

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

Permit Number: 081124

Please Read Application And Notes, If Any, Attached

PERMIT

This is to certify that PEARL PROPERTY LLC / Joe Reynolds *Structure &*
has permission to addition of a 4 story building on footprint. *SHELL ONLY*
AT 61 INDIA ST *CBL 020 E021001*

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is laid or closed-in. FOUR NOTICES IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

PERMIT ISSUED

OTHER REQUIRED APPROVALS

Fire Dept. *Covered*
Health Dept. *Chase*
Appeal Board
Other
Department Name CITY OF PORTLAND
FEB 27 2009

Carrie Bonke 3/28/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

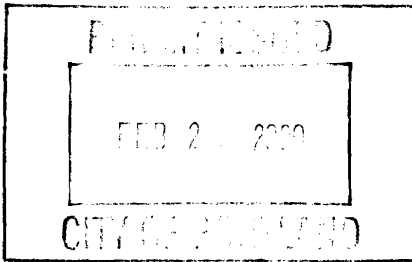
Permit No: 08-1124	Issue Date:	CBL: 020 E021001
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Location of Construction: 61 INDIA ST	Owner Name: PEARL PROPERTIES LLC	Owner Address: 198 TUTTLE RD	Phone:
Business Name:	Contractor Name: Joe Reynolds	Contractor Address: 198 Tuttle Road Cumberland	Phone: 2078387296
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Zone: B-2b

Past Use: Commercial - retail, office, and two apts in the existing building	Proposed Use: Commercial - addition of a 4-story building on an existing footprint - 1st floor retail - 2nd floor offices - third & fourth floor only 1 apartment	Permit Fee: \$770.00	Cost of Work: \$75,000.00	CEO District: 1
Proposed Project Description: addition of a 4 story building on an existing footprint.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: <i>M/B/R</i> Type: <i>SA</i> <i>IBC-2003</i> <i>STILL ONLY</i>	
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i> <i>2/26/09</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 09/05/2008	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>#2008-0116</i> Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: _____	Date: _____	Date: _____



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.


A Pre-construction Meeting will take place upon receipt of your building permit.

- Underground electrical or plumbing inspection prior to pouring concrete**
- Periodic framing, steel erection and masonry wall inspections coordinated at the time of special inspections**
- The final report of Special Inspections shall be submitted prior to the final inspection or the issuance of the Certificate of Occupancy**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

2/27/09

Date

Signature of Inspections Official

Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1124	Date Applied For: 09/05/2008	CBL: 020 E021001
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Location of Construction: 61 INDIA ST	Owner Name: PEARL PROPERTIES LLC	Owner Address: 198 TUTTLE RD	Phone:
Business Name:	Contractor Name: Joe Reynolds	Contractor Address: 198 Tuttle Road Cumberland	Phone (207) 838-7296
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Proposed Use: Commercial - addition of a 4-story building on an existing footprint - 1st floor retail - 2nd floor offices - third & fourth floor only 1 apartment	Proposed Project Description: addition of a 4 story building on an existing footprint....STEEL/WWOD STRUCTURE AND SHELL ONLY
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 02/26/2009**Note:** **Ok to Issue:**

- 1) There shall be no stubbing or roughing-in of plumbing and electrical for a "future" separate apartment on the top floor or any where else.
- 2) This property shall remain: Existing building: 1st floor retail (tackle shop) and small office space. 2nd floor in existing building 1 apartment. 3rd floor in the existing building, 1 apartment. Approved uses in the new building: 1st floor is retail. The 2nd floor is business/office use in the new building. The 3rd and 4th floor in the new building is 1 apartment. Any change of use shall require a separate permit application for review and approval.
- 3) Separate permits shall be required for any new signage.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 02/26/2009**Note:** **Ok to Issue:**

- 1) This permit was reviewed comprehensively as the building interacts with the abutting existing structures and fire ratings and separated occupancies are required. The applicant requested a phased project in the letter dated 9/5/08. THIS PERMIT APPROVES CONSTRUCTION OF THE STRUCTURAL STEEL, FLOORS AND ENVELOPE ONLY. NO OCCUPANCY IS ALLOWED. SEPARATE PERMITS ARE REQUIRED FOR INTERIOR FINISHINGS, TENANT FIT AND ASSOCIATED FEES.
- 2) IBC 2003 and the SFM approve a combined 13 & 13R sprinkler system. This will require the occupancies to be separated, with rated assemblies and supporting structures.
- 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm and HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 4) Application approval based upon information provided by applicant, structural 1st revisions received 11/12/08 and architectural 2nd revisions received 12/2/02. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 09/19/2008**Note:** **Ok to Issue:**

- 1) Walls in structure are to be labeled according to fire resistance rating.
IE; 1 hr. / 2 hr. / smokeproof.
- 2) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance.
Compliance letters are required.
- 3) A single source supplier should be used for all through penetrations.

Dept: Public Services **Status:** Approved with Conditions **Reviewer:** **Approval Date:****Note:** **Ok to Issue:**

Location of Construction: 61 INDIA ST	Owner Name: PEARL PROPERTIES LLC	Owner Address: 198 TUTTLE RD	Phone:
Business Name:	Contractor Name: Joe Reynolds	Contractor Address: 198 Tuttle Road Cumberland	Phone (207) 838-7296
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:**
Note: **Ok to Issue:**

Dept: Parks **Status:** Not Applicable **Reviewer:** **Approval Date:**
Note: **Ok to Issue:**

Dept: Fire **Status:** Approved **Reviewer:** Capt Greg Cass **Approval Date:** 08/22/2008
Note: **Ok to Issue:**

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Philip DiPierro **Approval Date:** 02/25/2009
Note: **Ok to Issue:**

Dept: Planning **Status:** Approved with Conditions **Reviewer:** Jean Fraser **Approval Date:** 10/06/2008
Note: **Ok to Issue:**

Location of Construction: 61 INDIA ST	Owner Name: PEARL PROPERTIES LLC	Owner Address: 198 TUTTLE RD	Phone:
Business Name:	Contractor Name: Joe Reynolds	Contractor Address: 198 Tuttle Road Cumberland	Phone (207) 838-7296
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

1) On October 6, 2008, the Portland Planning Authority approved a minor site plan for a four story infill building totaling 5411 sq ft floorspace, incorporating the remains of an existing structure of historic interest (3 story front elevation) at the rear of 61 India Street, as submitted by Pearl Properties LLC and shown on the approved plans prepared by TFH Architects and dated July 30, 2008 (Building Elevations and Floor Plans); September 19, 2008 (Utility and Landscape Plans) and October 1, 2008 (Site Plan with handwritten annotation), with the following conditions:

- i. That the proposed new building is limited to retail on the first floor, business on the second floor and a single residential unit comprising a total of 2695 sq ft on floors three and four; and
- ii. That there shall be no stubbing or roughing-in of plumbing and electrical for a "future" separate apartment on the top floor; and
- iii. That there shall be a building permit application for any change of use to add a new apartment; if this occurs within five years of the Certificate of Occupancy, an application for Subdivision Review shall also be submitted; and
- iv. That there shall be building permit applications for the actual tenants of the retail and office space for confirming use and for tenant fit-up; and
- v. That the applicant shall submit construction details of the "turntable" device, for the review and approval of the Planning Authority prior to its installation; and
- vi. That in the event that the "turntable" device (which allows for one of the required parking spaces to be located to the rear of the building) can not be installed and/or operated prior to occupancy of the new building, the applicant shall submit, prior to the issuance of a final Certificate of Occupancy, a signed 3-5 year contract for an additional off street parking space as replacement for the required parking space; and
- vii. That in the event that the access alley leading to Middle Street, to the rear of the property, has not been constructed and improved prior to occupancy of the new building, that applicant shall submit, prior to the issuance of a final Certificate of Occupancy, a contract for a temporary off-site parking space that would be available until the rear parking space is accessible; this condition would not apply if as a result of Condition vi the rear parking space is no longer part of the proposal; and
- viii. That the applicant shall contribute \$500.00 towards future transportation improvements at the India Street/Middle Street intersection; and
- ix. Separate permits shall be required for any new signage.

Comments:

9/9/2008-mes: this property is going thru a site plan review with planning staff (#2008-0116)- this building renovations may not start without approvals thru planning.

9/16/2008-mes: A clarification during a meeting with Joe R. and Scott T, Jean F, Marge, Alex & Tom Errico. The original permit was just to rebuild the demolished portion of the building. During the meeting, Joe R stated that he meant to say this was the building permit application that goes along with the site plan review process. He is not asking to begin work prior to the completion of the site plan review process. He is asking that his structural plans be reviewed while the site plan review process is going on. NO APPROVALS TO BEGIN ANY RESTORATION OR BUILDING IS BEING APPROVED WITH THIS PERMIT OR ANY OTHER OUTSIDE CONVERSATIONS. CHECK OUT THE COST & FEES - STATES HE CAN BUILD THIS ENTIRE BLDG FOR \$75,000 - Fees are owed before issuing permit

9/16/2008-mes: DO NOT ISSUE THIS PERMIT UNTIL THE PLANNING STAFF RELEASES THE APPROVAL(S). GIVE BACK TO MARGE FOR FINAL ZONING SIGN-OFF.

10/15/2008-jmb: Spoke with Joe R. About the list of requirements to proceed with the plan review. He wants the list sent to him, not the architect or engineer. He would still like to pursue this project in phases

10/17/2008-jmb: Sent vial email the list of items required, cc'd Penny L.

Location of Construction: 61 INDIA ST	Owner Name: PEARL PROPERTIES LLC	Owner Address: 198 TUTTLE RD	Phone:
Business Name:	Contractor Name: Joe Reynolds	Contractor Address: 198 Tuttle Road Cumberland	Phone (207) 838-7296
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

10/20/2008-jmb: Joe R. Called to confirm he recieved the email and sent it to Al H. and Scott T. We discussed some of the criteria for clarity and he will get back when revisions are ready.

11/12/2008-jmb: Received reivised plans

11/19/2008-jmb: Spoke to engineer Al H. For items: Seismic design of Geo tech report is for IBC 2006, site class (0.10) on design application is inaccurate, seismic design category "B" on statement of SI for seismic resistance is inaccurate. He will correct and submit a request for waiver to use the IBC 2006 for the seismic design.

11/20/2008-jmb: Received the special inspections report for the foundation work associated with this permit and permit #07-0421.

11/24/2008-jmb: Spoke to Ryan at TFH about the fire wall separation of the new building to the 1 story garage/mercantile, the separation of 13 and 13R sprinklers systems and sprinkler head (sidewall) at the residential balcony. He will research and respond.

12/1/2008-jmb: Received email on 11/25 explaining the existing multi-wythe wall separating the 1 story garage/mercantile from the new 4 story structure, the glazing on the wall above that roof and question on the separation of sprinklers systems. I emailed back to make the changes on the plans and the requirements for separate sprinklers: SFM approval and 2 hour F/C assembly at the B/R use including structural supports. He emailed he will submit.

12/2/2008-jmb: Received 2nd revsion of plans from Ryan S., information complete. Still waiting for SFM approval for a split 13/13R system, recycled steel design/test standards, signature of engineer on page 12 of the SI report, and planning sign off.

12/16/2008-jmb: Spoke to Joe R. About the required pending information for approvals

1/22/2009-jmb: Received the test certification results for the recycled structural steel. Confirmed with Joe R. That the SFM approval is almost ready and he is working on the planning PG.

1/27/2009-jmb: Received the SFM approval, can issue when notified by planning Phil D. That PG and all conditions has been met.

2/26/2009-jmb: Received email from Phil D. For planning sign off and approvals, gave to Marge for her final approval - Jean Fraser also released for issuance per e-mail

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2008-0116
Application I. D. Number

7/30/2008
Application Date

Building Addition
Project Name/Description

TFH Architects
Applicant
100 Commercial Street, Portland, ME 04101
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 775-6141 Applicant Fax: (207) 773-0194
Applicant or Agent Daytime Telephone, Fax

61 - 61 India St, Portland, Maine
Address of Proposed Site
020 E021001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt Condo 0 Other (specify)

Proposed Building square Feet or # of Units	7672	Acreeage of Site	2175	Proposed Total Disturbed Area of the Site	B2b	Zoning
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Check Review Required:

- Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots
- Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation DEP Local Certification
- Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
- After the Fact - Major Stormwater Traffic Movement Other
- After the Fact - Minor PAD Review 14-403 Streets Review

Fees Paid: Site Plan **\$400.00** Subdivision _____ Engineer Review _____ Date **7/31/2008**

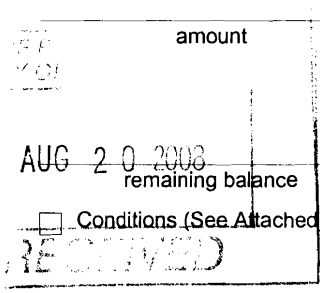
Zoning Approval Status:

Approved Approved w/Conditions See Attached Denied
Reviewer *manager Sr - Inspections*
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____	_____	
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____	_____	
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	



8/20/08



August 15, 2008

Barbara Barhydt
Development Review Services Manager
City of Portland
389 Congress Street
Portland
Maine 04101

Re: Revision to application for minor site plan review of proposed development at
61 India Street, Portland, Maine

Dear Barbara,

Thank you for your letter dated August 6, 2008.

Please note that we have revised our proposal for 61 India Street, to reduce the number of additional new residential units as previously discussed. The application submitted to the city on July 30 included 2 new residential units. This is now revised to only 1 new residential unit.

A number of drawings have been revised to show this change. Drawings that have changed have a revision date clearly indicated. For simplicity we are resubmitting the entire drawing package however.

In response to the items noted in your letter:

1. Boundary Survey Plan: See attached drawing, prepared by Owen Haskell Inc.
2. Recording Plat: We understand a subdivision plan is not required for the revised proposal.
3. Zoning review: We await the City's comments.
4. Fire Department checklist: Refer to attached checklist.
5. Utility letters: A copy of the letters received from Central Maine Power & Northern Utilities Gas were included in the application package on July 30. Responses are pending from the Portland Water District & the Department of Public Works. Copies of our requests for confirmation of capacity to serve are attached.
6. Parking plan: One car park is proposed at the rear of the site, on the applicant's property. Access to it is off Middle Street, via a 14' wide access easement in favor of the applicant.
7. Trash bins: A wooden stockade fence is proposed on the boundary behind the trash bins. More information regarding the bins & any screening will be provided.
8. Storm water management plan: This is being prepared & will be provided as soon as it is available.

Regards,

Richard Lo
Project Manager



**Portland Fire Department
Site Review
Fire Department Checklist**

A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews, which shall include:

- | | | |
|-----|---|--|
| 1. | Name, address, telephone number of applicant. | see application form |
| 2. | Name address, telephone number of architect | " " " |
| 3. | Proposed uses of any structures [NFPA and IBC classification] | see drawing G1.1 |
| 4. | Square footage of all structures [total and per story] | " " " |
| 5. | Elevation of all structures | " " A2.2 |
| 6. | Proposed fire protection of all structures | " " G1.1 |
| 7. | Hydrant locations | see PWD plan provided dated July 21. |
| 8. | Water main[s] size and location | see drawing C1.1 |
| 9. | Access to any fire department connections | see " G1.1 |
| 10. | Access to all structures [min. 2 sides] | see " G1.2 |
| 11. | A code summary shall be included referencing NFPA 1 and all fire department. Technical standards. | see G1. |
| 12. | Elevators shall be sized to fit an 81" x 23" stretcher and two personnel. | NA |
| 13. | Some structures may require Fire flows using annex H of NFPA 1 | see attached hydrant flow test & location information dated. August 14. 2008 |

APPLICATION FOR MINOR SITE PLAN REVIEW
61 India Street, Portland ME 04101
July 30, 2008

Supplemental information, August 14, 2008

Fire Hydrants:

The 2 nearest existing hydrants are both located at approximately equal distance from the applicant's property. Both are within 150 feet of the property & are approximately 300 feet apart from each other (refer to PWD hydrant plan dated July 21, 2008).

The Portland Water District confirms the most recent flow test results as follows:

Hydrant #231, Located at India Street & Newbury Street

Test date	1991
Test flow	1,383 gpm
Static pressure	94 Psi
Residual pressure	0 Psi

Hydrant # 268, Located at India Street & Middle Street

Test date	1991
Test flow	1,383 gpm
Static pressure	96 Psi
Residual pressure	0 Psi

NFPA-1 2003, Annex H:

The total building floor area is shown on drawing G1.1

The building construction type is shown on drawing G1.1

The building use group is shown on drawing G1.1

NFPA-1 clause H.5.2 exception indicates the minimum fire flow rate to be 1,000 gpm.

Hydrants #231 & #268 both satisfy the NFPA-1 requirements for minimum flow rates.

NFPA-1 2003, Annex I:

The minimum number of hydrants required to be available to the building = 1

The average spacing between hydrants is required to be less than 500 feet.

The two closest hydrants satisfy the NFPA-1 requirements for number & spacing of hydrants.

Richard Lo

From: Richard Lo
Sent: Thursday, August 14, 2008 12:02 PM
To: 'means@pwd.org'
Cc: josephwreynolds@yahoo.com; Scott Teas
Subject: 61 India Street - request for capacity to serve letter

Hi Melissa,

On behalf of our client, Joe Reynolds, we are seeking a capacity to serve letter from the Portland Water district with respect to the proposed development of the existing property at 61 India Street.

For your assistance a copy of our earlier letter to Rico Spugnardi is attached here to provide you with some project information (0806-PWD-2008.07.16.pdf).

Please note that the project is now for only one new residential unit (not two, as noted in our earlier letter). Please also note following details regarding the number of proposed new plumbing fixtures:

Retail unit (1st floor):

- 1 wc,
- 1 hand basin,
- 1 kitchen sink,
- 1 water boiler (for 1st floor domestic & hydronic space heating)

Business unit (2nd floor):

- 1 wc,
- 1 hand basin,
- 1 kitchen sink,
- 1 water boiler (for 2nd floor domestic & hydronic space heating)

Residential unit (3rd & 4th floor):

- 2 wc,
- 2 hand basin,
- 2 bath/shower
- 1 kitchen sink,
- 1 water boiler (for 2nd floor domestic & hydronic space heating)
- 1 water boiler (for 3rd floor domestic & hydronic space heating)
- 1 washing machine

Regards,
Richard

Richard Lo
TFH Architects
100 Commercial Street, Portland
Maine 04101

E: rtl@tfharchitects.com
F: 207-773-0194
T: 207-775-6141

8/15/2008

July 16, 2008

Rico Spugnardi
Portland Water District
PO Box 3553
Portland, ME 04104

RE: Utility supply for proposed development at
61 India Street, Portland, ME 04101

Dear Mr. Spugnardi:

On behalf of my client, Mr. Joseph Reynolds, I am contacting you regarding the development of his property at the above address. We wish to submit to the City, next week, a Site Plan Review application for the project & need to confirm the availability of utility services. I would greatly appreciate it if you could confirm, in writing, a statement confirming the ability of your company to service this project with respect to water supply & waste water disposal.

For your assistance the following details describe the proposed development:

Address: 61 India Street, Portland Maine 04101
Owner/client: Joseph W. Reynolds, 198 Tuttle Road, Cumberland ME 04021
CBL #: TM 20-E, Lot 21
Type of use: Retail/Residential/Business
Program: Retain (1) existing retail unit
Retain (2) existing residential units
Add (1) new business unit on 1st floor (946 square feet)
Add (1) new business unit on 2nd floor (980 square feet)
Add (1) new residential unit on 3rd floor (2 bedroom)
Add (1) new residential unit on 4th floor (2 bedroom)

Please, contact me if you need further information.

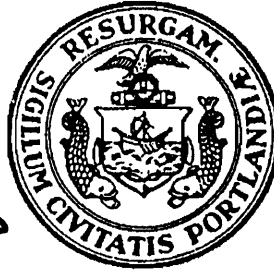
Sincerely,



Richard Lo
TFH Architects
rtl@tfharchitects.com

CITY OF PORTLAND WASTEWATER CAPACITY APPLICATION

Department of Public Works,
55 Portland Street,
Portland, Maine 04101-2991



Mr. Frank J. Brancely,
Senior Engineering Technician,
Phone #: (207) 874-8832,
Fax #: (207) 874-8852,
E-mail: fjb@portlandmaine.gov

Date: AUGUST. 14. 08

1. Please, Submit Utility, Site, and Locus Plans.

Site Address: 61 INDIA ST. PORTLAND, ME 04101
(Regarding addressing, please contact Leslie Kaynor, either at 756-8346, or at LMK@portlandmaine.gov) Chart Block Lot Number: TM 20 E LOT 21

Proposed Use: RETAIL/BUSINESS/RESIDENTIAL

Previous Use: RETAIL/RESIDENTIAL

Existing Sanitary Flows: see attached GPD

Existing Process Flows: NA GPD

Description and location of City sewer, at proposed building sewer lateral connection:
21" RC SEWER IN INDIA ST.

Site Category	Commercial	<input checked="" type="checkbox"/>
	Industrial <small>(complete part 4 below)</small>	<input type="checkbox"/>
	Governmental	<input type="checkbox"/>
	Residential	<input checked="" type="checkbox"/>
	Other <small>(specify)</small>	<input type="checkbox"/>

Clearly, indicate the proposed connection, on the submitted plans.

2. Please, Submit Domestic Wastewater Design Flow Calculations.

Estimated Domestic Wastewater Flow Generated: see attached GPD

Peaking Factor/ Peak Times: _____

Specify the source of design guidelines: (i.e. "Handbook of Subsurface Wastewater Disposal in Maine," "Plumbers and Pipe Fitters Calculation Manual," "Portland Water District Records," Other (specify))

Note: Please submit calculations showing the derivation of your design flows, either on the following page, in the space provided, or attached, as a separate sheet.

3. Please, Submit Contact Information.

Owner/Developer Name: JOE REYNOLDS

Owner/Developer Address: 198 TUTTLE ROAD, CUMBERLAND, ME 04021

Phone: _____ Fax: _____ E-mail: _____

Engineering Consultant Name: TFH ARCHITECTS TEL. 775-6141

Engineering Consultant Address: _____

Phone: _____ Fax: _____ E-mail: _____

City Planner's Name: BARBARA BARNYOT Phone: _____

Note: Consultants and Developers should allow +/- 15 days, for capacity status, prior to Planning Board Review.

4. Please, Submit Industrial Process Wastewater Flow Calculations

NA

Estimated Industrial Process Wastewater Flows Generated: _____ GPD

Do you currently hold Federal or State discharge permits? Yes No

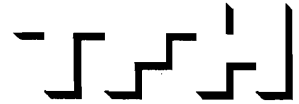
Is the process wastewater termed categorical under CFR 40? Yes No

OSHA Standard Industrial Code (SIC): _____ (<http://www.osha.gov/oshstats/sicser.html>)

Peaking Factor/Peak Process Times: _____

Note: On the submitted plans, please show the locations, where the building's sanitary, and process water sewer laterals, exit the facility, where they enter the city's sewer, the location of any control manholes, wet wells, or other access points, and the locations of any filters, strainers, or grease traps.

Notes, Comments, or Calculations:



61 INDIA STREET, PORTLAND ME 04101 Proposed additions to existing property			
Effluent Design Flow Load Calculation Prepared by TFH Architects (Design flows per Maine subsurface wastewater disposal rules 10.CMR.241 - 2002)			
FACILITY	LOAD	DESIGN FLOW	FLOW LOAD
EXISTING (1) retail space (1) residential unit (1) residential unit	2 employees (no shower) 2 bedrooms 2 bedrooms	15 gpd/employee 180 gpd/dwelling 180 gpd/dwelling	30 180 180 <hr/> 390 gpd
NEW (1) retail space (1) business space (1,361 sf gross) (1) residential unit	2 employees (no shower) 13 employees (100sf/person, no shwr.) 4 bedrooms	15 gpd/employee 15 gpd/employee 360 gpd/dwelling	30 195 360 <hr/> 585 gpd
Total Project Flow Load			975 gpd

Applicant: TFH Arch - Joe Reynolds Date: 8/6/08

Address: 61 India St

C-B-L: 020-E-21

CHECK-LIST AGAINST ZONING ORDINANCE

08-12A

Date -

Zone Location - B2b

Interior or corner lot -

within existing footprint Business

Proposed Use/Work - proposed 4 story addition - retail 1st floor

Sewage Disposal - city & New D.U. - New walls -

Lot Street Frontage - 50' min - 49.50' existing

Front Yard - N/A - building up on existing footprint

Rear Yard - 10' min - 10'6" given

Side Yard - None req - ok

Projections -

Width of Lot - None req. check scaled which I have 3/16/08

43' width - per plans received on 10/1/08 only where 1st floor elevations

Height - 45' max - 42 given - 4' scaled however grade & top of structure beam is not indicated

Lot Area - NO min req - 7672 sq given

Lot Coverage/Impervious Surface - 90% max req - 97.1% existing & no change proposed

Area per Family - 10/2/08 what the need to is -> 94.56 given

Off-street Parking - 2 parking spaces req for existing (1 for each D.U.)

Loading Bays - None req 3 on site (one rear two up front) 4 used across the street

Site Plan - 2008-0116

7 PKG shown ok 10/2/08

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 1A - Zone C

need revised ok better - site plan (not from 2004) 9/26/08? Reg. signature red dated & somebody freehanded an easement in

New Addition

uses & parking

1st floor: proposed retail - 946[#] - No parking req.

2nd floor: #Business use - 980[#] = 334 = 2.9 or 3 pkg req.

3rd floor: 1 Apt \approx 1,047.5[#] 2 pkg req.
New const.

5 pkg req
for New

Existing Bldg

uses & parking

1st floor retail (Ankle Shop) - 1383[#] - No parking req.
& office use 144[#] - No parking req.

2nd floor 1 Apt in exist Bldg = 1 pkg req

3rd floor 1 Apt in existg Bldg = 1 pkg req
2 pkg req

TOTAL

2 + 5 = 7 req
parking spaces

Applicant: TFH Arch - Joe Reynolds Date: 8/6/08

Address: 61 India St

C-B-L: 020-E-21

CHECK-LIST AGAINST ZONING ORDINANCE

08 - 12A

Date -

Zone Location - B2b

Interior or corner lot -

within existing footprint Business

Proposed Use/Work - proposed 4 story Addition - retail 1st floor

Savage Disposal - city & New D.U. - New walls -

Lot Street Frontage - 50' min - 49.50' existing

Front Yard - N/A - building up on existing footprint

Rear Yard - 10' min - 10'6" given

Side Yard - None req - ok

Projections -

Width of Lot - None req. check scaled which I don't have 3/16' D.

43' Just under - per plans received on 10/1/08 only where 1st floor elev is

Height - 45' max - 42 given - 4' Scaled however grade is top of street beam is not indicated

Lot Area - NO min req - 7672 sq given

Lot Coverage/Impervious Surface - 90% max req - 97.1% existing & no change proposed

Area per Family - Not meeting check 14-343

Off-street Parking - 2 parking spaces req for existing (1 for each D.U.)

Loading Bays - None req 5 parking spaces req for new const

Site Plan - 2008-0116

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 1A - Zone C

need revised all better - site plan (not from 2004) 9/26/08? Reg. signature red dated & somebody freehanded an easement in



Strengthening a Remarkable City. Building a Community for Life www.portlandmaine.org

Planning & Urban Development Department

Penny St. Louis Littell, Director

Planning Division

Alexander Jaegerman, Director

October 6, 2008

Mr. Scott Teas
TFH Architects
80 Middle St
Portland, ME 04101

Mr. Joseph W. Reynolds
Pearl Properties LLC
198 Tuttle Road
Cumberland, ME 04021

RE: **61 India Street (rear)**
CBL: **020 E021001**
Application ID: **#2008-0116**

Dear Mr. Teas and Mr. Reynolds:

On October 6, 2008, the Portland Planning Authority approved a minor site plan for a four story infill building totaling 5411 sq ft floorspace, incorporating the remains of an existing structure of historic interest (3 story front elevation) at the rear of 61 India Street, as submitted by Pearl Properties LLC and shown on the approved plans prepared by TFH Architects and dated July 30, 2008 (Building Elevations and Floor Plans); September 19, 2008 (Utility and Landscape Plans) and October 1, 2008 (Site Plan with handwritten annotation), with the following conditions:

- i. That the proposed new building is limited to retail on the first floor, business on the second floor and a single residential unit comprising a total of 2695 sq ft on floors three and four; and
- ii. That there shall be no stubbing or roughing-in of plumbing and electrical for a "future" separate apartment on the top floor; and
- iii. That there shall be a building permit application for any change of use to add a new apartment; if this occurs within five years of the Certificate of Occupancy, an application for Subdivision Review shall also be submitted; and
- iv. That there shall be building permit applications for the actual tenants of the retail and office space for confirming use and for tenant fit-up; and
- v. That the applicant shall submit construction details of the "turntable" device, for the review and approval of the Planning Authority prior to its installation; and

- vi. That in the event that the "turntable" device (which allows for one of the required parking spaces to be located to the rear of the building) can not be installed and/or operated prior to occupancy of the new building, the applicant shall submit, prior to the issuance of a final Certificate of Occupancy, a signed 3-5 year contract for an additional off street parking space as replacement for the required parking space; and
- vii. That in the event that the access alley leading to Middle Street, to the rear of the property, has not been constructed and improved prior to occupancy of the new building, that applicant shall submit, prior to the issuance of a final Certificate of Occupancy, a contract for a temporary off-site parking space that would be available until the rear parking space is accessible; this condition would not apply if as a result of Condition vi the rear parking space is no longer part of the proposal; and
- viii. That the applicant shall contribute \$500.00 towards future transportation improvements at the India Street/Middle Street intersection; and
- ix. Separate permits shall be required for any new signage.

The approval is based on the submitted site plans. If you need to make any modifications to the approved site plans, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
2. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
3. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
4. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
5. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
6. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.

7. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at 874- 8728.

Sincerely,



Alexander Jaegerman
Planning Division Director

Attachments:

1. Performance Guarantee Packet

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Jeanie Bourke, Inspections Division
Lisa Danforth, Administrative Assistant
Michael Bobinsky, Public Services Director
Kathi Earley, Public Works
Bill Clark, Public Works
Michael Farmer, Public Works
Jim Carmody, City Transportation Engineer
Jane Ward, Public Works
Captain Greg Cass, Fire Prevention
Jeff Tarling, City Arborist
Tom Errico, Wilbur Smith Consulting Engineers
Dan Goyette, Woodard & Curran
Assessor's Office
Approval Letter File

Hard Copy:

Project File



New Hampshire
MATERIALS
LABORATORY, INC.

A Division of Summit Group, Inc.

Test Report

January 6, 2009

Mr. Joseph Reynolds
Pearl Properties
198 Tuttle Road
Cumberland, ME 04021

File Number: 25982
PO #
Phone: 207-838-7296

Overview:

Samples Received: (2) Structural Steel Samples

Work Requested: Determination of Mechanical Properties per ASTM E8

Sample Disposition: Discard 30 days from date of report

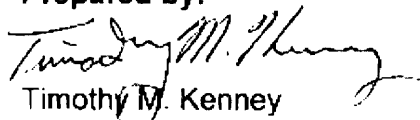
Analysis Results:

<u>Sample Number</u>	<u>0.2% Yield (ksi)</u>	<u>Tensile (ksi)</u>	<u>Elongation (% in 2")</u>
6" square tube	51.3	69.7	30
2" X 7" channel	53.1	74.0	28

The mechanical properties of the square tube conform to the requirements for Grades A, B, and C of ASTM A500.

