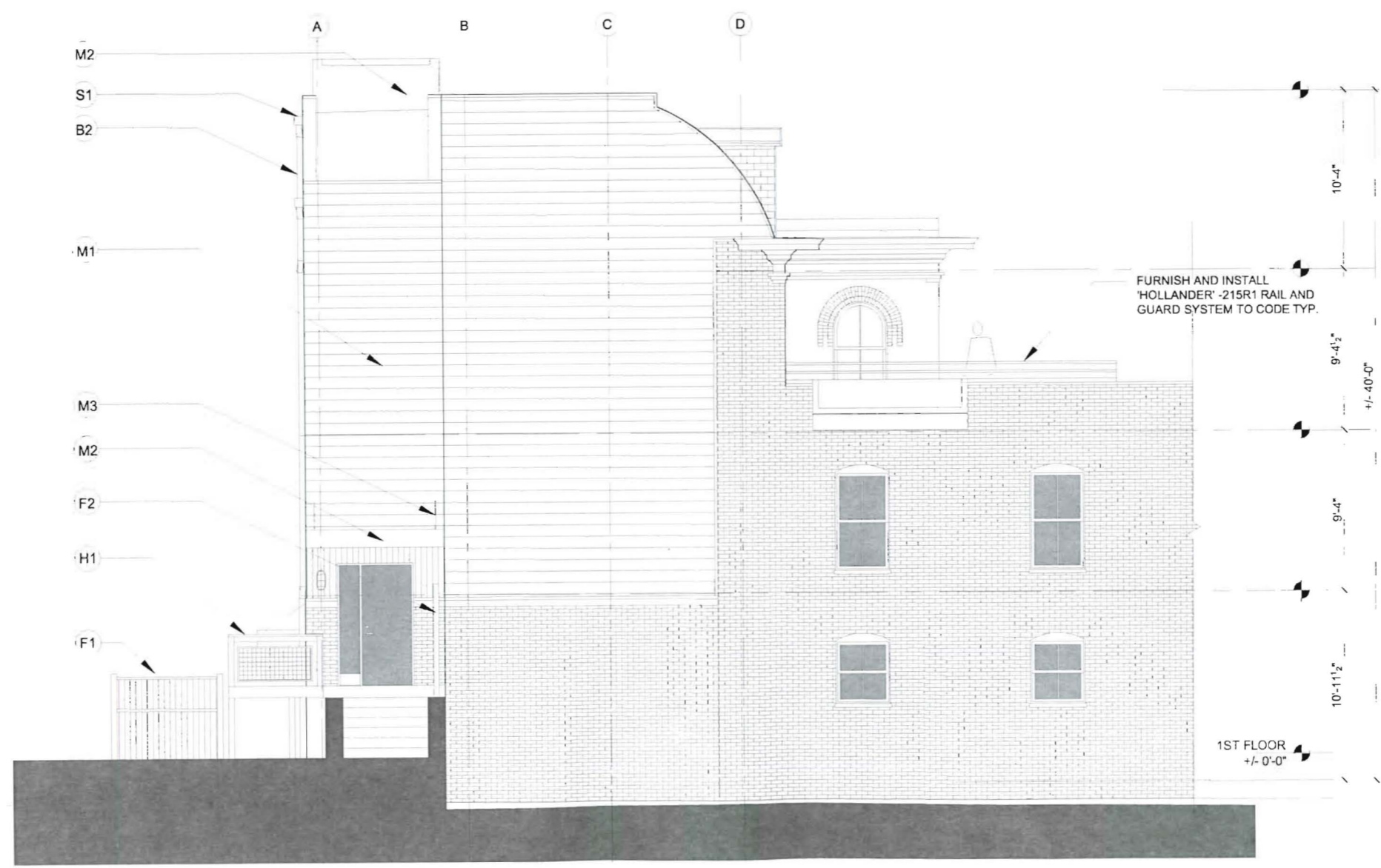


DATE: 8.25.08
PROJECT No. INDIA ST
DRAWN BY: JLR
CHECKED BY: JLR
SCALE: 1/8"=1'-0"

SHEET TITLE
NORTH EAST
ELEVATION

1 NORTHEAST ELEVATION
A-2.3 1/8" = 1'-0"

A2.3



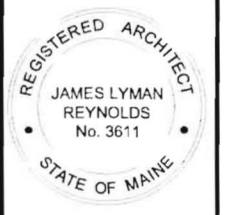
NOTES:
 1. SEE DRAWING G1.2 FOR ALLOWABLE AREA OF UNPROTECTED OPENINGS.
 2. SEE DRAWING A2.1 FOR KEY TO MATERIALS

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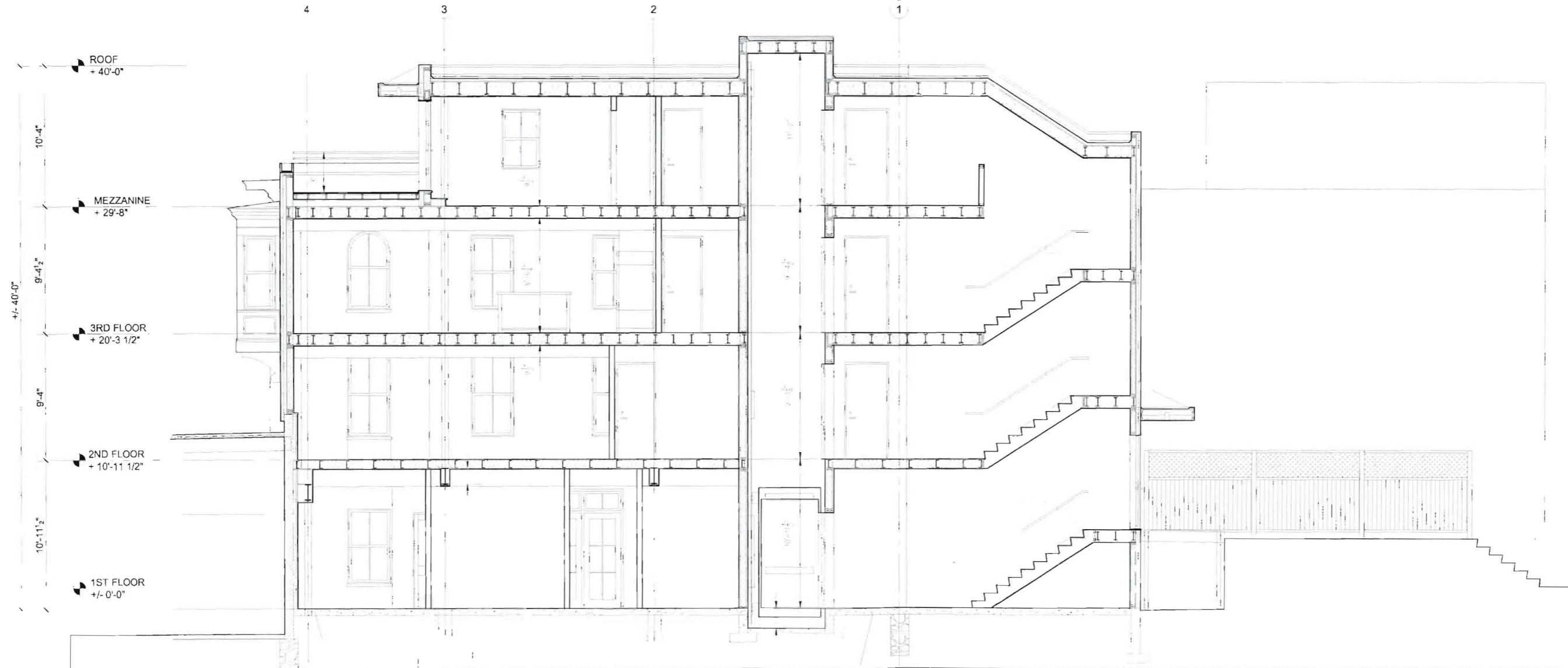


DATE: 8.25.08
 PROJECT No. INDIA ST
 DRAWN BY: JLR
 CHECKED BY: JLR
 SCALE: 1/8"=1'-0"
 SHEET TITLE:
 NORTH WEST ELEVATION

1 NORTHWEST ELEVATION
 A-2.4 1/8" = 1'-0"

A2.4

NOTES:
1. SEE DRAWING G1.4 AND G1.5
FOR WALL, FLOOR AND ROOF
ASSEMBLIES

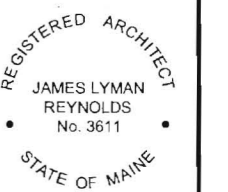


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DATE: 8.25.08
PROJECT No. INDIA ST
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SCALE 1/8"=1'-0"

SHEET TITLE
BUILDING
SECTION

1 BUILDING SECTION
A-3.1 1/8" = 1'-0"

A3.1

NOTES:
 1. SEE DRAWING G1.4 AND G1.5
 FOR WALL, FLOOR AND ROOF
 ASSEMBLIES

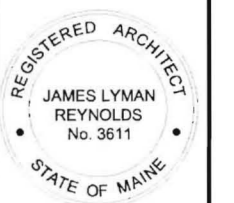
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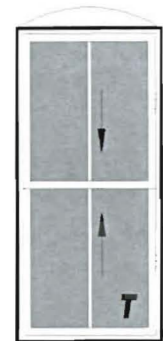
SHEET TITLE:
 BUILDING
 SECTION



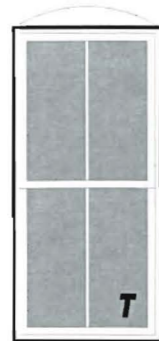
1 BUILDING SECTION
 A-3.2 1/8" = 1'-0"

A3.2

WINDOW TYPES - SCALE 1/4"=1'-0"



A DOUBLE HUNG



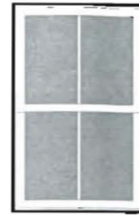
A1 FIXED FIRE RATED GLAZING



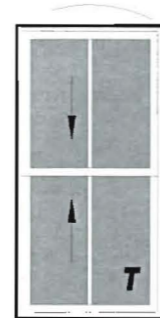
B FIXED



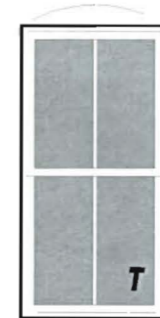
C AWNING



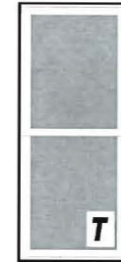
D DOUBLE HUNG



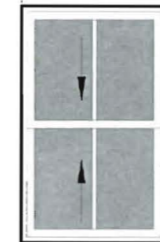
E DOUBLE HUNG



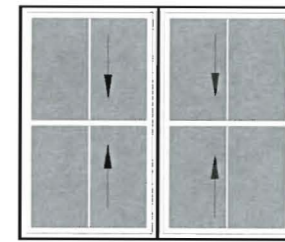
E1 FIXED FIRE RATED GLAZING



E2 DOUBLE HUNG



F DOUBLE HUNG



G PAIR OF DOUBLE HUNGS

LEGEND:
 T = TEMPERED GLASS
 FG = FIBERGLASS
 AL = ALUMINUM
 DH = DOUBLE HUNG
 AW = AWNING
 LV = LOUVER
 F = FIXED
 CL = GLIDER

NOTES:
 1. ALL GLAZING WITHIN 18" OF THE FLOOR TO BE TEMPERED
 2. FULL SCREENS ALL OPENINGS
 3. CONTRACTOR TO VERIFY ALL ROUGH OPENINGS
 4. CONTRACTOR TO VERIFY THAT ALL EGRESS OPENINGS MEET EGRESS REQUIREMENTS
 5. ALL EXTERIOR GLAZING INSULATED
 6. FRAME OPENINGS WITH ELEVATIONS

WINDOW SCHEDULE

KEY	ACTION	ROUGH OPENING (WxH) VIF	R.O. HEAD HEIGHT FROM SUB FLOOR	DETAILS			MATERIAL	FINISH	REMARKS
				HEAD	JAMB	SILL			
A	DH	3'-2-1/2" X 6'-8-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS
A1	F	3'-2-1/2" X 6'-8-1/2"	-	-	-	-	MTL	-	3/4 HOUR FIRE RATED GLAZING - PERMANANTLY FIXED 2 OVER 2 WITH FIRE RATED FRAME
B	F	1'-8-1/2" X 4'-8-1/2"	-	-	-	-	MTL	-	TEMPERED GLASS
C	AW	2'-0-1/2" X 2'-9-1/2"	-	-	-	-	MTL	-	TEMPERED GLASS
D	DH	3'-0-1/2" X 5'-0-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS
E	DH	3'-2-1/2" X 6'-2-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS
E1	F	3'-2-1/2" X 6'-2-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS, 3/4 HOUR FIRE RATED GLAZING - PERMANANTLY FIXED 2 OVER 2 WITH FIRE RATED FRAME
E2	F	2'-4-1/2" X 5'-6-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS
F	DH	3'-2-1/2" X 5'-0-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS
G	DH	6'-0-1/2" X 5'-0-1/2"	-	-	-	-	MTL	-	PAIR OF DOUBLE HUNG

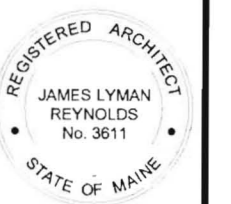
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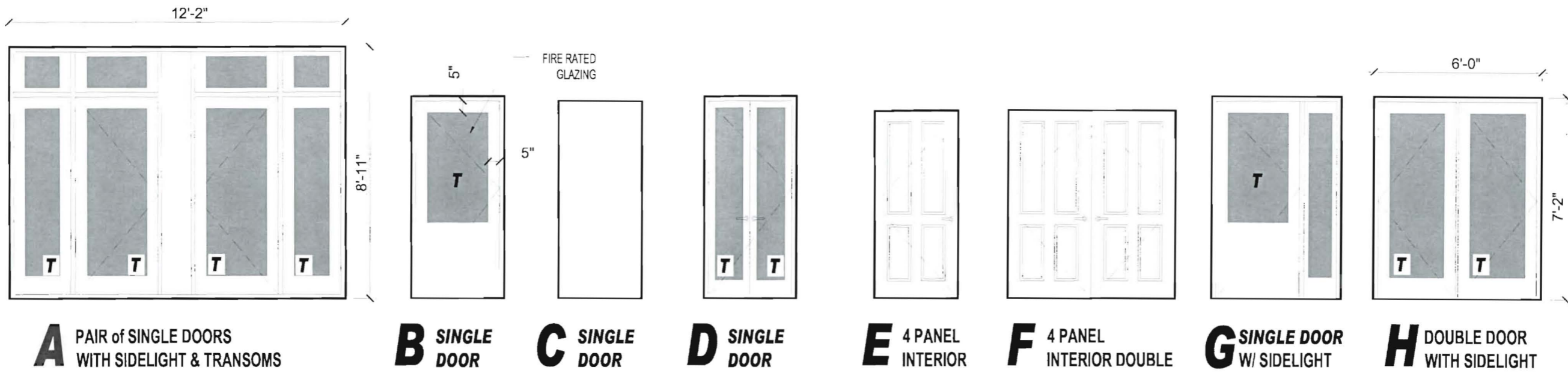


DATE: 8.25.08
 PROJECT No. INDIA ST
 DRAWN BY: JLR
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 SCALE AS INDICATED

SHEET TITLE:
 WINDOW SCHEDULE

A7.0

DOOR TYPES - SCALE 1/4"=1'-0"



A PAIR of SINGLE DOORS WITH SIDELIGHT & TRANSOMS

B SINGLE DOOR

C SINGLE DOOR

D SINGLE DOOR

E 4 PANEL INTERIOR

F 4 PANEL INTERIOR DOUBLE

G SINGLE DOOR W/ SIDELIGHT

H DOUBLE DOOR WITH SIDELIGHT

DOOR SCHEDULE

DOOR NO.	DOOR						FRAME					GENERAL					
	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	INSULATED	TYPE	MATERIAL	THRESHOLD	HEAD	JAMB	SILL	CLOSER	FIRE RATING (MINUTES)	HARDWARE	REMARKS
100	A	3'-0"	7'-0"	-	MTL	-	Y	-	MTL	-	-	-	-	Y	45	MLS	EGRESS HARDWARE/ FIXED SIELIGHT
101	E	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	-	Y	45	MLS	EXISTING DOOR
102	C	3'-0"	7'-0"	-	MTL	-	Y	-	MTL	-	-	-	-	Y	-	-	PANIC HARDWARE
103	G	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	-	Y	-	-	EGRESS HARDWARE / FIXED SIELIGHT
104	C	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	-	Y	-	-	
105	C	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	-	Y	-	PR	SELF CLOSER
106	C	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	-	Y	-	LS	EGRESS HARDWARE
107	G	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	-	Y	-	LS	EGRESS HARDWARE/ FIXED SIELIGHT
108	G	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	-	Y	-	LS	EGRESS HARDWARE/ FIXED SIELIGHT
200	C	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	-	Y	45	-	W/ SELF CLOSER AND SECURITY LOCKSET
201	F	2@2'-0"	7'-0"	-	WD	-	-	-	WD	-	-	-	-	-	-	-	
202	E	2@2'-6"	7'-0"	-	WD	-	-	-	WD	-	-	-	-	Y	-	PR	PANIC HARDWARE
203	B	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	-	Y	45	PR	W/ SELF CLOSER
204	C	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	-	Y	90	PR	W/ SELF CLOSER AND SECURITY LOCKSET
205	D	3'-0"	7'-0"	-	MTL	-	-	-	MTL	-	-	-	-	Y	-	PR	W/ SECURITY LOCKSET
300	C	5'-0"	6'-8"	-	MTL	-	Y	-	MTL	-	-	-	-	-	-	-	W/ SELF CLOSER AND SECURITY LOCKSET
301	F	2'-6"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	-	-	
302	F	2'-6"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	-	-	
303	E	3'-0"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	-	PR	
304	H	5'-0"	6'-8"	-	MTL	-	-	-	MTL	-	-	-	-	-	-	-	W/ SECURITY LOCKSET

DOOR SCHEDULE (CONTINUED)

DOOR NO.	DOOR						FRAME					GENERAL					
	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	INSULATED	TYPE	MATERIAL	THRESHOLD	HEAD	JAMB	SILL	CLOSER	FIRE RATING (MINUTES)	HARDWARE	REMARKS
400	C	5'-0"	7'-0"	-	MTL	-	Y	-	MTL	-	-	-	-	-	45 MIN.	MLS	
401	H	2'-6"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	-	-	
402	F	2@2'-6"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	-	-	
403	E	2@2'-6"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	-	PR	DOUBLE DOOR
404																	
405	E	3'-0"	6'-8"	-	MTL	-	-	-	MTL	-	-	-	-	-	-	-	
406	F	2@3'-0"	6'-8"	-	WD	-	-	-	WD	-	-	-	-	-	-	-	

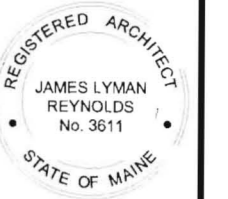
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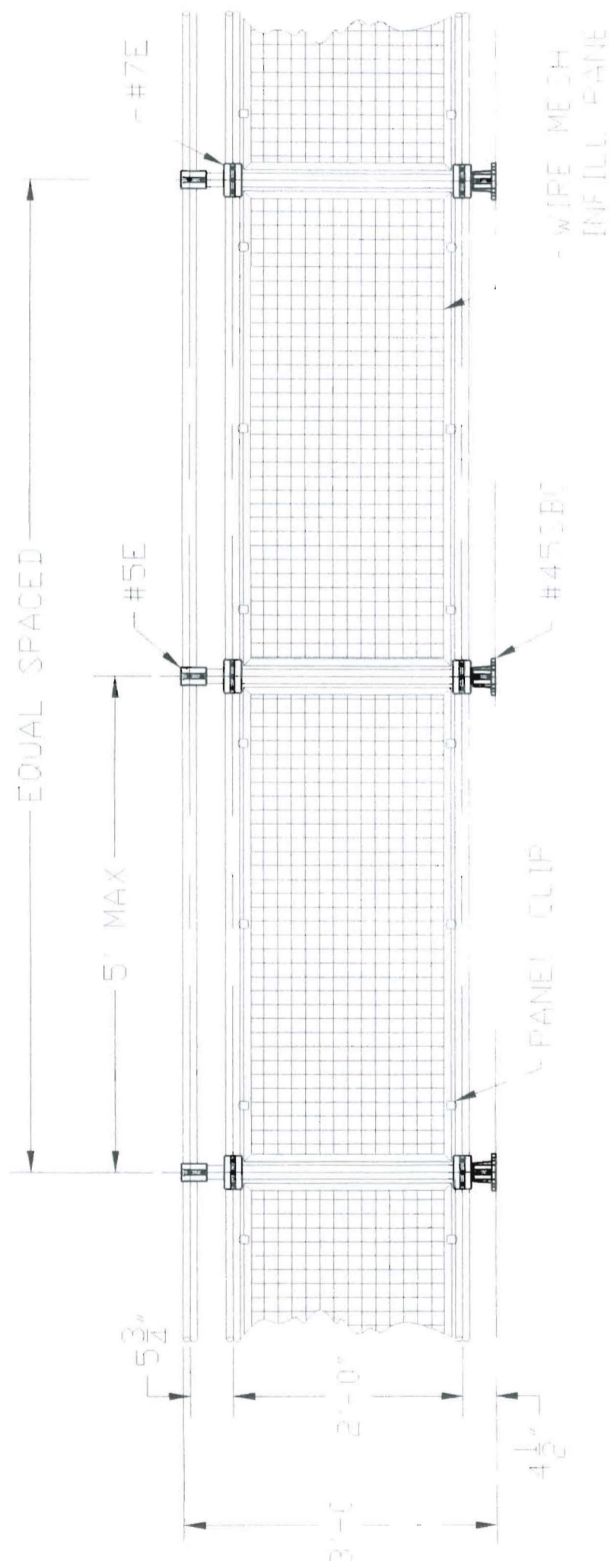
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CHECKED BY: JLR

SCALE: AS INDICATED

SHEET TITLE
DOOR SCHEDULE PLAN

A7.1



TYPICAL LEVEL HANDRAIL WITH INFILL
SPEED RAIL DETAIL

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<p>HELLENBER AND ASSOCIATES ARCHITECTS CONSULTANTS DR. ENGINEERS</p> <p>PH: (800) 772-9800</p> <p>WWW.HELLAENDER.COM</p>		<p>PROJECT</p> <p>INFILL PANELS</p>	<p>DESCRIPTION</p> <p>DETAIL PACKAGE</p>	<p>DATE</p> <p>N/A</p>	<p>BY</p> <p>N/A</p>
<p>HELLAENDER MANUFACTURING CO.</p>		<p>DATE</p> <p>4-11-05</p>	<p>BY</p> <p>EW</p>	<p>DATE</p> <p>N/A</p>	<p>BY</p> <p>N/A</p>





PROPOSED ADDITIONS to EXISTING BUILDING at 61 INDIA STREET PORTLAND, MAINE

RECEIVED

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Dept. of Building Inspections
City of Portland Maine

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ARCHITECT P.C.

PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101
PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

ZONE REQUIREMENTS

For City Planning Zone: B2b

Dimension requirements	Required	Proposed
Min. Lot Size (Bus. use)	None	7,672 sf.
Min. Area/unit (Res. use)	1,000 sf/unit	7,672 sf/unit
Min. Street Frontage	50'	49.50' (as existing)
Min/Max. Front Yard	NA	(as existing)
Min. Rear Yard	10'	10.5'
Min. Side Yard	None	None (as existing)
Min. Lot Width	None	49.1' (as existing)
Max. Structure Height	45'	40.0'
Max. Impervious area	90%	94.5% (as existing)

Car park requirements	Required	Proposed
Extg. Res. units	2 spaces	2 spaces
Extg. Retail unit (<2,000sf)	0 spaces	0 spaces
New Retail unit (<2,000sf)	0 spaces	0 spaces
New Bus. unit (<1,000sf)	2 spaces	2 spaces
New Res. units	1 spaces	1 spaces
Total car parks	5 spaces	5 spaces

DRAWING INDEX

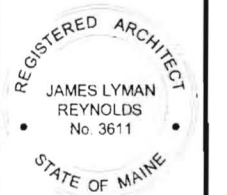
G1.0	Zone Requirements & Drawing Index	A1.1	Proposed 1st Floor	
G1.1	Code Summary & Fire Protection	A1.2	Proposed 2nd Floor	
G1.2	Boundary Separation Distances	A1.3	Proposed 3rd Floor	
G1.3	Area of unprotected openings	A1.4	Proposed Mezzanine Level	5
G1.4	Exterior wall & roof assemblies	A1.5	Proposed Roof Plan	
G1.5	Interior & floor assemblies	A2.1	Proposed Elevation: Southwest	
C0.1	Site Demolition Plan	A2.2	Proposed Elevation: Southeast	
C1.0	Site Layout & Grading Plan	A2.3	Proposed Elevation: Northeast	
C1.1	Utility Plan	A2.4	Proposed Elevation: Northwest	
C1.2	Site Details	A3.1	Building Section	
C1.3	Site Details	A3.2	Building Section	
L1.0	Landscape Plan	A5.1	Details	
E1.0	Exterior Electric Plan	A5.2	Details	
S0.0	Structural General Notes	A6.0	Stairs	
S1.1	Foundation Plan	A7.0	Window Schedule	
S1.2	Second Floor Framing Plan	A7.1	Door Schedule	
S1.3	Third Floor Framing Plan			
S1.4	Fourth Floor Framing Plan			
S1.5	Roof Framing Plan			
S2.1	"C" Line Framing Section			
S2.2	Section Through Building at Archway			5
S2.3	Details			

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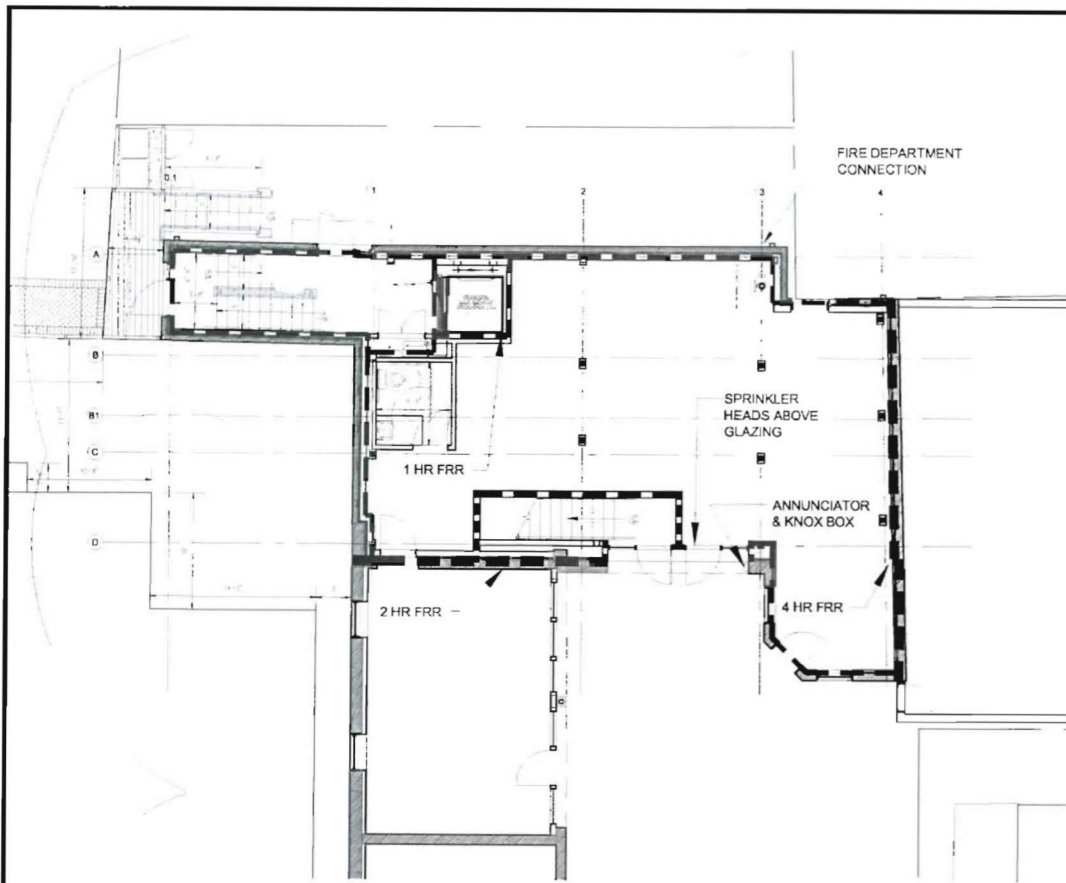
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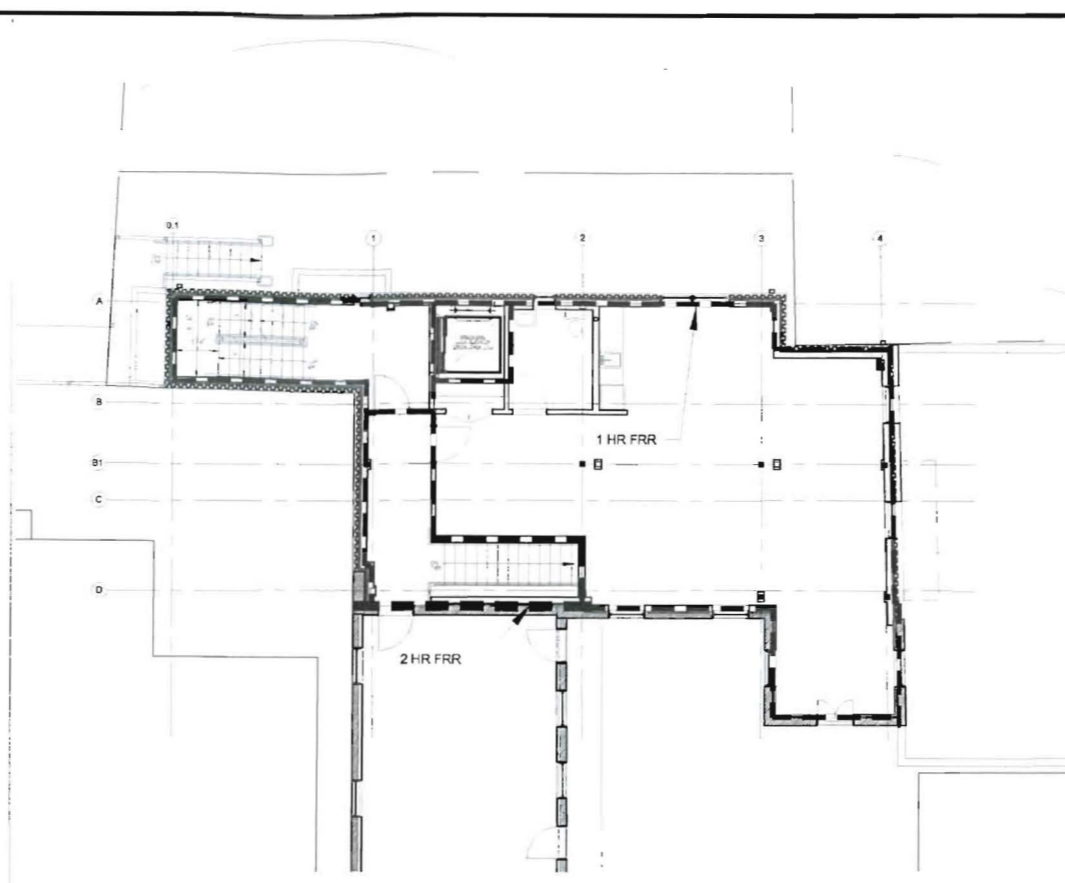
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SHEET TITLE:
ZONE
SUMMARY &
DRAWING INDEX