The mechanical properties of the channel conform to the requirements for structural steel shapes per ASTM A36.

Prepared by:


Timothy M. Kenney
Director of Laboratory Services

22 Interstate Drive
Somersworth, NH 03078-1009
603-864-6422 603-892-6111
603-892-6000 fax
an@nhml.com www.nhml.com

JAN 23 2009

Jeanie Bourke - Re: 61 India st. steel certification - test results

From: Joseph Reynolds <josephwreynolds@yahoo.com>
To: Jeanie Bourke <JMB@portlandmaine.gov>
Date: 1/22/2009 9:07 AM
Subject: Re: 61 India st. steel certification - test results

Hi Jeanie, Here is the lab work on my steel framing for the 61 India St. project. I'll follow up on this with you over the phone. Thanks, Joe Reynolds.

JAN 23 2009

[Back to Steel Standards](#)

ASTM A36 / A36M - 08

ASTM A36 / A36M - 08 Standard Specification for Carbon Structural Steel

Active Standard ASTM A36 / A36M Developed by Subcommittee: [A01.02](#) | **Book of Standards Volume: 01.04**

Buy Standard (PDF)	more info	3 pages	\$ 32.00
Buy Standard (Print)	more info	3 pages	\$ 32.00
Buy Standard + Redline (PDF)	why redline?	6 pages	\$ 38.40

ASTM A36 / A36M

Abstract

This specification covers carbon structural steel shapes, plates, and bars of structural quality for use in riveted, bolted, or welded construction of bridges and buildings, and for general structural purposes. Heat analysis shall be used to determine the required chemical composition for carbon, manganese, phosphorus, sulfur, silicon, and copper. Tensile strength, yield strength, and elongation shall be evaluated using tension test and must conform to the required tensile properties.

This abstract is a brief summary of the referenced standard. It is informational only and not an official part of the standard; the full text of the standard itself must be referred to for its use and application. ASTM does not give any warranty express or implied or make any representation that the contents of this abstract are accurate, complete or up to date.

1. Scope

1.1 This specification covers carbon steel shapes, plates, and bars of structural quality for use in riveted, bolted, or welded construction of bridges and buildings, and for general structural purposes.

1.2 Supplementary requirements are provided for use where additional testing or additional restrictions are required by the purchaser. Such requirements apply only when specified in the purchase order.

1.3 When the steel is to be welded, a welding procedure suitable for the grade of steel and intended use or service is to be utilized. See Appendix X3 of Specification A 6/A 6M for information on weldability.

1.4 The values stated in either inch-pound units or SI units are to be regarded separately as standard. Within the text, the SI units are shown in brackets. The values stated in each system are not exact equivalents; therefore, each system is to be used independently of the other, without combining values in any way.

1.5 The text of this specification contains notes or footnotes, or both, that provide explanatory material. Such notes and footnotes, excluding those in tables and figures, do not contain any mandatory requirements.

1.6 For structural products produced from coil and furnished without heat treatment or with stress relieving only, the additional requirements, including additional testing requirements and the reporting of additional test results, of A 6/A 6M apply.

2. Referenced Documents

A1011/A1011M Specification for Steel, Sheet and Strip, Hot-Rolled, Carbon, Structural High Strength Low Alloy, and High Strength Low Alloy with Improved Formability

A27/A27M Specification for Steel Castings, Carbon, for General Application

A307 Specification for Carbon Steel Bolts and Studs, 60000 psi Tensile Strength

A325 Specification for Structural Bolts, Steel, Heat Treated, 120/105 ksi Minimum Tensile Strength

A325M Specification for Structural Bolts, Steel, Heat Treated 830 MPa Minimum Tensile Strength [Metric]

A500 Specification for Cold-Formed Welded and Seamless Carbon Steel Structural Tubing in Rounds and Shapes

A501 Specification for Hot-Formed Welded and Seamless Carbon Steel Structural Tubing

A502 Specification for Rivets, Steel, Structural

A563 Specification for Carbon and Alloy Steel Nuts

A563M Specification for Carbon and Alloy Steel Nuts [Metric]

A6/A6M Specification for General Requirements for Rolled Structural Steel Bars, Plates, Shapes, and Sheet Piling

A668/A668M Specification for Steel Forgings, Carbon and Alloy, for General Industrial Use

F568M Specification for Carbon and Alloy Steel Externally Threaded Metric Fasteners

Index Terms

bars; bolted construction; bridges; buildings; carbon; plates; riveted construction; shapes; steel; structural steel; welded construction; Bolted construction materials/applications--specifications; Bridge/structural materials--specifications; Building materials/applications--specifications; Carbon steel bars/shapes--specifications; Carbon steel plate--specifications; Riveted

construction--specifications; Structural steel (SS) plate--specifications;
Structural steel (SS) shapes--specifications; Welded steel bars/shapes--
specifications; Welded steel plate/sheet/strip--specifications; Railroad steel
materials; Steel bars/shapes/wires

DOI: 10.1520/A0036_A0036M-08

cross^{ref} ASTM International is a member of CrossRef.

ASTM A36 / A36M (Steel Standards)

[Citing ASTM Standards](#)

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Back to [Steel Standards](#)

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ASTM International, 100 Barr Harbor Drive, PO Box C700, West Conshohocken, PA, 19428-2959

ASTM A500-01**Historical Standard: ASTM A500-01 Standard Specification for Cold-Formed Welded and Seamless Carbon Steel Structural Tubing in Rounds and Shapes**

SUPERSEDED

Buy Standard (PDF)

[more info](#)

5 pages

\$ 44.40

1. Scope

1.1 This specification covers cold-formed welded and seamless carbon steel round, square, rectangular, or special shape structural tubing for welded, riveted, or bolted construction of bridges and buildings, and for general structural purposes.

1.2 This tubing is produced in both welded and seamless sizes with a maximum periphery of 64 in. (1626 mm) and a maximum wall of 0.625 in. (15.88 mm). Grade D requires heat treatment.

Note 1—Products manufactured to this specification may not be suitable for those applications such as dynamically loaded elements in welded structures, etc., where low-temperature notch-toughness properties may be important.


1.3 The values stated in inch-pound units are to be regarded as standard. The values given in parentheses are mathematical conversions of the values in inch-pound units to values in SI units.

1.4 The text of this specification contains notes and footnotes that provide explanatory material. Such notes and footnotes, excluding those in tables and figures, do not contain any mandatory requirements.

Index Terms

cold-formed seamless/welded steel tubing; steel pipe-structural; steel tube-carbon steel; structural steel tube; welded steel tube; ICS Number Code 23.040.40

DOI: 10.1520/A0500-01

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[Citing ASTM Standards](#)

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ASTM International, 100 Barr Harbor Drive, PO Box C700, West Conshohocken, PA, 19428-2959

ASTM E8-01**Historical Standard: ASTM E8-01 Standard Test Methods for Tension Testing of Metallic Materials**

SUPERSEDED

Buy Standard (PDF)

[more info](#)

22 pages

\$ 61.20

1. Scope

1.1 These test methods cover the tension testing of metallic materials in any form at room temperature, specifically, the methods of determination of yield strength, yield point elongation, tensile strength, elongation, and reduction of area.

Note 1—A complete metric companion to Test Methods E 8 has been developed, therefore, no metric equivalents are shown in these test methods. Committee E28 was granted an exception in 1997 by the Committee on Standards to maintain E8 and E8M as separate companion standards rather than combining standards as recommended by the Form and Style Manual.

Note 2—Gage lengths in these test methods are required to be 4D for most round specimens. Test specimens made from powder metallurgy (P/M) materials are exempt from this requirement by industry-wide agreement to keep the pressing of the material to a specific projected area and density.

Note 3—Exceptions to the provisions of these test methods may need to be made in individual specifications or test methods for a particular material. For examples, see Test Methods and Definitions A 370 and Test Methods B 557.

Note 4—Room temperature shall be considered to be 50 to 100°F unless otherwise specified.

1.2 *This standard does not purport to address all of the safety concerns, if any, associated with its use. It is the responsibility of the user of this standard to establish appropriate safety and health practices and determine the applicability of regulatory limitations prior to use.*

Index Terms

accuracy; bending stress; discontinuous yielding; drop-of-the-beam; eccentric

force application; elastic extension; elongation; extension-under-load; extensometer; force; free-running crosshead speed; gage length; halt-of-the force; percent elongation; plastic extension; preload; rate of stressing; rate of straining; reduced section; reduction of area; sensitivity; strain; stress; taring; tensile strength; tension testing; yield point elongation; yield strength

DOI: 10.1520/E0008-01

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Citing ASTM Standards

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From: Jean Fraser
To: Barhydt, Barbara; Schmuckal, Marge
Date: 2/26/2009 1:36:53 PM
Subject: Re: 61 India Street

Thanks for checking- the building permit may be issued and those site plans are up-to-date.

>>> Marge Schmuckal 2/26/2009 1:01:16 PM >>>

Please confirm that we can now issue the building permit to construct this building. Phil D. just gave us his OK. I received a reduced site plan which was stamped approved on 2/11/09. Is that still valid?

Marge

CC: Bourke, Jeanie

Jeanie Bourke - 61 India Street Four Story Infill

From: Philip DiPierro
To: Code Enforcement & Inspections
Date: 2/25/2009 2:05 PM
Subject: 61 India Street Four Story Infill

Hi all, this project meets all DRC site plan requirements for the issuance of the building permit. Please see UI for sign off.

Thanks.

Phil

From: Jean Fraser
To: Barhydt, Barbara; DiPierro, Philip; Munson, Tammy
Date: 1/28/2009 1:54:36 PM
Subject: Joe Reynolds project - 61 India St.

To all:

I understand that Joe is exploring an amendment to his approved project, so this e-mail is just to confirm where he stands on the project approved in Oct 2008 (under great pressure as the existing building "could not survive the winter") :

--Joe called me on 1.23.09 to say he was amending the utility connections and expected his Building Permit this week.

--Joe spoke to Phil yesterday to discuss the revised utility connections and to prepare estimates etc for the Performance Guarantee (he received the Performance Guarantee "pack" when he got the approval letter in early October, 2008)

--Joe has been advised by both me and Phil to submit plans showing the revisions to his approved site plan. He is aware that he needs to post the Performance Guarantee and the Inspection Fee prior to the issuance of any Building Permit.

If Joe does not get the easements he negotiated with Village, I am not sure he can proceed with the project as approved in October 2008 as the associated access and parking (and some utility connections) to the rear relied on the easements to be given him by Village. (I think we would need updated right title and interest docs at least)

Jean

CC: Bourke, Jeanie; Littell, Penny; Schmuckal, Marge

61 India
020 - E-021



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning & Urban Development Department

Penny St. Louis Littell, Director

Planning Division, Director

Alexander Jaegerman, Director

FEB 11 2009

February 6, 2009

Mr. Joseph W. Reynolds
Pearl Properties, LLC
198 Tuttle Road
Cumberland, ME 04021

RE: **61 India Street (rear)**
Application ID: **#2008-0116 (approved October, 2008 as revised December 2008)**

Dear Joe:

Thank you for letter and attached amended plan (hand annotated C1.1 Utility Plan "revised 1/09" showing revised locations of the water, gas and storm drain connections) dated January 28, 2009. I have discussed this proposed amendment to the approved project with Public Services Engineers and can confirm:

1. The City approves the relocation of the two water lines to tie into Middle Street and the use of the existing gas line in India Street (instead of the new gas line shown on the approved Utility Plan), and understand you will ensure the installations are acceptable to the relevant agencies.
2. The City approves the omission of the "New U/G storm drain capped @ property boundary" between the building and India Street.
3. The City does not require the "New U/G Storm Drain capped @ property line" shown on the amended plan between the building and Middle Street.
4. The City requires that the roof drains for the approved building construction shall discharge to the ground for surface flow and shall not be connected to the sewer lines in India Street nor in Middle Street.

This letter should be attached to the amended Plan C1.1 Utility Plan for future reference.

Sincerely,
[signed]

Jean Fraser
Planner

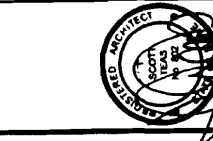
cc.
Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
David Margolis-Pineo, Deputy City Engineer

Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspections Division Director
Jeanie Bourke, Inspections Division
Philip DiPierro, Development Review Coordinator

2009

PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101
PEARL PROPERTIES LLC 188 TUTTLE ROAD (UNABRIDGED) ME 04101

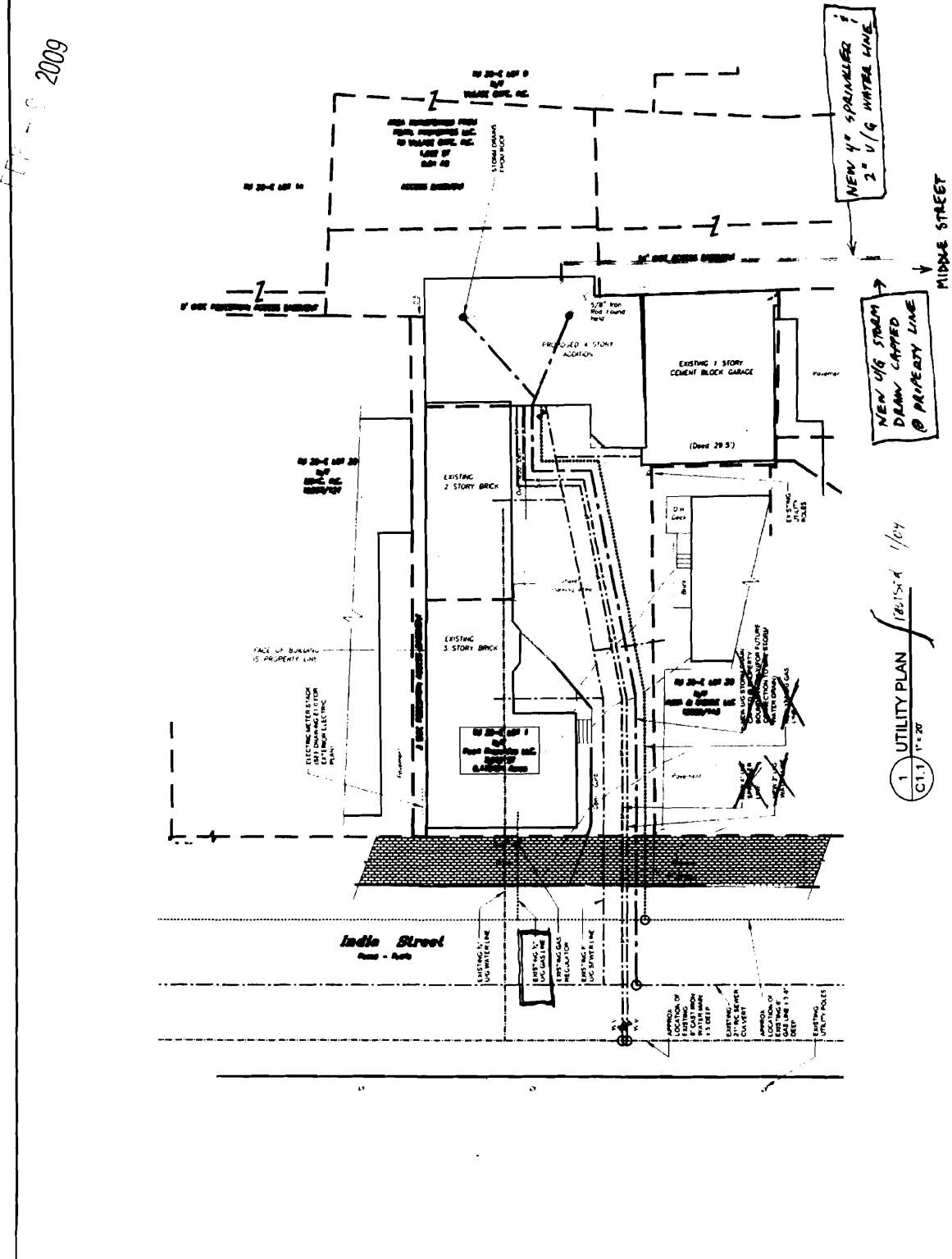
CONTRACT NO. 11-11-09
ARCHITECTURAL PLANNING
TELEPHONE 207 776 5111
TELEFAX 207 776 5112
100 COMMERCIAL STREET
PORTLAND MAINE 04101
PEARL ARCHITECTS
PEARL ARCHITECTS



DATE	08/09
PROJECT No.	0808
DRAWN BY	WTL
CHECKED BY	WTL
SCALE	AS SHOWN

SHEET TITLE
UTILITY PLAN

C1.1
Revised 1/04



1 UTILITY PLAN 18.15.04 1/04
C1.1 11.2.09

Jeanie Bourke - RE: 61 India Street

From: "Ryan Senatore" <RJS@TFHArchitects.com>
To: "Jeanie Bourke" <JMB@portlandmaine.gov>
Date: 12/1/2008 4:09:30 PM
Subject: RE: 61 India Street

Jeanne,

I will make the changes and re-issue a complete set for your review.

Ryan Senatore AIA, LEED-AP
 TFH Architects
 80 Middle St
 Portland, Maine 04101
 t: 207.775.6141
 f: 207.773.0194

From: Jeanie Bourke [mailto:JMB@portlandmaine.gov]
Sent: Monday, December 01, 2008 2:44 PM
To: Ryan Senatore
Subject: Re: 61 India Street

Ryan,

Can you please note the calculations on the plan and change the wall type for this wall. If this is the actual rating, it will meet the requirements for mercantile separation on Table 705.4 of 3 hours.

Also note the change in the window glazing to be rated on that wall.

As far as the sprinkler systems, per IBC and the ICC technical support, the systems can be separated 13 and 13R, however, like we discussed, the horizontal assembly and the structural supports shall be 2 hours per table 302.3.2 and Section 711.4.

I spoke with Cptn. Greg Cass today and he said state fire marshal approval will be required to separate the systems. Have you received their approval?

Any changes in what has been submitted needs to be documented.

Thanks

>>> "Ryan Senatore" <RJS@TFHArchitects.com> 11/25 2:10 PM >>>
 Jeanne,

Regarding the questions we discussed yesterday for 61 India Street.

1.) The existing brick wall separating the 'New' project and the one story adjacent building is 3 wythes of brick, using Table 721.4.1 in IBC 2003 and equation 7-7 the fire rating for this wall is 3.4 hours, well exceeding the 2

hour requirement.

2.) To address the 30" extension of this fire wall above, the glazing in the unprotected openings above the roof will be 3/4 hour rated and the adjacent walls are already 3.4 hour rated.

Let me know if you have any questions and the result of the sprinkler system response.

Thanks,

Ryan Senatore AIA, LEED-AP
TFH Architects
80 Middle St
Portland, Maine 04101
t: 207.775.6141
f: 207.773.0194

Jeanie Bourke - 61 India Street

From: "Ryan Senatore" <RJS@TFHArchitects.com>
To: "Jeanie Bourke" <JMB@portlandmaine.gov>
Date: 11/25/2008 2:11 PM
Subject: 61 India Street
CC: <josephwreynolds@yahoo.com>, "Scott Teas" <tst@TFHArchitects.com>

Jeanne,

Regarding the questions we discussed yesterday for 61 India Street.

1.) The existing brick wall separating the 'New' project and the one story adjacent building is 3 wythes of brick, using Table 721.4.1 in IBC 2003 and equation 7-7 the fire rating for this wall is 3.4 hours, well exceeding the 2 hour requirement.

2.) To address the 30" extension of this fire wall above, the glazing in the unprotected openings above the roof will be 3/4 hour rated and the adjacent walls are already 3.4 hour rated.

Let me know if yo uhave any questions and the result of the sprinkler system response.

Thanks,

Ryan Senatore AIA, LEED-AP
TFH Architects
80 Middle St
Portland, Maine 04101
t: 207.775.6141
f. 207.773.0194



called 12/1/08

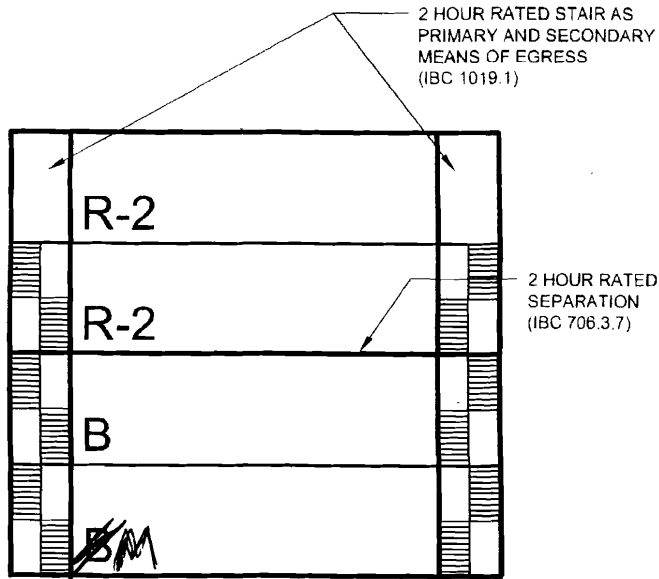
IBC - Page Bartlett

13+13R

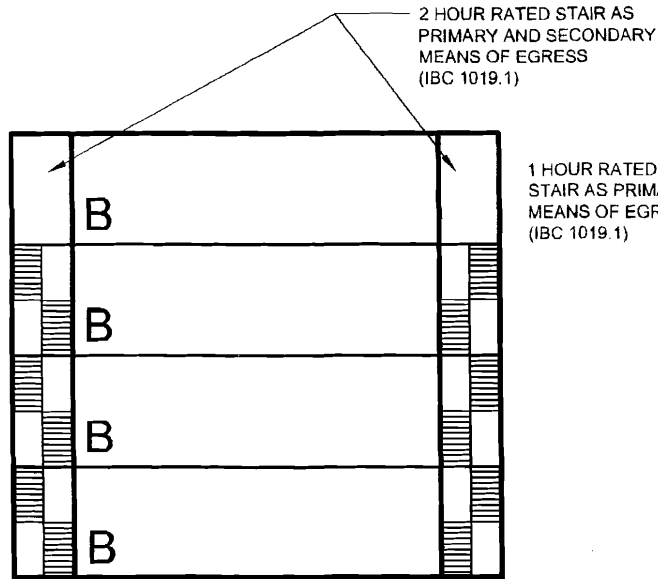
*Can separate, but 2hr FL/c Assembly B to R
of 2hr Structural*

BUILDING TYPES
FOR 61 INDIA STREET, PORTLAND, ME

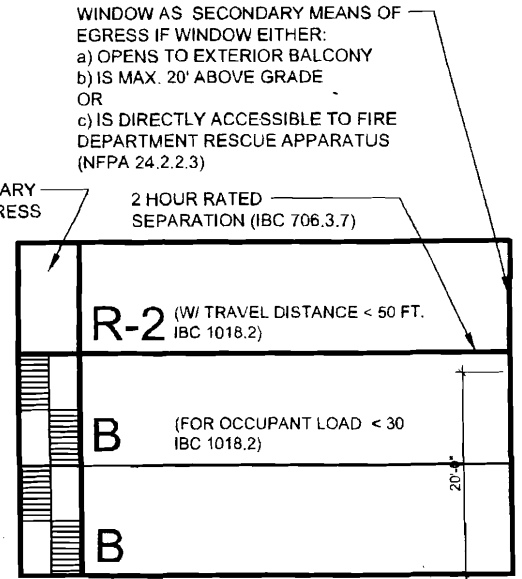
TFH ARCHITECTS
APRIL 10, 2008



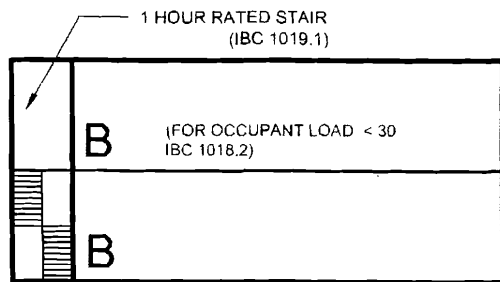
4-STORY BUILDING W/ TWO EXITS
SPRINKLERED (NFPA 101, 24.1.2 and 30.3.5) W/ NFPA 13



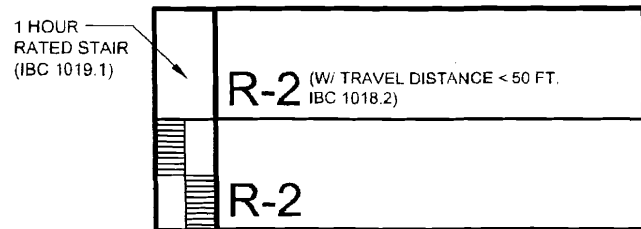
4-STORY BUILDING W/ TWO EXITS
NO SPRINKLER REQUIRED



3-STORY BUILDING W/ ONE EXIT
SPRINKLERED (IBC 1018.2) W/ NFPA 13



2-STORY BUILDING W/ ONE EXIT
NO SPRINKLER REQUIRED



2-STORY BUILDING W/ ONE EXIT
NO SPRINKLER REQUIRED

LIMITING PROVISION:

INTERNATIONAL BUILDING CODE - IBC 2003
LIFE SAFETY CODE - NFPA 101

Jeanie Bourke - 61 India Street

From: "Ryan Senatore" <RJS@TFHArchitects.com>
To: "Jeanie Bourke" <JMB@portlandmaine.gov>
Date: 1/27/2009 8:55 AM
Subject: 61 India Street
CC: <josephwreynolds@yahoo.com>

Jeanne,

Here (attached as a PDF) is the State Fire Marshal's Construction Permit for 61 India Street. Please forward the City of Portland Building Permit as soon as possible.

Thanks,

Ryan Senatore AIA, LEED-AP
TFH Architects
80 Middle St
Portland, Maine 04101
t: 207.775.6141
f: 207.773.0194



State of Maine
Department of Public Safety
Construction Permit



Reviewed
for Barrier
Free

18226

Sprinkled
Sprinkler Supervised

61 INDIA STREET
Located at: 61 INDIA STREET
PORTLAND
Occupancy/Use: MERCANTILE CLASS C/BUSINESS

Permission is hereby given to:
JOE REYNOLDS

198 TUTTLE RD.
CUMBERLAND, ME 04021

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.

No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the 25 th of July 2009

Dated the 26 th day of January A.D. 2009

Commissioner

Copy-4 File

Comments:

From: Jean Fraser
To: Bourke, Jeanie; Merkle, Todd; Munson, Tammy; Schmuckal, Marge
Date: 2/9/2009 9:25:32 AM
Subject: Joe Reynolds- 61 India At- Utilities

Hello all,

Update:

There has been some confusion over the last few weeks regarding what Joe wanted/needed to do re his utilities. It stemmed from a misunderstanding by his architects during the original review and has just been resolved by David Margolis-Pineo (confirmed in attached letter) after Joe submitted a rough revision plan (attached).

Danielle West-Chuhta has confirmed he has legal rights to put the water mains along the easement at the back; he submitted letters of "permission" from both the PWD and Gas Service companies re the proposed revisions.

Therefore, once Joe pays the Performance guarantee/Inspection Fee via Phil diPierro, he is OK to start on site with the project approved in October. I understand he is going forward with that plan as approved, including the turntable for the car at the back (he will submit detailed plans soon).

Jean

CC: Barhydt, Barbara; DiPierro, Philip; Errico, Thomas; Goyette, Dan; Jaegerman, Alex; Littell, Penny; Margolis-Pineo, David; West -Chuhta, Danielle



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Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division, Director
Alexander Jaegerman, Director

February 6, 2009

Mr. Joseph W. Reynolds
Pearl Properties, LLC
198 Tuttle Road
Cumberland, ME 04021

RE: **61 India Street (rear)**
Application ID: **#2008-0116 (approved October, 2008 as revised December 2008)**

Dear Joc:

Thank you for letter and attached amended plan (hand annotated C1.1 Utility Plan "revised 1/09" showing revised locations of the water, gas and storm drain connections) dated January 28, 2009. I have discussed this proposed amendment to the approved project with Public Services Engineers and can confirm:

1. The City approves the relocation of the two water lines to tie into Middle Street and the use of the existing gas line in India Street (instead of the new gas line shown on the approved Utility Plan), and understand you will ensure the installations are acceptable to the relevant agencies.
2. The City approves the omission of the "New U/G storm drain capped @ property boundary" between the building and India Street.
3. The City does not require the "New U/G Storm Drain capped @ property line" shown on the amended plan between the building and Middle Street.
4. The City requires that the roof drains for the approved building construction shall discharge to the ground surface and shall not be connected to the sewer lines in India Street or to Middle Street.

This letter should be attached to the amended Plan C1.1 Utility Plan for future reference.

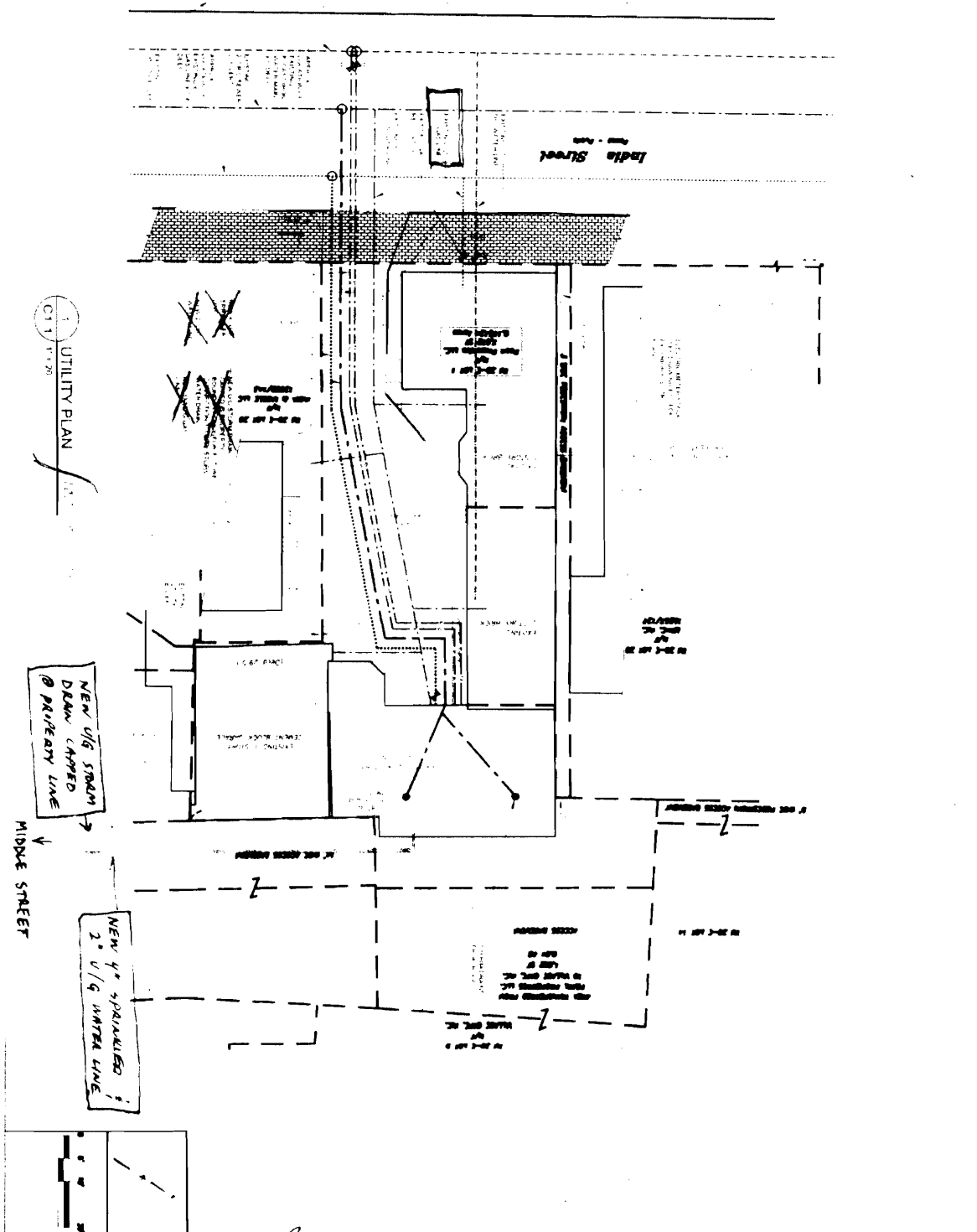
[signed]

Jean Trason

cc: Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director

Marge Schmuckal, Zoning Administrator

Tammy Munson, Inspections Division Director



UTILITY PLAN
C1.1

NEW 4" DIA. STORM
DRAIN CAPPED
@ PRIVATE LINE

MIDDLE STREET

NEW 4" DIA. SPRAWLED
2" U/G WATER LINE



C1.1

DATE: 10/15/10
PROJECT: 61 INDIA ST
DRAWN BY: JAC
CHECKED BY: JAC
SCALE: AS SHOWN
SHEET NO.: 1 OF 1
UTILITY PLAN



THIS ARCHITECTURAL
DRAWING IS THE PROPERTY OF
JAMES A. CALKINS, P.E.
AND IS NOT TO BE REPRODUCED
OR COPIED IN ANY MANNER
WITHOUT HIS WRITTEN CONSENT.

PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101

New Addition

uses & parking

1st floor: proposed retail - 946[#] - No parking req.

2nd floor: #Business use - 980[#] ÷ 334 = 2.9 or
3 pkg req.

3rd floor: 1 Apt ≈ 1,047.5[#] 2 pkg req
New const.

5 pkg req
for new

Existing Bldg

uses & Parking

1st floor retail (Ankle Shop) - 1383[#] - No parking req
& office use 144[#] - No parking req

2nd floor 1 Apt in exist Bldg = 1 pkg req

3rd floor 1 Apt in exist Bldg = 1 pkg req
2 pkg req

TOTAL

2 + 5 = 7 req
PARKING SPACES

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2008-0116

Date: 10/2/2008

I have reviewed the most current submittals received on 10/1/08 and 10/2/08.

A parking lease for 3 years and four parking spaces has been submitted. Those 4 parking spaces and the three parking spaces on-site constitute the 7 required parking spaces.

I have also reviewed the height on the given structural skeletal plan. The building will be meeting the 45' maximum building height.

The most recent submittal also indicates that the impervious surface ratio has been reduced from 97.1% to 94.5% which is acceptable.

This project is approved with conditions:

1. There shall be no stubbing or roughing-in of plumbing and electrical for a "future" separate apartment on the top floor.
2. There shall be a permit application for any change of use to add a new apartment.
3. There shall be permit applications for the actual tenants of the retail and office space for confirming use and for tenant fit-up.
4. Separate permits shall be required for any new signage.
5. If the "turn table" device can not be installed and/or operate, it shall be required to show this office another required parking space elsewhere.

Marge Schmuckal
Zoning Administrator

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2008-0116

Date: 9/9/2008

I have reviewed the most current reduced plans received on 8/20/08 - This project is located within a B-2b business zone. Retail, business office(s) and residential uses (with only one res. unit being proposed at this time spanning two floors) are permitted. The B-2b setback requirements are being met.

First of all an accurate, up-to-date, scalable site plan is required before final approvals.

I need scaled drawings to confirm that the maximum building height is being met. 45' is the maximum height allowed with 42' given in writing as to the proposed height.

I disagree with the submitted information concerning the required number of parking spaces. Two parking spaces are required for the existing front building (one for each of the two dwelling units within the existing building). For the new construction, no parking requirements are needed for the first floor retail (under 2000 sq. feet). The business office use on the 2nd floor requires 3 parking spaces not 2 (980 sq ft divided by 334 = 2.95 or 3 parking spaces). The one dwelling unit on the third and fourth floor requires two parking spaces because it is new construction. Therefore, a total of 7 parking spaces are required. Only 5 parking spaces are being provided for the existing and new addition. Section 14-334 states that required off-street parking may be provided off site within 100 feet measured along lines of public access. However, if parking is provided more than 100 feet away, the ZBA or Planning Board may permit such off-street parking if it can be shown to be a "reasonable distance" away. I do not see any parking provided for bicycles as required.

It is also noted that the current impervious surface is 97.1% where the B-2b allows a maximum of 90%. The applicant should be required to reduce some of the existing impervious surface as much as possible to lessen the existing nonconformity.

It is also noted that the 4th floor area of the one apartment unit SHALL NOT be able to stub in future plumbing or special wiring for a future kitchen resulting in a new dwelling unit.

Marge Schmuckal
Zoning Administrator

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2008-0116

Date: 9/26/2008

I have received revised information and plans dated 8/24/08. Attachment "A" is a blank form for two parking spaces across the street at 62 India Street. Written on the top of that form it states that this form will be amended for 4 spaces. I will need the actual signed parking contract for 3-5 years stating that the applicant has four parking spaces. The submitted blank form doesn't have any weight. The good point is that the location at 62 India Street is within 100' of the project addition and would not warrant any appeal action. There is concern too about the "lazy susan" proposal for a rear parking space. If that concept can not be completed and installed prior to certificate of occupancy, the applicant shall provide another parking space. To sum up parking requirements, this is still an unfulfill requirement.

I scaled the submitted building elevation plans. I get 41 feet from the first floor elevation to the top of the structure. My question to the applicant is where is the grade around the building and where is the top of the structural beam on the structure? I would need these two deliniations before finishing up my height review.

It appears that more green or pervious area is being shown on the latest submittal. I would request the applicant to update the percentage of the post built impervious surface on the site.

I also saw a "new" site plan attached to the most recent submittal. It is not to scale. Also it is labled with the date of Feb. 5, 2004, and resigned by the surveyor, John Swan, on 08-15-08. It does not document any updates. My submittal also has a hand-drawn access easement on the rear of the property which was not apparently added by the surveyor. This office should receive a corrected, scalable, signed and stamped site plan that can be relied upon.

Marge Schmuckal
Zoning Administrator



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Lee Urban- Director of Planning and Development
Marge Schmuckal, Zoning Administrator

Meeting Information

DATE: 9/16/08

LOCATION: 61 INDIA ST

PEOPLE PRESENT: Jean Frasier - Alex Jaegerman - Marge S. -

Tom Errico Joe Reynolds - Scott Teas

ZONE: B2b

- DISCUSSION: - Tom Errico started out with the rear parking spot & trash bins
- Joe Reynolds described a car "Lazy Susan" - Tom E told him to shorten.
 - Tom E continued about the non-conforming 13' 9 1/2" curb cut & how it affects the layout of the parking - 9' x 18' probably ok -
 - T.E - \$ contribution toward the intersection would be req. (\$1,000 maybe)
 - Marge explained the parking requirements & how the 7 spaces were determined - also explained off-site parking within 100' of ZBA
 - Stormwater not really looked at yet - waiting for some other issues
 - Scott T. said that the elevations are to scale - I will check -
 - Discussed trash pick-up -
 - Jeanie & Fine can start reviewing to be on course to issue as soon as site plan has been completed. Joe R. did mention he was not asking to begin work prior to the site plan approval

Please note: this meeting is not an pre-approval of any ordinances. No project can be approved without going thru the appropriate reviews. This meeting is only to outline the City processes to go through based on the information given at this meeting. Any changes to that information may change the process requirements. Please check ordinances that are on-line for further information at www.portlandmaine.gov.



City of Portland
GIS



DISCLAIMER : This is a product of the City of Portland MIS Department. The data depicted here have been developed with cooperation from other federal, state and local agencies. The City of Portland expressly disclaims responsibility for damages or liability that may arise from the use of this map.

Copyright 2007
City of Portland
389 Congress St.
Portland, Maine
04101

showing where 62 India Street is located
(Attachment "A") received 9/24/08

10/1/08



To: Dan Goyette; David Margolis-Pineo; Marge Schmuckle; Tom Errico; Jim Carmody

From: Jean Fraser

Date: October 1, 2008

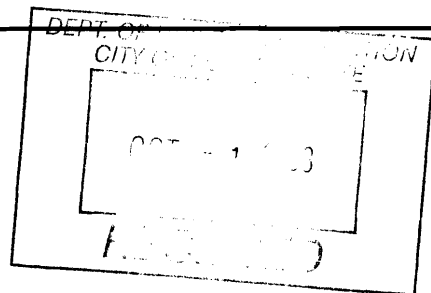
Additional information submitted for the following project:

Application ID #: 2008-0116

Project Name: Joe Reynolds infill building

Project Address: 61 India Street

Comments needed by: Urgent please



The applicant has submitted all of the outstanding items except the parking contract. I think we can approve subject to the following conditions (assuming engineering and zoning comments have been addressed):

1. That the applicant submit construction details of the turntable, for the review and approval of the planning authority prior to implementation;
2. That in the event that the turntable can not be constructed prior to occupancy of the new building, the applicant shall submit, prior to the issuance of a final Certificate of Occupancy, a signed 3-5 year contract for an additional off street parking space;
3. That in the event that the access alley to the rear of the property has not been constructed and improved prior occupancy of the new building, that applicant shall submit, prior to the issuance of a final Certificate of Occupancy, a contract for temporary off-site parking space that would be available until the rear parking space is accessible; this condition would not apply if as a result of Condition 2 the rear parking space is no longer part of the proposal;
4. That the applicant shall contribute \$500.00 towards future transportation improvements at the India Street/Middle Street intersection;
5. That the applicant shall not be able to stub in future plumbing or special wiring for a future kitchen on the fourth floor as this site plan approval relates to a new single residential unit (totaling 2,695 sq ft) within the new third and fourth floors (with retail and business on the first and second floors) as shown in the approved plans; subdivision review and approval will be required if this residential unit is separated into two residential units.

PARKING CONTRACT

Sixty-Two India Street LLC owner of the parking lot located at 62 India Street in Portland, Maine (Owner), and the undersigned cardholder (Cardholder), hereby agree that the undersigned may use four (4) spaces in the 62 India Street Parking Lot on an unreserved basis for a period of three (3) years commencing 10/1/08, subject to the following terms and conditions:

1. Sixty-Two India Street LLC manages the lot, and any questions concerning billing, new cards, etc., should be directed Tony McDonald at 207-749-1000.
2. **CARDHOLDERS PARK AT THEIR OWN RISK.** Sixty-Two India Street LLC and its principals will not be liable for any destruction, loss or damage to Cardholder's vehicle or any other property or for any injury to Cardholder or any other person resulting from the use of the lot.
3. Monthly parking fees are **DUE IN ADVANCE** on the **first day of each month without notice**, made payable Sixty-Two India Street LLC, PO Box 361, South Freeport, ME 04078. **A \$10.00 LATE FEE will be added if the parking fee is not paid on the first day of the month in advance. Checks returned for insufficient funds will incur a fee of \$25.00. PARKING FEES WILL CONTINUE TO ACCRUE WHETHER OR NOT THE CARD IS IN USE UNTIL THE CARD IS RETURNED. This agreement may be cancelled at any time by either party though cancellation shall not relieve either party of obligations pre-dating such cancellation.**
4. The card issued to the undersigned is solely for that person's use. Any card used by persons other than as agreed may be revoked. This agreement may be terminated by Cardholder returning card on the last business day of any month or by Owner giving 30 days notice in writing to Cardholder, or may be terminated immediately by Owner if Cardholder is found in violation of the terms of this agreement. This agreement is immediately terminated if Cardholder leaves the firm listed below and card is not transferred, with permission of Owner, to someone else in the same firm.
5. The parking lot is not to be used for storage. Any vehicle, which has remained parked for more than 5 parking days without permission of Owner will be considered, stored and may be towed at Cardholder's expense.
6. Parking cards are very fragile. Please handle them with care and avoid heat or cold, as they warp and crack. Lost cards must be reported immediately. Lost cards will be replaced at a cost of \$10.00. A charge of \$10.00 will cover replacement of a broken card. All pieces of a broken card must be returned.
7. By accepting a card, Cardholder agrees to be responsible for adhering to these policies. This Contract remains in effect if the original card has been replaced due to loss or breakage, or upon transfer of the card within a firm.
8. \$10.00 Parking Card deposit and First Month's Rent \$ 75⁰⁰ for each space shall paid with contract. A month is defined as commencing on the 1st day of a calendar month and ends on the last day of a calendar month. **There is no discount for a partial month.**

CARDHOLDER OR ITS REPRESENTATIVE HEREBY ACKNOWLEDGES AND AGREES TO THE ABOVE TERMS AND CONDITIONS AND RETAINS ONE COPY OF THIS AGREEMENT.

Owner will never divulge personal information
We collect the following as contact information in case of emergency

Billing Information

Parker Name: Joseph Reynolds
 Daytime Phone: 829-8093 Please print
 Daytime Email: josephwreynolds@yahoo.com
 Work Phone: 838-7296
 Employer: SELF

Billing Name: PEARL PROPERTIES
 Billing Address: 198 Tuttle Rd.
 City/State/Zip: Lumberland, ME 04021
 Billing Phone: 838-7296
 Contact Name: J. Reynolds

Vehicle Information: Please enter information for every vehicle (if more than one) that you drive.

Year <u>1997</u>	Year <u>2001</u>
Make/Model <u>FORD E150</u>	Make/Model <u>VW PASSAT</u>
Color <u>WHITE</u>	Color <u>GREEN</u>
Plate # <u>ME 745-058</u>	Plate # <u>ME 6441 JZ</u>

Signature Joseph W Reynolds

Date 10/1/08

**Sixty-Two India Street LLC
PO Box 361
South Freeport, ME 04078**

October 1, 2008

Joe Reynolds
198 Tuttle Road
Cumberland, ME 04021

RE: Parking At 62 India Street

Dear Joe:

Please let this letter serve to confirm our discussion whereby I am willing to lease you four (4) parking spaces in my lot at 62 India Street at market rates in support of your India Street project. The lease agreement would be in the general form attached, subject to modification as may be fit.

Should you have any questions, do not hesitate to contact me. Please keep me apprised of your progress so that I can have spaces available for you when your project is completed.

Sincerely,

A handwritten signature in black ink that reads "Tony McDonald". The signature is written in a cursive style with a long horizontal stroke at the beginning.

C. Anthony McDonald

007 2 2008

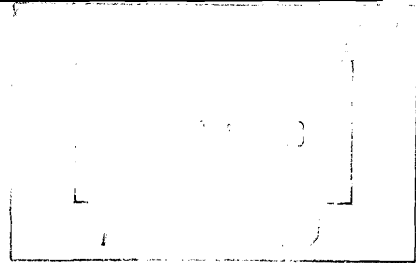
cc. 9/24/08



To: Dan Goyette; David Margolis-Pineo; Marge Schmuckle; Tom Errico; Jim Carmody
From: Jean Fraser
Date: Sept 24, 2008

Additional information submitted for the following project:

Application ID #: 2008-0116
Project Name: Joe Reynolds infill building
Project Address: 61 India Street
Comments needed by: Urgent please



The applicant has submitted the attached to address the "list" I sent last week (attached below). Expedited staff review.

Based up feasibility?

1. Revised parking layout and access (on plan) to address Tom Erricos' comments; request waiver from the Cit's standard of 24 feet width; show details etc if "lazy susan" system proposed;
2. Evidence of 3-5 year commitment to specific off street parking arrangement that meets Zoning Requirements;
3. Details of how/who and when the 14 ft wide easement will be improved, including curb cut to Middle Street (with supporting documentation); clarify fallback arrangements if the easement improvement works are not completed by others prior to completion of your project;
4. Proposals for waste removal including supporting documentation of rights over the pedestrian passage to be used; please note trash bins should be stored in an enclosure and this should be marked on the plan (stockade fencing is often used and the submitted fence detail is OK; needs gate detail)
5. Proposed stormwater management on the site (note: in letter from Richard Lo of 8.15.2008 states a Stormwater Management Plan is being prepared but none has been received); cobbles are OK and granite curbing needed around parking area (partly to collect run off and partly to keep soil in planted areas) and along the building (don't need curbing on the side toward the bakery); need narrative describing how stormwater to be managed;
6. Revise Plan L1.0 to include details of proposed hard and soft landscaping, including size and species of planting (you might want to include a small bike rack tho' this is not a requirement);
7. Capacity to serve letters needed from Portland Water District and City of Portland Public Services- I think these may have been sent to TFH Architects;
8. The submitted survey is from 2004 and a more recent one that is consistent with easement documents etc should be submitted;
9. Confirm commitment to contribution to intersection improvements as discussed with Tom Errico.

still check only A bank for a fair 2PKg, not A

still don't have

Please note the above is a summary only and further discussion probably needed re some of the details. I suggest you submit a letter and the revised plans that relate to the above and then we will schedule another meeting if needed. Submissions via pdf copies sent by e-mail would expedite the review but are not essential; if submitting paper copies of letter/plans please submit 4 copies of set for now (no need to resubmit the plans that do not change or those of the building).

Ms. Jean Fraser
Planning Department
City of Portland, ME

Sept. 22, 2008

Dear Ms. Fraser,

In answer to your email of 9/17/08, I submit the following responses to the list of items needed to continue the site review for my 61 India Street project:

1. I met with Tom Errico on 9/18 and revised the parking layout to reflect his concerns. He conveyed that, given the existing conditions, a waiver from the City's 24 feet width standard should be allowed. We also discussed my planned installation of an automobile turntable at the back of my property.
2. I have a three year lease agreement for ~~A~~ parking spaces from the lot at 62 India Street; this location is well within the 100 feet required by the City for off-site parking. See Attachment A.
3. In an Easement Relocation Agreement signed in May 2006, Village/Bayhouse assumed responsibility for the curb cut (and agreed to pave the entire easement/alleyway). Provisions for the work and/or default are described in the document. See Attachment B.
4. I've contacted both Waste Management Co. and Pine Tree Waste Co. and been advised that 2 wheeled "Toters", picked-up once a week, should satisfy the trash needs generated by the project. I plan to house the units in a stockade fence enclosure at the rear of the property. See Plan. On collection days, they will be wheeled out to either Middle or Newbury Street to be picked-up. A description of access easement rights is included. See Attachment C.
5. I propose to manage the storm water from the site using the existing conditions and materials (compacted gravel base). New granite curbing will be added as necessary to separate the parking area from the plantings/soil. See Plan. The system functions adequately now and since no new parking/ vehicular impact is anticipated I see no need to change it. Asphalt paving would be an unfortunate choice given the historical nature of the property and my attempts to keep true to that theme in the other aspects of this project. Ultimately, I would like to pave the entire courtyard in reclaimed granite cobblestones; but I have neither the source nor the budget to affect such a plan at this time.
6. See revised Plan L1.0.
7. See Attachment D.
8. See attached survey dated 8-15-08.
9. Before I confirm a commitment to contribute, I would like to know about the formula by which a contribution amount is derived. I would consider my development to have a minimal impact on traffic and would expect a contribution to be minimal, too.

Sincerely, Joe Reynolds
Owner, 61 India St.



Sixty-Two India Street, LLC
62 India Street Parking Lot

ATTACHMENT A (TO BE AMENDED)
FOR 4 SPACES

Card #s 7931 & 7932

PARKING CONTRACT

Sixty-Two India Street LLC owner of the parking lot located at 62 India Street in Portland, Maine (Owner), and the undersigned cardholder (Cardholder), hereby agree that the undersigned may use two (2) spaces in the 62 India Street Parking Lot on an unreserved basis, subject to the following terms and conditions:

↑ SAYS TWO TA

1. Sixty-Two India Street LLC manages the lot, and any questions concerning billing, new cards, etc., should be directed Tony McDonald at 207-749-1000.
2. **CARDHOLDERS PARK AT THEIR OWN RISK.** Sixty-Two India Street LLC and its principals will not be liable for any destruction, loss or damage to Cardholder's vehicle or any other property or for any injury to Cardholder or any other person resulting from the use of the lot.
3. Monthly parking fees are **DUE IN ADVANCE** on the **first day of each month without notice**, made payable Sixty-Two India Street LLC, PO Box 361, South Freeport, ME 04078. **A \$10.00 LATE FEE will be added if the parking fee is not paid on the first day of the month in advance. Checks returned for insufficient funds will incur a fee of \$25.00. PARKING FEES WILL CONTINUE TO ACCRUE WHETHER OR NOT THE CARD IS IN USE UNTIL THE CARD IS RETURNED. This agreement may be cancelled at any time by either party though cancellation shall not relieve either party of obligations pre-dating such cancellation.**
4. The card issued to the undersigned is solely for that person's use. Any card used by persons other than as agreed may be revoked. This agreement may be terminated by Cardholder returning card on the last business day of any month or by Owner giving 30 days notice in writing to Cardholder, or may be terminated immediately by Owner if Cardholder is found in violation of the terms of this agreement. This agreement is immediately terminated if Cardholder leaves the firm listed below and card is not transferred, with permission of Owner, to someone else in the same firm.
5. The parking lot is not to be used for storage. Any vehicle, which has remained parked for more than 5 parking days without permission of Owner will be considered, stored and may be towed at Cardholder's expense.
6. Parking cards are very fragile. Please handle them with care and avoid heat or cold, as they warp and crack. Lost cards must be reported immediately. Lost cards will be replaced at a cost of \$10.00. A charge of \$10.00 will cover replacement of a broken card. All pieces of a broken card must be returned.
7. By accepting a card, Cardholder agrees to be responsible for adhering to these policies. This Contract remains in effect if the original card has been replaced due to loss or breakage, or upon transfer of the card within a firm.
8. \$10.00 Parking Card deposit and First Month's Rent \$75.00 for each space shall be paid with contract. A month is defined as commencing on the 1st day of a calendar month and ends on the last day of a calendar month. **There is no discount for a partial month.**

CARDHOLDER OR ITS REPRESENTATIVE HEREBY ACKNOWLEDGES AND AGREES TO THE ABOVE TERMS AND CONDITIONS AND RETAINS ONE COPY OF THIS AGREEMENT.

*See updated
received on 10/2/08*

Owner will never divulge personal information
We collect the following as contact information in case of emergency

Billing Information

Parker Name: _____
Please print

Daytime Phone: _____

Daytime Email: _____

Work Phone: _____

Employer: _____

Billing Name: _____

Billing Address: _____

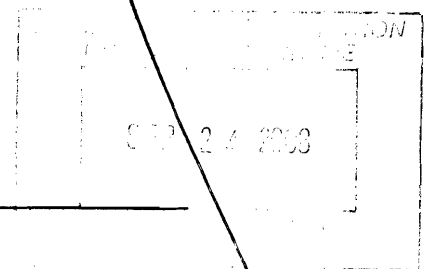
City/State/Zip: _____

Billing Phone: _____

Contact Name: _____

Vehicle Information: Please enter information for every vehicle (if more than one) that you drive.

Year _____	Year _____
Make/Model _____	Make/Model _____
Color _____	Color _____
Plate # _____	Plate # _____



Signature _____

Date _____

ATTACHMENT B

Whereas, Pearl is the owner of real property located on India Street in Portland, Cumberland County, Maine and more particularly described in a deed from Wooden Nickel, LLC to Pearl dated August 5, 2005 and recorded at said Registry in Book 23005, Page 267 (the "Pearl Property");

Whereas, Village has requested that Pearl release easements that burden the Village Property, such easements referenced or described in deeds from Geoffrey I. Rice to Village recorded at said Registry in Book 4308, Page 125, and from Arnold M. Siciliano to Maria DeFilippo Navarro recorded at said Registry in Book 1148, Page 240, and being depicted as "Turners Court" and "8' Common Right of Way" on an survey entitled "ALTA/ACSM Land Title Survey of: Village Café Inc." prepared for GFI Acquisitions I, LLC by Sebago Technics dated July 12, 2005, last revised August 2, 2005 (Project No. 05109) (together, the "Existing Easements");

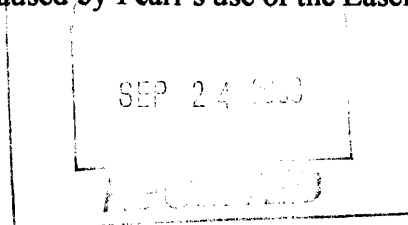
Whereas, Pearl has requested that Village provide Pearl with a new easement for access and underground utilities for the Pearl Property;

Whereas, Pearl is willing to release the Existing Easements and Village is willing to grant Pearl the new easement on the terms and conditions provided below.

Now, therefore, in consideration of the agreements of Village and Pearl below, the sufficiency of which hereby is acknowledged, Village and Pearl agree as follows:

1. Except for the new easement granted in paragraph number 2 below, Pearl hereby releases and grants to Village all right, title and interest in the Existing Easements and the Village Property.

2. Village hereby grants to Pearl, with Warranty Covenants, a non-exclusive, irrevocable and perpetual easement for purposes of access by pedestrians and vehicles to the Pearl Property from Middle Street, but not for parking, and for underground utilities in that 14-foot strip of land depicted on **Exhibit A** attached hereto and more particularly described on **Exhibit B** attached hereto (the "Easement Area"). Pearl shall have the right to use the Easement Area for pedestrian and vehicular access and underground utilities for only the buildings on the Pearl Property, and including the right to enter upon the Easement Area to maintain, repair, replace and renovate such buildings, but the easements granted herein shall not be for the benefit of any property other than the Pearl Property. Included with the foregoing is the right to install, maintain, repair and replace underground utilities within the Easement Area provided that such utilities do not unreasonably interfere with utilities installed in the Easement Area for the benefit of the Village Property and to pave, repave, repair, remove snow from and otherwise maintain the Easement Area for the purposes set forth herein provided that Pearl shall provide Village with reasonable advance notice of work on improvements in the Easement Area and use commercially reasonable efforts to minimize disruption to the business or other uses of the Village Property caused by such work. Further, Pearl shall indemnify and hold Village harmless from any claims, costs, damages and expenses, including without limitation reasonable attorneys' fees, incurred by Village and caused by Pearl's use of the Easement Area. The



foregoing easements shall not be blocked or otherwise obstructed by Village. However, Village and Pearl shall each have the right to temporarily obstruct the Easement Area during construction of improvements on the Village Property or the Pearl Property or maintenance or repairs to the Village Property or the Pearl Property; such obstructing party shall provide the other party with reasonable advance notice of such obstruction and shall use commercially reasonable efforts to minimize the extent and duration of such obstruction. The benefits and burdens of this easement shall run with the Pearl Property and the Village Property and inure to the successors and assigns of Village and Pearl.

3. Village hereby grants to Pearl, with Warranty Covenants, a non-exclusive, irrevocable right and easement for pedestrian and vehicular ingress and egress from the existing curb cut on Middle Street located closest to the Easement Area, in, over and across the Village Property to the Easement Area until Village installs, at its sole cost and expense, a curb cut, satisfactory to Village, extending along Middle Street the entire width of the Easement Area and paves, at its sole cost and expense, the Easement Area, allowing and permitting Pearl actual and convenient pedestrian and vehicular ingress and egress from the Pearl Property over the Easement Area to Middle Street. The foregoing easement shall not be blocked or otherwise obstructed by Village. Village shall commence and diligently prosecute completion of said installation of the curb cut and paving of the Easement Area promptly upon substantial completion of construction on the portion of the Village Property adjacent to the Easement Area.

4. Notwithstanding anything to the contrary herein, nothing herein shall be deemed to release or otherwise relinquish or affect the three (3) foot wide easement described in the deed from Wooden Nickel, LLC to Pearl dated August 5, 2005 and recorded at said Registry in Book 23005, Page 267.

In witness whereof, Village has caused this instrument to be executed under seal by John Reali, its duly authorized President, and Pearl has caused this instrument to be executed under seal by Joseph W. Reynolds, its duly authorized Manager.

Witness: Village Café, Inc.

By: _____
John Reali, its duly authorized President

Pearl Properties, LLC

By: _____
Joseph W. Reynolds
Its duly authorized Manager



ATTACHMENT C

**FIRST AMENDMENT
TO
PURCHASE AND SALE AGREEMENT**

For One Dollar (\$1.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, this First Amendment is executed as of this 27th day of June, 2008, by and between Pearl Properties, LLC ("Seller") and The Village at Oceangate, LLC ("Buyer"), with respect to a certain Purchase and Sale Agreement dated February 27, 2008 (the "Contract"), regarding approximately 1,600 square feet of land located at near the corner of India Street and Newbury Street, Portland, Maine.

1. Paragraph 1 of the Contract is amended such that the land to be conveyed pursuant to the Contract shall be that land described in Exhibit A attached hereto (the "Land"). Paragraph 1 of the Contract is further amended to reduce the approximately 14-foot wide temporary construction and future maintenance easement to be conveyed to Buyer over a portion of the Seller's retained land to a 10-foot wide easement.

2. Paragraph 2(A) of the Contract is amended such that the description of the five-foot wide pedestrian easement shall be that area described on Exhibit B attached hereto. Immediately upon receipt by Buyer of Planning Board approval for the amended site plan and subdivision approval that Buyer currently is seeking, but no later than August 1, 2008, Buyer shall grant the five-foot wide pedestrian easement to Seller.

3. The following provision is added as a new Paragraph 2(A)(iii) of the Contract:

Seller may reserve from the land conveyed to Buyer a perpetual easement, in common with the Buyer and no others, appurtenant to Seller's remaining land, to use the portion of the conveyed land between any building constructed thereon and the common boundary for purposes of pedestrian and vehicular access, installation of a gate and related fencing, and for accessing Seller's remaining land with workers, vehicles and equipment to construct, maintain, repair or replace improvements on Seller's remaining land. The location of the gate and the fence within the easement area, and the design and materials thereof, shall be subject to Buyer's consent, which consent shall not be unreasonably withheld. Seller shall agree in the reservation to indemnify and hold Buyer harmless against all claims, liability, damages and costs, including without limitation reasonable attorneys' fees, incurred by Buyer and caused by Seller's or its agents' or contractors' use of the easement area. In addition, Buyer shall, at closing, grant Seller a perpetual easement, appurtenant to Seller's remaining land, to use that portion of the Buyer's land between Buyer's proposed building, the five-foot wide pedestrian easement, and the Seller's remaining land for the purposes, and with the same terms and conditions, as set forth above (such additional easement area being the approximately five-foot strip of land located northerly and perpendicular to the five-foot wide pedestrian easement). The easement areas described above are depicted on Exhibit C attached hereto. Buyer shall not block or obstruct Seller's use of said easement areas.

EXHIBIT B

05109

Proposed 5 Foot Wide Pedestrian Easement

A certain pedestrian easement situated on the southerly side of Newbury Street, in the City of Portland, County of Cumberland, State of Maine, being depicted on a plan of land titled "Boundary & Topographic Survey of The Bay House", dated through June 03, 2008 by Sebago Technics, Inc., said easement being more particularly bounded and described as follows:

Beginning at a 5/8 inch rebar found at a corner of land now or formerly of Wooden Nickel, LLC, as described in a deed recorded at the Cumberland County Registry of Deeds in Book 14219, Page 166, said rebar being a corner of property now or formerly of The Village at Ocean Gate, LLC, as described in a deed recorded in Book 25625, Page 275;

Thence N 42°-26'53" W, by an along land now or formerly of Bartlett Island, LLC, as described in a deed recorded in Book 17068, Page 212, and by and along land now of formerly of MAHC, Inc., as described in a deed recorded in Book 15267, Page 127, a total distance of 38.09 feet to a point in the southerly side of Newbury Street;

Thence N 47°-47'-16" E, by and along Newbury Street, a distance of 5.00 feet to a point;

Thence S 42°-26'-53" E, passing through land of the grantor, a distance of 38.08 feet to a point in the line of land of Wooden Nickel, LLC;

Thence S 47°-36'-06" W, by and along land of Wooden Nickel, LLC, a distance of 5.00 feet to the point of beginning.