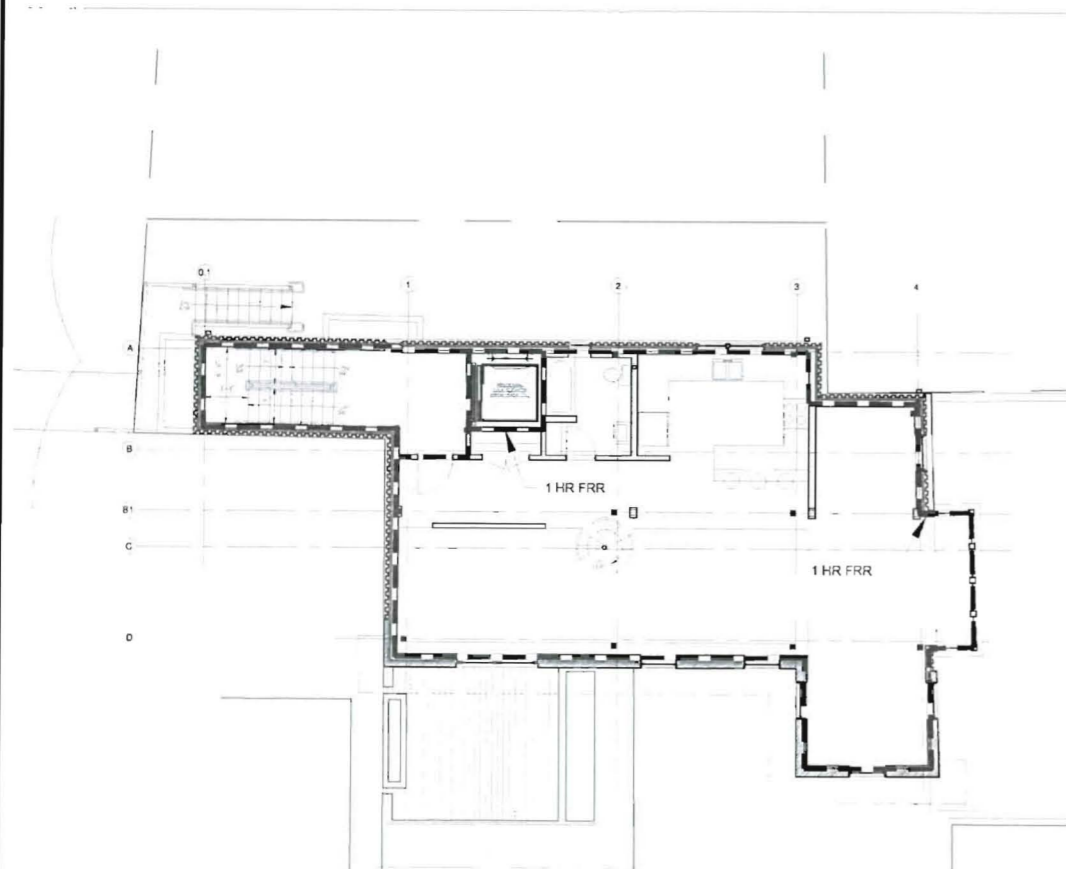
G1.0



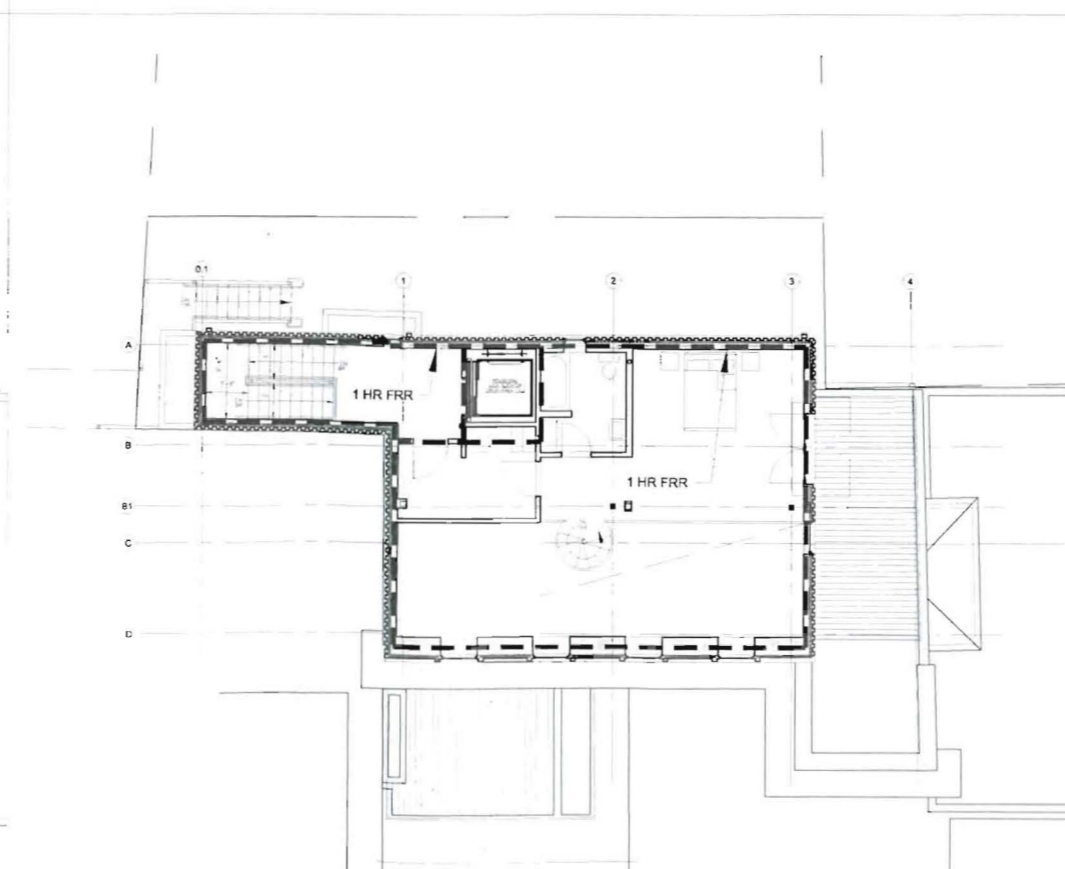
1ST. FLOOR



2ND. FLOOR



3RD. FLOOR



MEZZANINE LEVEL

CODE SUMMARY

Building Code: IBC 2009
 NFPA 101 2006

Occupancy: IBC Business Group B
 IBC Residential Group R-2
 IBC Mercantile Group M
 NFPA Business
 NFPA Residential
 NFPA Mercantile

No. of Floors: 3

Construction: IBC Type 5A
 NFPA 5 (111) 5

Sprinkler: NFPA 13 compliant areas served:
 New 3-floor addition w/ Mezz. and adjacent 1-Story and 2-Story structures

Fire Ratings:

- IBC Table 601 Structural frame 1Hr
- IBC Table 601 Exterior walls (<30' sep dist) 1Hr
- IBC Table 601 Exterior walls (≥30' sep dist) 0Hr
- IBC Table 601 Interior walls (bearing) 1Hr
- IBC Table 601 Interior walls (non bearing) 0Hr
- IBC Table 601 Floors 1Hr
- IBC Table 601 Roof 1 Hr
- IBC 302.3.2 Occ. use separation 1 and 2Hr
- IBC 1020 Stairs (< 4 floors) 1Hr
- IBC 707 Fire Barriers 1and 2 Hr
- IBC 1014.3.4 R-2 Common path = 125' max.
- IBC 1014.3 B Common path = 100' max.
- IBC 1015.1 One Means of egress
- IBC 1016.1 Exit travel dist = 250' max.
- IBC 1021.2 R-2 travel distance = 50' max.

FLOOR AREAS

(New 3-story addition only)

1st Floor (Mercantile)	1,234.0
1st Floor circulation	261.6
2nd Floor (Business)	1,231.5
2nd Floor circulation	259.2
3rd Floor (Residential)	1,031.4
3rd Floor circulation	251.0
Mezzanine(Residential)	361.6
Mezzanine circulation	346.4
Total Area (square feet)	4,976.7 (gross)

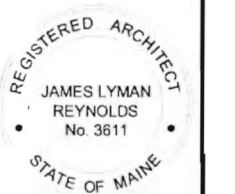
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 ARCHITECT
 4303 US Route 209
 Stone Ridge, NY 12484
 Ph (845) 687-9161

CONSULTANTS

AMENDMENTS:
 REVISION #2 - 12/01/08
 REVISION #4 - 11/20/10
 REVISION #5 - 04/20/11



DATE: 8.25.08

PROJECT No. INDIA STREET

DRAWN BY:

CHECKED BY: JLR

SCALE: AS INDICATED

SHEET TITLE:

CODE SUMMARY & FIRE PROTECTION

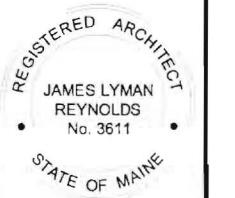
G1.1

**PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101**
PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

**JAMES LYMAN
REYNOLDS**
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AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #5 - 04/20/11



DATE: 8.25.08

PROJECT No. INDIA STREET

DRAWN BY: JLR

CHECKED BY: JLR

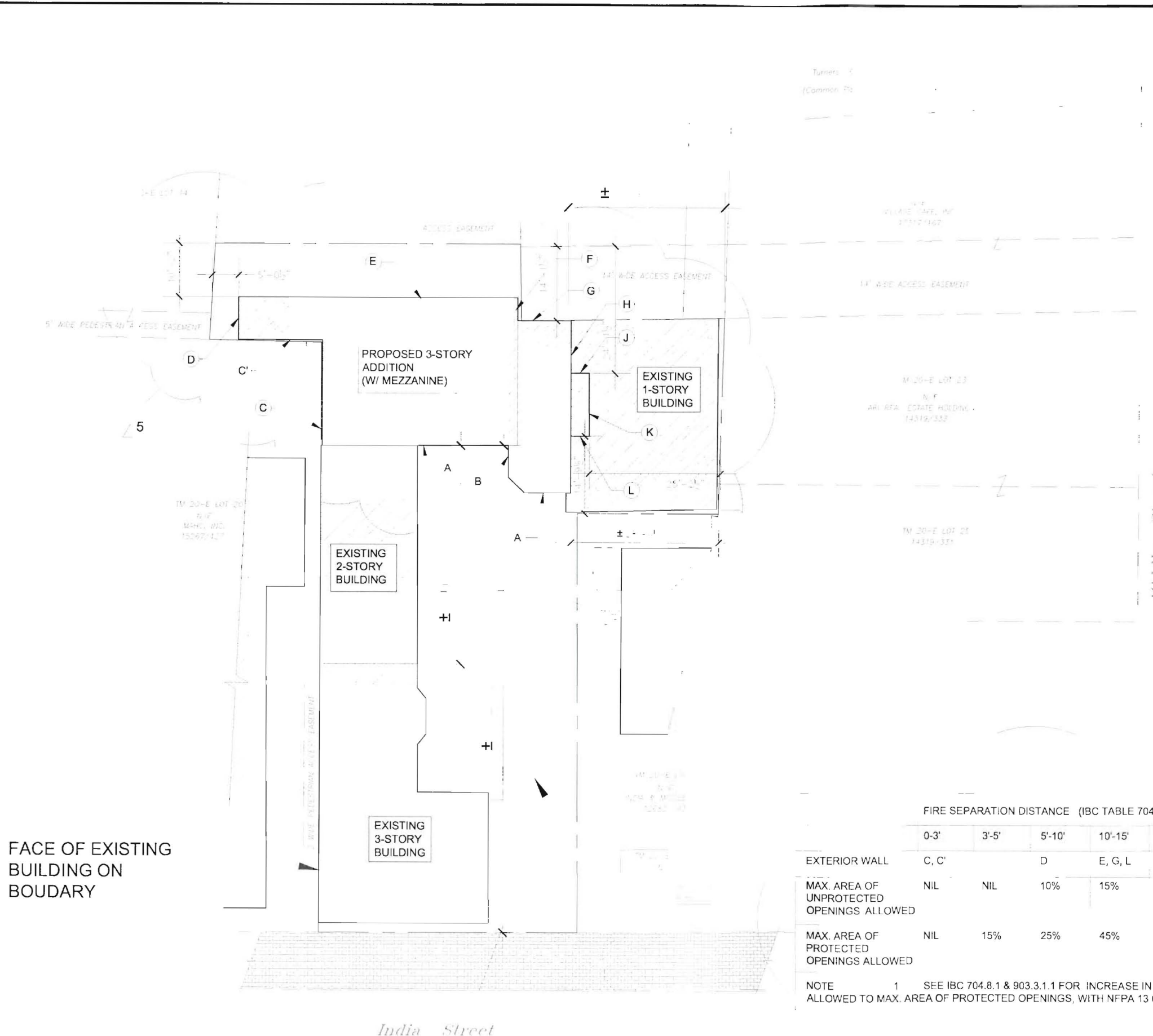
SCALE: AS INDICATED

SHEET TITLE:
**BOUNDARY
SEPARATION
DISTANCES**

G1.2

LEGEND

- SITE BOUNDARIES
- OTHER BOUNDARIES
- [Hatched Box] EXISTING BUILDING
- [Dotted Box] PROPOSED BUILDING



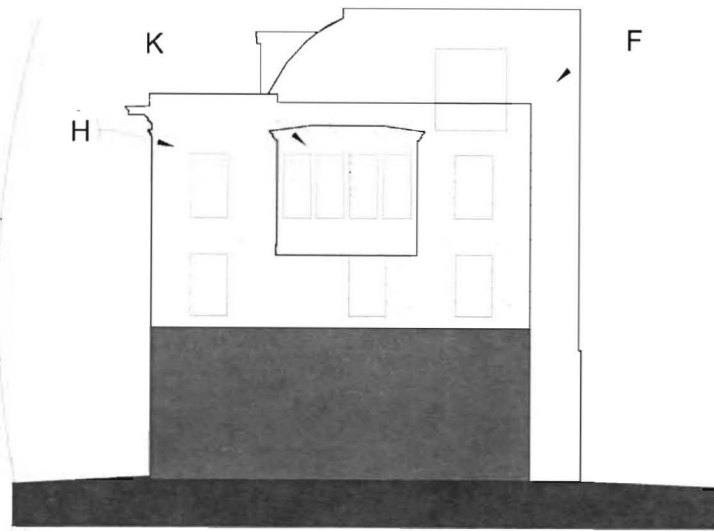
FACE OF EXISTING
BUILDING ON
BOUDARY

FIRE SEPARATION DISTANCE (IBC TABLE 704.8)

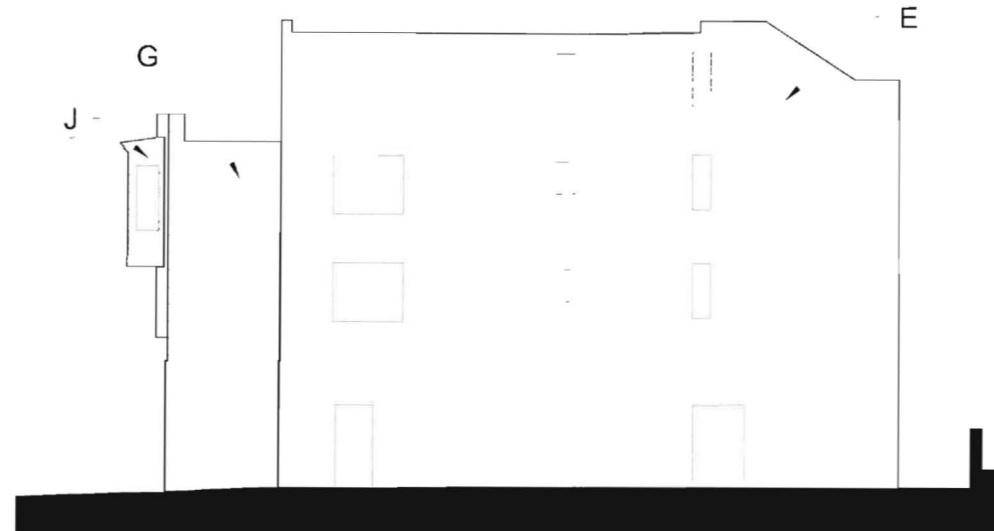
	0-3'	3'-5'	5'-10'	10'-15'	15'-20'	20'-25'	25'-30'	>30'
EXTERIOR WALL	C, C'		D	E, G, L		J	H, K	A, B, F
MAX. AREA OF UNPROTECTED OPENINGS ALLOWED	NIL	NIL	10%	15%	25%	45%	70%	NO LIMIT
MAX. AREA OF PROTECTED OPENINGS ALLOWED	NIL	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NO LIMIT

NOTE 1 SEE IBC 704.8.1 & 903.3.1.1 FOR INCREASE IN AREA OF UNPROTECTED OPENINGS ALLOWED TO MAX. AREA OF PROTECTED OPENINGS, WITH NFPA 13 COMPLIANT SPRINKLER SYSTEM, THRUOUT

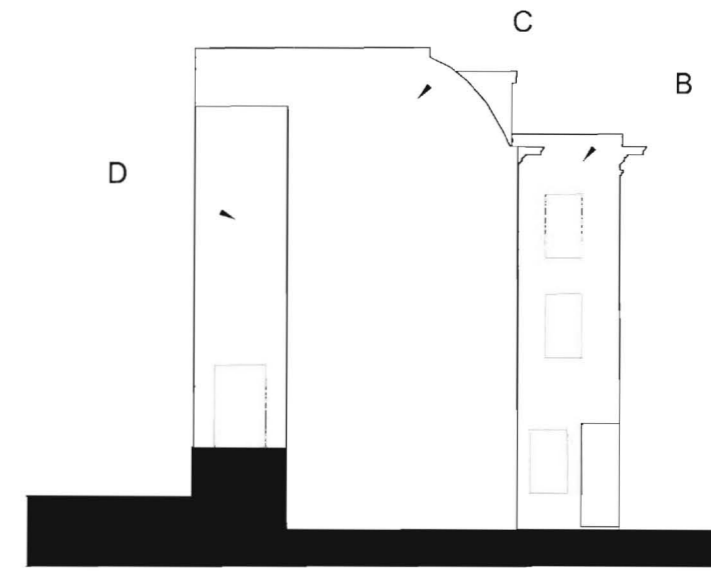
NOTES:
 1. SEE DRAWING G1.2 FOR WALL
 LOCATIONS & SEPARATION
 DISTANCES TO LOT BOUNDARIES