Meaning and intending to describe a certain 5 foot wide pedestrian access easement containing 190 square feet, more or less being depicted as a "Proposed 5 foot wide pedestrian access easement to benefit Block E, Lot 21", as shown on a plan of land titled "Boundary & Topographic Survey of The Bay House" dated through June 03, 2008 by Sebago Technics, Inc.

The bearings referenced herein are based upon Grid North NAD 1983 Maine West Zone.

DCS/cb
June 20, 2008

EXHIBIT C

AMENDED SUBDIVISION PLAN
 THE BAY HOUSE
 THE VILLAGE AT OCEAN GATE, LLC
 Seabco Technics
 SHEET 4 OF 15



GENERAL NOTES
 1. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...
 2. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...
 3. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...

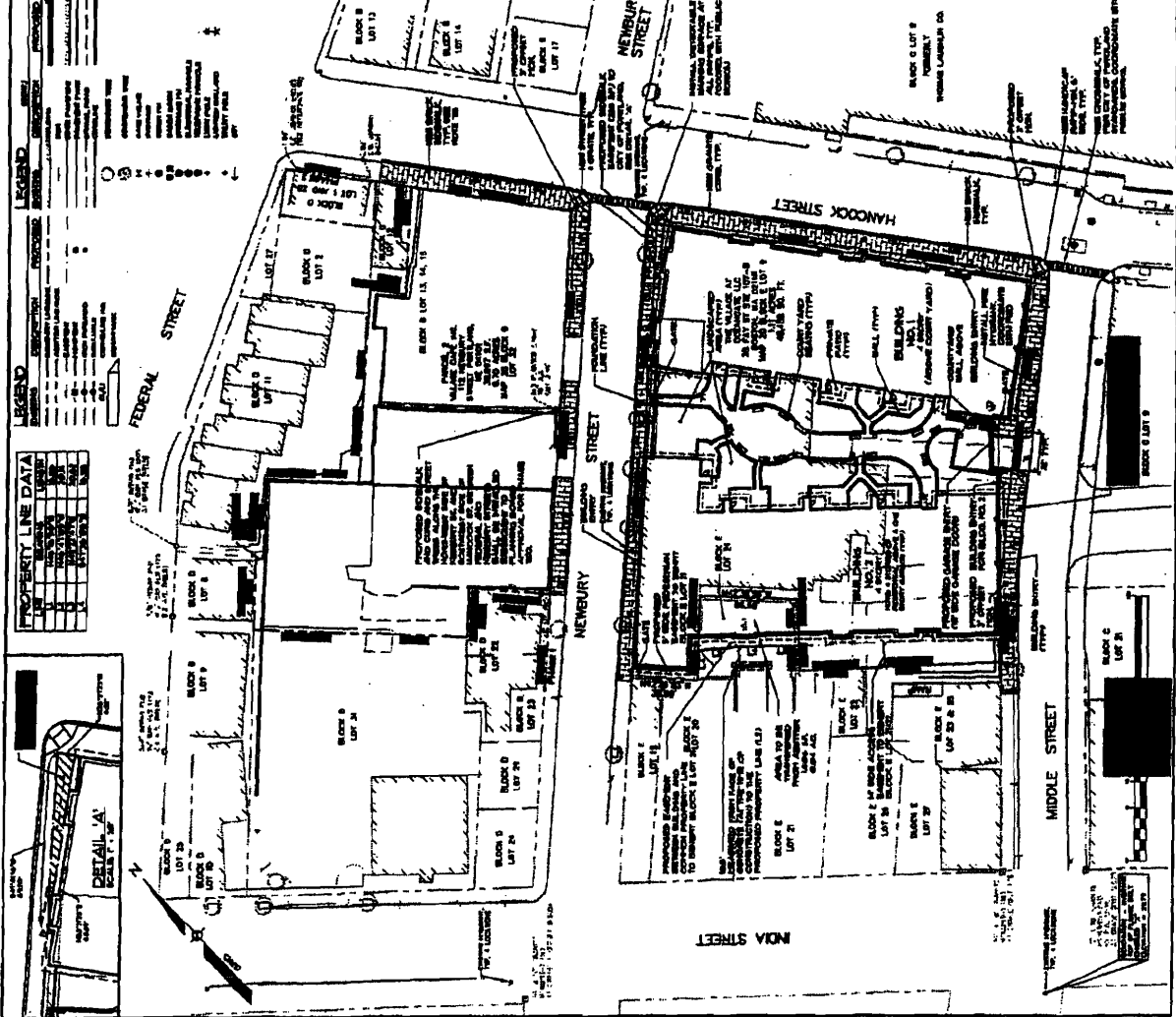
CONDITIONS OF APPROVAL
 1. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...
 2. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...
 3. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...

CONDOMINIUM PLANETS
 1. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...
 2. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...
 3. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...

VALVES
 1. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...
 2. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...
 3. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...

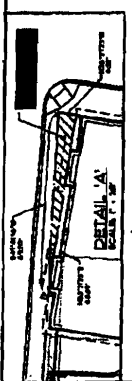
STATE OF MASSACHUSETTS
 APPROVAL
 CITY OF COASTLAND
 PLANNING BOARD

GENERAL NOTES
 1. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...
 2. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...
 3. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...
 4. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...
 5. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...
 6. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...
 7. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...
 8. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...
 9. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...
 10. THE SUBDIVISION IS SHOWN AS A SHARED DRIVEWAY...



PROPERTY LINE DATA

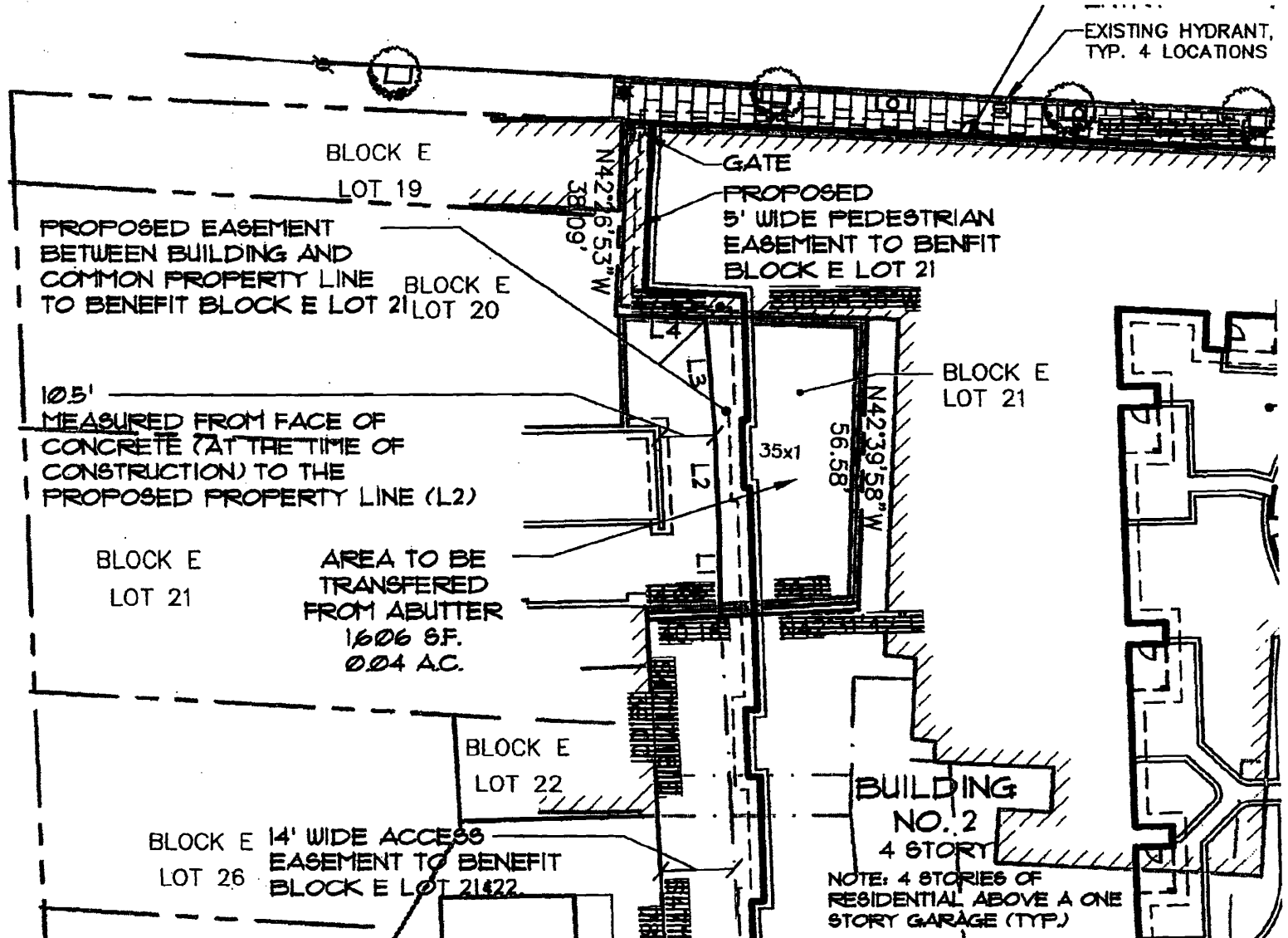
LOT	AREA	PERCENTAGE	REMARKS
LOT 1	10,000	100%	
LOT 2	10,000	100%	
LOT 3	10,000	100%	
LOT 4	10,000	100%	
LOT 5	10,000	100%	
LOT 6	10,000	100%	
LOT 7	10,000	100%	
LOT 8	10,000	100%	
LOT 9	10,000	100%	
LOT 10	10,000	100%	



ATTACHMENT C

EXHIBIT C - Continued

INDIA STREET



From: Marge Schmuckal
To: Jean Fraser
Date: 9/19/2008 12:16:27 PM
Subject: Re: 61 India Street

That was part of the problem with this application. We never got an up-to-date survey. They said they were waiting for one from the abutter's project. But I will check my files just in case.

Marge

>>> Jean Fraser 9/19/2008 12:06:01 PM >>>

Marge,

Could you check your files on this and see if they have submitted a Survey that is more recent than 2004?

All I have is the 2004 one but Joe Reynolds says he got a new one recently and had submitted it.

thanks

Jean

CC: Barbara Barhydt

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thanks
Jean

CC: Barbara Barhydt

From: Marge Schmuckal
To: Jean Fraser
Date: 9/19/2008 12:20:17 PM
Subject: Re: 61 India Street

My survey plan was dated Feb 5, 2004 and was prepared by Owen Haskell, Inc. (John W. Swan, PLS) - that's it.

If the applicant submitted a more current survey, shouldn't there have been 7 or so copies to hand out to everyone?

Marge

>>> Jean Fraser 9/19/2008 12:06:01 PM >>>

Marge,

Could you check your files on this and see if they have submitted a Survey that is more recent than 2004?

All I have is the 2004 one but Joe Reynolds says he got a new one recently and had submitted it.

thanks

Jean

CC: Barbara Barhydt

From: Jean Fraser
To: Schmuckal, Marge
Date: 9/8/2008 2:35:09 PM
Subject: Fwd: 61 India Street

Marge,

This came in in mid August and while I can let them know of the concerns re access from Middle Street (see Tom's note below) it would be helpful to know what number of parking spaces we require under zoning.

In their submission package there is Plan G1.0 and it includes (left corner) their understanding of the parking requirements for existing and proposed units (total of 5)- along with other zoning analysis. Is this correct?

Thanks
Jean

>>> "Errico, Thomas A" <TERRICO@wilbursmith.com> 9/4/2008 11:32:34 AM >>>
Jean -

The following represents my initial comments and is based upon plans prepared by TFH Architects dated August 14, 2008.

1. City staff does not find the one parking space located in the rear of the property accessed via Middle Street to be acceptable. Backing maneuvers onto Middle Street should be avoided.

2. It appears that trash removal will occur via the 14-foot access easement accessed from Middle Street. That applicant should provide information on the type of vehicles accessing this easement. I would further note that the plans should illustrate curb cut improvements necessary on Middle Street to access the easement.

3. The driveway width on India Street does not meet City standards. I need to discuss this with City staff as it relates to a design standard waiver.

4. The applicant needs to provide a parking space layout that avoids backing maneuvers onto India Street.

5. I support the 9' x 18' parking stall size as it relates to a design standard waiver. The 15' x 7'-6" parking stall size is not acceptable.

6. The applicant should expect to make a monetary contribution to future improvements at the India Street/Middle Street intersection. I will calculate the amount in the future.

If you have any questions, please contact me.

Best regards,

Thomas A. Errico, P.E.

Senior Transportation Engineer

Wilbur Smith Associates

59 Middle Street

Portland, Maine 04101

w: 207.871.1785 f: 207.871.5825

TErrico@WilburSmith.com

[www.WilburSmith.com](http://www.wilbursmith.com/) <<http://www.wilbursmith.com/>>

CC: Barhydt, Barbara

From: Jean Fraser
To: Barhydt, Barbara; Errico, Thomas; Goyette, Dan; Jaegerman, Alex; Schmuckal, Marge
Date: 9/17/2008 4:52:58 PM
Subject: Fwd: 61 India Street

Please see below what I have clarified for Joe Reynolds and Scott Tees re Site Plan issues discussed yesterday....Joe intends to submit by Friday. Let me know if anything amiss/missing....

Please note that Marge was arranging with Jeanie Bourke to have the code review of his building permit application progressed in parallel with the site plan review -but not issued- (since the building construction aspects are quite complicated); Joe confirmed to us yesterday that he was not asking to begin any work until he had received Site Plan approval (ie indicated his letter of 9.5.08 to Jeanie Bourke was no longer correct).

>>> Jean Fraser 9/17/2008 4:43:33 PM >>>
Joe,

I am writing to follow up on yesterdays meeting and have listed below the information/revisions that we need in order to continue the Site Plan review.

1. Revised parking layout and access (on plan) to address Tom Erricos' comments; request waiver from the Cit's standard of 24 feet width; show details etc if "lazy susan" system proposed;
2. Evidence of 3-5 year commitment to specific off street parking arrangement that meets Zoning Requirements;
3. Details of how/who and when the 14 ft wide easement will be improved, including curb cut to Middle Street (with supporting documentation); clarify fallback arrangements if the easement improvement works are not completed by others prior to completion of your project;
4. Proposals for waste removal including supporting documentation of rights over the pedestrian passage to be used; please note trash bins should be stored in an enclosure and this should be marked on the plan (stockade fencing is often used and the submitted fence detail is OK; needs gate detail)
5. Proposed stormwater management on the site (note: in letter from Richard Lo of 8.15.2008 states a Stormwater Management Plan is being prepared but none has been received); cobbles are OK and granite curbing needed around parking area (partly to collect run off and partly to keep soil in planted areas) and along the building (don't need curbing on the side toward the bakery); need narrative describing how stormwater to be managed;
6. Revise Plan L1.0 to include details of proposed hard and soft landscaping, including size and species of planting (you might want to include a small bike rack tho' this is not a requirement);
7. Capacity to serve letters needed from Portland Water District and City of Portland Public Services- I think these may have been sent to TFH Architects;
8. The submitted survey is from 2004 and a more recent one that is consistent with easement documents etc should be submitted;
9. Confirm commitment to contribution to intersection improvements as discussed with Tom Errico.

Please note the above is a summary only and further discussion probably needed re some of the details. I suggest you submit a letter and the revised plans that relate to the above and then we will schedule another meeting if needed. Submissions via pdf copies sent by e-mail would expedite the review but are not essential; if submitting paper copies of letter/plans please submit 4 copies of set for now (no need to resubmit the plans that do not change or those of the buidling).

I think that covers all the issues we discussed...

Jean (Fraser)
Planner

874 8728

CC: Bourke, Jeanie; Littell, Penny

From: Jean Fraser
To: Barhydt, Barbara; Errico, Thomas; Schmuckal, Marge
Date: 9/15/2008 12:06:51 PM
Subject: 61 India Street- Joe Reynolds project

MEETING CONFIRMED:

Tuesday, Sept 16, 2008 3PM
Planning Conference Room

This is essentially a site plan review meeting to outline traffic and access and zoning/parking concerns with Joe Reynolds and Scott Teas. Tom Errico, Marge Schmuckal, Barbara Barhydt and I will attend; Jeanie Bourke is on "Standby" in case the conversation circles back to building permit options for temporary stabilization for the walls.

Thanks
Jean

CC: Bourke, Jeanie; Jaegerman, Alex; Littell, Penny

From: Marge Schmuckal
To: Jean Fraser
Date: 9/15/2008 10:42:44 AM
Subject: Re: 61 India Street

yes - I think Jeanie Bourke needs to be there if the conversation goes into how much "securing" or reconstruction is going to be allowed.

Marge

>>> Jean Fraser 9/15/2008 10:39:47 AM >>>

Marge

Could you make a site plan meeting with Joe Reynolds/Scott Teas plus me, Barbara, & Tom Errico for **tomorrow afternoon at 3pm?**

Thanks

Jean

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2008-0116

Date: 9/9/2008

I have reviewed the most current reduced plans received on 8/20/08 - This project is located within a B-2b business zone. Retail, business office(s) and residential uses (with only one res. unit being proposed at this time spanning two floors) are permitted. The B-2b setback requirements are being met.

First of all an accurate, up-to-date, scalable site plan is required before final approvals.

I need scaled drawings to confirm that the maximum building height is being met. 45' is the maximum height allowed with 42' given in writing as to the proposed height.

I disagree with the submitted information concerning the required number of parking spaces. Two parking spaces are required for the existing front building (one for each of the two dwelling units within the existing building). For the new construction, no parking requirements are needed for the first floor retail (under 2000 sq. feet). The business office use on the 2nd floor requires 3 parking spaces not 2 (980 sq ft divided by 334 = 2.95 or 3 parking spaces). The one dwelling unit on the third and fourth floor requires two parking spaces because it is new construction. Therefore, a total of 7 parking spaces are required. Only 5 parking spaces are being provided for the existing and new addition. Section 14-334 states that required off-street parking may be provided off site within 100 feet measured along lines of public access. However, if parking is provided more than 100 feet away, the ZBA or Planning Board may permit such off-street parking if it can be shown to be a "reasonable distance" away. I do not see any parking provided for bicycles as required.

It is also noted that the current impervious surface is 97.1% where the B-2b allows a maximum of 90%. The applicant should be required to reduce some of the existing impervious surface as much as possible to lessen the existing nonconformity.

It is also noted that the 4th floor area of the one apartment unit SHALL NOT be able to stub in future plumbing or special wiring for a future kitchen resulting in a new dwelling unit.

Marge Schmuckal
Zoning Administrator

From: Marge Schmuckal
To: Alex Jaegerman ; Barbara Barhydt; Jean Fraser; Jeanie Bourke; Marge Schmuckal; Penny Littell
Date: 9/12/2008 10:23:14 AM
Subject: Re: 61 India Street

That being said. I think it is extremely important to be very specific with this applicant. If we allow the applicant to stabilize the building, we must be super clear as to what exactly we are approving and what the limits are. It would be wise to put all the specifics in writing.
Marge

>>> Marge Schmuckal 9/12/2008 10:13:12 AM >>>
I agree -
Marge

>>> Penny Littell 9/12/2008 10:07:22 AM >>>
Marge et al. We need to be clear that stabilization efforts are not zoning approvals or permanent approvals of any kind.

-----Original Message-----

From: Marge Schmuckal
To: Alex Jaegerman <AQJ@portlandmaine.gov>
Barbara Barhydt <BAB@portlandmaine.gov>
Jean Fraser <JF@portlandmaine.gov>
Jeanie Bourke <JMB@portlandmaine.gov>
Penny Littell <PL@portlandmaine.gov>
CC: Deb Andrews <DGA@portlandmaine.gov>
Creation Date: 9/12 9:20 am
Subject: Re: 61 India Street

I would defer to Jeanie on this one as to what minimum level of stabilization would be required for this particular building. I don't believe that the whole shell needs to be built in order to stabilize what is existing.
Marge

>>> Barbara Barhydt 9/12/2008 8:28:38 AM >>>
Hello:

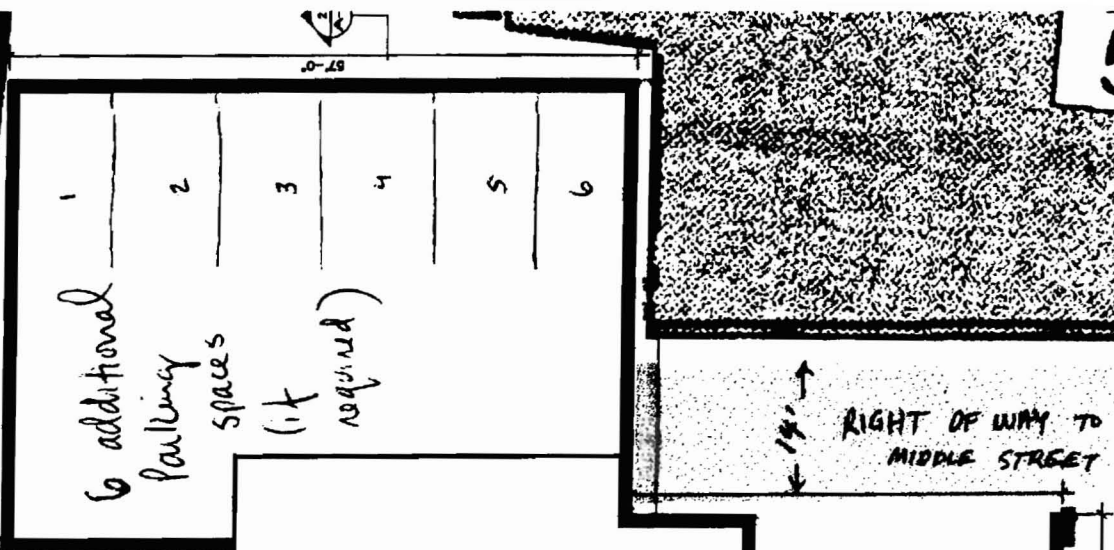
Scott Teas, Architect, left a message on my phone this morning. He is seeking a meeting in order to discuss ways to allow Joe Reynolds to stabilize the building. He describes it as closing in the building and Joe Reynolds left a message the other day regarding the same request. A site plan has been submitted and is undergoing administrative review with Jean as the planner. Scott is concerned that the facades will not last much longer. The facades are from some of the early industrial buildings in Portland, which Deb feels have historic significance.

They are looking to meet at the beginning of next week. What options exist to stabilize the facades while the project goes through site plan review? What is your availability to meet on this one?

Thanks.

Barbara

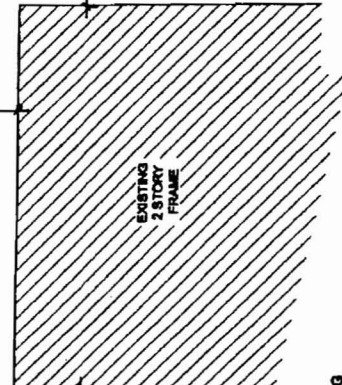
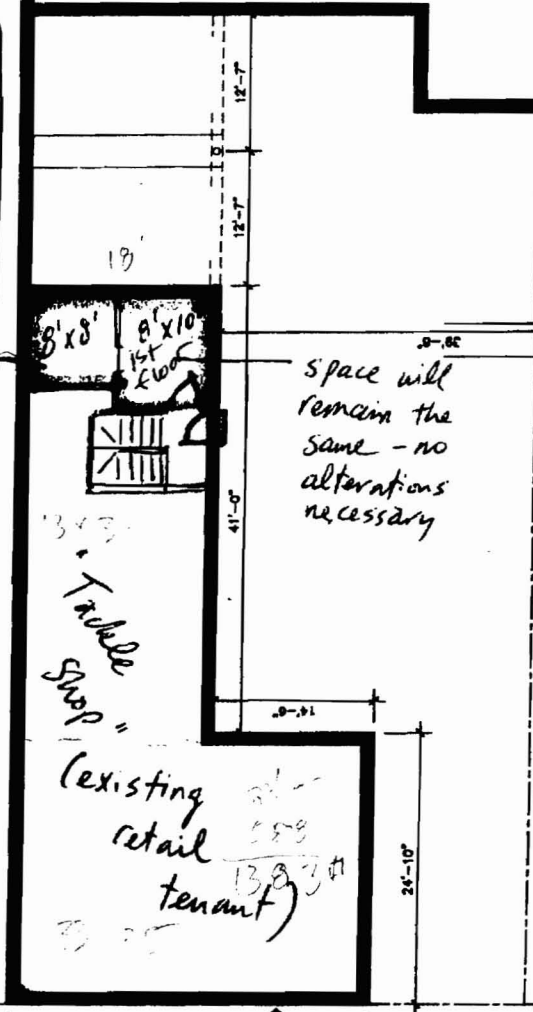
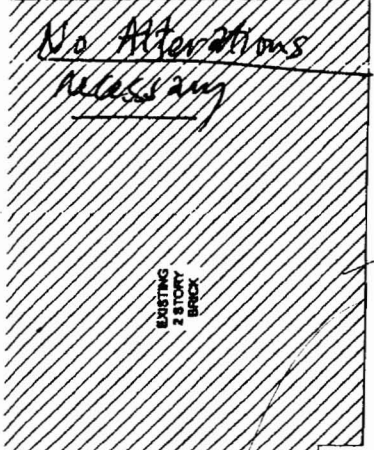
57.



61 INDIA STREET

Floor 4

+/- 150 s.f.
 proposed office space (1 tenant)



PROPERTY LINE

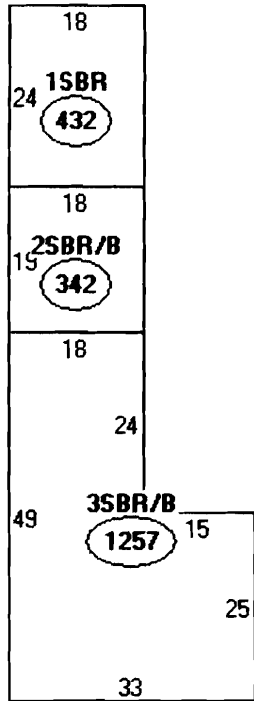
BIDE WALK

INDIA STREET

#61

64#
 80#
 144#

EXISTING SITE PLAN W/ EGRESS AND PROPOSED PARKING



Descriptor/Area

A: 35BR/B
1257 sqft

B: 25BR/B
342 sqft

C: 15BR
432 sqft

61 India St

Existing uses & parking

1st floor

retail (truck shop) - 1383 sq ft - no pkg req
office 144 sq ft - no pkg req

2nd floor

- 1 Apt in existing Bldg = 1 pkg req

3rd floor

- 1 Apt in existing Bldg = 1 pkg req

2 pkg req in the existing Building

From: Jean Fraser
To: Barhydt, Barbara
Date: 9/9/2008 5:06:49 PM
Subject: Fwd: 61 India Street- Joe Reynolds

Barbara,

I spoke to Scott Teas this morning (Richard Lo is "gone" and Scott is dealing with this) and outlined the (recently stated) initial concerns of the Traffic Engineer reviewer (Tom Errico) regarding the location and size of the 5 parking spaces provided and associated access (on the face of it these mean no parking on site and maybe problem re trash collection) (he also suggests a contribution towards future improvements of India St/Middle St intersection).

Marge has confirmed that zoning would require 7 parking spaces and identifies a problem with proposed impervious surface coverage.

Scott indicated that there was an urgency because the historic facade is unstable and they need to close it in etc before winter. That was why they wished to avoid going to the Planning Board. He is urging flexibility from the City in view of the costs and timetable associated with preserving the facade and is suggesting a meeting with "all" including Joe Reynolds and maybe Greg Shinberg who represents adjacent landowner (I said I would get back to Scott after discussing it at the Review meeting tomorrow).

Coincidentally Greg Shinberg came in today before I spoke to Scott and requested a copy of all of the file information on this project (this included the Traffic Engineer's initial comments).

This is on tomorrow's Dev Rev agenda but in view of Marge's "heads up" re the Building Permit application I thought I would add another "heads up"!

Jean

>>> Marge Schmuckal 9/9/2008 4:14:57 PM >>>

I have a permit application that shows all the structural plans for the new 4 story proposed addition at 61 India Street which is currently undergoing a site plan review (#2008-0116). I have put the permit on hold, but I am sure Joe Reynolds may want some special approvals to begin work prior to site plan approvals.

Just a heads up....

Marge

CC: Andrews , Deb; Jaegerman , Alex; Littell , Penny; Schmuckal, Marge

From: Marge Schmuckal
To: Alex Jaegerman ; Barbara Barhydt; Jean Fraser; Jeanie Bourke; Penny Littell
Date: 9/12/2008 9:21:06 AM
Subject: Re: 61 India Street

I would defer to Jeanie on this one as to what minimum level of stabilization would be required for this particular building. I don't believe that the whole shell needs to be built in order to stabilize what is existing.
Marge

>>> Barbara Barhydt 9/12/2008 8:28:38 AM >>>
Hello:

Scott Teas, Architect, left a message on my phone this morning. He is seeking a meeting in order to discuss ways to allow Joe Reynolds to stabilize the building. He describes it as closing in the building and Joe Reynolds left a message the other day regarding the same request. A site plan has been submitted and is undergoing administrative review with Jean as the planner. Scott is concerned that the facades will not last much longer. The facades are from some of the early industrial buildings in Portland, which Deb feels have historic significance.

They are looking to meet at the beginning of next week. What options exist to stabilize the facades while the project goes through site plan review? What is your availability to meet on this one?

Thanks.

Barbara

CC: Deb Andrews



Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis Littell

Inspection Services Director
Tammy Munson

December 17, 2008

Resurgence Engineering and Preservation, INC
132 Brentwood Street
Portland, ME 04103

RE: 61 India Street, Permit # 08-1124
CBL: 020 E021001

Dear Mr. Hodson,

Thank you for your request for waiver received December 1, 2008. The request is to utilize the 2006 version of the International Building Code (IBC) as it pertains to the seismic design.

The following are the facts:

1. The City of Portland is currently working under the IBC 2003. State Law does not allow the City to adopt the IBC 2006.
2. You have reviewed the design of the above-listed building in accordance with both ASCE 7-02 (referenced in 2003 IBC) and ASCE 7-05 (referenced in 2006 IBC). The seismic design requirements of ASCE 7-05 differ from those in ASCE 7-02 because more recent research has led to re-drawn earthquake hazard maps. The redrawn maps consider maximum considered earthquake ground motion for short and long-term earthquake durations. Therefore, the modified mapping results in lower acceleration values for the Portland Maine area. By applying the lower acceleration values, this structure can be designed utilizing the requirements of the Seismic Design Category B, which significantly simplifies the structural analysis.
3. These guidelines are based on newer, more recent data provided by the United States Geological Survey (USGS), and represent the latest science and data in the structural engineering field.
4. The portions of IBC 2006 that are less restrictive than the IBC 2003 are the Seismic requirements. The other portions of Chapter 16, IBC 2006 are either procedural modifications or are generally more restrictive than the requirements of the IBC 2003.

The Waiver Request is approved by this office to utilize the IBC 2006 for seismic design on the above mentioned project, based on the latest scientific research, and the inability of the City to adopt this code.

RESURGENCE

ENGINEERING AND PRESERVATION, INC.

132 BRENTWOOD STREET
PORTLAND, MAINE 04103
V/F (207) 773-4880
EMAIL: RESURGENCE@VERIZON.NET

DESIGN MEMORANDUM

December 1, 2008

To: City of Portland Inspections Department, c/o Jeanie Bourke
Cc: Joe Reynolds, Pearl Properties LLC
From: Alfred H. Hodson III, P.E., Resurgence Engineering & Preservation, Inc.
RE: Structural Design Criteria for 61 India Street Rehabilitation, Portland, Maine
Four Story, Mixed-Use Building behind and above Existing Facade
Resurgence Engineering and Preservation Project Number 08-003

REQUEST FOR WAIVER OF 2003 IBC SEISMIC DESIGN COMPARISON OF SEISMIC LOADING ASCE 7-02 (2003 IBC) VERSUS ASCE 7-05 (2006 IBC)

Jeanne:

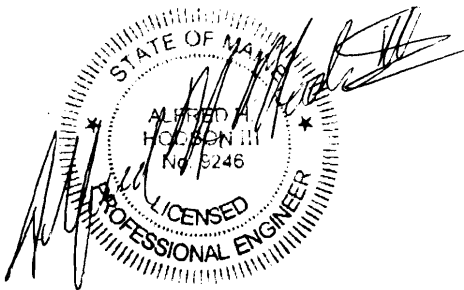
I have reviewed the design of the above-listed building in accordance with both ASCE 7-02 (referenced in 2003 IBC) and ASCE 7-05 (referenced in 2006 IBC). The seismic design requirements of ASCE 7-05 differ from those in ASCE 7-02 because more recent research has led to re-drawn earthquake hazard maps. The redrawn maps consider maximum considered earthquake ground motion for short and long-term earthquake durations.

As can be seen by the following tables, the modified mapping results in lower acceleration values for the Portland Maine area. When applying these values into the seismic design formula, the end result is that the building can be designed in accordance with the requirements for a "Seismic Design Category B" structure.

Designing the building as a Seismic Design Category B structure significantly simplifies structural analysis, because the seismic forces can be evaluated in separate directions in accordance with ASCE 7-05 Section 12.5.2, Direction of Loading for Seismic Design Category B. Additionally, the base shear forces are reduced by approximately 13 percent.

If you have any questions, please feel free to call me. Thank you for accepting this design position that is in accordance with more recent research that will ultimately be included in the upcoming Maine State Building Code.

Sincerely,



Alfred H. Hodson III, P.E.

Joseph W Reynolds@ yahoo.com

Jeanie Bourke
Division Director, Inspection Services
City of Portland, ME

9/5/08

Dear Jeanie,

Per our conversation of 8/25/08, I am writing you a description of my plans for rebuilding the rear portion of my 61 India St. property. As perhaps you are aware, TFH Architects submitted a site plan application for me last month detailing a scenario which represents the maximum extent to which I would develop the property. In order for me to tackle such a project, I would like to proceed in phases which can be accommodated by my resources.

Today I am submitting a building permit application to close-in the demolished portion of the structure. This will include a new 3 story wall on the north-easterly end of the building and repairs to the remaining walls. New interior steel and wood framing will be installed to the extent necessary to make the building structurally sound and a new roof will be installed to make it weather tight. No expansion of footprint is requested and there will be no increase in height. All structural work will be overseen by its designer, Alfred H. Hodson, P.E. (ME #9246). No plumbing, heating or electrical work will be done except as necessary to facilitate construction (i.e. outlets for power cords). No change of use would be sought and no occupancy permit requested.

This first phase I would like to begin as soon as possible and intend to have completed in spring '09. Subsequent phases would involve mechanical installations, interior wall partitions and build-out necessary to satisfy all code requirements for eventual occupancy for uses yet to be determined. Permit applications for those projects will be submitted as those plans develop.

Thank you for your consideration in this matter and for your patience with my unorthodox manner.

Sincerely,

Joseph W Reynolds

9/16/08 - Per Joe Reynolds - on this date - He stated that he did not want to begin before the site plan process was completed. He is asking to start the Fire/Building review while the site plan process was continuing - S

SEP 16 2008

From: Marge Schmuckal
To: Barbara Barhydt ; Jean Fraser
Date: 9/9/2008 4:15:17 PM
Subject: 61 India Street- Joe Reynolds

I have a permit application that shows all the structural plans for the new 4 story proposed addition at 61 India Street which is currently undergoing a site plan review (#2008-0116). I have put the permit on hold, but I am sure Joe Reynolds may want some special approvals to begin work prior to site plan approvals.

Just a heads up....

Marge

CC: ALEX JAEGERMAN; PENNY LITTELL



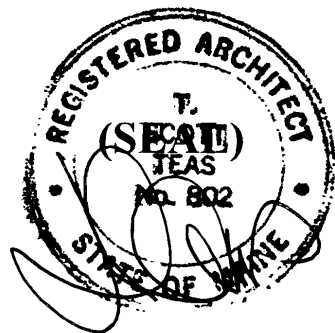
Accessibility Building Code Certificate


Designer: T. SCOTT TEAS

Address of Project: 61 INDIA STREET

Nature of Project: RENOVATIONS OF EXISTING
CARriage HOUSE TO INCLUDE
RETAIL, OFFICE, AND ONE APARTMENT

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: 

Title: PRINCIPAL

Firm: TFH ARCHITECTS

Address: 80 MIDDLE STREET
PORTLAND, ME 04101

Phone: 207-775-6441

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date: SEPTEMBER 5, 2008

From: TFH ARCHITECTS

These plans and / or specifications covering construction work on:

RENOVATIONS/ADDITIONS TO 61 INDIA STREET

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.

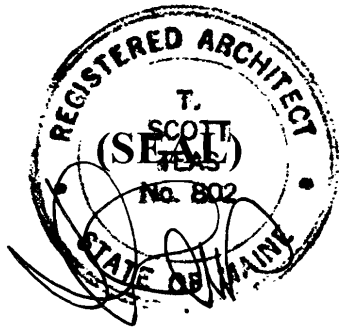
Signature:

Title: PRINCIPAL

Firm: TFH ARCHITECTS

Address: 80 MIDDLE STREET
PORTLAND, MAINE 04101

Phone: 207.775.6141



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

From: Jean Fraser
To: Barhydt, Barbara; Errico, Thomas; Goyette, Dan; Jaegerman, Alex; Schmuckal, Marge
Date: 9/17/2008 4:52:58 PM
Subject: Fwd: 61 India Street

Please see below what I have clarified for Joe Reynolds and Scott Tees re Site Plan issues discussed yesterday....Joe intends to submit by Friday. Let me know if anything amiss/missing....

Please note that Marge was arranging with Jeanie Bourke to have the code review of his building permit application progressed in parallel with the site plan review -but not issued- (since the building construction aspects are quite complicated); Joe confirmed to us yesterday that he was not asking to begin any work until he had received Site Plan approval (ie indicated his letter of 9.5.08 to Jeanie Bourke was no longer correct).

>>> Jean Fraser 9/17/2008 4:43:33 PM >>>
Joe,

I am writing to follow up on yesterdays meeting and have listed below the information/revisions that we need in order to continue the Site Plan review.

1. Revised parking layout and access (on plan) to address Tom Erricos' comments; request waiver from the Cit's standard of 24 feet width; show details etc if "lazy susan" system proposed;
2. Evidence of 3-5 year commitment to specific off street parking arrangement that meets Zoning Requirements;
3. Details of how/who and when the 14 ft wide easement will be improved, including curb cut to Middle Street (with supporting documentation); clarify fallback arrangements if the easement improvement works are not completed by others prior to completion of your project;
4. Proposals for waste removal including supporting documentation of rights over the pedestrian passage to be used; please note trash bins should be stored in an enclosure and this should be marked on the plan (stockade fencing is often used and the submitted fence detail is OK; needs gate detail)
5. Proposed stormwater management on the site (note: in letter from Richard Lo of 8.15.2008 states a Stormwater Management Plan is being prepared but none has been received); cobbles are OK and granite curbing needed around parking area (partly to collect run off and partly to keep soil in planted areas) and along the building (don't need curbing on the side toward the bakery); need narrative describing how stormwater to be managed;
6. Revise Plan L1.0 to include details of proposed hard and soft landscaping, including size and species of planting (you might want to include a small bike rack tho' this is not a requirement);
7. Capacity to serve letters needed from Portland Water District and City of Portland Public Services- I think these may have been sent to TFH Architects;
8. The submitted survey is from 2004 and a more recent one that is consistent with easement documents etc should be submitted;
9. Confirm commitment to contribution to intersection improvements as discussed with Tom Errico.

Please note the above is a summary only and further discussion probably needed re some of the details. I suggest you submit a letter and the revised plans that relate to the above and then we will schedule another meeting if needed. Submissions via pdf copies sent by e-mail would expedite the review but are not essential; if submitting paper copies of letter/plans please submit 4 copies of set for now (no need to resubmit the plans that do not change or those of the buidling).

I think that covers all the issues we discussed...

Jean (Fraser)
Planner



General Building Permit Application

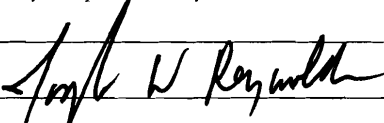
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 61 INDIA STREET		
Total Square Footage of Proposed Structure 3,500 s.f.	Square Footage of Lot +/- 10,000 s.f.	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 020 E021 001	Owner: Pearl Properties, LLC.	Telephone: 838-7296
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: Joe Reynolds 198 Tuttle Rd Cumberland, ME 04021	Cost Of Work: \$ 75,000.00 Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) <u>UTILITY</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SAME</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: REBUILD DEMOISHED PORTION OF REAR BUILDING (SEE LETTER TO J. BOURKE)		
Contractor's name, address & telephone: <u>SAME AS APPLICANT</u> Who should we contact when the permit is ready: <u>SAME</u> Mailing address: _____ Phone: _____		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 9/5/08
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This is not a permit; you may not commence ANY work until the permit is issued.

APPLICATION FOR MINOR SITE PLAN REVIEW



61 INDIA STREET, PORTLAND, ME 04101

July 30, 2008

This application is for minor site plan review of proposed additions to the existing property at 61 India Street,, Portland ME 04101. The application has been prepared by TFH Architects and is submitted to the City of Portland, on behalf of the applicant Pearl Properties LLC.

A list of drawings included in the application is provided on drawing G1.0.



Development Review Application Portland, Maine

Department of Planning and Development, Planning Division and Planning Board

Address of Proposed Development:		
Zone: B2b		
Project Name: 61 INDIA STREET		
Existing Building Size: _____ sq. ft.	Proposed Building Size: 5,411.0 sq. ft. (ADDITION ONLY)	
Existing Acreage of Site: 7,672.0 sq. ft.	Proposed Acreage of Site: 7672.0 sq. ft.	
Proposed Total Disturbed Area of the Site: ± 2,175 sq. ft. *		
* If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) or Chapter 500, Stormwater Management Permit with the Maine Department of Environmental Protection (DEP).		
Tax Assessor's Chart, Block & Lot: Chart # TM 20 E Block # _____ Lot # 1	Property Owners Name/ Mailing address: PEARL PROPERTIES LLC 198 TUTTLE RD. CUMBERLAND ME 04021	Telephone #: Cell Phone #:
Consultant/Agent Name, Mailing Address, Telephone #, Fax # and Cell Phone #: SCOT TEAS TFH ARCHITECTS	Applicant's Name/ Mailing Address: % TFH ARCHITECTS 100 COMMERCIAL ST. PORTLAND ME 04101	Telephone #: TFH ARCHITECTS 775.6141 Cell Phone #:
Fee for Service Deposit (all applications) <input checked="" type="checkbox"/> (\$200.00)		
Proposed Development (check all that apply)		
<input type="checkbox"/> New Building <input checked="" type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Residential <input checked="" type="checkbox"/> Office <input checked="" type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable <input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____) <input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Storm water Quality (\$250.00) <input checked="" type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot) <input type="checkbox"/> Other _____		
~ Please see next page ~		

Major Development (more than 10,000 sq. ft.)

- Under 50,000 sq. ft. (\$500.00)
- 50,000 - 100,000 sq. ft. (\$1,000.00)
- Parking Lots over 100 spaces (\$1,000.00)
- 100,000 - 200,000 sq. ft. (\$2,000.00)
- 200,000 - 300,000 sq. ft. (\$3,000.00)
- Over 300,000 sq. ft. (\$5,000.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Minor Site Plan Review

- Less than 10,000 sq. ft. (\$400.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Plan Amendments

- Planning Staff Review (\$250.00)
- Planning Board Review (\$500.00)

Billing Address: (name, address and contact information)


Submittals shall include **seven (7) folded** packets containing of the following materials:

- A. Copy of the application.
- B. Cover letter stating the nature of the project.
- C. Written Submittal (Sec. 14-525 2. (c), including evidence of right, title and interest.
- D. A standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
- E. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
- E. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
- F. In addition to the seven (7) sets of documents listed above, one (1) set of the site plans reduced to 11 x 17 must be submitted.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for site review only; a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

Signature of Applicant: 	Date: 7 / 30 / 08
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Site Plan Checklist Portland, Maine

Department of Planning and Development, Planning Division and Planning Board

61 INDIA STREET, PORTLAND ME 04101

Project Name, Address of Project

Application Number

The form is to be completed by the Applicant or Designated Representative:

Check Submitted	Site Plan Item	Required Information	Section 14-525 (b,c)
SEE DRAWING BY OWEN HASKELL INC. 2004.005 P-1	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
SEE ATTACHED	(2)	Name and address of applicant and name of proposed development	a
SEE SURVEY DRAWING	(3)	Scale and north points	b
"	(4)	Boundaries of the site	c
SEE DRAWING G1-0	(5)	Total land area of site	d
SEE SURVEY PLAN	(6)	Topography - existing and proposed (2 feet intervals or less)	e
	(7)	Plans based on the boundary survey including:	2
	(8)	Existing soil conditions	a
NA	(9)	Location of water courses, wetlands, marshes, rock outcroppings and wooded areas	b
SEE DRAWING G1-0	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
" " A2-1-2-4			
SEE SURVEY PLAN	(11)	Approx location of buildings or other structures on parcels abutting the site and a zoning summary of applicable dimensional standards (example page 9 of packet)	d
" DRAWING G1-2	(12)	Location of on-site waste receptacles	e
SEE DRAWING C1-0	(13)	Public utilities	e
" " C1-1	(14)	Water and sewer mains	e
" " "	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
SEE DRAWING G1-2	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
SEE DRAWING C1-0	(17)	Location and dimensions of on-site pedestrian and vehicular access ways	g
" " "	(18)	Parking areas	g
NA	(19)	Loading facilities	g
SEE DRAWING C1-0	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
" " "	(21)	Curb and sidewalks	g
	(22)	Landscape plan showing:	h
SEE DRAWING L1-0	(23)	Location of existing vegetation and proposed vegetation	h
" " "	(24)	Type of vegetation	h
	(25)	Quantity of plantings	h
" " "	(26)	Size of proposed landscaping	h
NA	(27)	Existing areas to be preserved	h
NA	(28)	Preservation measures to be employed	h
SEE DRAWING L1-1	(29)	Details of planting and preservation specifications	h
	(30)	Location and dimensions of all fencing and screening	i
SEE DRAWING E1-1	(31)	Location and intensity of outdoor lighting system	j
SEE PWD PLAN	(32)	Location of fire hydrants, existing and proposed (refer to Fire Department checklist)	k
	(33)	Written statements to include:	c
SEE ATTACHED	(34)	Description of proposed uses to be located on site	cl
SEE ATTACHED	(35)	Quantity and type of residential, if any	cl
SEE DRAWING G1-0	(36)	Total land area of the site	c2
SEE DRAWING G1-1	(37)	Total floor area, total disturbed area and ground coverage of each proposed Building and structure	c2
SEE DRAWING G1-2	(38)	General summary of existing and proposed easements or other burdens	c3
SEE ATTACHED	(39)	Type, quantity and method of handling solid waste disposal	c4
SEE ATTACHED	(40)	Applicant's evaluation or evidence of availability of off-site public facilities, including sewer, water and streets	c5
SEE DRAWING C1-1	(41)	Description of existing surface drainage and a proposed stormwater management plan or description of measures to control surface runoff.	c6

<u>SEE ATTACHED</u>	(42)	An estimate of the time period required for completion of the development	7
<u>SEE DRAWING G.1.1</u>	(43)	A list of all state and federal regulatory approvals to which the development may be subject to. Include the status of any pending applications, anticipated timeframe for obtaining such permits, or letters of non-jurisdiction.	8
<u>SEE ATTACHED</u>	(47)	Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved.	h8
<u>SEE ATTACHED</u>	(48)	Evidence of applicant's right title or interest, including deeds, leases, purchase options or other documentation.	
<u>NA</u>	(49)	A description of any unusual natural areas, wildlife and fisheries habitats, or archaeological sites located on or near the site.	
<u>ENCLOSED</u>	(50)	A jpeg or pdf of the proposed site plan, if available.	
<u>TO BE PROVIDED</u>	(51)	Final sets of the approved plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.	

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- | | |
|---|---|
| - drainage patterns and facilities | - an environmental impact study |
| - erosion and sedimentation controls to be used during construction | - a sun shadow study |
| - a parking and/or traffic study | - a study of particulates and any other noxious emissions |
| - a wind impact analysis | - a noise study |

Other comments:

APPLICATION FOR MINOR SITE PLAN REVIEW 61 India Street,, Portland ME 04101

Site Plan Review Checklist Items:

In addition to the check list of site plan review items, provided as requested by the city, please also note the following.

Item 2:

Applicant: See development review form.

Item 32:

Fire hydrants: See attached plan provided by the Portland Water District.

Item 34-35:

Proposed use: A new 4-floor addition to the existing property (see drawing C1.0) The building foundation will be cast-in-place, reinforced concrete wall footings and frost walls in accordance with geotechnical recommendations provided by Summit Geo-engineering. Floor and roof framing consists of steel columns, steel girders, and a combination of steel joists and composite lumber joists. Shear walls and braced frames will provide lateral stability for seismic and wind loads. New structural walls will stabilize existing masonry veneer over the India Street archway, and floor diaphragms will stiffen the existing masonry front tower.

Type of uses: The new addition includes separate spaces as follows:
(1) Retail unit on the first floor (see drawing A1.1)
(1) Business unit on the second floor (see drawing A1.2)
(1) Residential unit on the third floor (see drawing A1.3)
(1) Residential unit on the fourth floor (see drawing A1.4)

Item 39:

Solid waste: Solid waste will be collected in wheeled trash bins located at the rear of the new addition. The location for the bins is shown on drawing C1.0. Regular removal, on a weekly basis, will be via the access easement to Middle Street.

Item 42:

Time estimate: 18 months from issue of building permit to completion of construction.

Item 40:

Off-site utilities: See attached letters from the following utility providers.
Central Maine Power
Northern Utilities Gas
Portland Water District
Portland City Department of Public Works

Item 47:

Financial capability: See attached letter.

Item 48:

Property title: See attached

Richard Lo

From: Cough, Jamie [Jamie.Cough@cmpco.com]
Sent: Friday, July 18, 2008 4:00 PM
To: Richard Lo
Subject: CMP Ability to Serve 61 India Street, Portland ME

7/18/2008

Sent via email

RE: Ability to Serve Letter

Dear Mr. Lo:

CMP has the ability to serve your proposed project at 61 India Street located in Portland, ME, in accordance with our CMP Handbook (web address below). I will be your initial CMP contact for establishing electrical service at this site. If the project is single phase, then you will deal directly with our Service Center Coordinator. If you have any questions on the process, or need help in completion of the documents, please feel free to contact me.

New Service Milestones

- Call 1-800-565-3181 to establish a new account and an SAP work order. Please provide both of these to me.
- Submit Load information. Please complete a CMP spreadsheet using load information (contact me for file).
- Submit the easement information worksheet. Please complete this CMP form and either email or fax back to us (contact me for file).
- Submit any electronic drawings (PDF (preferred) or DWG files) of the site layout and proposed electrical connections if you have them.
- Preliminary meetings with CMP Advisor and Engineer to determine details of job (I will need to schedule with your electrician/contractor-please let me know who this is)
- Field planner design appointment to cost out job and develop CMP Invoice.
- Submit invoice for payment.
- Easements signed and payment received. Attached is what a typical easement will look like.
- Job scheduled for completion after the electrical inspection has been received.

This process can take several months, depending upon several factors including transformer delivery, return of completed paperwork, and other jobs in the system that may be ahead of yours.

Please complete the attached forms (specific instructions are on each form) and email them back to me at your earliest convenience.

For your convenience, here is a link to the CMP Website which contains our Handbook with details on most service requirements:

[CMP Contractors Handbook](#)

If you have any questions regarding this matter, please contact me at (207) 842-2367.

Regards,

7/28/2008

Jamie

Jamie Cough
Energy Services Advisor
Central Maine Power Company
162 Canco Road
Portland, ME 04103
207-842-2367 office
207-458-0382 cell
207-626-4082 fax

7/28/2008



Bay State Gas Company
Northern Utilities Natural Gas
325 West Road
Portsmouth, NH 03801



RECEIVED
JUL 20 2008
BY: _____

July 22, 2008

Richard Lo
TFH Architects
100 Commercial St
Portland ME 04101

RE: 61 India St, Portland ME 04101

Dear Mr. Lo

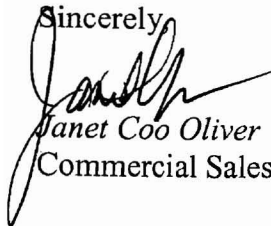
Northern Utilities confirms the availability of natural gas service for the location indicated above. However final approval cannot be provided until equipment loads and pressure requirements are provided.

This letter assumes all necessary municipal permits will be approved.

This letter does not constitute a commitment or contract to deliver natural gas to the above address. An application and/or contract must be signed before any work can begin.

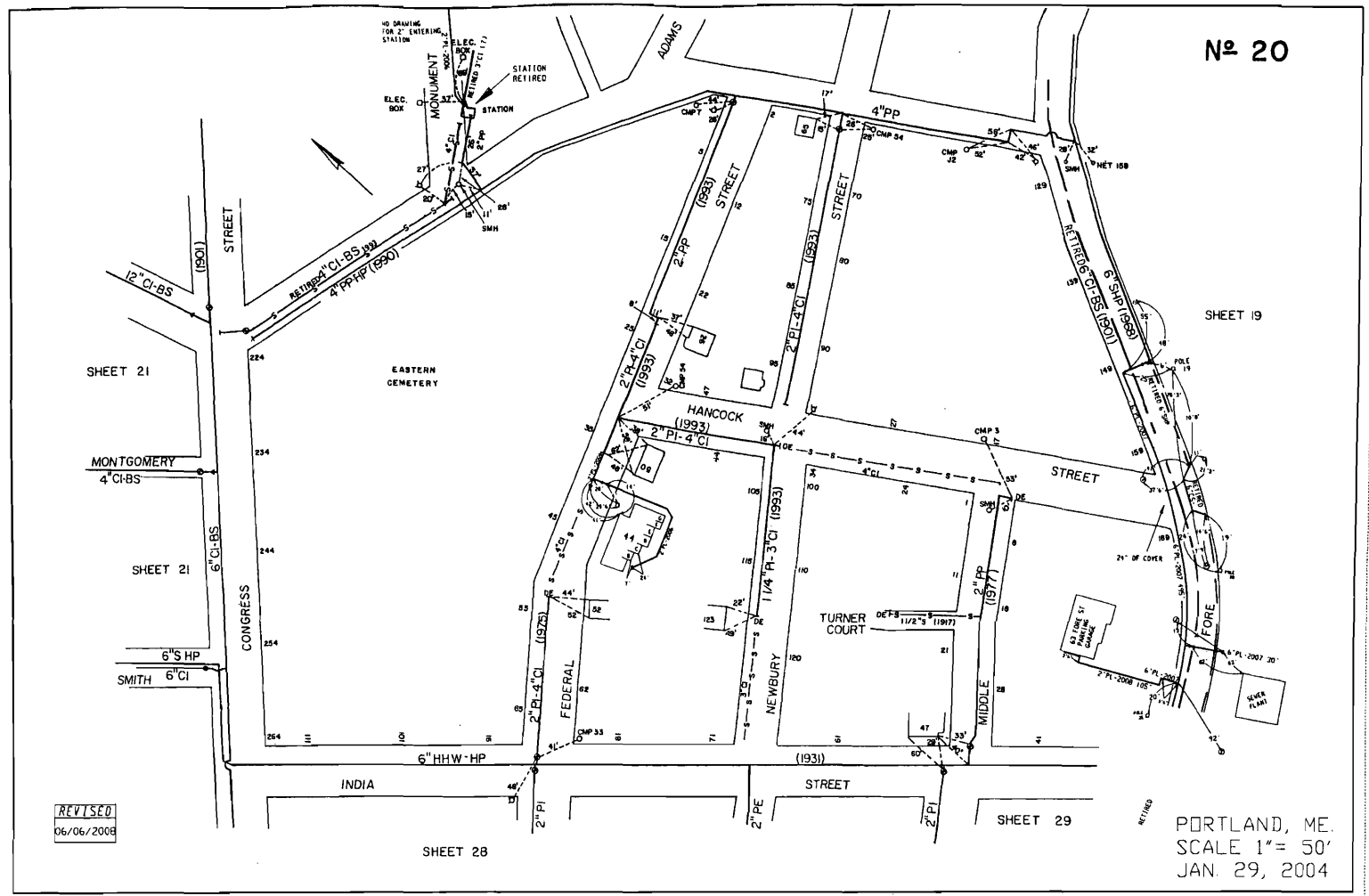
I hope this "letter of natural gas availability" meets your needs. Please contact me at (800) 552-3047 ext. #5344 or email me at joliver@nisource.com, if further assistance is needed.

Sincerely,



Janet Coe Oliver
Commercial Sales Representative

325 West Rd
Portsmouth NH 03801



REVISED
06/06/2008

PORTLAND, ME.
SCALE 1" = 50'
JAN. 29, 2004

ALL NORTHERN UTILITIES AND MAINS AND SERVICES LOCATED ON MAPS, PLANS, OR LAYOUTS ARE GENERAL LOCATIONS AND NOT FOR ENGINEERING, DESIGNING, OR FIELD USES. NORTHERN UTILITIES WILL NOT BE HELD RESPONSIBLE FOR PLANS WHICH ARE INCOMPLETE, NOT UPDATED OR INACCURATELY DEPICT UTILITY LOCATIONS, SIZES, PRESSURES, MATERIALS, DEPTHS, OR DATES.

Planning Division
Department of Planning and Development
City Hall
398 Congress Street
Portland, ME 04101

July 29, 2008

To Whom It May Concern,

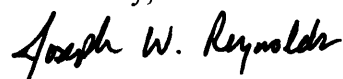
As the owner of the property at 61 India Street and as the builder for the proposed reconstruction of the rear portion of the structure located there, I am writing this letter as evidence of my capability to undertake and complete the project.

I have been in the construction business for over twenty years. In that time I have had experience in all phases of the building process: from site preparation and foundation work through framing and finish carpentry.

Before moving to the Portland area, I founded, operated for twelve years and profitably sold a marine construction business which provided design/build services for residential and commercial clients as well as local municipalities and the Maine D.O.T. I have built dozens of piers, wharves and bridges as well as many other projects which require heavy/ specialized foundation and structural work. Exclusive of a crane, which I will lease and operate myself, I already own all of the equipment and tooling needed to complete this project.

Through my years in construction, I have undertaken and successfully completed several projects whose size, scope and complexity far exceed the proposed reconstruction at 61 India Street. I have no intention of seeking assistance from an outside financial institution and expect to fund this project from my own resources.

Sincerely,



Joseph W. Reynolds
Owner, Pearl Properties, L.L.C.

WARRANTY DEED

WOODEN NICKEL LLC , a Maine limited liability company, with a principal place of business in Portland, Cumberland County, State of Maine, for consideration paid, receipt of which is hereby acknowledged, grants to PEARL PROPERTIES LLC, a Maine limited liability company, with a principal place of business in Portland, Cumberland County, State of Maine,*the following described real estate, situated in the County of Cumberland, State of Maine: *with WARRANTY COVENANTS

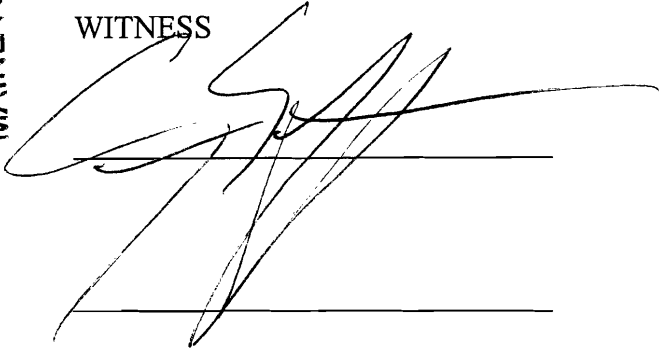
ES

SEE EXHIBIT A ATTACHED HERETO AND INCORPORATED HEREIN

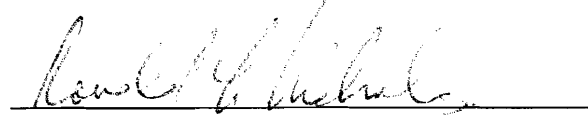
Being the same premises conveyed to GRANTOR herein by Warranty Deed dated October 13, 1998, and recorded in the Cumberland County Registry of Deeds in Book 14219, Page 166.

WITNESS my hand on August 5, 2005.

WITNESS



WOODEN NICKEL LLC



By: Ronald Nicholas

Its: Member



By: Brenda S. Nicholas

Its: Member

STATE OF MAINE
COUNTY OF CUMBERLAND ss.

On August 5, 2005, before me personally appeared Ronald Nicholas and Brenda S. Nicholas, being all of the members of Wooden Nickel LLC, a Maine limited liability company, who executed the foregoing instrument, and acknowledged that they executed the same as their free act and deed in said capacity and as the free act and deed of Wooden Nickel LLC.

Before me.



Eric J. Schaeffer
Attorney-at-Law

MAINE REAL ESTATE TAX PAID



Camden National Bank

Roots You Can Bank On.SM

P.O. Box 310 • Camden, Maine 04843 • www.camdennational.com

207-236-8821

800-860-8821

July 29, 2008

Planning Division
Department of Planning and Development
City Hall
398 Congress Street
Portland, ME 04101

To Whom It May Concern:

Joseph W. Reynolds, owner of Pearl Properties, L.L.C. has been a customer with Camden National Bank since June of 2004. In the opinion of Camden National Bank, Mr. Reynolds is financially capable of self funding the project he is pursuing at 61 India Street. Should you have any further questions please feel free to contact the Portland branch at 207-774-6736.

Elizabeth J. Winslow
Camden National Bank
Branch Manager
5 Milk Street
Portland, ME 04101

Member F.D.I.C.