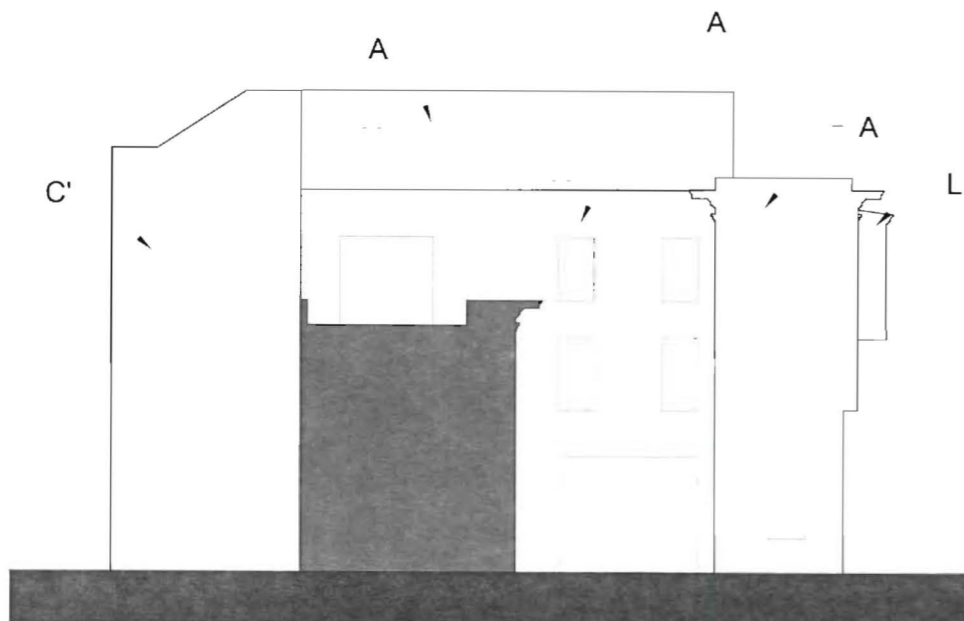
SOUTH-EAST ELEVATION



NORTH-EAST ELEVATION



NORTH-WEST ELEVATION



SOUTH-WEST ELEVATION

EXTERIOR WALL	AREA OF UNPROTECTED OPENINGS (NOTE 1)											
	A	B	C, C'	D	E	F	G	H	J	K	L	
MAX. AREA OF UNPROTECTED OPENINGS ALLOWED	NO LIMIT	NO LIMIT	NIL	15%	45%	NO LIMIT	45%	NO LIMIT	NO LIMIT	NO LIMIT	45%	
AREA OF WALL (SF)	NA	NA	1,458.9	238.3	2,065.1	332.3	296.0	491.5	34.5	147.8	26.9	
AREA OF UN PROTECTED OPENINGS (SF)	NA	NA	NIL	31.6	129.6	43.1	22.4	84.9	10.7	59.2	10.7	
% OF WALL UNPROTECTED	NA	NA	NIL	13.3%	6.3%	12.9%	7.6%	17.2%	31.0%	40.0%	39.8%	

NOTE
 1. REFER TO G1.2 FOR FIRE SEPARATION DISTANCES TO LOT BOUNDARIES.
 2. WALLS C', D, AND E MUST BE RATED 1HR MIN. PER IBC 1019.1.4 FOR EXTERIOR STAIR WALL RETURNS



SCALE: 1/16"=1'

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 ARCHITECT P.C.

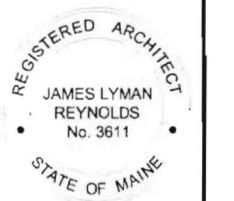
PROPOSED ADDITIONS TO
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 PORTLAND, MAINE 04101
 PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

JAMES LYMAN REYNOLDS
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CONSULTANTS

AMENDMENTS

REVISION #5 - 04/20/11



DATE: 8.25.08

PROJECT No INDIA STREET

DRAWN BY JLR

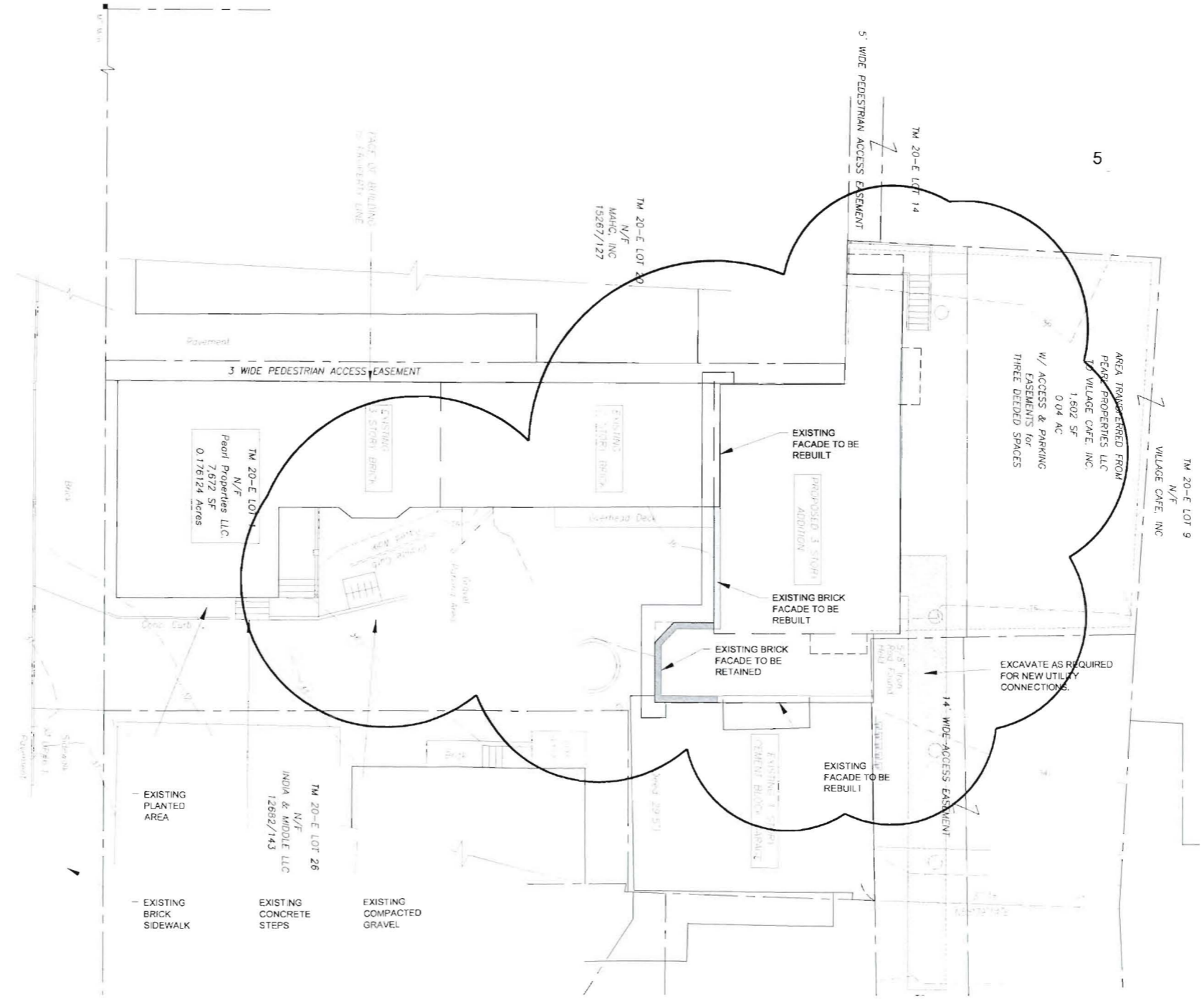
CHECKED BY JLR

SCALE: AS INDICATED

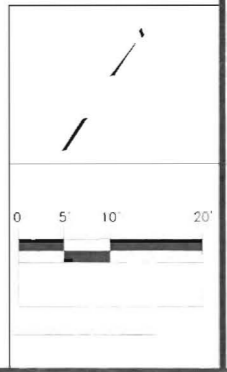
SHEET TITLE:
 AREA OF UNPROTECTED OPENINGS

G1.3

India Street
 Paved - Public



1 SITE PLAN DEMOLITION
 C0.1 1" = 20'



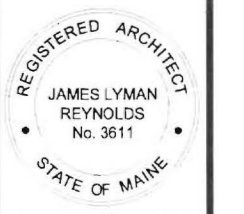
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AMENDMENTS:
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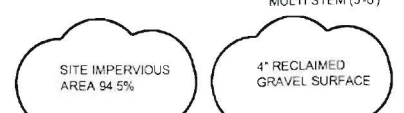
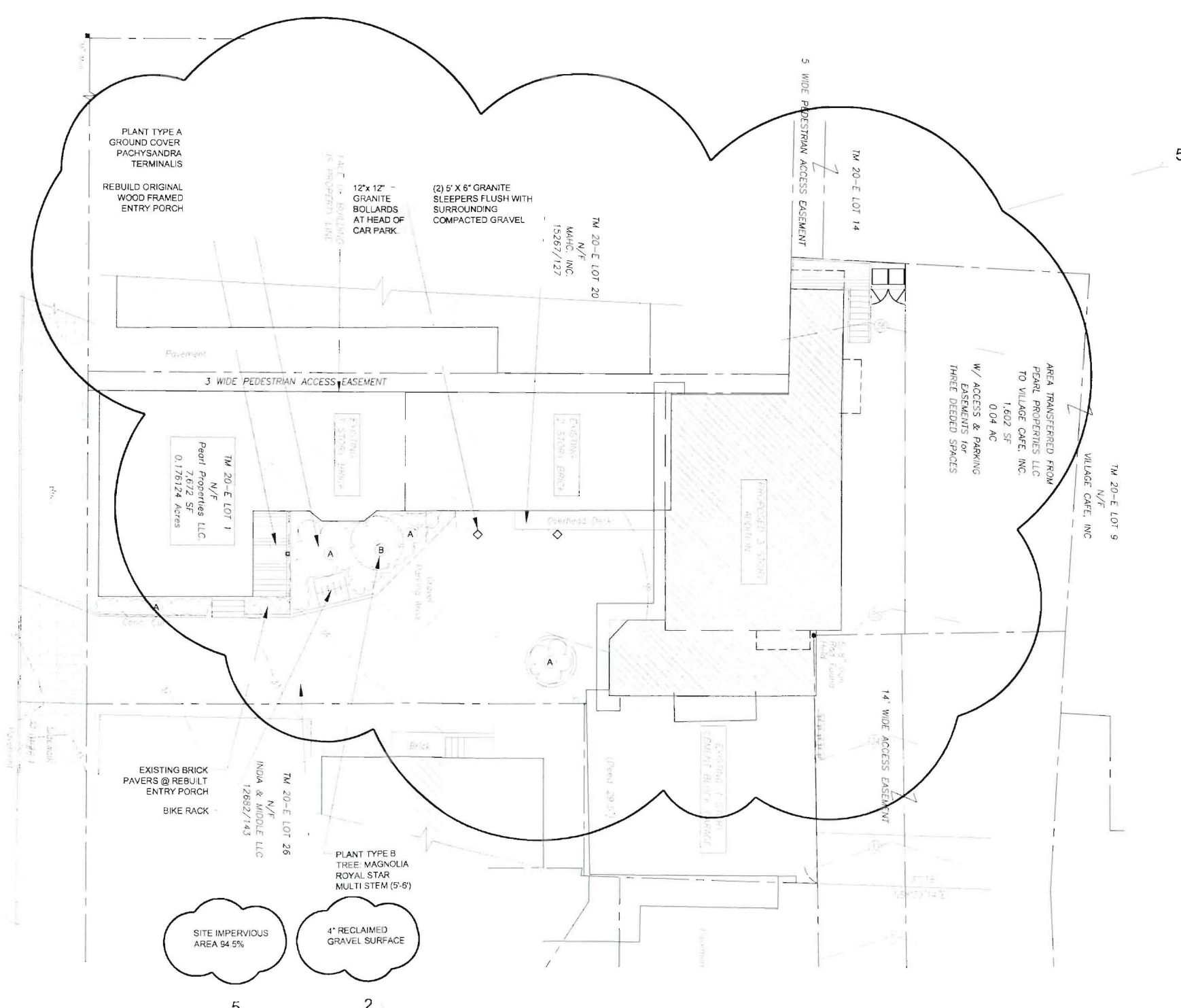


DATE: 8.25.08
 PROJECT No. INDIA STREET
 DRAWN BY:
 CHECKED BY: JLR
 SCALE: AS INDICATED

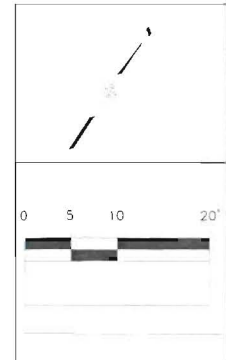
SHEET TITLE:
 DEMOLITION PLAN

C0.1

India Street
Paved - Public



1 LANDSCAPE PLAN
L1.0 1" = 20'



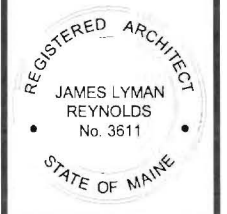
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CONSULTANTS:

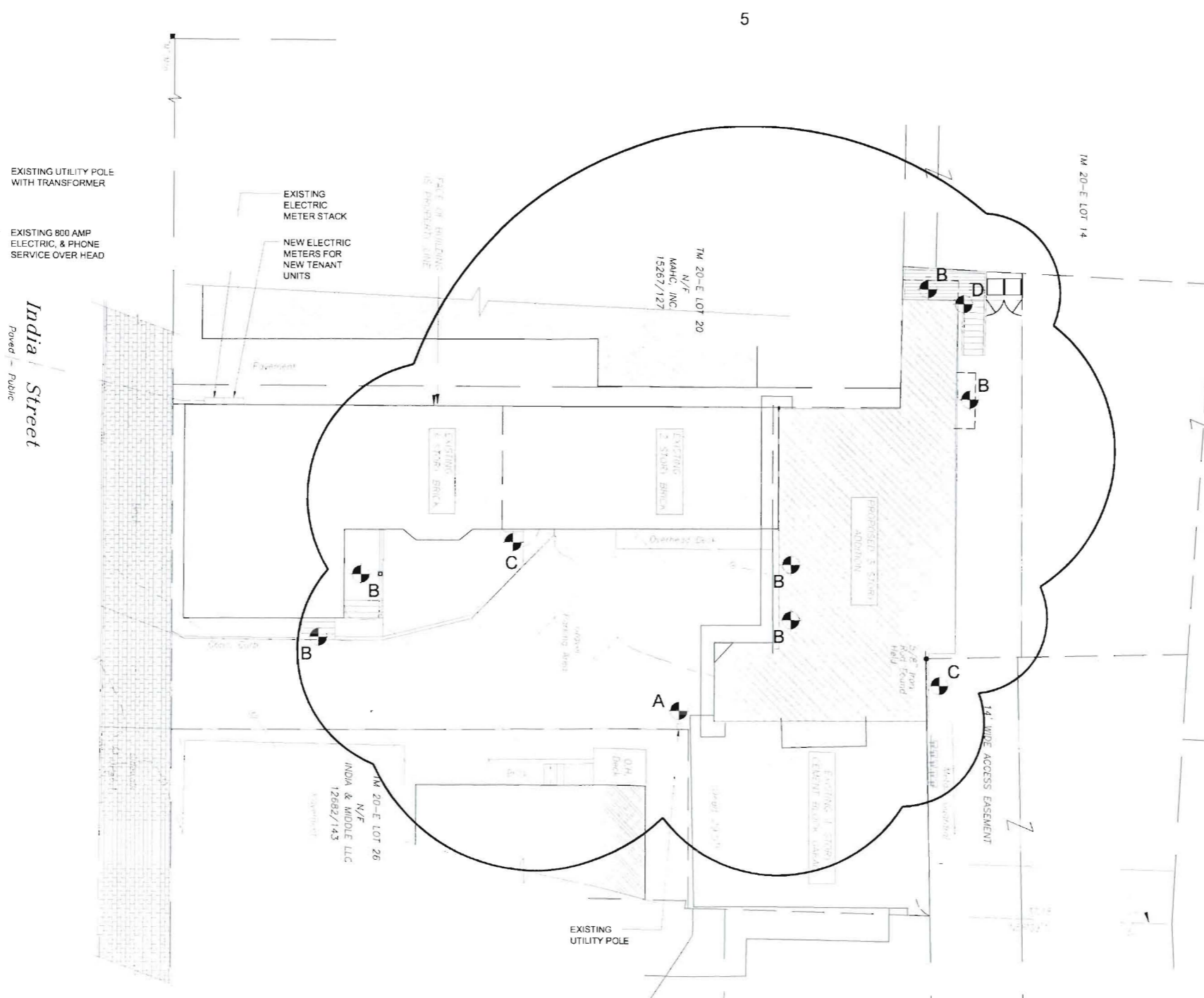
AMENDMENTS:
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REVISION #3 - 3/02/09
REVISION #5 - 04/20/11