EXHIBIT A

A certain lot or parcel of land, with the buildings thereon, situated on the northeasterly side of India Street in Portland, Cumberland, County, Maine, and bounded and described as follows: Beginning at a point on the northeasterly side of India Street seventeen (17) feet from the southerly corner of the brick dwelling house formerly owned and occupied by the late George Turner; thence running north $34^{\circ} 30'$ east by a fence and the buildings one hundred fourteen (114) feet to a stake; thence at nearly right angles to the last named course and parallel to India Street northwesterly ten (10) feet and nine (9) inches by a fence to a stake; thence turning and running northeasterly on a continuation of the southeasterly side line of the portico of said brick dwelling house forty-four (44) feet to land formerly owned by T. Hancock and T. Connor as marked on the plan made by William Anson, Surveyor, April, 1852; thence north $33^{\circ}30'$ west by said Hancock or Connor lot fifty-six (56) feet, seven (7) inches to the northwesterly side line of what was formerly a garden; thence southwesterly by the northwesterly side line of said garden forty-five (45) feet five (5) inches, more or less, to the corner of a fence; thence southeasterly twenty (20) feet and six (6) inches to the corner of the barn; thence southwesterly by the line of the barn, wood-house, brick kitchen and brick house to India Street; thence southeasterly by India Street forty-nine (49) feet six (6) inches, more or less, to the point of beginning. Together with all my right, title and interest in and to a right of passage-way three (3) feet wide in common with the owner or owners of the house next above said passage-way, the same extending the length of the lot marked 3 on a plan made by William Anson, said passage-way being in common for the common owners of lots No. 3 and No. 2, as marked on said plan, with the right to enter and make repairs and to carry things back and forth.

Also a certain other lot or parcel of land, with the buildings thereon, situated on a Court Easterly of India Street in said Portland, with the dwelling house thereon numbered 4, and bounded and described as follows: Beginning at the most easterly corner of the barn on the lot of land conveyed by Samuel Fessenden, Admr., to William Jacobs on the line of the Jewett land, so-called; thence running northwesterly by line of said barn and line of said Jacobs land twenty-nine (29) feet and six (6) inches; thence northeasterly on the line of the house No. 4, as shown on said plan of William Anson thirty-six (36) feet; thence southeasterly by the line of said dwelling-house No. 4 twenty-eight (28) feet and six (6) inches to said Jewett's land; thence southwesterly by said Jewett's land thirty-seven (37) feet and four (4) inches to the point of beginning, together with all my right, title and interest in and to the right of way in common between houses No. 4 and 5 of the width of four (4) feet, more or less; also all my right, title and interest in and to a right of way in common from said lot No. 4 between the dwelling No. 5 and the Jewett's lot of the width of eight (8) feet, more or less, to the common passage-way leading from Middle Street (formerly Waite Street) to said court; also a right of way in common in said passage way last named. Reference being had in regard to said passage ways to a plan made by William Anson in 1852; together with all right, title and interest which I have of making all necessary repairs on the side of the house on the last above described lot.

Memorandum
Department of Planning and Development



To: Joe Reynolds

From: Jeanie Bourke

cc: Penny Littell

Date: 10/16/08

Subject: Plan Review Record – 61 India St., Permit #08-1124

Joe,

I have completed the plan review of the above project. This was a difficult process due to the existing buildings; attached buildings on separate lots, previously permitted work and conditions of the site. I reviewed previous permits to get familiar with associated work and as you know, visited the site on 10/14/08. It appears that there have been some footings and steel columns installed in the area of the proposed 4 story structure that have not been permitted. This work must cease until permits are issued. I understand that you would like to permit this work as phased construction, with phase one being the foundation, structural steel and shell. It is possible to accommodate this; however there are significant code implications based on my initial review of the project, comprehensively, that need to be resolved. The following is a list of requirements in order to proceed with the review process.

The asterisk * identifies those required for the 1st phase:

Architectural:

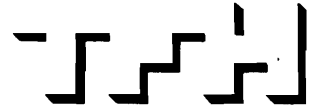
1. *In your letter dated 9/5/08, you refer to the structure as a 3 story structure, the plans show 4 stories, please clarify your intentions
2. *Certificate of Design Application (the 3rd form in the BP application)
3. *All occupancy groups need to be identified (mercantile not included on page G1.1 (this info should be included on the form #1 above)
4. *Calculations on the type of construction based on all existing attached structures. Code summary says type 5A, please substantiate.
5. *Sprinkler system shows NFPA 13 & 13R, due to Table 503 and Sec. 504.2 for allowable area and stories, a full NFPA system would be required.
6. *Building sections with framing and construction materials detail
7. Plan A 1.1 shows POB at the interior partition at front and rear stairs at the closet under the egress stair, fire rating is required

8. **Missing stair details, including alternating tread to roof, guards and handrails**
9. **Missing roof hatch details, guard details and use of rooftop area**
10. **Missing mechanical, electrical and plumbing, fire alarm and sprinkler plans**
11. **Missing window and door schedule**
12. **Missing Com Check certificate per IEEC 2004**

Structural:

1. ***Structural plans are not stamped**
2. ***Missing geotechnical report including seismic site classification and design recommendations**
3. ***Missing statement of special inspections including agencies or professionals**
4. ***Missing structural steel design standards (AISC) and recycled steel testing data, grades and standards**
5. ***Missing sections showing additional foundation work for thickened footings at northeast wall and steel columns (this work was not previously permitted)**

Please contact me if you have any questions at 874-8715 or jmb@portlandmaine.gov



November 03, 2008

Jeanne Bourke
Department of Planning and Development
City of Portland
389 Congress Street
Portland
Maine 04101

Re: Revision of Permit Drawings of the proposed development at
61 India Street, Portland, Maine

Dear Jeanne,

Please see the attached Architectural Drawings with revision number 2, addressing the items from your letter dated 10/16/08.

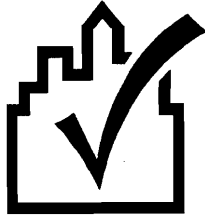
- Item 1: The structure is four stories
- Item 2: To be provided by Structural Engineer
- Item 3: Revised to include Mercantile occupancy, see G1.1
- Item 4: Calculations for floor areas meet 5A construction type as the new construction is separated from the existing structures with a fire barrier and considered a separate building.
- Item 5: As the new construction is considered a separate building the NFPA 13 R system is being proposed for the upper two levels (residential), full NFPA 13 system for lower two levels.
- Item 6: See the Building sections on sheets A3.1 and A3.2
- Item 7: The walls under the stairs have been revised to two hour fire walls see plans A1.1
- Item 8: See Stair, railing, and alternating tread stair details on sheet A6.0
- Item 9: See Roof hatch detail on sheet A6.0, and roof plan on sheet A1.5
- Item 10: Owner will provide Mechanical, Electrical, Plumbing, fire alarm and Sprinkler Drawings as part of the design build process with the various trades
- Item 11: See window and door schedules sheets A7.0 and A7.1
- Item 12: Comcheck 2004 (envelope) report is enclosed; lighting and mechanical portions will follow when those trades begin the design build process.

Please review and contact us with any questions.

Regards,

Ryan Senatore

NOV 12 2008



COMcheck Software Version 3.6.0

Envelope Compliance Certificate

2004 IECC

Section 1: Project Information

Project Type: **New Construction**
 Project Title : 61 India Street

Construction Site:
 61 India Street
 Portland, ME 04101

Owner/Agent:
 Joe Reynolds

Designer/Contractor:
 Scott Teas, AIA NCARB
 TFH Architects
 80 Middle St
 Portland, ME 04101
 207-775-6141

Section 2: General Information

Building Location (for weather data): **Portland, Maine**
 Climate Zone: **6a**
 Heating Degree Days (base 65 degrees F): **7378**
 Cooling Degree Days (base 50 degrees F): **1943**
 Vertical Glazing / Wall Area Pct.: **8%**

Activity Type(s)	Floor Area
Retail Sales, Wholesale Showroom	1355
Office	1361
Multifamily Living Units	2695

Section 3: Requirements Checklist

Envelope PASSES: Design 27% better than code.

Climate-Specific Requirements:

Component Name/Description	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor
Roof 1: Attic Roof with Wood Joists	1322	29.7	5.0	0.029	0.034
Exterior Wall 1: Wood-Framed, 16" o.c.	7014	21.9	0.0	0.061	0.089
Window 1: Wood Frame:Double Pane with Low-E, Clear, Factory Assembled, SHGC 0.30	541	---	---	0.330	0.350
Door 1: Insulated Metal, Swinging	105	---	---	0.650	0.700
Floor 1: Slab-On-Grade:Heated, Horizontal with vertical >= 4 ft.	1355	---	10.0	---	---

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.

Air Leakage, Component Certification, and Vapor Retarder Requirements:

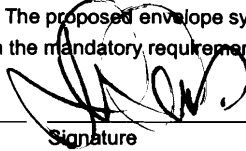
- 1. All joints and penetrations are caulked, gasketed or covered with a moisture vapor-permeable wrapping material installed in accordance with the manufacturer's installation instructions.
- 2. Windows, doors, and skylights certified as meeting leakage requirements.
- 3. Component R-values & U-factors labeled as certified.
- 4. Insulation installed according to manufacturer's instructions, in substantial contact with the surface being insulated, and in a manner that achieves the rated R-value without compressing the insulation.
- TBD** 5. Stair, elevator shaft vents, and other outdoor air intake and exhaust openings in the building envelope are equipped with motorized dampers.
- N/A** 6. Cargo doors and loading dock doors are weather sealed.

- TBD
- 7. Recessed lighting fixtures are: (i) Type IC rated and sealed or gasketed; or (ii) installed inside an appropriate air-tight assembly with a 0.5 inch clearance from combustible materials and with 3 inches clearance from insulation material.
 - 8. Building entrance doors have a vestibule equipped with closing devices.
Exceptions:
 - Building entrances with revolving doors.
 - Doors that open directly from a space less than 3000 sq. ft. in area.
 - 9. Vapor retarder installed.

Section 4: Compliance Statement

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed envelope system has been designed to meet the 2004 IECC requirements in COMcheck Version 3.6.0 and to comply with the mandatory requirements in the Requirements Checklist.

SCOTT TEAS, ARCHITECT
Name - Title


Signature

11/12/08
Date



Certificate of Design Application

From Designer: RESURGENCE ENGINEERING & PRESERVATION, INC.
 Date: 11 Nov 08
 Job Name: 61 INDIA STREET
 Address of Construction: 61 INDIA STREET

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) B, M, R-2

Type of Construction 5A

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC? YES at new portion of building

Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) SEPARATED

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) YES, ATTACHED

Structural Design Calculations

Submitted for all structural members 106.1 - 106.11

Design Loads on Construction Documents 1603

Uniformly distributed floor live loads 7603.11, 1807

Floor Area Use	Loads Shown
<u>STAIRS</u>	<u>100 PSF</u>
<u>2ND FLOOR OFFICE</u>	<u>80 PSF</u>
<u>3RD FLOOR RESID</u>	<u>40 PSF</u>
<u>4TH FLOOR RESID</u>	<u>40 PSF</u>
<u>GROUND FLOOR</u>	<u>100 PSF</u>

Wind loads (1603.1.4, 1609)

1609.1.1 Design option utilized 1609.1.1, 1609.6
100 mph Basic wind speed 1809.3
1.0 Building category and wind importance Factor, I_w
B Wind exposure category 1609.4
±0.18 Internal pressure coefficient ASCE 7
VARY, 30 psf Component and cladding pressures 1609.1.1, 1609.6.2.2
17 psf Main force wind pressures 7603.1.1, 1609.6.2.1

Earth design data (1603.1.5, 1614-1623)

ASCE 7-02 Design option utilized 1614.1
I Seismic use group ("Category")
0.37 Spectral response coefficients, S_A & S_D 1615.1
0.10 Site class 1615.1.5

NO Live load reduction
N/A Roof W_r loads 1603.1.2, 1607.11
42 PSF Roof snow loads 1603.7.3, 1608.5
60 PSF Ground snow load, P_g 1608.2
42 PSF If $P_g > 10$ psf, flat roof snow load P_f
0.90 If $P_g > 10$ psf, snow exposure factor, C_e
1.0 If $P_g > 10$ psf, snow load importance factor, I_s
1.10 Roof thermal factor, C_t 1608.4
N/A Sloped roof snowload, P_s 1608.4
C Seismic design category 1616.3
B Basic seismic force resisting system 1617.6.2
3, 3 Response modification coefficient, R , and
 deflection amplification factor, C_d 1617.6.2
E.L.F. Analysis procedure 1616.6, 1617.5
0.123W Design base shear 1617.4, 1617.5.1

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area 1612.3
N/A Elevation of structure

Other loads

2ND FL. 2000# Concentrated loads 1607.4
N/A Partition loads 1607.5
N/A Misc. loads Table 1607.8, 1607.6.1, 1607.7,
 1607.12, 1607.13, 1610, 1611, 2404

Project: 61 India Street Back Building Stabilization and Addition
Date Prepared: November 11, 2008

Structural Statement of Special Inspections

Project: *61 India Street Back Building Stabilization and Addition*

Location: *61 India Street, Portland, Maine*

Owner: *Pearl Properties LLC, 198 Tuttle Road, Cumberland, ME 04021*

This *Statement of Special Inspections* encompass the following discipline: **Structural**

This *Statement of Special Inspections* is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Structural Special Inspection Coordinator (SSIC) and the identity of other approved agencies to be retained for conducting these inspections and tests.

The Structural Special Inspection Coordinator shall keep records of all Structural inspections and shall furnish inspection reports to the Building Code Official (BCO) and the Structural Registered Design Professional in Responsible Charge (SRDP). Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Structural Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Structural Registered Design Professional in Responsible Charge at an interval determined by the SSIC and the BCO.

A *Final Report of Special Inspections* documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted to the BCO prior to issuance of a Certificate of Use and Occupancy.

Job site safety and means and methods of construction are solely the responsibility of the Contractor.

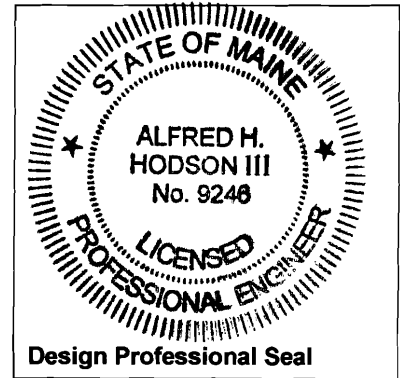
Interim Report Frequency: *Upon request of Building Official* _____ or per attached schedule.

Prepared by:

Alfred H. Hodson III, P.E.

(type or print name of the Structural Registered Design Professional in Responsible Charge)

Alfred H. Hodson III _____ *11-11-08*
Signature Date



Owner's Authorization:

M. W. Reynolds _____ *11/25/08*
Signature Date

Building Code Official's Acceptance:

Signature Date

Structural Statement of Special Inspections (Continued)

List of Agents

Project: 61 India Street Back Building Stabilization

Location: 61 India Street, Portland, Maine

Owner: Pearl Properties, LLC, 198 Tuttle Road, Cumberland, Maine 04021

This Statement of Special Inspections encompass the following discipline: **Structural**

(Note: Statement of Special Inspections for other disciplines may be included under a separate cover)

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- Soils and Foundations
- Cast-in-Place Concrete
- Precast Concrete System
- Masonry Systems
- Structural Steel
- Wood Construction
- Special Cases

Special Inspection Agencies	Firm	Address, Telephone, e-mail
1. STRUCTURAL Special Inspections Coordinator (SSIC) and Special Inspector SI 1	<i>Resurgence Engineering & Preservation, Inc.</i> <i>Attn: Alfred H. Hodson III, P.E.</i>	<i>132 Brentwood Street Portland, ME 04103 (207)773-4880 resurgence@verizon.net</i>
2. Testing Agency (TA 1)	<i>Summit</i> <i>Attn: Mike Walsh</i>	<i>1 Industrial Way, Suite 7 Portland, ME 04103</i>
3. Testing Agency (TA 2)	<i>Quality Assurance Laboratories</i> <i>Attn: Mike Drew</i>	<i>80 Pleasant Avenue South Portland, ME 04106</i>
4. Other (O1)		

Note: The inspectors and testing agencies shall be engaged by the Owner, not by the Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Building Official Please Note: The Building Owner is the Contractor who will be performing most of the work on this project.

Project: 61 India Street Back Building Stabilization and Addition
Date Prepared: November 11, 2008

Structural Statement of Special Inspections (Continued)

Final Report of Special Inspections (SSIC/SI 1)

[To be completed by the Structural Special Inspections Coordinator (SSIC/SI 1). Note that all Agent's Final Reports must be received prior to issuance.]

Project: *61 India Street Back Building Stabilization and Addition*

Location: *61 India Street, Portland, ME 04101*

Owner: *Pearl Properties, LLC*

Owner's Address: *198 Tuttle Road*
Cumberland, ME 04021

Architect of Record: *T. Scott Teas* *TFH Architects*
(name) *(firm)*

Structural Registered Design
Professional in Responsible Charge: *Alfred H. Hodson III, P.E.* *Resurgence Engineering &*
Preservation, Inc.
(name) *(firm)*

To the best of my information, knowledge and belief, the Special Inspections required for this project, and itemized in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved.

Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
Structural Special Inspection Coordinator

Alfred H. Hodson III, P.E.

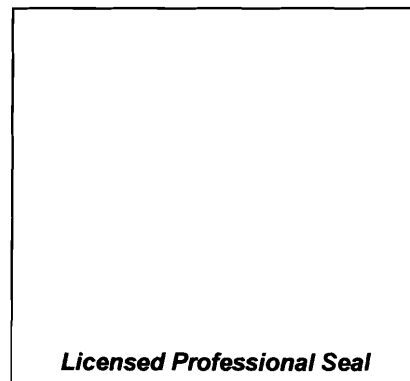
(Type or print name)

Resurgence Engineering & Preservation, Inc.

(Firm Name)

Alfred H. Hodson III
Signature

11 Nov. 08
Date



Project: 61 India Street Back Building Stabilization and Addition
Date Prepared: November 11, 2008

Structural Statement of Special Inspections (Continued)

Special Inspector's/Agent's Final Report

Project: *61 India Street Back Building Stabilization and Addition*
Special Inspector or Agent: *Alfred H. Hodson III, P.E.* *Resurgence Engineering & Preservation, Inc.*
(name) *(firm)*
Designation: Structural Special Inspection Coordinator

To the best of my information, knowledge and belief, the Special Inspections or testing required for this project, and designated for this Inspector/Agent in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved.

S A M P L E

Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
Special Inspector or Agent:

Alfred H. Hodson III, P.E.
(Type or print name)

Signature

Date

S A M P L E

***Licensed Professional Seal or
Certification Number***

Structural Schedule of Special Inspections

Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided to the Special Inspector for their records. *NOTE VERIFICATION THAT QUALIFIED INDIVIDUALS ARE AVAILABLE TO PERFORM STIPULATED TESTING AND/OR INSPECTION SHOULD BE PROVIDED PRIOR TO SUBMITTING STATEMENT. AGENT QUALIFICATIONS IN SCHEDULE ARE SUGGESTIONS ONLY; FINAL QUALIFICATIONS ARE SUBJECT TO THE DISCRETION OF THE REGISTERED DESIGN PROFESSIONAL PREPARING THE SCHEDULE.*

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge or Special Inspector of Record deems it appropriate that the individual performing a stipulated test or inspection have a specific certification, license or experience as indicated below, such requirement shall be listed below and shall be clearly identified within the schedule under the Agent Qualification Designation.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

Experienced Testing Technician

ETT	Experienced Testing Technician – An Experienced Testing Technician with a minimum 5 years experience with the stipulated test or inspection
-----	---

American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

Other

Structural Schedule of Special Inspections

SOILS & FOUNDATION CONSTRUCTION

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
IBC Section 1704.7, 1704.8, 1704.9						
1. Verify existing soil conditions, fill placement and load bearing requirements						
a. Prior to placement of prepared fill, determine that the site has been prepared in accordance with the approved soils report.	Y	P (each wall segment)	IBC 1704.7.1	1	PE/GE, EIT or ETT	In progress
b. During placement and compaction of fill material, verify material being used and maximum lift thickness comply with the approved soils report.	Y	P (each wall segment)	IBC 1704.7.2	1	PE/GE, EIT or ETT	In progress
c. Test in-place dry density of compacted fill complies with the approved soils report.	N/A	P (each wall segment)	IBC 1704.7.2	1	PE/GE, EIT or ETT	In progress

Structural Schedule of Special Inspections

CONCRETE CONSTRUCTION

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
IBC Section 1704.4						
1. Inspection of reinforcing steel, including placement	Y	P	ACI 318: 3.5, 7.1-7.7	1	PE/SE or EIT	In progress
2. Inspect bolts to be installed in concrete prior to and during placement of concrete where allowable loads have been increased	Y	C	IBC 1912.5	1	PE/SE or EIT	In progress
3. Verifying use of required design mix	Y	P	ACI 318: Ch 4, 5.2-5.4	1	PE/SE or EIT	In progress
4. At time fresh concrete is sampled to fabricate specimens for strength test, perform slump and air content test and temperature	Y	P (new fdn pours over 10 yards)	ASTM C 172 ASTM C 31 ACI 318: 5.6, 5.8	2	ACI-CFTT or ACI-STT	In progress
5. Inspection of concrete placement for proper application techniques	Y	C	ACI 318: 5.9, 5.10	1	PE/SE or EIT	In progress
6. Inspection for maintenance of specified curing temperature and techniques	Y	P	ACI 318: 5.11-5.13	1	PE/SE or EIT	In progress

Refer to Individual dated field reports, attached, for specific observations during different pours.

Structural Schedule of Special Inspections
MASONRY CONSTRUCTION – LEVEL 1 (NON-ESSENTIAL FACILITY)

VERIFICATION AND INSPECTION IBC Section 1704.5	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
1. As masonry construction begins, the following shall be verified to ensure compliance:						
a. Proportions of site-prepared mortar.	Y	P	ACI530.1, 2.6A	1	PE/SE or EIT	
b. Construction of mortar joints.	Y	P	ACI530.1, 3.3B	1	PE/SE or EIT	
c. Location of reinforcement and connectors.	Y	P	ACI530.1, 3.4, 3.6A	1	PE/SE or EIT	
2. The inspection program shall verify:						
a. Size and location of structural elements.	Y	P	ACI530.1, 3.3G	1	PE/SE or EIT	
b. Type, size and location of anchors, including other details of anchorage of masonry to structural members, frames or other construction.	Y	P	ACI530, 1.2.2(e), 2.1.4, 3.1.6	1	PE/SE or EIT	
c. Specified size, grade and type of reinforcement.	Y	P	ACI530, 1.12, ACI530.1, 2.4, 3.4	1	PE/SE or EIT	
3. Prior to grouting, the following shall be verified to ensure compliance:						
a. Grout space is clean.	Y	P	ACI530.1, 3.2D	1	PE/SE or EIT	
b. Placement of reinforcement and connectors	Y	P	ACI530, 1.12, ACI530.1, 3.4	1	PE/SE or EIT	
c. Proportions of site-prepared grout	Y	P	ACI530.1, 2.6B	1	PE/SE or EIT	
d. Construction of mortar joints.	Y	P	ACI530.1, 3.3B	1	PE/SE or EIT	
4. Grout placement shall be verified to ensure compliance with code and construction document provisions.	Y	C	ACI530.1, 3.5	2	PE/SE or EIT	
5. Preparation of any required grout specimens, mortar specimens and/or prisms shall be observed.	Y	C	IBC 2105.2.2, 2105.3; ACI530.1, 1.4	2	PE/SE or EIT	
6. Compliance with required inspection provisions of the construction documents and the approved submittals shall be verified.	Y	P	ACI530.1, 1.5	1	PE/SE or EIT	

Note: This Inspection Work applies only to the construction of the masonry demising wall between the back building and the existing ell. Wall measures approximately 18 feet wide x 30 feet high, and is braced at three floor levels.

Structural Schedule of Special Inspections - STEEL CONSTRUCTION

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
IBC Section 1704.3						
1. Material verification of high-strength bolts, nuts and washers:						
a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Y	S	Applicable ASTM material specifications; AISC 335, Section A3.4;	1	PE/SE or EIT	
b. Manufacturer's certificate of compliance required.	Y	P		1	PE/SE or EIT	
2. Inspection of high-strength bolting						
a. Bearing-type connections.	Y	P	AISC LRFD Section M2.5	3	AWS/AISC-SSI	
b. Slip-critical connections.	N	C or P (method dependent)	IBC Sect 1704.3.3	n/a	AWS/AISC-SSI	
3. Material verification of structural steel (IBC Sect 1708.4):						
a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Y	S	ASTM A 6 or ASTM A 568 IBC Sect 1708.4	1	PE/SE or EIT	
b. Manufacturers' certified mill test reports.	Y	S	ASTM A 6 or ASTM A 568 IBC Sect 1708.4	1	PE/SE or EIT	
4. Material verification of weld filler materials:						
a. Identification markings to conform to AWS specification in the approved construction documents.	Y	S	AISC, ASD, Section A3.6; AISC LRFD, Section A3.5	1	PE/SE or EIT	
b. Manufacturer's certificate of compliance required.	Y	S		1	PE/SE or EIT	
5. Submit current AWS D1.1 welder certificate for all field welders who will be welding on this project.	Y	S	AWS D1.1	3	PE/SE or EIT	
6. Inspection of welding (IBC 1704.3.1):						
a. Structural steel:						
1) Complete and partial penetration groove welds.	Y	C	AWS D1.1	3	AWS-CWI	
2) Multipass fillet welds.	N	C		n/a	AWS-CWI	
3) Single-pass fillet welds > 5/16"	N	C		n/a	AWS-CWI	
4) Single-pass fillet welds < 5/16"	Y	P		n/a	AWS-CWI	
5) Floor and deck welds.	N	P	AWS D1.3	n/a	AWS-CWI	
7. Inspection of steel frame joint details for compliance (IBC Sect 1704.3.2) with approved construction documents:						
a. Details such as bracing and stiffening.	Y	P		1	PE/SE or EIT	
b. Member locations.	Y	P		1	PE/SE or EIT	
c. Application of joint details at each connection.	Y	P		1	PE/SE or EIT	

Structural Schedule of Special Inspection Services
FABRICATION AND IMPLEMENTATION PROCEDURES – STRUCTURAL STEEL

VERIFICATION AND INSPECTION IBC Section 1704.2	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
1. Fabrications Procedures: Review of fabricator's written procedural and quality control manuals and periodic auditing of fabrication practices by an approved special inspection agency. At the completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents. -OR- 2. AISC Certification	Y	S	Fabricator shall submit one of the two qualifications	3	AWS AISC/SSI	
3. At completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents.	Y	S	IBC 1704.2.2	1	PE/SE or EIT	

Structural Schedule of Special Inspections
WOOD CONSTRUCTION

VERIFICATION AND INSPECTION IBC Section 1704.6	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
1. Fabrication of high-load diaphragms						
a. Verify wood structural panel sheathing for grade and thickness	Y	P	IBC 1704.6	1	PE/SE or EIT	
b. Verify the nominal size of framing members at adjoining panel edges	Y	P	IBC 1704.6	1	PE/SE or EIT	
b. Verify the nail or staple diameter and length	Y	P	IBC 1704.6	1	PE/SE or EIT	
b. Verify the number of fastener lines	Y	P	IBC 1704.6	1	PE/SE or EIT	
b. Verify the spacing between fasteners in each line and at edge margins	Y	P	IBC 1704.6	1	PE/SE or EIT	
2. Load Tests for Joist Hangers: Provide evidence of manufacturer's load test in accordance with ASTM D1761 including the vertical load bearing capacity, torsional moment capacity, and deflection characteristics when there is no calculated procedure recognized by the code.	Y	S	IBC 1715 [submit ICBO reports]	1	PE/SE or EIT	

Structural Schedule of Special Inspections
SEISMIC RESISTANCE - STRUCTURAL

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
IBC Section 1707						
1. Special inspections for seismic resistance. Special inspection as specified in this section is required for the following:			Seismic Design Category: B			
a. The seismic-force-resisting systems in structures assigned to Seismic Design Category C, D, E or F	Y	P	IBC 1707.1	1	PE/SE or EIT	
2. Structural steel: Continuous special inspection for structural welding in accordance with AISC 341.	N	P	IBC 1702.2	3	AWS-CWI	
3. Structural wood:						
a. Continuous special inspection during field gluing operations of elements of the seismic-force-resisting system.	Y	C	IBC 1702.3	1	PE/SE or EIT	
b. Periodic special inspections for nailing, bolting, anchoring and other fastening of components within the seismic-force-resisting system, including drag struts, braces and hold-downs	Y	P	IBC 1702.3	1	PE/SE or EIT	

Quality Assurance Plan – Seismic and Wind

QUALITY ASSURANCE FOR SEISMIC RESISTANCE CHECK LIST [IBC 1705]

Seismic Design Category CB AHH P.E. 12/18/08

FOR SEISMIC DESIGN CATEGORY C OR HIGHER:

Structural:

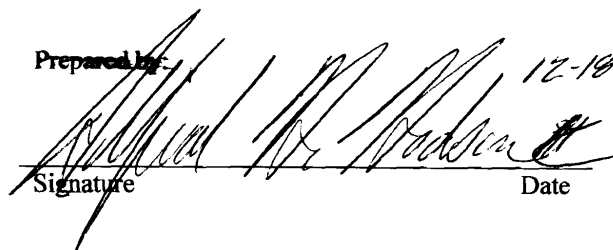
- The seismic-force-resisting systems
 Steel Braced Frames and associated connections/anchorage
 Steel Moment Frames and associated connections
 Shear walls: CMU Wood Concrete Diaphragms: Floor Roof
 Other:

QUALITY ASSURANCE FOR WIND RESISTANCE CHECK LIST [IBC 1706]

Wind Exposure Category B

REQUIRED	NOT REQUIRED	NOT APPLICABLE	QUALITY ASSURANCE PLAN REQUIREMENTS (A Quality Assurance Plan is required where indicated below)
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	In wind exposure Categories A and B, where the 3-second-gust basic wind speed is 120 miles per hour (mph) (52.8 m/sec) or greater.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	In wind exposure Categories C and D, where the 3-second-gust basic wind speed is 110 mph (49 m/sec) or greater.

Prepared by:


 Signature _____ Date 12-18-08

Building Code Official's Acceptance:

Signature _____

Date _____

Project: 61 India Street Back Building Stabilization and Addition
Date Prepared: November 11, 2008

Contractor's Statement of Responsibility

Each contractor responsible for the construction or fabrication of a system or component designated in the Quality Assurance Plan must submit a Statement of Responsibility. The Statement of Responsibility is required for Seismic Design Category C or higher. Make additional copies of this form as required.

Project: 61 India Street Back Building Stabilization and Addition

Contractor's Name: Pearl Properties, LLC

Address: 198 Tuttle Road, Cumberland, ME 04021

License No.: not applicable in Maine

Description of designated building systems and components included in the Statement of Responsibility:

Contractor's Acknowledgment of Special Requirements

Building Official Please Note: The Building Owner is the Contractor who will be performing most of the work on this project.

I hereby acknowledge that I have received, read, and understand the Quality Assurance Plan and Special Inspection program.

I hereby acknowledge that control will be exercised to obtain conformance with the construction documents approved by the Building Official.


Signature

11/25/08
Date

Contractor's Provisions for Quality Control

Procedures for exercising control within the contractor's organization, the method and frequency of reporting and the distribution of reports is attached to this Statement.

Identification and qualifications of the person(s) exercising such control and their position(s) in the organization are attached to this Statement.

RESURGENCE

ENGINEERING AND PRESERVATION, INC.

132 BRENTWOOD STREET
PORTLAND, MAINE 04103
V/F (207) 773-4880
EMAIL: RESURGENCE@VERIZON.NET

DESIGN MEMORANDUM November 4, 2008

RE: Structural Design Criteria for 61 India Street Rehabilitation, Portland, Maine
Four Story, Mixed-Use Building behind and above Existing Facade
Resurgence Engineering and Preservation Project Number 08-003

Discussion:

The proposed building would house the following functions:

LEVEL	FUNCTION AND CONSTRUCTION	DEAD LOAD (PSF)	LIVE LOAD (PSF)
First Floor	Commercial office or retail, (slab on grade or structural slab)	75 (6" slab)	100
Second Floor	Office (steel C7 joist system on steel girders cementitious deck and plywood subfloor)	34 (conservative)	80
Third Floor	Residential (steel C7 joist system on steel girders, single unit, third and fourth floors)	34 (conservative)	40
Fourth Floor	Residential (TJI joist system on steel, same unit as third floor)	20	40
Roof		20	42

Refer to TFH and Resurgence Plans, attached, for concept architectural and framing drawings for the building.

Determine wind, seismic, and snow design criteria for project:

Wind:

Wind design for this project considers the effect of wind loading per the 2003 International Building Code, which in turn references ASCE 7-02. Chapter 6 of ASCE 7-02 provides information about Wind Load design.

Wind Loading per Method 2 - Analytical Procedure (Section 6.5)

Main Windforce Resisting System

Building Classification	II -- office building
Exposure Coefficient	B
Wind Importance Factor I_w	1.00
Basic Wind Speed (3-sec gust)	100 mph

$$q_z = 0.00256 K_z * K_{zt} * K_d * V^2 * I$$

Where K_z = velocity pressure exposure coefficient per 6.6.6.6, Table 6-3, pg 75.
 $K_z = 0.76$ for $z = 41$ feet.

K_{zt} = topographic factor per 6.5.7.2 = 1.0 (no topographic effects)

K_d = directionality factor per 6.5.4.4 = 0.85 for components and cladding and MWRFS
(see Table 6-4, page 76)

V^2 = square of wind velocity where velocity = 100 mph

I_w = importance factor for structure type, structure type II, (Table 1-1, Page 4); = 1.00

$$\begin{aligned} q_z &= 0.00256 K_z * K_{zt} * K_d * V^2 * I \\ &= 0.00256 * 0.76 * 1.00 * 0.85 * (100)^2 * 1.00 \\ &= 16.54 \text{ psf Main Windforce Resisting System} \end{aligned}$$

Components and Cladding

The velocity pressure derived above is then applied into the design wind pressure Equation 6-22, pg 33.

$$P = q_h [(GCp) - (GCpi)] \quad \text{Conservatively say } q_h = q_z$$

(GCp) equals the following for Components and Cladding up to 10 sq. ft.:
Per Figure 6-11B, page 58, Gable Roofs slope less than 7 degrees
Per Figure 6-11A, page 57, Walls

-1.0, +0.3 Zone 1, Center of Roof
-1.8, +0.3 Zone 2, Middle Sides of Roof
-2.8, +0.3 Zone 3, Salient Corners of Roof
-1.1, +1.0 Zone 4, Center of Walls
-1.4, +1.0 Zone 5, Salient Corners of Walls

(GCpi) = +/-0.18

Conclusion for Wind Analysis:

MWRFS	16.54 psf
C/C Zone 1	19.50 psf uplift at roof center
C/C Zone 2	32.75 psf center of sides of roof
C/C Zone 3	49.28 psf roof salient corners of roof (small area!)
C/C Zone 4	21.17 psf center of walls (will be lower at lower floors)
C/C Zone 5	26.13 psf corners of walls (lower at lower floors)

Note that the component and cladding uplift loads for the roof will be resisted by roof sheathing screwed into the roof rafters. Because of the small building size, consider that the first four feet of plywood around the perimeter will be fastened at 6 inches on center along the roof rafters. This will accommodate any uplift encountered, and the uplift force will then be transferred to hurricane ties at the ends of the rafters.

Seismic:

Criteria	Variable Symbol	Variable Value
Building Classification (Occupancy Category) (ASCE-7, Table 1-1, page 4)	Category	II
Seismic Use Group (ASCE-7, Table 9.1.3, page 96) (based on Building Occupancy Category II)	Use Group	I
Occupancy Importance Factor (ASCE-7, Table 9.1.4, page 97) (based on Seismic Use Group I)	I_e	1.0
Short-Period (0.2 second) Structural Acceleration (ASCE-7, Figure 9.4.1.1(a), page 111) (percentage of gravity, g)	S_s	0.37
1.0-second Structural Acceleration (ASCE-7, Figure 9.4.1.1(b), page 113) (percentage of gravity, g)	S_1	0.10
Site Classification (ASCE-7, Table 9.4.1.2, page 108) (No soil report available) (For ledge within 50 feet of ground surface, consider Soil Type D)	Stiff Soil	D
Site Coefficients and Adjusted Maximum Considered Earthquake (MCE) Spectral Response Acceleration Parameters (used to calculate S_{MS}) (ASCE-7, Table 9.4.1.2.4a, page 129) $F_a = 1.50$ when interpolating between $S_s = 0.25$ and $S_s = 0.50$ for Site Class D	F_a	1.50
Site Coefficients and Adjusted Maximum Considered Earthquake (MCE) Spectral Response Acceleration Parameters (used to calculate S_{M1}) (ASCE-7, Table 9.4.1.2.4b, page 130) $F_a = 2.40$ for $S_1 \leq 0.10$ for Site Class D	F_v	2.40
Short-Period (0.2 second) MCE, 5% Damped Spectral Response Acceleration Adjusted for Site Class Effects (ASCE-7, Equation 9.4.1.2.4-1, page 129; $S_{MS} = F_a S_s \rightarrow 1.50 \times 0.37$)	S_{MS}	0.56g
1.0-second MCE, 5% Damped Spectral Response Acceleration Adjusted for Site Class Effects (ASCE-7, Equation 9.4.1.2.4-2, page 129; $S_{M1} = F_v S_1 \rightarrow 2.40 \times 0.10$)	S_{M1}	0.24g
Short-Period (0.2 second) Design Spectral Response Acceleration (ASCE-7, Equation 9.4.1.2.5-1, page 129; $S_{DS} = \frac{2}{3} S_{MS} \rightarrow \frac{2}{3} \times 0.56$)	S_{DS}	0.37g
1.0-second Design Spectral Response Acceleration (ASCE-7, Equation 9.4.1.2.5-2, page 129; $S_{D1} = \frac{2}{3} S_{M1} \rightarrow \frac{2}{3} \times 0.24$)	S_{D1}	0.16g
Seismic Design Category based on short period response accelerations (ASCE-7, Table 9.4.2.1a, page 131; $S_{DS} = 0.37g$, Seismic Use Group (SUG) = I)	SDC_s	C
Seismic Design Category based on 1-second period response accelerations (ASCE-7, Table 9.4.2.1a, page 132; $S_{D1} = 0.16g$, Seismic Use Group (SUG) = I)	SDC_1	C

CAN PROJECT BE DESIGNED USING SIMPLIFIED ANALYSIS PROCEDURE?

Design Procedure per ASCE 7-02 Section 9.5.4 (page 146) Simplified Analysis Procedure:

* For SDC C, Simplified Analysis Procedure is allowed for SUG-1 buildings of light-framed construction not exceeding three stories in height. (this structure is four stories)

* For SDC C, Simplified Analysis Procedure is permitted for other SUG-1 buildings not exceeding two stories in height. (this structure is four stories)

* Simplified Analysis Procedure is not permitted for all other structures; Equivalent Lateral Force Analysis must be used. Use E L F Analysis.

Fails Simplified Analysis Criteria - Must use Equivalent Lateral Force Design Procedure

Equivalent Lateral Force Design Procedure per ASCE 7-02 Section 9.5.5 (page 146):

Calculate Seismic Base Shear in Accordance with Equation 9.5.5.2-1, page 146.

$$V = C_s W \quad (\text{Equation 9.5.5.2-1, page 146})$$

where

C_s = seismic response coefficient determined in accordance with Section 9.5.5.2.1

W = total dead load and applicable portions of other loads as indicated in Section 9.5.3

$$C_s = \frac{S_{DS}}{R/I} \quad (\text{Eq. 9.5.5.2.1-1, page 146})$$

Where S_{DS} = design spectral response acceleration (0.2 sec) = 0.37g

R = response modification factor (Table 9.5.2.2, page 133-135)

$R = 3$ (ordinary steel not specifically detailed for seismic)

I = Occupancy Importance Factor (Section 9.1.4) = 1.00

$C_s = 0.37 / (3/1.00) \rightarrow C_s = 0.123$ (Calculated C_s)

But

$$C_{Smax} = \frac{S_{D1}}{T(R/I)} \quad (\text{Eq. 9.5.5.2.1-2, page 146})$$

T = Fundamental period of Structure (Section 9.5.5.3)

Approx. Period, $T_a = C_t h_n^x$ (Eq. 9.5.5.3.2-1, page 147)

where: $C_t = 0.02$ (Table 9.5.5.3.2, page 147, for all other struct. syst.)

$h_n = 45$ feet

$x = 0.75$ (Table 9.5.5.3.2, page 147, for all other struct. syst.)

$$T_a = 0.02 * 45 \text{ feet}^{.75} \rightarrow T_a = \mathbf{0.35 \text{ seconds}}$$

Check Upper Limit on Period for Structure, T_{max} per Section 9.5.5.3. page 147

$$T_{max} = C_u T_a$$

$C_u = 1.6$ for $S_{D1} = 0.16g$, Table 9.5.5.3.1, page 147

$T_{max} = 1.6 * 0.35$ seconds

$T_{max} = 0.56$ seconds; can use $T_{approximate}$ of 0.35 seconds

So:

$$C_{Smax} = S_{D1} / T*(R/I) = 0.16 / 0.35 (3.0/1.0) \text{ (Eqn. 9.5.5.2.1-2)}$$

$$C_{Smax} = 0.153 \quad (\text{Does not govern})$$

And:

$$C_{Smin} = 0.044 S_{DS} I = 0.044 (0.37) (1.0) \text{ (Eqn. 9.5.5.2.1-3)}$$

$$C_{Smin} = 0.02 \quad (\text{Does not Govern})$$

$\rightarrow \rightarrow$ Use $C_s = 0.123$

$$V = C_s W = \mathbf{0.123W} \quad (\text{Equation 9.5.5.2-1, page 146})$$

Seismic Weights for Distribution per Section 9.5.3 are as follows:

Level and Occupancy	Area, Square Feet	Floor Dead Load	Perimeter Wall Loads*	Floor Live (snow) Load	Total Load
Roof 15 psf dead	1350	20	12.3	12	44.3
4 (Resid) 20psf d	1350	27	32.8	0	59.8
3 (Resid) 25psf d	1350	34	72.1	0	106.1
2 (Office) 25psf d	1350	34	72.1	0	106.1
1 (Retail/Office)	n/a	n/a	59		59.0
Totals:					375kips

Total Base Shear = 375 kips X 0.123 = 46 kips seismic load taken out through tops of perimeter walls.

Note that heaviest partition loads of existing brick masonry are taken out through the existing wall footings that have been reinforced with concrete. If the heavier loads from the second and first floor are removed from consideration, the “new” seismic force required to be taken out is

$(375\text{kips} - (72.1 + 59)) = 243$ kips, and the “new” load base seismic shear is approximately 30 kips, which is much more manageable on the 160 foot exterior perimeter. Interior columns will also distribute significant base shears from gravity loads to the two large interior strip footings.

- Roof Wall Loads: 164 lineal feet x 5' x 15 psf avg = 8,200 lbs = 12.3 kips
- 4th Wall Loads : 164 lineal feet x 10' x 20 psf avg = 32,800 lbs = 32.8 kips
- 3rd Wall Loads: 164 lineal feet x 11 feet x 40 psf avg = 72,160 lbs = 72.1 kips
- 2nd Wall Loads: 164 lineal feet x 11 feet x 40 psf avg = 72,160 lbs = 72.1 kips
- 1st Wall Loads: 164 lineal feet x 6 feet x 60 psf avg = 59,040 lbs = 59.0 kips

Snow Loading per Chapter 7 of ASCE 7-02

India Street sits close to sea level. No elevation concerns warranted.

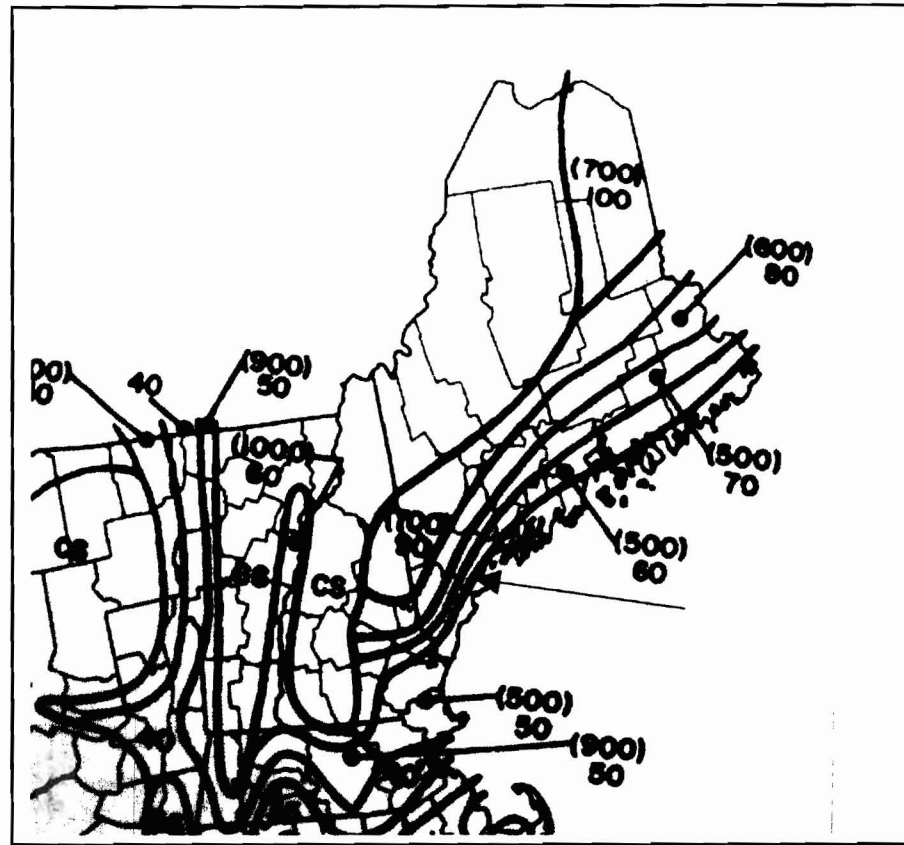
Flat Roof Snow Load: $P_f = 0.7 * C_e * C_t * I * P_g$ (Equation 7-1, Page 81)

Variable	Discussion	Variable Value Selected										
		Assembly <300										
Formula Coefficient =0.7	Given Coefficient preceding other factors:	0.7										
C_e	Snow Load Exposure Factor per Table 7-2, Page 90	0.90										
C_t	Thermal Factor for Roof per Table 7-3, pg 91 (summarized below): <table border="1" data-bbox="877 743 1409 1015"> <thead> <tr> <th>Thermal Condition</th> <th>C_t</th> </tr> </thead> <tbody> <tr> <td>All structures except as indicated below</td> <td>1.00</td> </tr> <tr> <td>Structures kept just above freezing and others with cold ventilated roofs with at least R25 insulation</td> <td>1.10</td> </tr> <tr> <td>Unheated structures and structures intentionally kept below freezing</td> <td>1.20</td> </tr> <tr> <td>Continuously heated greenhouses with a roof having a thermal resistance (R-value) <2</td> <td>0.85</td> </tr> </tbody> </table>	Thermal Condition	C_t	All structures except as indicated below	1.00	Structures kept just above freezing and others with cold ventilated roofs with at least R25 insulation	1.10	Unheated structures and structures intentionally kept below freezing	1.20	Continuously heated greenhouses with a roof having a thermal resistance (R-value) <2	0.85	1.10
Thermal Condition	C_t											
All structures except as indicated below	1.00											
Structures kept just above freezing and others with cold ventilated roofs with at least R25 insulation	1.10											
Unheated structures and structures intentionally kept below freezing	1.20											
Continuously heated greenhouses with a roof having a thermal resistance (R-value) <2	0.85											
I	Importance Factor for Snow Loads per Table 7-4, page 91 <table border="1" data-bbox="877 1110 1243 1295"> <thead> <tr> <th>Category</th> <th>I</th> </tr> </thead> <tbody> <tr> <td>I (Agricultural)</td> <td>0.8</td> </tr> <tr> <td>II (General Commercial, Assembly <300)</td> <td>1.0</td> </tr> <tr> <td>III (Assembly >300)</td> <td>1.1</td> </tr> <tr> <td>IV (Essential Facility)</td> <td>1.2</td> </tr> </tbody> </table>	Category	I	I (Agricultural)	0.8	II (General Commercial, Assembly <300)	1.0	III (Assembly >300)	1.1	IV (Essential Facility)	1.2	1.0
Category	I											
I (Agricultural)	0.8											
II (General Commercial, Assembly <300)	1.0											
III (Assembly >300)	1.1											
IV (Essential Facility)	1.2											
P_g	Ground Snow Load per Figure 7-1, pg. 83 See also discussion on sheet 3, this memo (at ocean, on-peninsula)	60										
P_f	Total Flat Roof Snow Load Per Specified Occupancy→	41.58 psf Commercial/Mixed Use And Assembly <300										

Sloped Roof Snow Load: $P_s = C_s * P_f$ (Equation 7-2, Page 81)

This does not apply for India Street Project.

Note also that the 60 psf ground snow load is conservative, as 50 psf could be considered on the Portland peninsula. See illustration next sheet.



ASCE 7-02 FIGURE 7-1 (ICC 2003 FIGURE 1608.2)

RED ARROW DENOTES APPROXIMATE LOCATION OF 61 INDIA STREET, NEAR THE BORDERLINE
BETWEEN 50 PSF GROUND SNOW AND 60 PSF GROUND SNOW (LIKELY IN 50 PSF REGION)
USE 60 PSF AS CONSERVATIVE UNLESS NEEDED TO REDUCE FOR SEISMIC OR SNOW LOADS

INDIA STREET IS ESSENTIALLY AT SEA LEVEL AND CLOSE TO THE OCEAN, SO IT IS WELL BELOW THE
500-FOOT ELEVATION THAT REQUIRES SPECIAL CONSIDERATION OR EVALUATION FOR SNOW LOADS.



Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division, Director
Alexander Jaegerman, Director

February 6, 2009

Mr. Joseph W. Reynolds
Pearl Properties, LLC
198 Tuttle Road
Cumberland, ME 04021

RE: **61 India Street (rear)**
Application ID: **#2008-0116 (approved October, 2008 as revised December 2008)**

Dear Joe:

Thank you for letter and attached amended plan (hand annotated C1.1 Utility Plan "revised 1/09" showing revised locations of the water, gas and storm drain connections) dated January 28, 2009. I have discussed this proposed amendment to the approved project with Public Services Engineers and can confirm:

1. The City approves the relocation of the two water lines to tie into Middle Street and the use of the existing gas line in India Street (instead of the new gas line shown on the approved Utility Plan), and understand you will ensure the installations are acceptable to the relevant agencies.
2. The City approves the omission of the "New U/G storm drain capped @ property boundary" between the building and India Street.
3. The City does not require the "New U/G Storm Drain capped @ property line" shown on the amended plan between the building and Middle Street.
4. The City requires that the roof drains for the approved building construction shall discharge to the ground for surface flow and shall not be connected to the sewer lines in India Street nor in Middle Street.

This letter should be attached to the amended Plan C1.1 Utility Plan for future reference.

Sincerely,

Jean Fraser
Jean Fraser
Planner

cc.

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
David Margolis-Pineo, Deputy City Engineer

Re

APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 10-06-08
Cond. in amended
12-17-08

Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspections Division Director
Jeanie Bourke, Inspections Division
Philip DiPierro, Development Review Coordinator

*Whiches this
letter agrees
amendment*

02-06-09

JH

paper

paper

file copy

Sixty-Two India Street LLC
PO Box 361
South Freeport, ME 04078

October 1, 2008

Joe Reynolds
198 Tuttle Road
Cumberland, ME 04021

RE: Parking At 62 India Street

Dear Joe:

Please let this letter serve to confirm our discussion whereby I am willing to lease you four (4) parking spaces in my lot at 62 India Street at market rates in support of your India Street project. The lease agreement would be in the general form attached, subject to modification as may be fit.

Should you have any questions, do not hesitate to contact me. Please keep me apprised of your progress so that I can have spaces available for you when your project is completed.

Sincerely,



C. Anthony McDonald

RECEIVED

OCT 2 2008

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 10-06-08
COM III amended 12-17-08
with the " 02-06-09

City of Portland
Planning Division

PARKING CONTRACT

Sixty-Two India Street LLC owner of the parking lot located at 62 India Street in Portland, Maine (Owner), and the undersigned cardholder (Cardholder), hereby agree that the undersigned may use four (4) spaces in the 62 India Street Parking Lot on an unreserved basis for a period of three (3) years commencing 10/1/08, subject to the following terms and conditions:

1. Sixty-Two India Street LLC manages the lot, and any questions concerning billing, new cards, etc., should be directed Tony McDonald at 207-749-1000.
2. **CARDHOLDERS PARK AT THEIR OWN RISK.** Sixty-Two India Street LLC and its principals will not be liable for any destruction, loss or damage to Cardholder's vehicle or any other property or for any injury to Cardholder or any other person resulting from the use of the lot.
3. Monthly parking fees are **DUE IN ADVANCE** on the **first day of each month without notice**, made payable Sixty-Two India Street LLC, PO Box 361, South Freeport, ME 04078. **A \$10.00 LATE FEE will be added if the parking fee is not paid on the first day of the month in advance. Checks returned for insufficient funds will incur a fee of \$25.00. PARKING FEES WILL CONTINUE TO ACCRUE WHETHER OR NOT THE CARD IS IN USE UNTIL THE CARD IS RETURNED. This agreement may be cancelled at any time by either party though cancellation shall not relieve either party of obligations pre-dating such cancellation.**
4. The card issued to the undersigned is solely for that person's use. Any card used by persons other than as agreed may be revoked. This agreement may be terminated by Cardholder returning card on the last business day of any month or by Owner giving 30 days notice in writing to Cardholder, or may be terminated immediately by Owner if Cardholder is found in violation of the terms of this agreement. This agreement is immediately terminated if Cardholder leaves the firm listed below and card is not transferred, with permission of Owner, to someone else in the same firm.
5. The parking lot is not to be used for storage. Any vehicle, which has remained parked for more than 5 parking days without permission of Owner will be considered, stored and may be towed at Cardholder's expense.
6. Parking cards are very fragile. Please handle them with care and avoid heat or cold, as they warp and crack. Lost cards must be reported immediately. Lost cards will be replaced at a cost of \$10.00. A charge of \$10.00 will cover replacement of a broken card. All pieces of a broken card must be returned.
7. By accepting a card, Cardholder agrees to be responsible for adhering to these policies. This Contract remains in effect if the original card has been replaced due to loss or breakage, or upon transfer of the card within a firm.
8. \$10.00 Parking Card deposit and First Month's Rent \$ 75⁰⁰ for each space shall paid with contract. A month is defined as commencing on the 1st day of a calendar month and ends on the last day of a calendar month. **There is no discount for a partial month.**

CARDHOLDER OR ITS REPRESENTATIVE HEREBY ACKNOWLEDGES AND AGREES TO THE ABOVE TERMS AND CONDITIONS AND RETAINS ONE COPY OF THIS AGREEMENT.

Owner will never divulge personal information

We collect the following as contact information in case of emergency

Parker Name: Joseph Reynolds
Daytime Phone: 829-8093 Please print
Daytime Email: josephwreynolds@yahoo.com
Work Phone: 838-7296
Employer: SELF

Billing Information
Billing Name: PEARL PROPERTIES
Billing Address: 198 Tuttle Rd.
City/State/Zip: Cumberland, ME 04021
Billing Phone: 838-7296
Contact Name: J. Reynolds

Vehicle Information: Please enter information for every vehicle (if more than one) that you drive.

Year <u>1997</u>	Year <u>2001</u>
Make/Model <u>FORD E150</u>	Make/Model <u>VW PASSAT</u>
Color <u>WHITE</u>	Color <u>GREEN</u>
Plate # <u>ME 745-058</u>	Plate # <u>ME 6441 JZ</u>

Signature Joseph W Reynolds

Date 10/1/08

RECEIVED

OCT 2 2008

CITY OF PORTLAND
APPROVED SITE PLAN

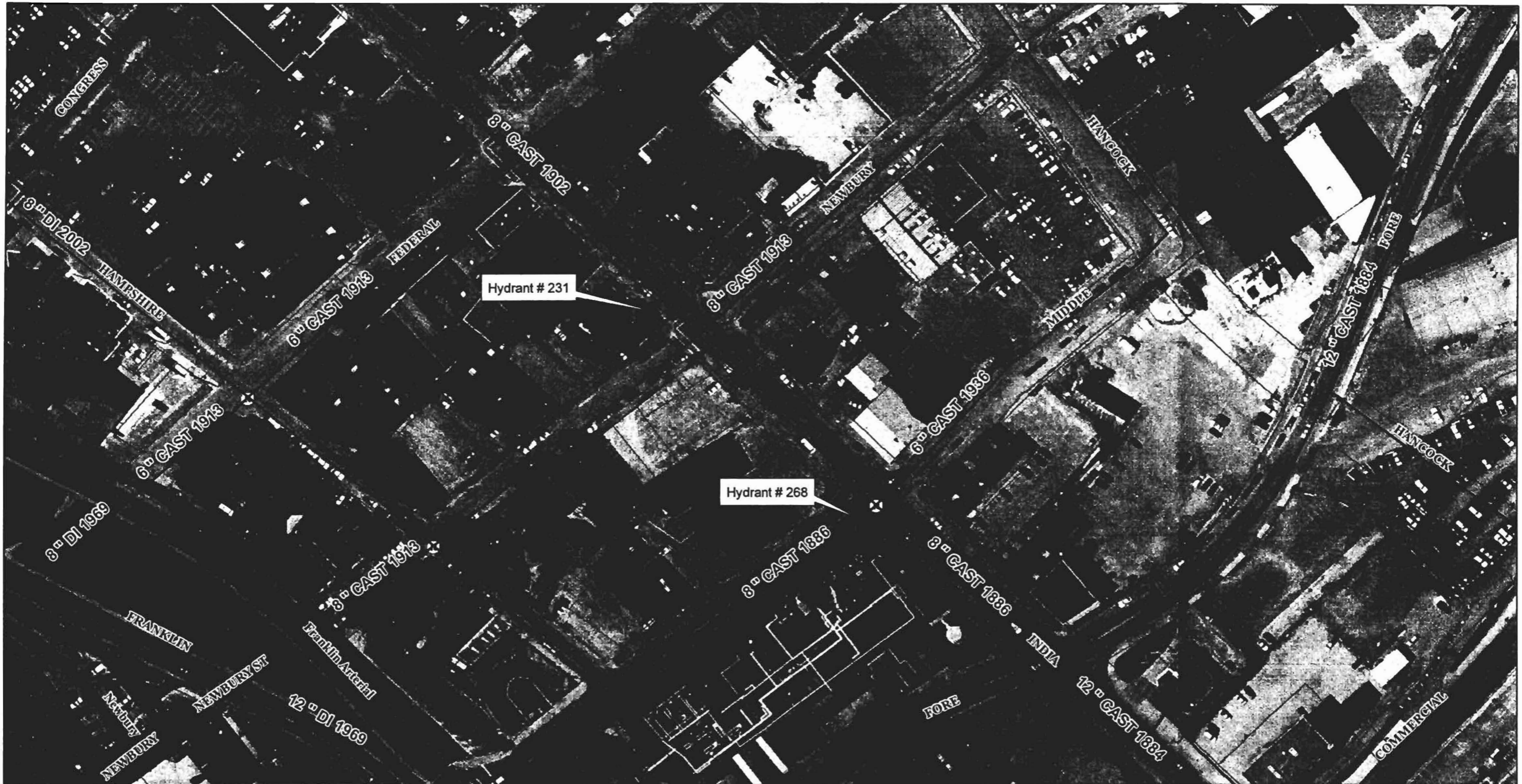
Subject to Dept. Conditions

Date of Approval: 10-06-08

amendment: cond in 12-17-08
whittier 02-06-09

10/3/08 confirmed
Marge has copy got
direct from Joe Reynolds

City of Portland
Planning Division



1 inch equals 100 feet



PORTLAND WATER DISTRICT
225 Douglass Street
Portland, ME 04104

Legend

5	Blow Off	±	Fire Service	!	Air Valve	⊘	Sleeve
R	By Pass	?	Hydrant Control	-	Date Change	-	Tee
?	Distribution	±	Service	!	Material Change	!	Hydrants
)	End of Main	?	Transmission	#	Reducer		

India Street

Portland



Disclaimer: This map is suitable for preliminary study and analysis pending review of additional information. The data shown are only as accurate as the original data sources from which they were developed.

Drawn By: M.Vautier

Prepared For: Richard Lowe / TFH Architects

Scale: As Noted

Date: July 21, 2008

→ set for inspections

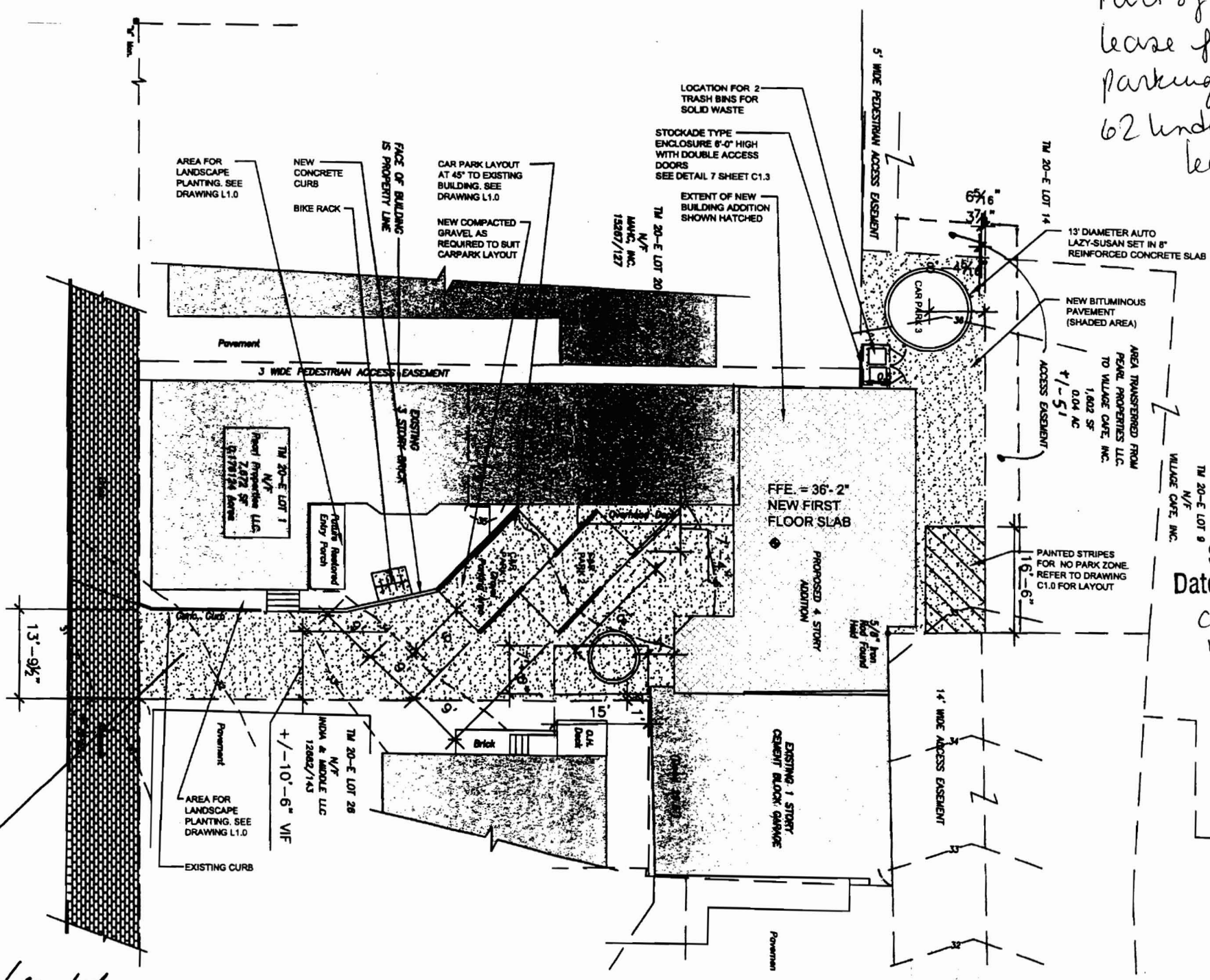
Approved
 Plan + doc set -
 61 India St
 Joe Reynolds

incl recent amendment
 to Utilities

India Street
 Public - Public

4" layer
 reclaimed / crushed
 asphalt cover

NB: post-build impervious is 94.5%
 1 SITE PLAN PROPOSED
 C1.0 1" = 20'



NOTES:
 1. SNOW TO BE REMOVED FROM THE SITE

Part of approval set is lease for 4 off-site parking spaces in lot at 62 India - see letter + lease attached - dated 10.1.08.