DATE: 8.25.08
PROJECT No. INDIA STREET
DRAWN BY:
CHECKED BY: JLR
SCALE: AS INDICATED

SHEET TITLE
LANDSCAPING PLAN

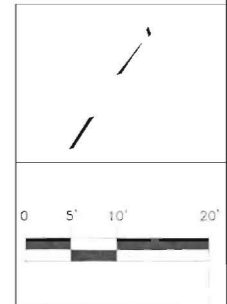
L1.0



LIGHT FIXTURES:

- A** POLE MOUNT
Kim Wall Form
KN-WF 21 Half face
42 w compact fluorescent
- B** CANOPY CEILING
Kim Wall Form
KN-WF 20 Full face
26 w compact fluorescent
- C** BUILDING MOUNT
Kim Wall Form
KN-WF 21 Half face
26 w compact fluorescent
- D** BUILDING MOUNT
Kim Wall Form
KN-WF 21 Half face
42 w compact fluorescent

1 **EXTERIOR ELECTRIC PLAN**
E1.1 1" = 20'



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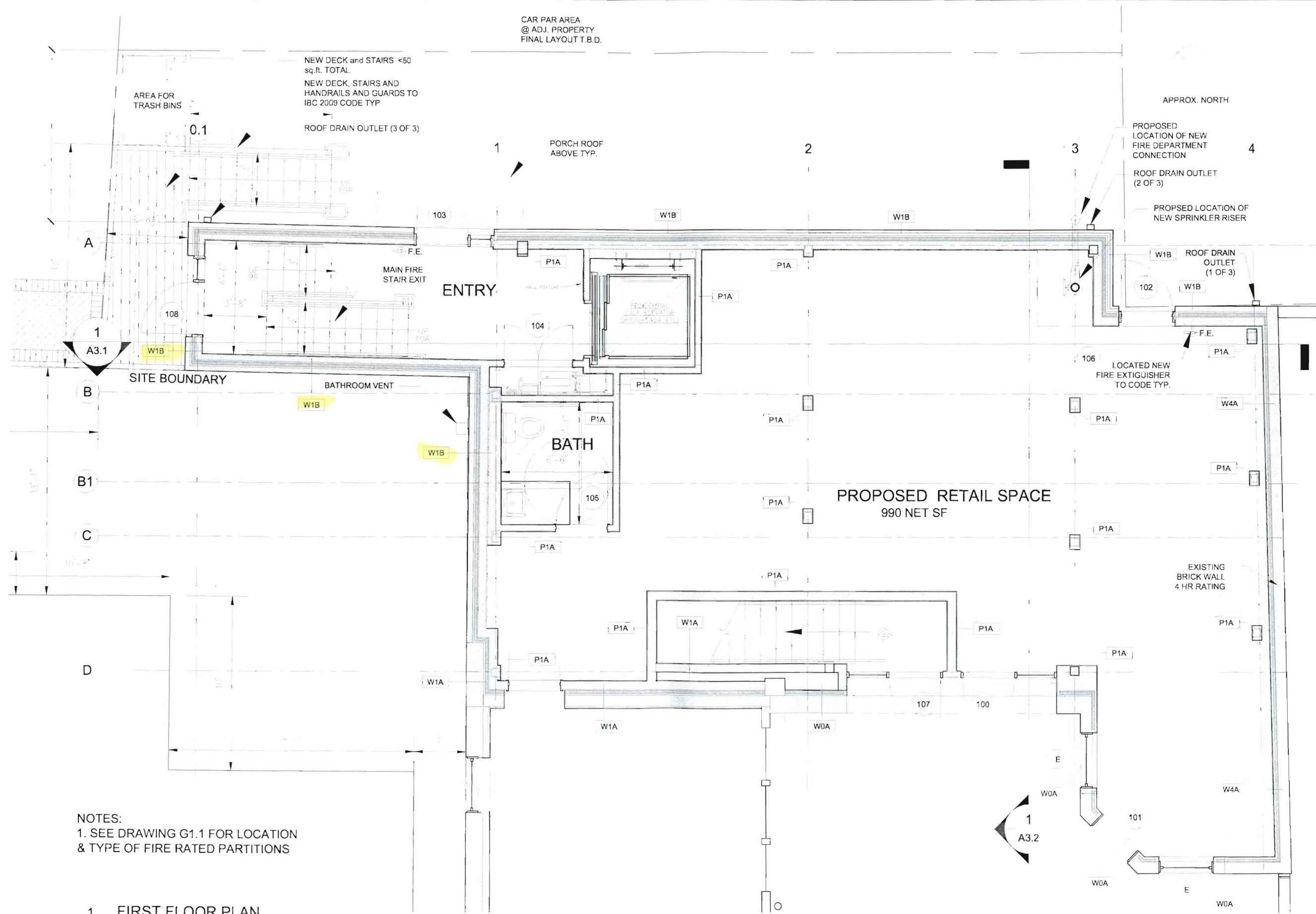
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PROJECT No. INDIA STREET
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SCALE: AS INDICATED

SHEET TITLE:
**EXTERIOR
ELECTRIC PLAN**

E1.0



CAR PAR AREA
@ ADJ. PROPERTY
FINAL LAYOUT T.B.D.

NEW DECK and STAIRS <50
sq.ft. TOTAL
NEW DECK, STAIRS AND
HANDRAILS AND GUARDS TO
IBC 2009 CODE TYP
ROOF DRAIN OUTLET (3 OF 3)

AREA FOR
TRASH BINS

PORCH ROOF
ABOVE TYP.

APPROX. NORTH

PROPOSED
LOCATION OF NEW
FIRE DEPARTMENT
CONNECTION

ROOF DRAIN OUTLET
(2 OF 3)

PROPOSED LOCATION OF
NEW SPRINKLER RISER

ROOF DRAIN
OUTLET
(1 OF 3)

LOCATED NEW
FIRE EXTINGUISHER
TO CODE TYP.

EXISTING
BRICK WALL
4 HR RATING

NOTES:
1. SEE DRAWING G1.1 FOR LOCATION
& TYPE OF FIRE RATED PARTITIONS

1 FIRST FLOOR PLAN
A-1.1 3/16" = 1'-0"

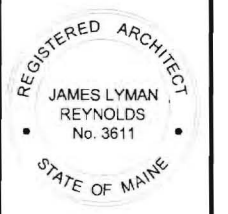
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DATE: 8.25.08
PROJECT No. INDIA ST
DRAWN BY: JLR
CHECKED BY: JLR
SCALE: AS INDICATED

SHEET TITLE:
FIRST
FLOOR
PLAN

A1.1

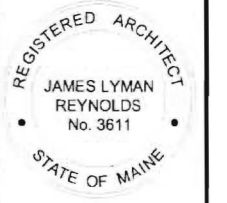
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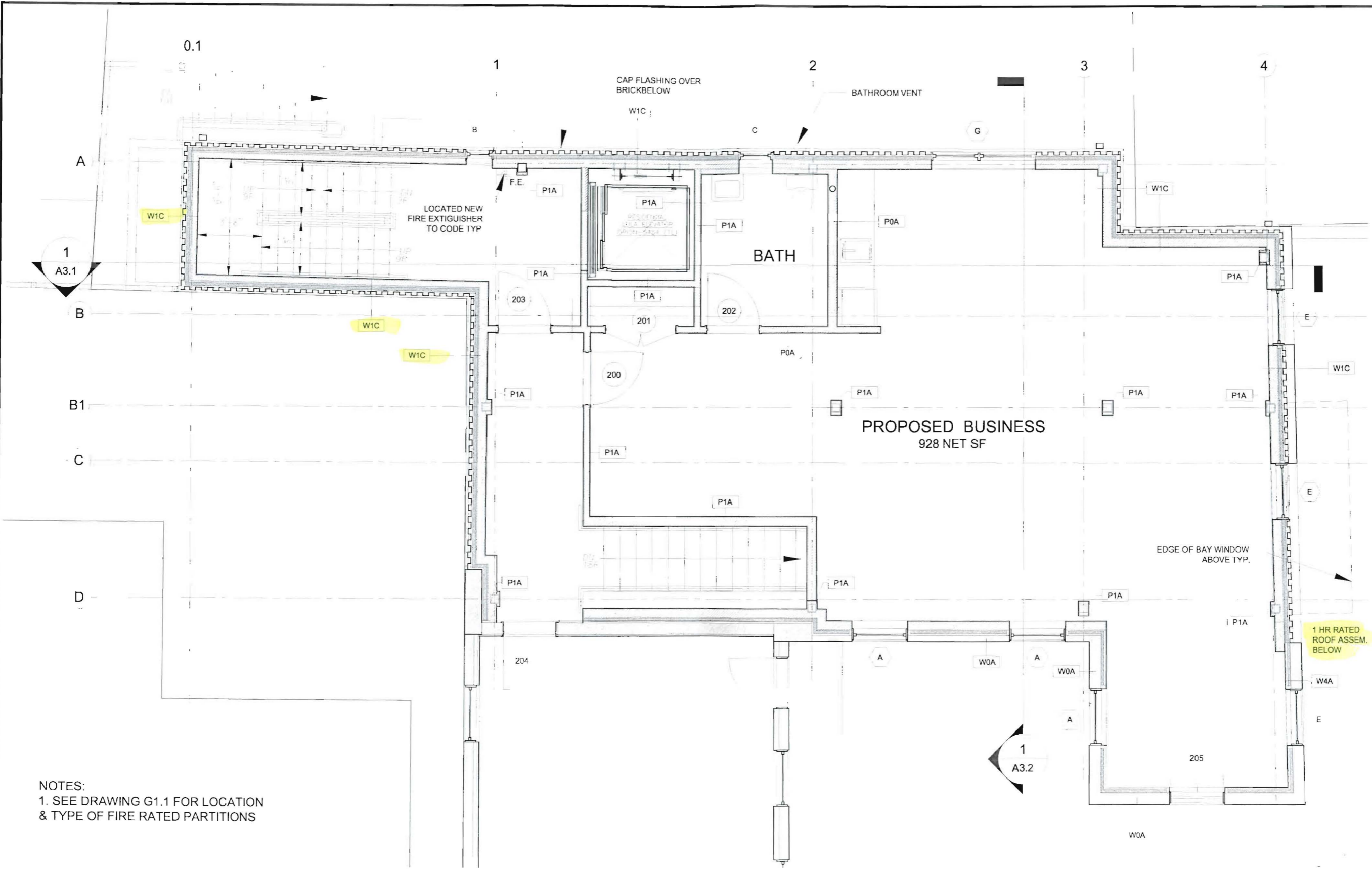
CONSULTANTS

AMENDMENTS:
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REVISION #5 - 04/20/11



DATE: 8.25.08
PROJECT No: INDIA ST
DRAWN BY: JLR
CHECKED BY: JLR
SCALE: 3/16"=1'-0"
SHEET TITLE:
SECOND FLOOR PLAN

A1.2



NOTES:
1. SEE DRAWING G1.1 FOR LOCATION & TYPE OF FIRE RATED PARTITIONS

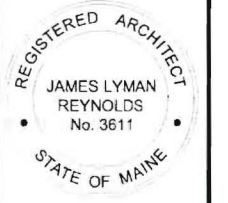
1 **SECOND FLOOR PLAN**
A-1.2 3/16" = 1'-0"

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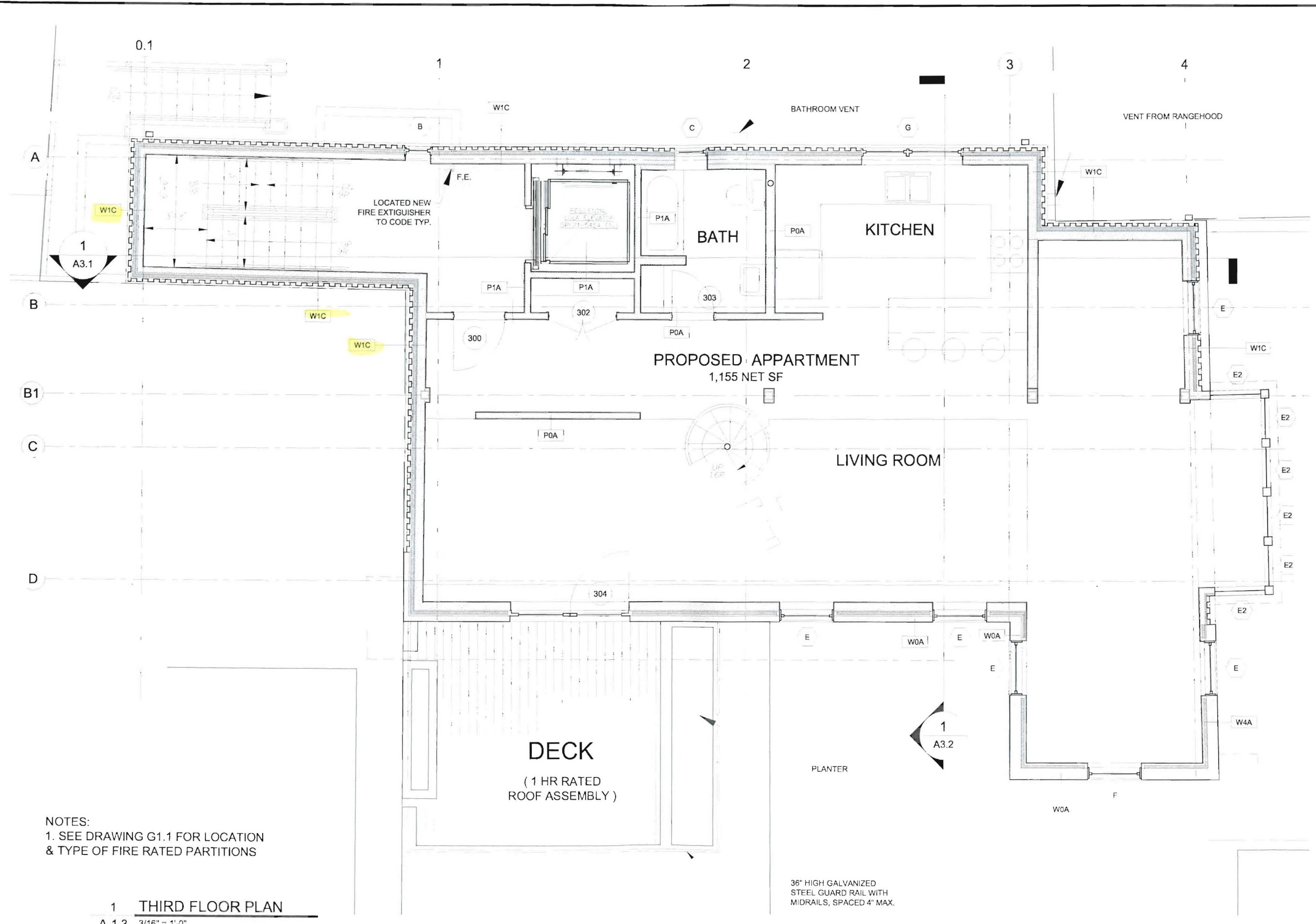
CONSULTANTS:

AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #4 - 11/20/10
REVISION #5 - 04/20/11



DATE: 8.25.08
PROJECT No. INDIA ST
DRAWN BY: JLR
CHECKED BY: JLR
SCALE: 3/16" = 1'-0"
SHEET TITLE:
THIRD FLOOR PLAN

A1.3



NOTES:
1. SEE DRAWING G1.1 FOR LOCATION & TYPE OF FIRE RATED PARTITIONS

1 THIRD FLOOR PLAN
A-1.3 3/16" = 1'-0"

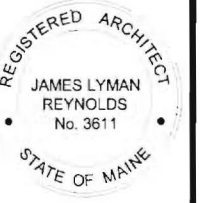
36" HIGH GALVANIZED STEEL GUARD RAIL WITH MIDRAILS, SPACED 4" MAX.

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CONSULTANTS:

AMENDMENTS:
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REVISION #4 - 11/20/10
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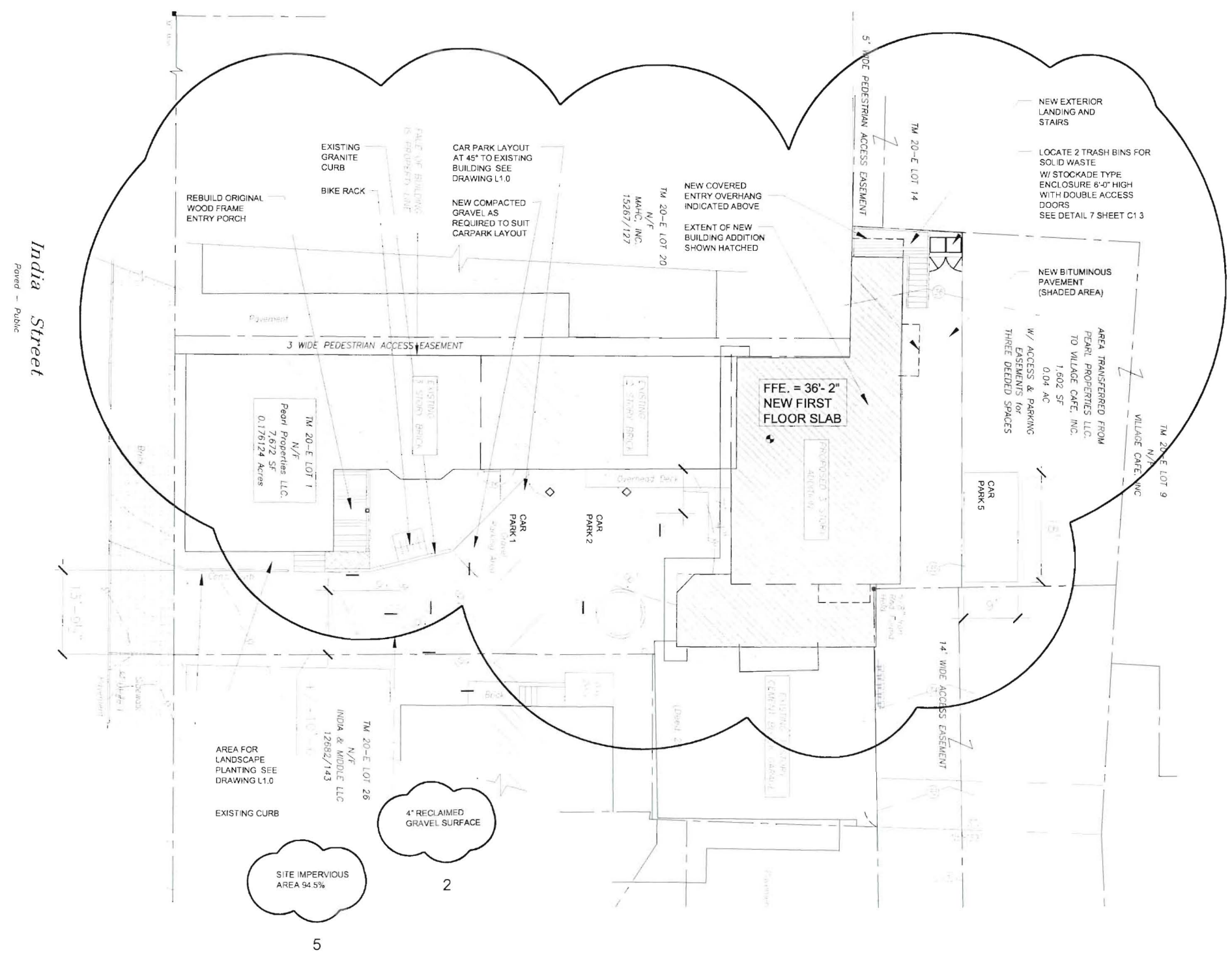


DATE: 8.25.08
PROJECT No. INDIA STREET
DRAWN BY:
CHECKED BY: JLR
SCALE: AS INDICATED

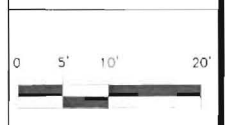
SHEET TITLE:
SITE PLAN
PROPOSED
LAYOUT &
GRADING

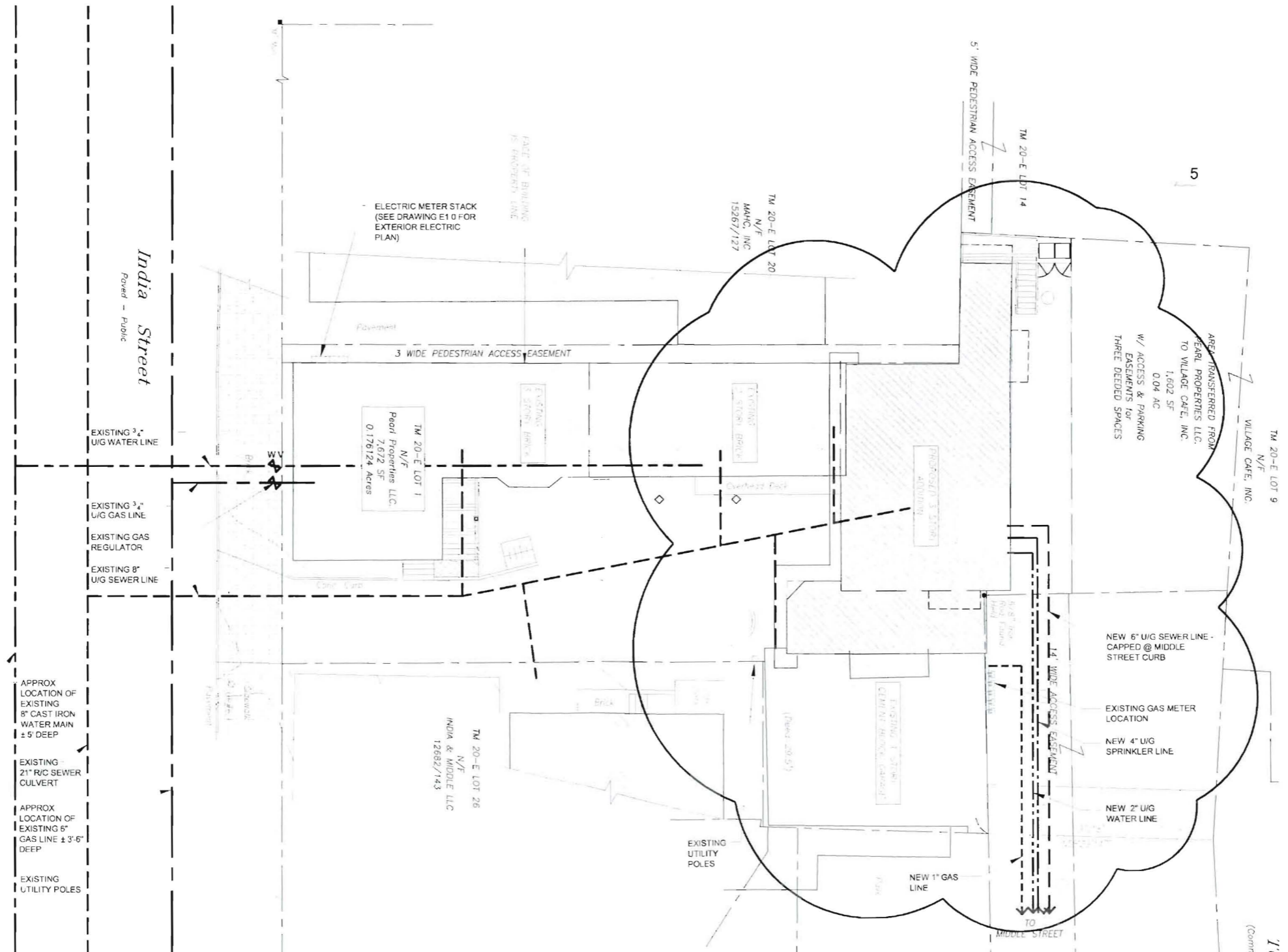
C1.0

NOTES:
1. SNOW TO BE REMOVED FROM THE SITE



1 **SITE PLAN PROPOSED**
C1.0 1" = 20'





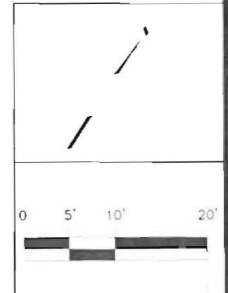
APPROX LOCATION OF EXISTING 8" CAST IRON WATER MAIN ± 5' DEEP

EXISTING 21" R/C SEWER CULVERT

APPROX LOCATION OF EXISTING 6" GAS LINE ± 3'-6" DEEP

EXISTING UTILITY POLES

1 UTILITY PLAN
C1.1 1" = 20'



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CONSULTANTS:

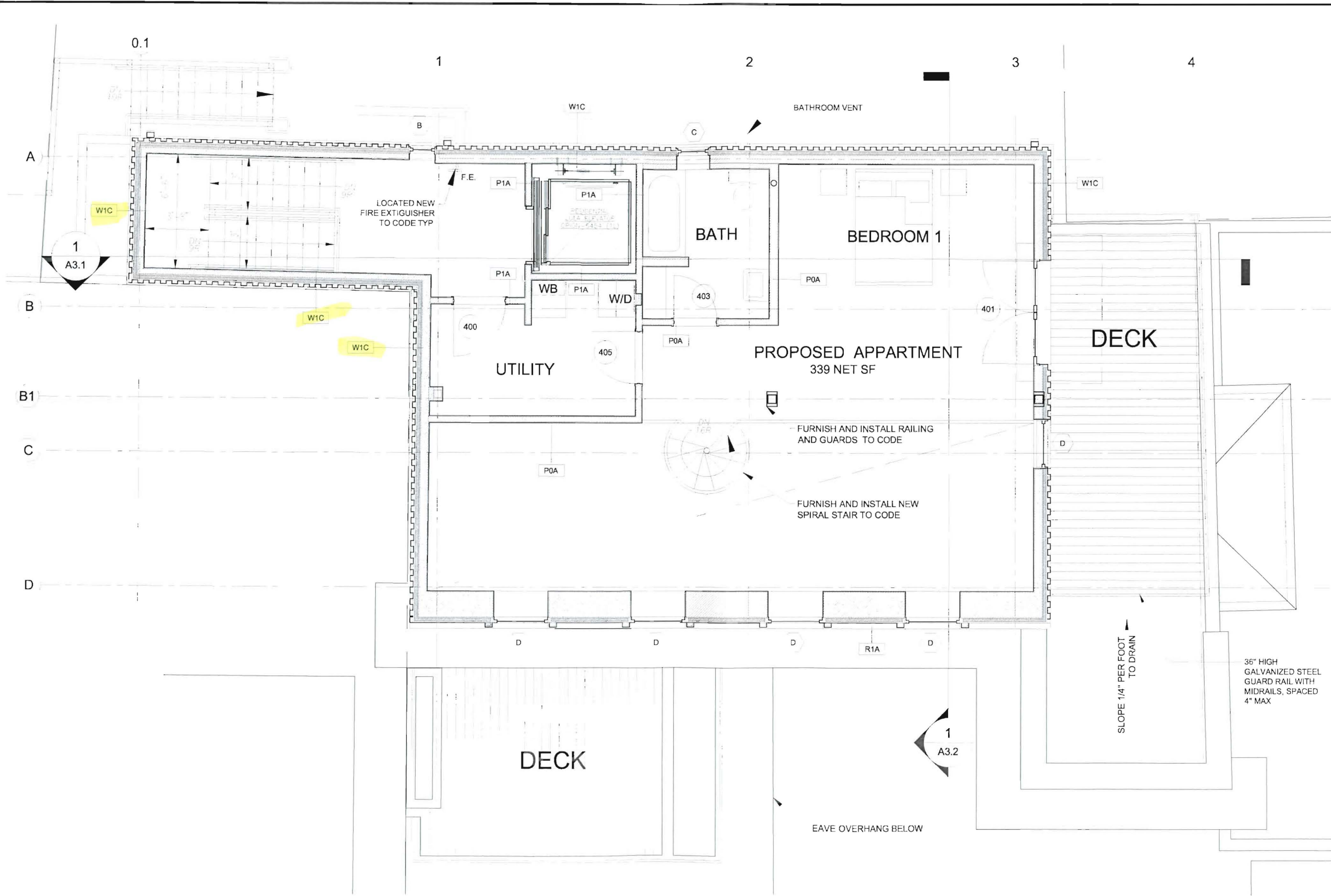
AMENDMENTS:
REVISION #2 - 12/01/08
REVISION #3 - 3/02/09
REVISION #5 - 04/20/11



DATE: 8.25.08
PROJECT No. INDIA STREET
DRAWN BY:
CHECKED BY: JLR
SCALE: AS INDICATED

SHEET TITLE:
UTILITY PLAN

C1.1



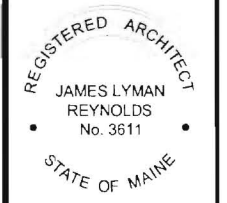
1 MEZZANINE FLOOR PLAN
 A-1.4 3/16" = 1'-0"

c JAMES LYMAN REYNOLDS
 ARCHITECT P.C.

PROPOSED ADDITIONS TO
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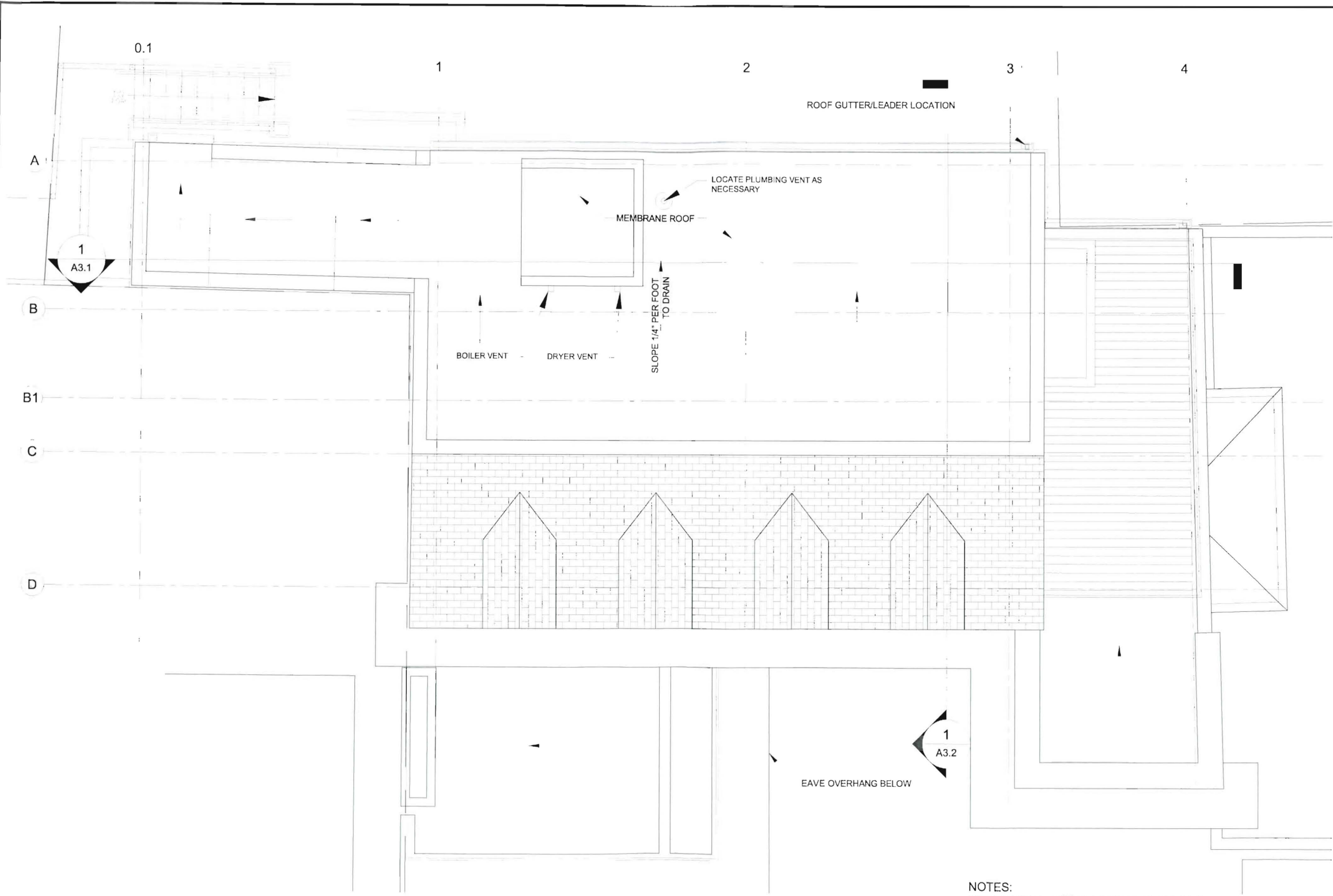
CONSULTANTS
 AMENDMENTS:
 REVISION #2 - 12/01/08
 REVISION #4 - 11/20/10
 REVISION #5 - 04/20/11



DATE 8.25.08
 PROJECT No. INDIA ST
 DRAWN BY JLR
 CHECKED BY JLR
 SCALE 3/16"=1'0"

SHEET TITLE:
 MEZZANINE
 FLOOR
 PLAN

A1.4



1 **ROOF PLAN**
 A-1.5 3/16" = 1'-0"

NOTES:
 MECHANICAL AND PLUMBING ELEMENTS
 ARE NOT SHOWN, REFER TO MECHANICAL
 AND PLUMBING DRAWINGS

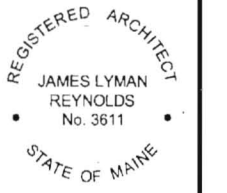
c JAMES LYMAN REYNOLDS
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AMENDMENTS:
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 REVISION #5 - 04/20/11



DATE: 8.25.08
 PROJECT No. INDIA ST
 DRAWN BY: JLR
 CHECKED BY: JLR
 SCALE: 3/16"=1'0"

SHEET TITLE
ROOF PLAN

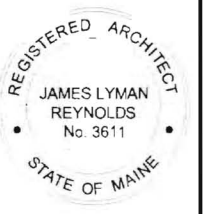
A1.5

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DATE: 8.25.08
PROJECT No: INDIA ST
DRAWN BY: JLR
CHECKED BY: JLR
SCALE: 1/8"=1'-0"

SHEET TITLE:
SOUTH WEST ELEVATION

A2.1

KEY TO MATERIALS

MATERIAL	COLOR
B1 BRICK - EXISTING	EXISTING
B2 BRICK - NEW	TO MATCH EXISTING BRICK
B3 BLOCK - EXISTING	EXISTING
C1 CORNICE - WOOD	DARK GREEN
C2 BAY WINDOW	DARK GREEN
M1 VINYL SIDING -	"MAJESTIC" T-LOK BARKWOOD W/ 5" DUTCH LAP EVEREST GREY
M2 METAL - FLASHING	TO MATCH M1
M3 METAL - STRUT	GALVANIZED STEEL
S1 SLATE	GREY MIX
F1 FENCE - PRIVACY	DARK GREEN
F2 FENCE - PRIVACY	DARK GREEN
G1 GUTTER - STEEL	GALVANIZED
G2 LEADER - STEEL	GALVANIZED
H1 HANDRAIL/GUARD	GALVANIZED
W1 WINDOW - BTHRM	DARK GREEN
W2 WINDOW - KITCHEN	DARK GREEN
W3 WINDOW - STAIR	DARK GREEN
W4 WINDOW - DORMER	DARK GREEN
W5 WINDOW - BAY	DARK GREEN
V1 VENT - BATHROOM	PAINT TO MATCH M1
V2 VENT - RANGEHOOD	PAINT TO MATCH M1
V3 VENT - BOILER	BLACK
V4 VENT - DRYER	PAINT TO MATCH M1



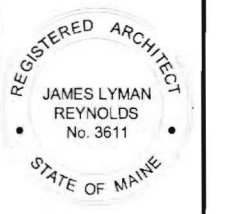
1 **SOUTH WEST ELEVATION**
A-2 1 1/8" = 1'-0"

NOTES:
1. SEE DRAWING G1.2 FOR ALLOWABLE AREA OF UNPROTECTED OPENINGS.

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CONSULTANTS:
 AMENDMENTS
 REVISION #4 - 11/20/10
 REVISION #5 - 04/20/11

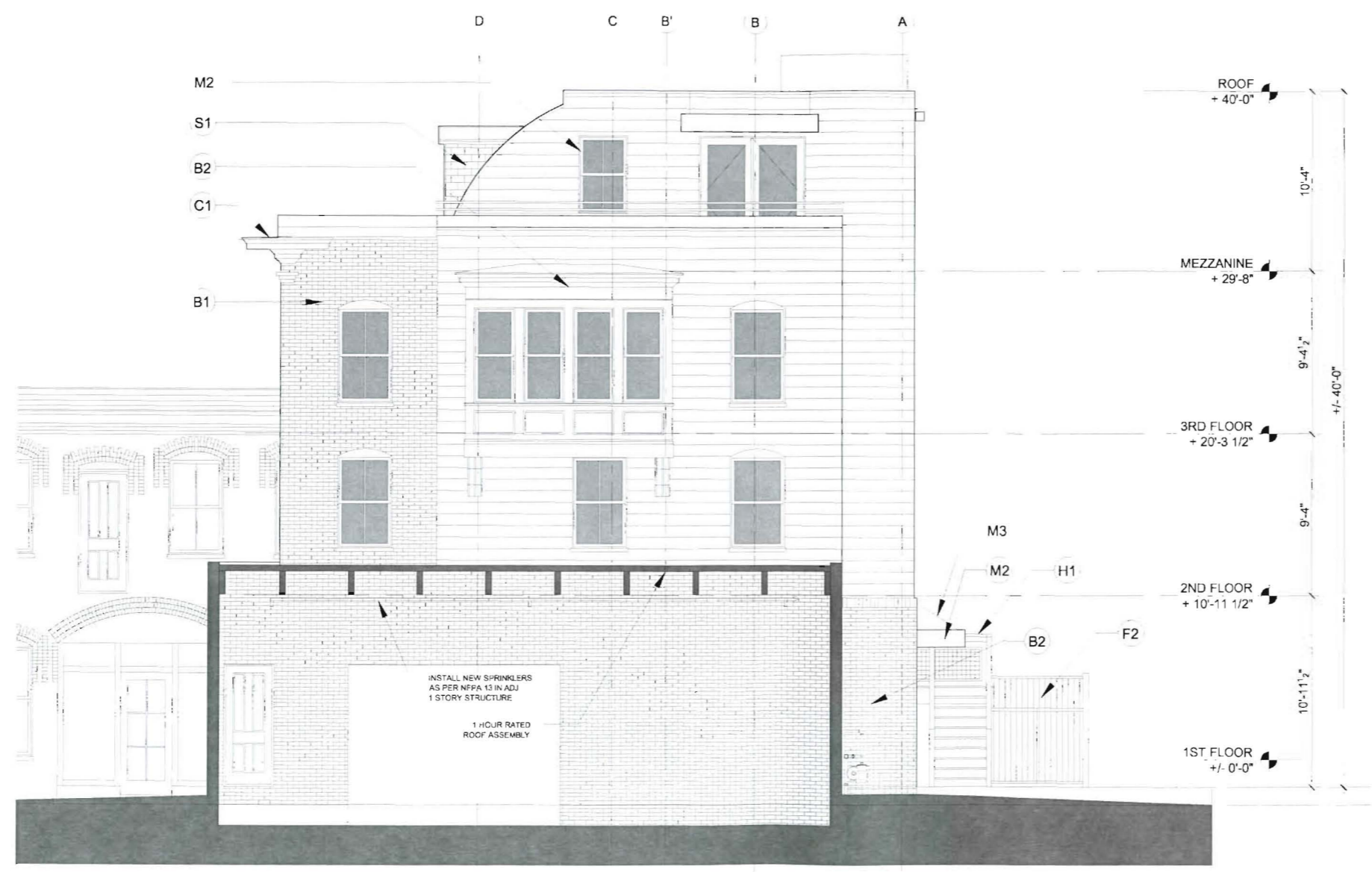


DATE: 8.25.08
 PROJECT No: INDIA ST
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 CHECKED BY: JLR
 SCALE: AS INDICATED

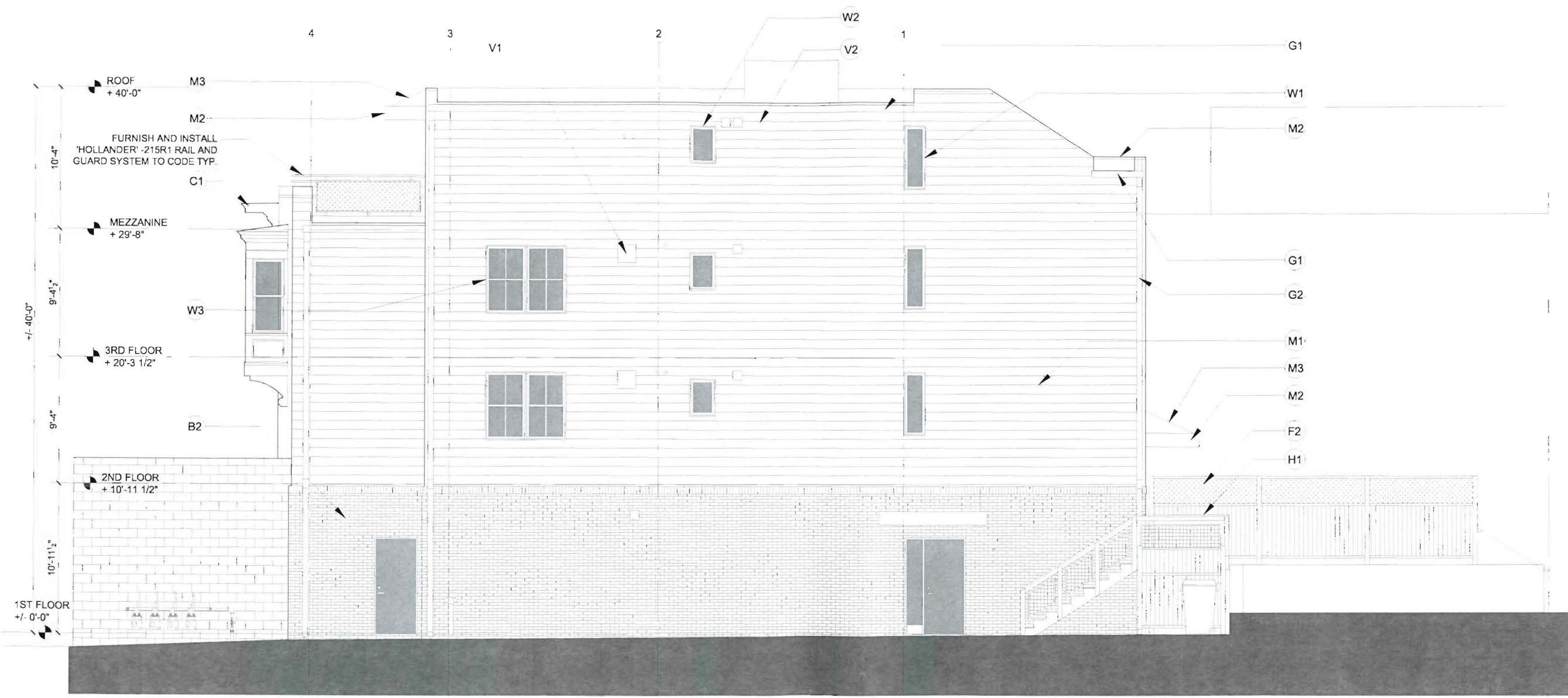
SHEET TITLE
 SOUTH EAST
 ELEVATION

A2.2

NOTES:
 1. SEE DRAWING G1.2 FOR ALLOWABLE AREA OF UNPROTECTED OPENINGS.
 2. SEE DRAWING A2.1 FOR KEY TO MATERIALS



1 **SOUTHEAST ELEVATION**
 A-2.2 3/16" = 1'-0"



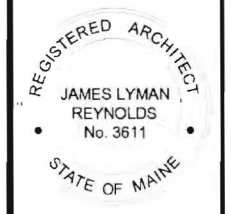
1 NORTHEAST ELEVATION
 A-2.3 1/8" = 1'-0"

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PROPOSED ADDITIONS TO
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PORTLAND, MAINE 04101
PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

JAMES LYMAN REYNOLDS
 ARCHITECT
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 Stone Ridge, NY 12484
 Ph (845) 687-9161

CONSULTANTS
 AMENDMENTS:
 REVISION #2 - 12/01/08
 REVISION #4 - 11/20/10
 REVISION #5 - 04/20/11



DATE: 8.25.08
 PROJECT No.: INDIA ST
 DRAWN BY: JLR
 CHECKED BY: JLR
 SCALE: 1/8" = 1'-0"

SHEET TITLE:
 NORTH EAST ELEVATION

A2.3

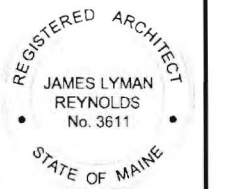
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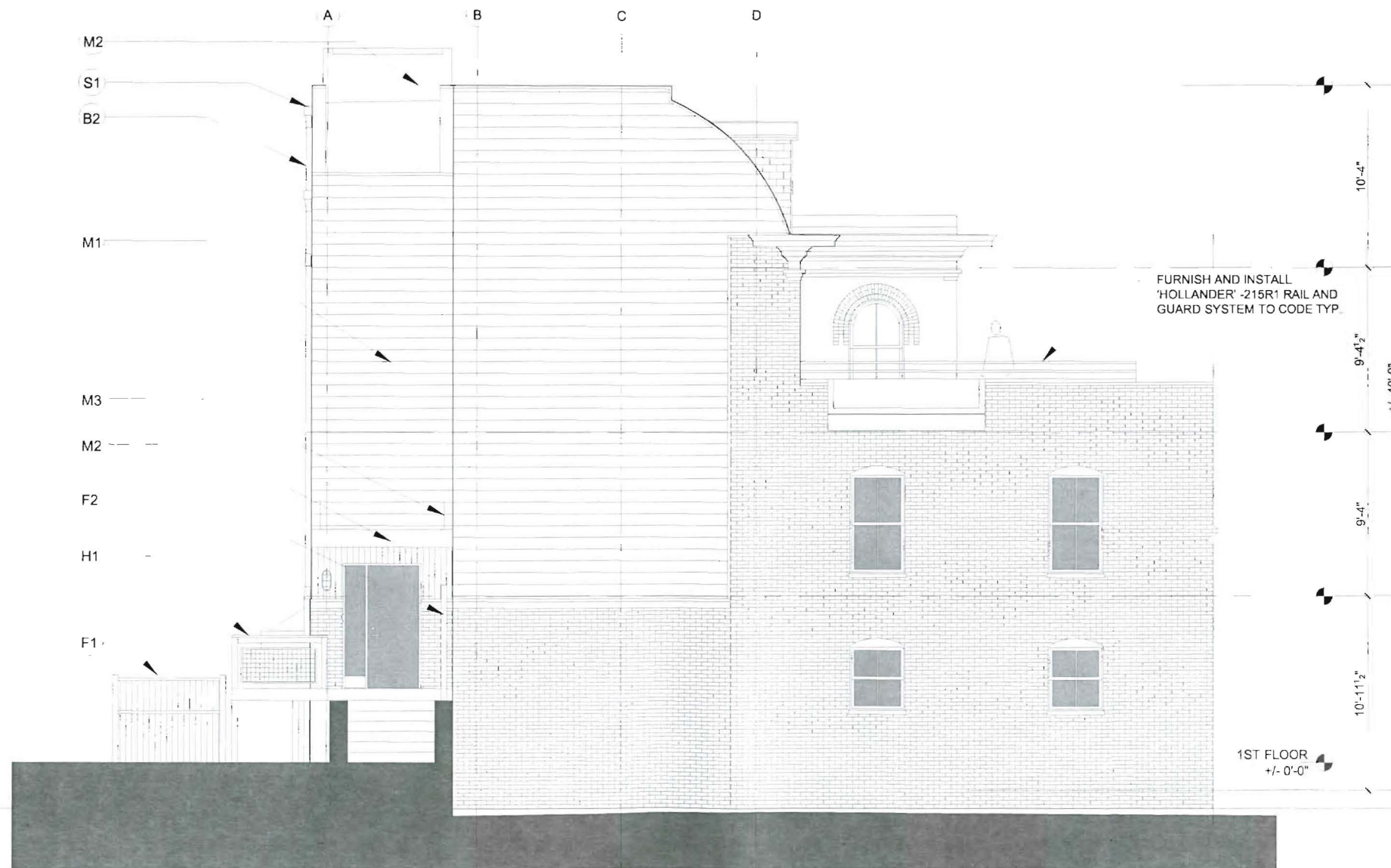
CHECKED BY: JLR

SCALE: 1/8"=1'0"

SHEET TITLE
NORTH WEST
ELEVATION

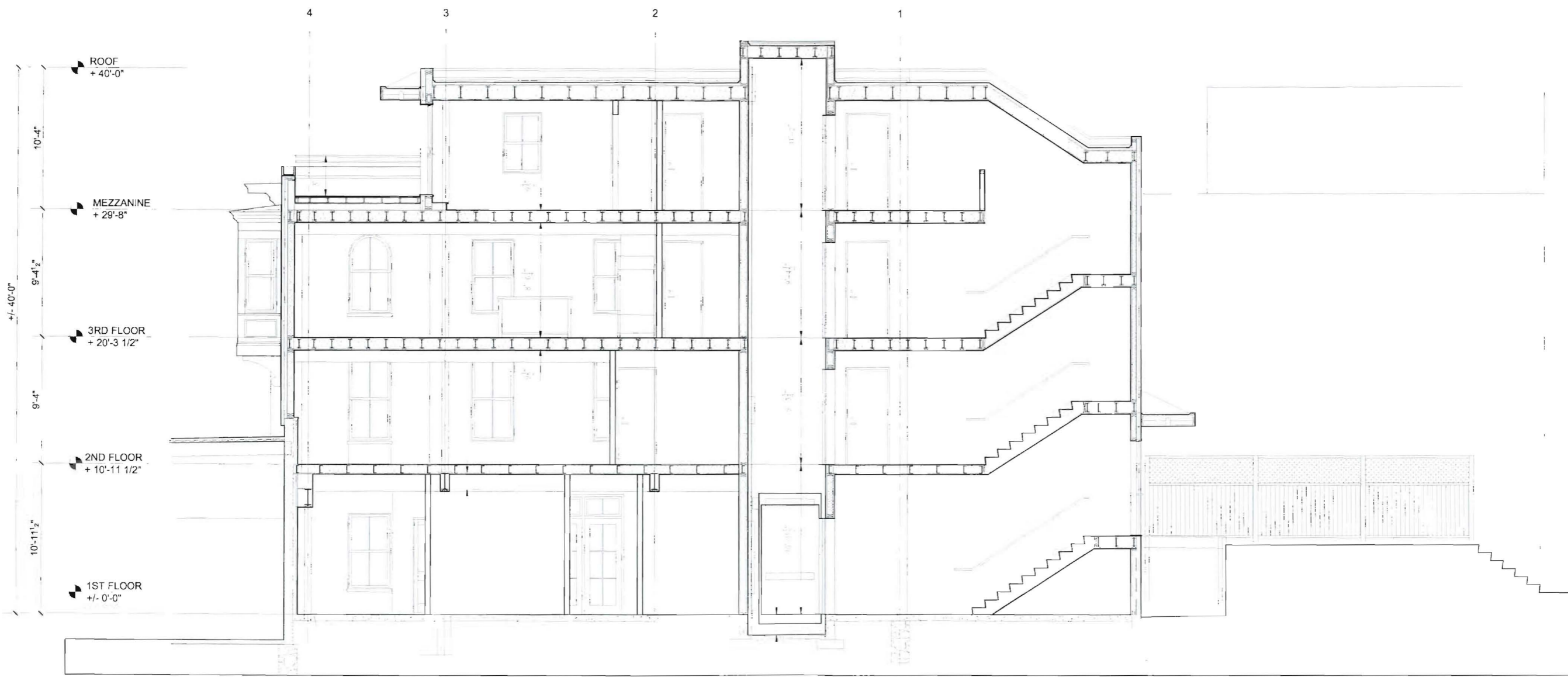
A2.4

- NOTES:
1. SEE DRAWING G1.2 FOR ALLOWABLE AREA OF UNPROTECTED OPENINGS.
 2. SEE DRAWING A2.1 FOR KEY TO MATERIALS



1 NORTHWEST ELEVATION
A-2.4 1/8" = 1'-0"

NOTES:
1. SEE DRAWING G1.4 AND G1.5
FOR WALL, FLOOR AND ROOF
ASSEMBLIES

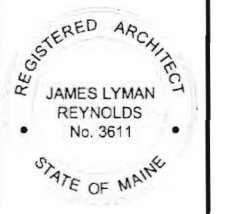


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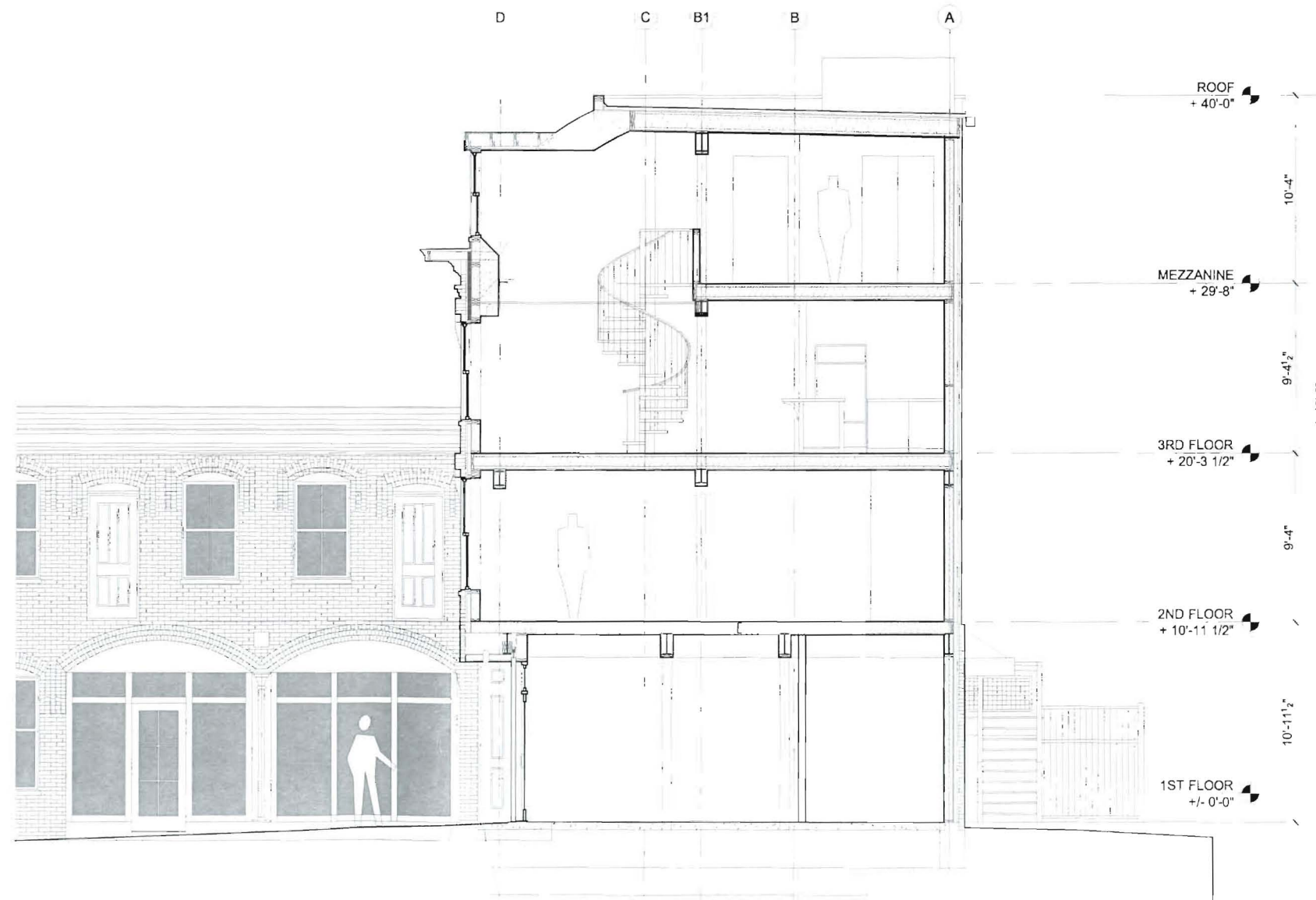


DATE: 8.25.08
PROJECT No: INDIA ST
DRAWN BY: JLR
CHECKED BY: JLR
SCALE: 1/8" = 1'-0"
SHEET TITLE:
BUILDING
SECTION

1 BUILDING SECTION
A-3.1 1/8" = 1'-0"

A3.1

NOTES:
 1. SEE DRAWING G1.4 AND G1.5
 FOR WALL, FLOOR AND ROOF
 ASSEMBLIES

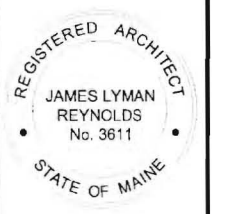


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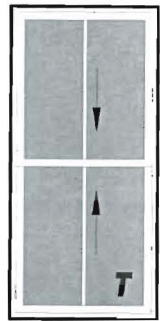
DATE: 8.25.08
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 SCALE: 1/8" = 1'-0"

SHEET TITLE
**BUILDING
 SECTION**

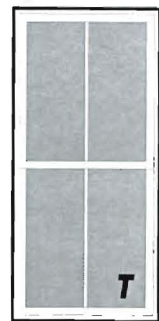
A3.2

1 **BUILDING SECTION**
 A-3.2 1/8" = 1'-0"

WINDOW TYPES - SCALE 1/4"=1'-0"



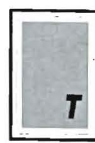
A DOUBLE HUNG



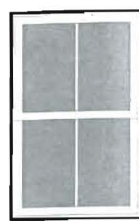
A1 FIXED FIRE RATED GLAZING



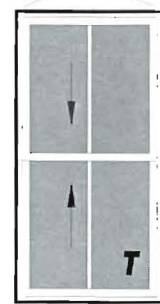
B FIXED



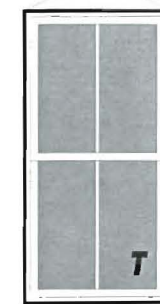
C AWNING



D DOUBLE HUNG



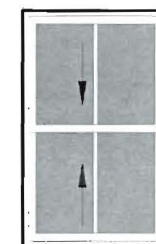
E DOUBLE HUNG



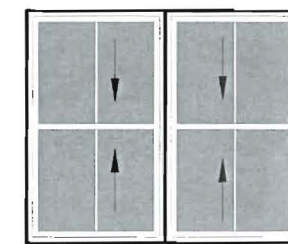
E1 FIXED FIRE RATED GLAZING



E2 DOUBLE HUNG



F DOUBLE HUNG



G PAIR OF DOUBLE HUNG

LEGEND:

- T = TEMPERED GLASS
- FG = FIBERGLASS
- AL = ALUMINUM
- DH = DOUBLE HUNG
- AW = AWNING
- LV = LOUVER
- F = FIXED
- CL = GLIDER

NOTES:

1. ALL GLAZING WITHIN 18" OF THE FLOOR TO BE TEMPERED
2. FULL SCREENS ALL OPENINGS
3. CONTRACTOR TO VERIFY ALL ROUGH OPENINGS
4. CONTRACTOR TO VERIFY THAT ALL EGRESS OPENINGS MEET EGRESS REQUIREMENTS
5. ALL EXTERIOR GLAZING INSULATED
6. FRAME OPENINGS WITH ELEVATIONS

WINDOW SCHEDULE

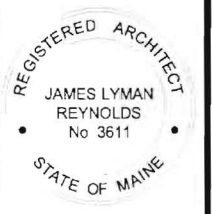
KEY	ACTION	ROUGH OPENING (WxH) VIF	R.O. HEAD HEIGHT FROM SUB FLOOR	DETAILS			MATERIAL	FINISH	REMARKS
				HEAD	JAMB	SILL			
A	DH	3'-2-1/2" X 6'-8-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS
A1	F	3'-2-1/2" X 6'-8-1/2"	-	-	-	-	MTL	-	3/4 HOUR FIRE RATED GLAZING - PERMANANTLY FIXED 2 OVER 2 WITH FIRE RATED FRAME
B	F	1'-8-1/2" X 4'-8-1/2"	-	-	-	-	MTL	-	TEMPERED GLASS
C	AW	2'-0-1/2" X 2'-9-1/2"	-	-	-	-	MTL	-	TEMPERED GLASS
D	DH	3'-0-1/2" X 5'-0-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS
E	DH	3'-2-1/2" X 6'-2-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS
E1	F	3'-2-1/2" X 6'-2-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS, 3/4 HOUR FIRE RATED GLAZING - PERMANANTLY FIXED 2 OVER 2 WITH FIRE RATED FRAME
E2	F	2'-4-1/2" X 5'-6-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS
F	DH	3'-2-1/2" X 5'-0-1/2"	-	-	-	-	MTL	-	EGRESS IN BEDROOMS
G	DH	6'-0-1/2" X 5'-0-1/2"	-	-	-	-	MTL	-	PAIR OF DOUBLE HUNG

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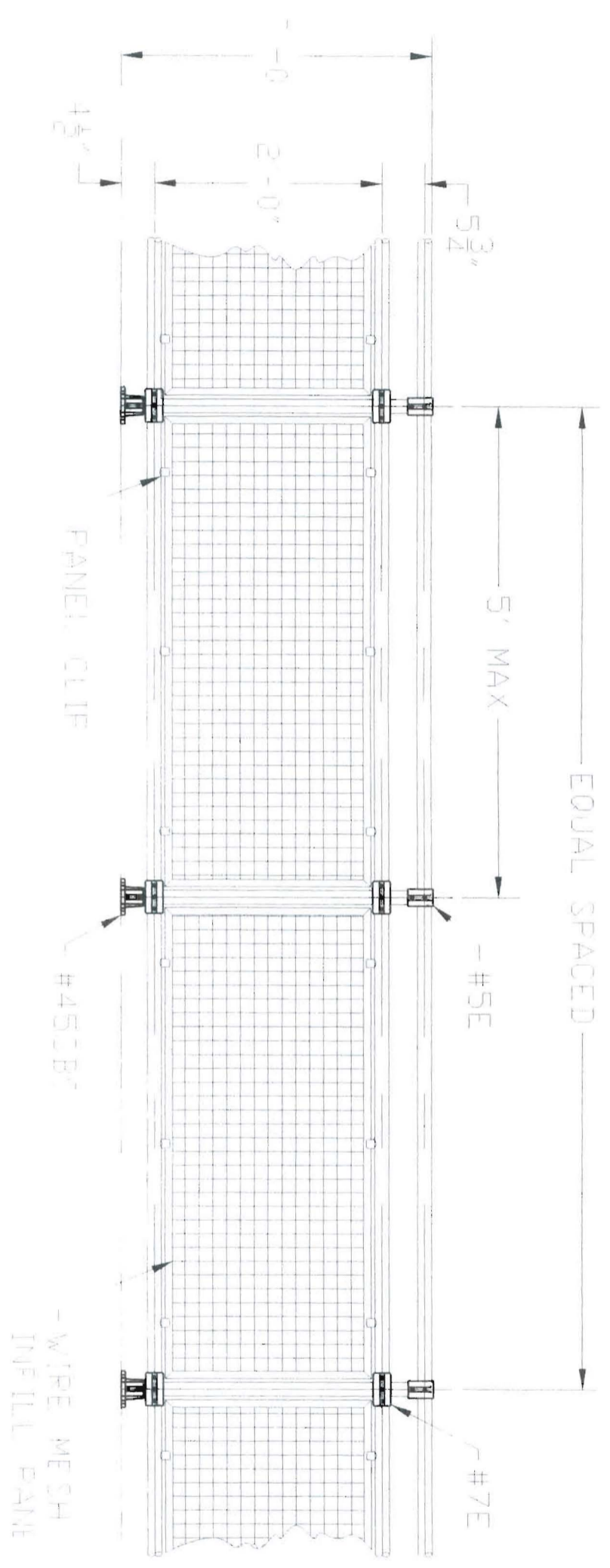
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SHEET TITLE
WINDOW SCHEDULE

A7.0



TYPICAL LEVEL HANDRAIL WITH INFILL
SPEED RAIL DETAIL

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NO.	REVISIONS	DATE	APPROVED
1	ISSUED FOR REVIEW	4-13-06	EV

Hollander
STRUCTURAL ENGINEERING GROUP

HOLLANDER AND ASSOCIATES
10285 WYOMING AVENUE
CHICAGO, IL 60655
TEL: (773) 772-8800
FAX: (773) 772-8806
WWW.HOLLANDER-ENG.COM

PROJECT	DESCRIPTION	DATE	BY	DATE	BY
NITEL PANELS	DETAIL PACKAGE	4-13-06	EV	4-13-06	EV

WIRE MESH
INFILL PANEL

#7E

#5E

5' MAX

EQUAL SPACED

5 3/4"

2'-0"

4 1/2"

PANEL CLIP

#45CB