JST
 Planner

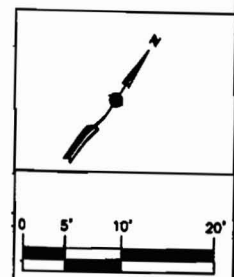
CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10-06-08

Condition amended 12-07-08
 which amended 2-6-09

RECEIVED

OCT 1 2008

City of Portland
 Planning Division



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PROPOSED ADDITIONS TO
 61 INDIA STREET
 PORTLAND, MAINE 04101
 PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6141
 ARCHITECTURE PLANNING

CONSULTANTS:

REVISIONS:
 REVISION #1 9/19/08

REGISTERED ARCHITECT
 T. SCOTT TEAS
 No. 802
 STATE OF MAINE

DATE: 8/25/08
 PROJECT No. 0806
 DRAWN BY: RTL
 CHECKED BY: TST
 SCALE: AS SHOWN

SHEET TITLE:
 SITE PLAN
 PROPOSED
 LAYOUT &
 GRADING

C1.0

FEB 11 2009

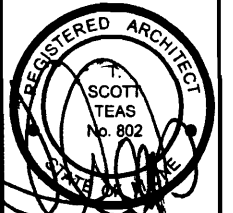
2/11/09

Approved

PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101
PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

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ARCHITECTURE PLANNING

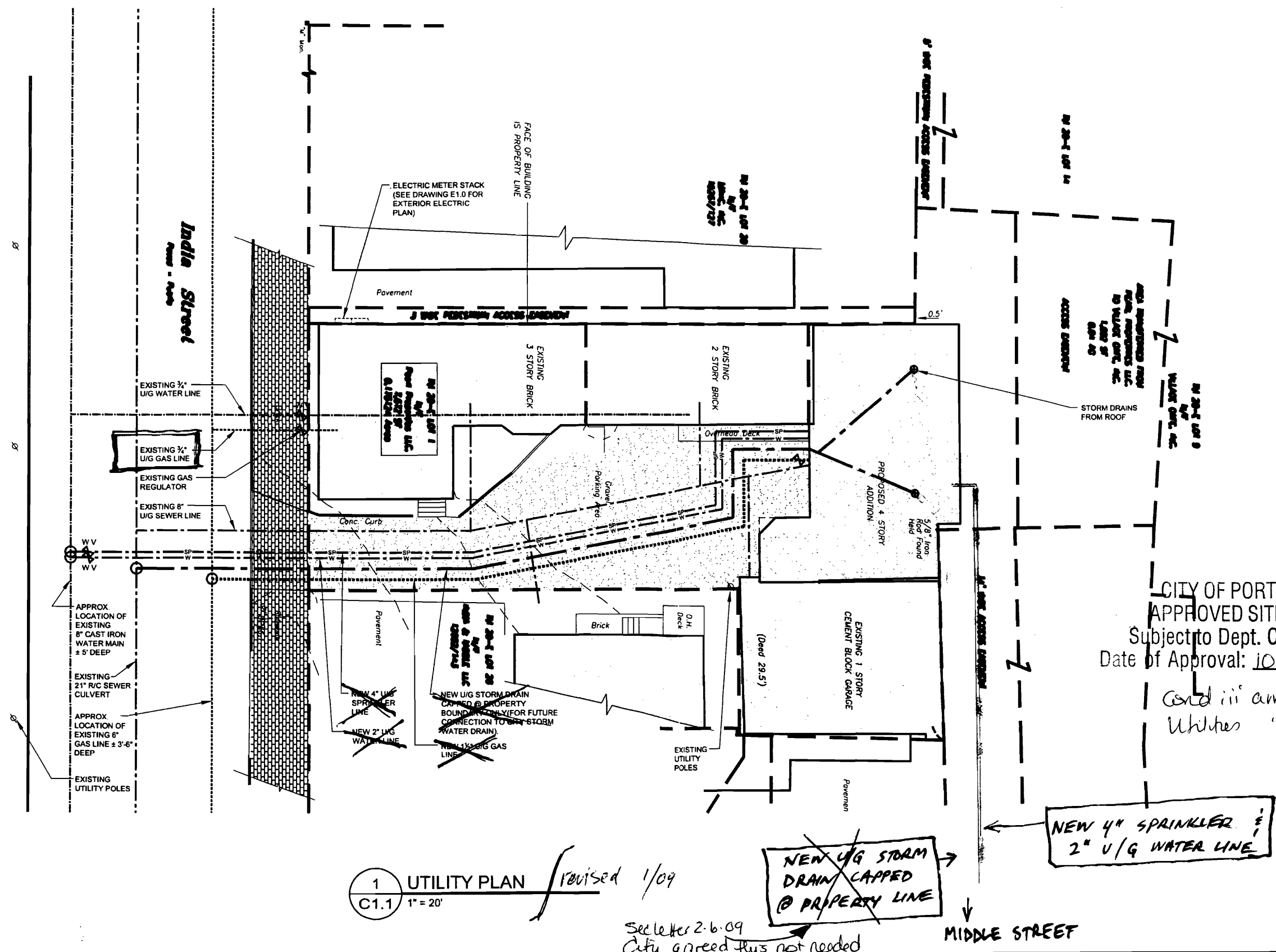
CONSULTANTS:



DATE: 8/25/08
PROJECT No. 0806
DRAWN BY: RTL
CHECKED BY: TST
SCALE: AS SHOWN

SHEET TITLE:
UTILITY PLAN

C1.1
revised 1/09



CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 10-6-08

Cond iii amended 12-17-08
Whites " 2-06-09
letter

NEW 4" SPRINKLER
2" U/G WATER LINE

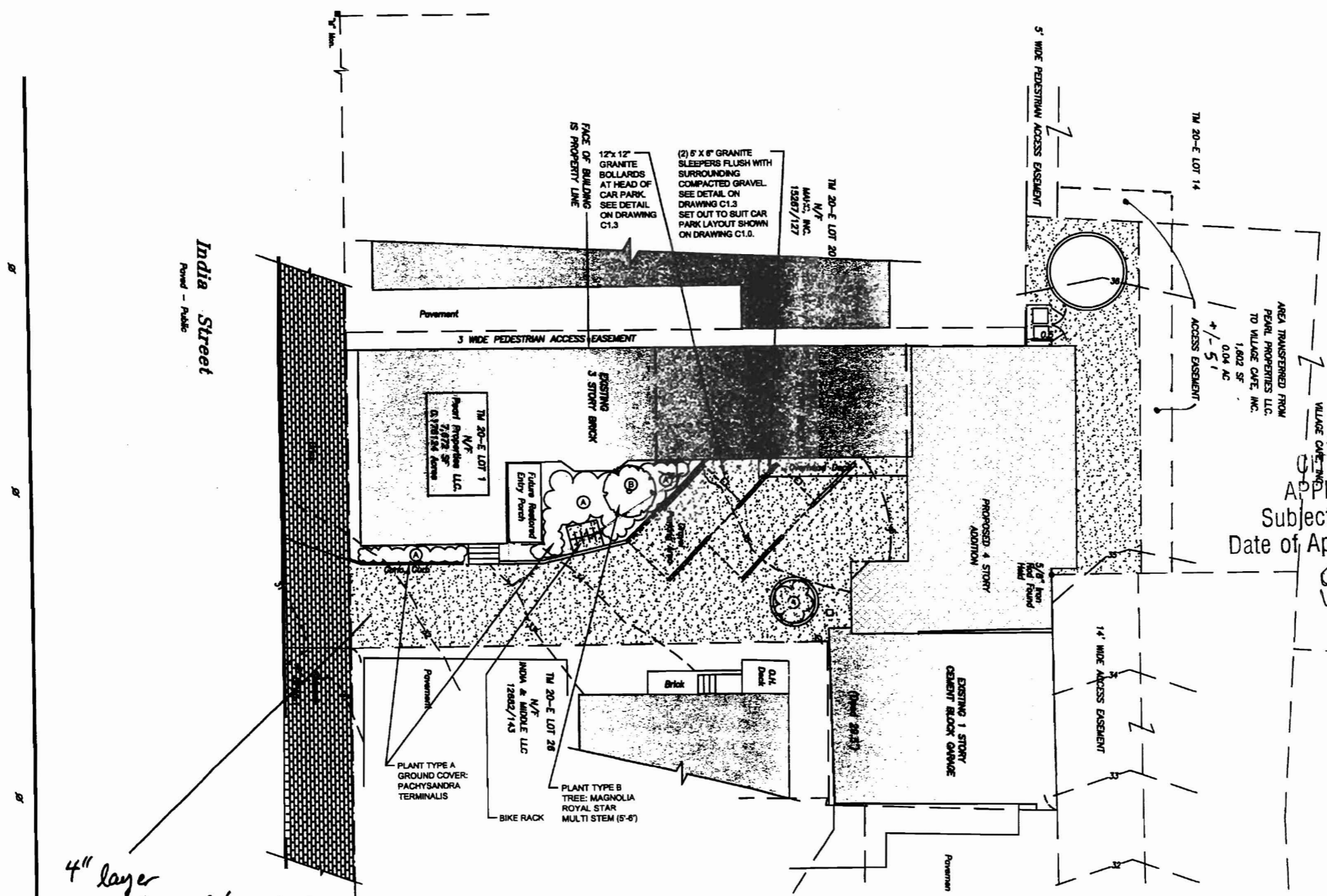
~~NEW U/G STORM
DRAIN CAPPED
@ PROPERTY LINE~~

1 UTILITY PLAN
C1.1 1" = 20'

revised 1/09

See letter 2-6-09
City agreed this not needed

City Planner note:
 Lease Agreement for Mr Reynolds to
 lease 4 parking spaces from
 Mr. C A. McDonald - these located
 in lot at 62 India St. See letter + lease of 10.1.08
 J. Fraser Planner.



4" layer
 reclaimed/crushed
 asphalt cover

NB: post-build impervious is 94.5%

1 LANDSCAPE PLAN
 L1.0 1" = 20'

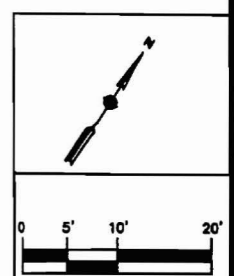
CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 10-06-08

Conditions amended 12-17-08
 White 2-6-09

RECEIVED

OCT 1 2008

City of Portland
 Planning Division



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**PROPOSED ADDITIONS TO
 61 INDIA STREET
 PORTLAND, MAINE 04101**
 PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

TFH ARCHITECTS
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 TELEPHONE 207 775 6141
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CONSULTANTS:

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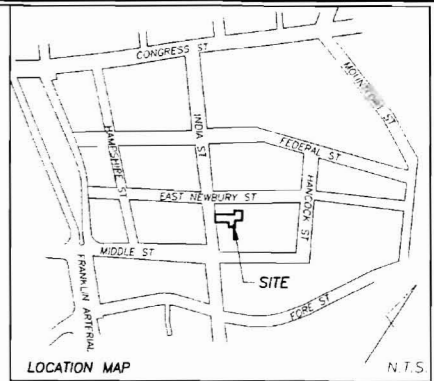
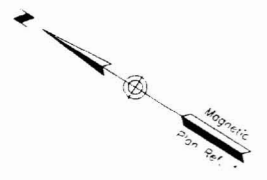
REGISTERED ARCHITECT
 T. SCOTT TEAS
 No. 802
 STATE OF MAINE

DATE: 8/25/08
 PROJECT No. 0806
 DRAWN BY: RTL
 CHECKED BY: TST
 SCALE: AS SHOWN

SHEET TITLE:
 LANDSCAPE PLAN

L1.0

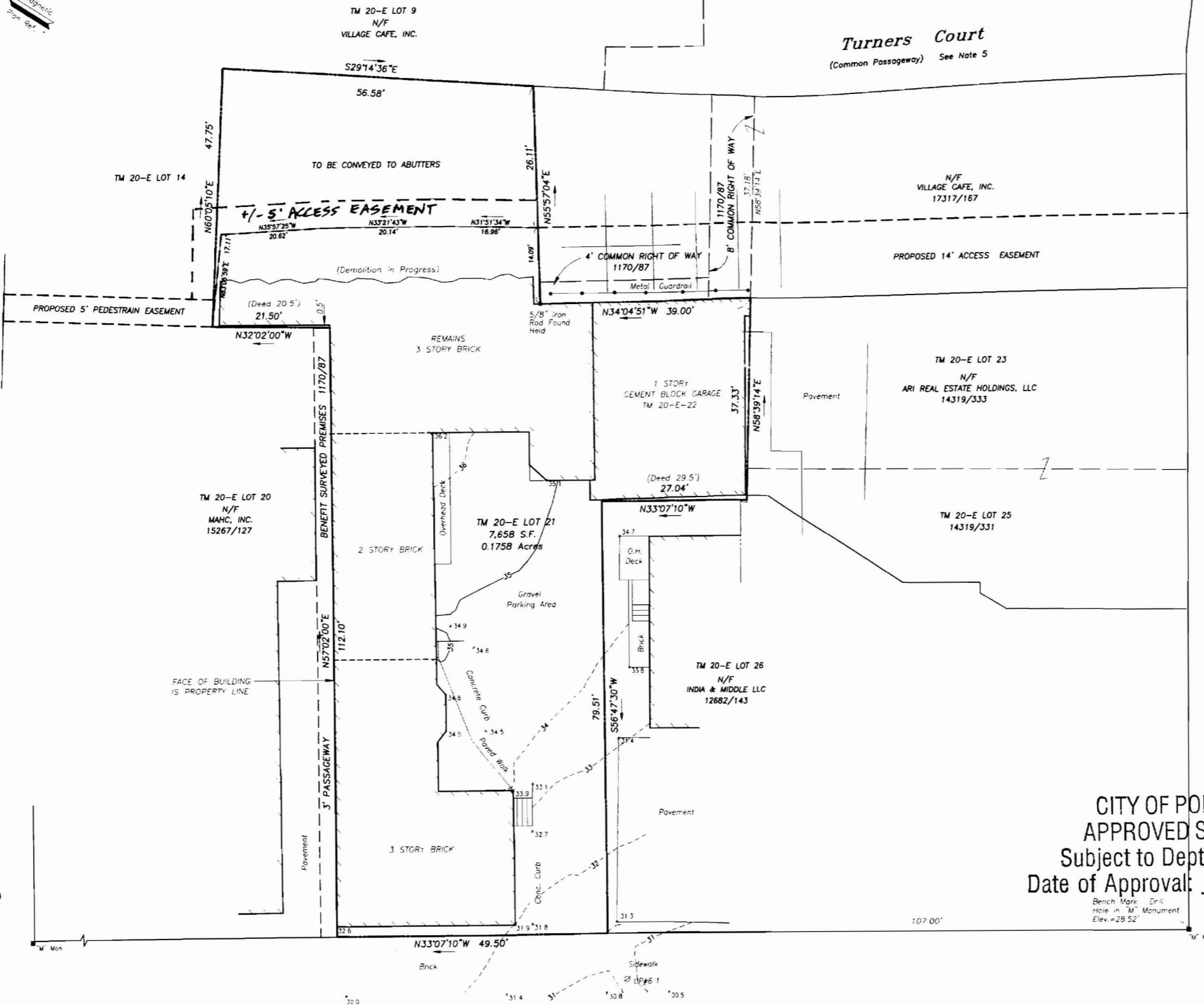
approved



NEWBURY ST

Middle Street

Congress St.



PLAN REFERENCES

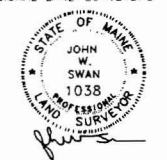
1. "ALTA/ACSM LAND TITLE SURVEY ON MIDDLE STREET, PORTLAND, MAINE FOR ARI REAL ESTATE HOLDINGS" DATED NOV. 8, 2001 BY OWEN HASKELL, INC.
2. "PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR VILLAGE CAFE" DATED 4-10-84 BY E.C. JORDAN (ROLLED FILE NO. 75)
3. "PLAN OF PROPERTY OWNED BY THE HEIRS OF THE LATE GEORGE TURNER, ESQ"

NOTES

1. OWNER OF RECORD: WOODEN NICKEL LLC D.D.P.D. BOOK 14219 PAGE 156
2. THE SURVEYED PREMISES IS SHOWN ON TAX MAP 20 SECTION E LOT 21 AND CONTAINS 9,274 SQUARE FEET
3. BEARINGS ARE BASED ON PLAN REFERENCE 1
4. ELEVATIONS ARE BASED UPON NGVD 1939 DATUM
5. THE LIMITS OF TURNERS COURT ARE BASED UPON PLAN REFERENCE 2

CERTIFICATION

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON AND THE RESULT OF AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE



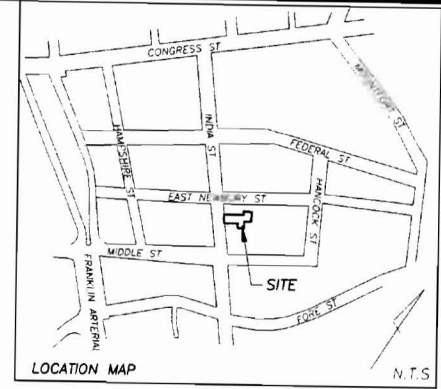
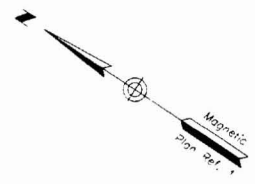
DATE: 08-15-08
JOHN W. SWAN, PLS #1038

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 10-06-08

*condition amended 12-17-08
which was amended 2-6-09.
stamped one submitted*

REV 1 08-15-08 ADDED EASEMENTS

BOUNDARY SURVEY		
AT 61 INDIA STREET PORTLAND, MAINE		
MADE FOR PEARL PROPERTIES LLC		
OWEN HASKELL, INC. 16 CASCO ST., PORTLAND, ME 04101 (207) 774-0424 PROFESSIONAL LAND SURVEYORS		
Drawn By: SSS	Date: FEB 5, 2004	Job No.: 2004-005P
Trace By: JLW	Scale: 1" = 10'	Drwg. No.: 1
Check By: SSS		
Book No.: 923		



NEWBURY ST

Congress St.

Middle Street

TM 20-E LOT 9
N/F
VILLAGE CAFE, INC.

Turners Court
(Common Passageway) See Note 5

N/F
VILLAGE CAFE, INC.
17317/167

TM 20-E LOT 23
N/F
ARI REAL ESTATE HOLDINGS, LLC
14319/333

TM 20-E LOT 20
N/F
MAHC, INC.
15267/127

TM 20-E LOT 21
7,658 S.F.
0.1758 Acres

TM 20-E LOT 26
N/F
INDIA & MIDDLE LLC
12682/143

TM 20-E LOT 25
14319/331

India Street
Paved - Public

+/- 5' ACCESS EASEMENT

4' COMMON RIGHT OF WAY
1170/87

8' COMMON RIGHT OF WAY
1170/87

PROPOSED 5' PEDESTRIAN EASEMENT

PROPOSED 14' ACCESS EASEMENT

N32°02'00"W

N60°05'10"E

N35°57'25"W

N32°21'43"W

N31°51'34"W

N33°07'10"W

N33°07'10"W

N33°07'10"W

N33°07'10"W

N33°07'10"W

N33°07'10"W

N33°07'10"W

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N33°07'10"W

N33°07'10"W

N33°07'10"W

N33°07'10"W

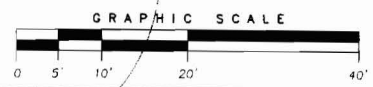
N33°07'10"W

N33°07'10"W

N33°07'10"W

N33°07'10"W

N33°07'10"W



PLAN REFERENCES

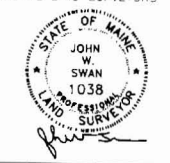
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3. "PLAN OF PROPERTY OWNED BY THE HEIRS OF THE LATE GEORGE TURNER, ESQ"

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08-15-08
DATE

JOHN W. SWAN, PLS #1038

REV. 1 | 08-15-08 | ADDED EASEMENTS

BOUNDARY SURVEY
AT
61 INDIA STREET
PORTLAND, MAINE
MADE FOR
PEARL PROPERTIES LLC

OWEN HASKELL, INC.
18 CASCO ST., PORTLAND, ME 04101 (207) 774-0424
PROFESSIONAL LAND SURVEYORS

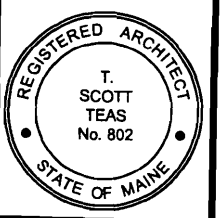
Drwn By	SSS	Date	FEB 3 2004	Job No.	2004-005P
Trace By	JLW	Scale	1" = 10'	Drwg. No.	1
Check By	SSS				
Book No.	929				

**PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101**
PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:

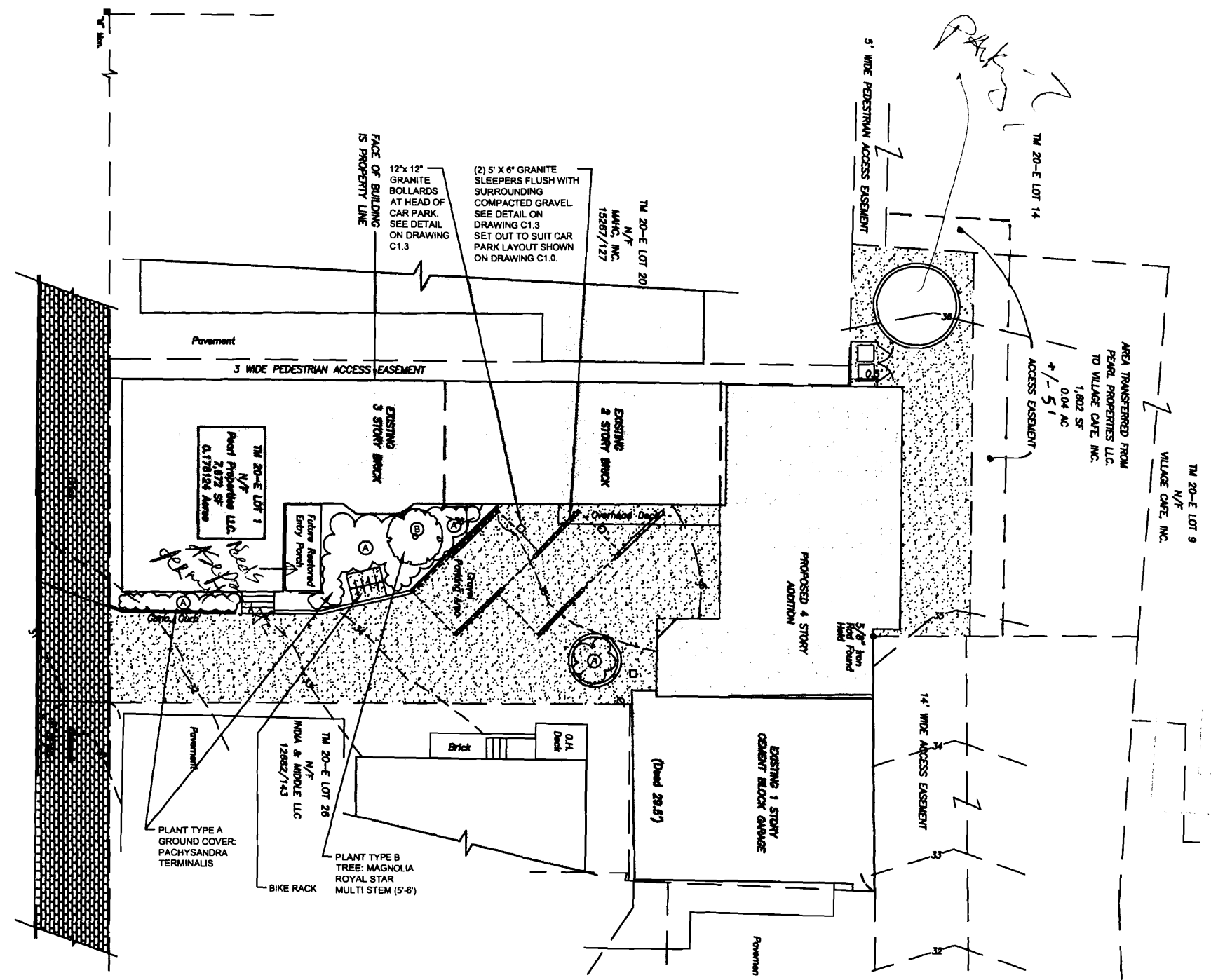
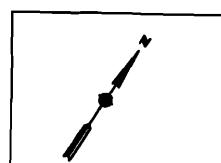
REVISIONS:
REVISION #1 9/19/08



DATE: 8/25/08
PROJECT No. 0806
DRAWN BY: RTL
CHECKED BY: TST
SCALE: AS SHOWN

SHEET TITLE:
LANDSCAPE PLAN

L1.0

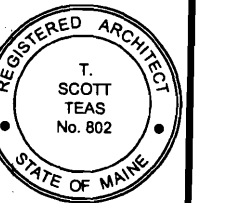


1 LANDSCAPE PLAN
L1.0 1" = 20'

**PROPOSED ADDITIONS TO
61 INDIA STREET
PORTLAND, MAINE 04101**
PEARL PROPERTIES LLC, 198 TUTTLE ROAD, CUMBERLAND ME 04021

TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:
REVISIONS:
REVISION #1 9/19/08

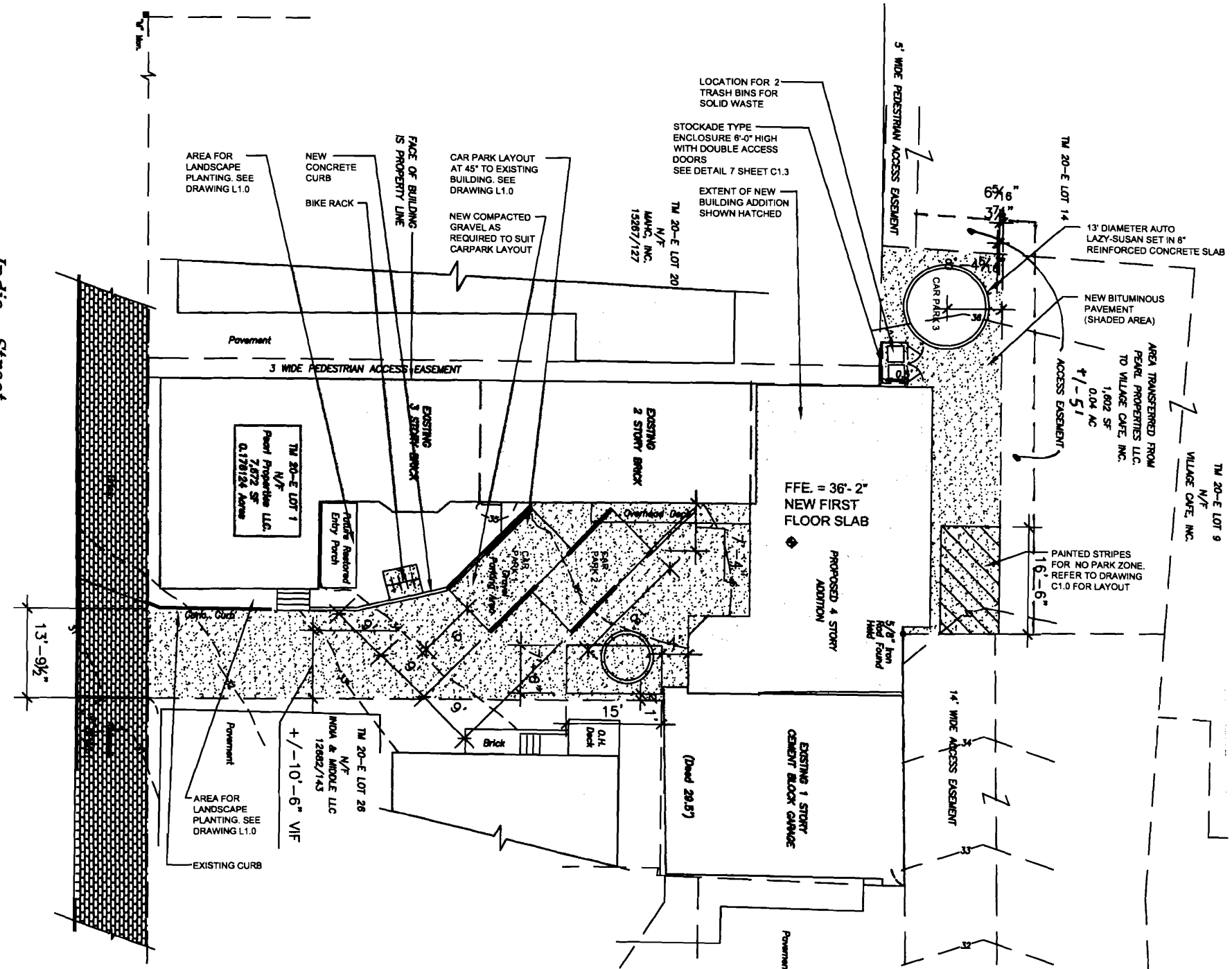


DATE: 8/25/08
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SCALE: AS SHOWN

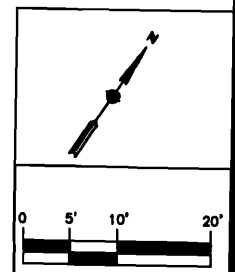
SHEET TITLE:
**SITE PLAN
PROPOSED
LAYOUT &
GRADING**

C1.0

NOTES:
1. SNOW TO BE REMOVED FROM THE SITE



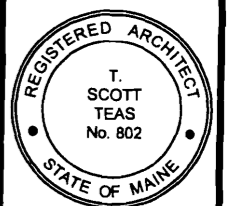
1 SITE PLAN PROPOSED
C1.0 1" = 20'



**PROPOSED ADDITIONS TO
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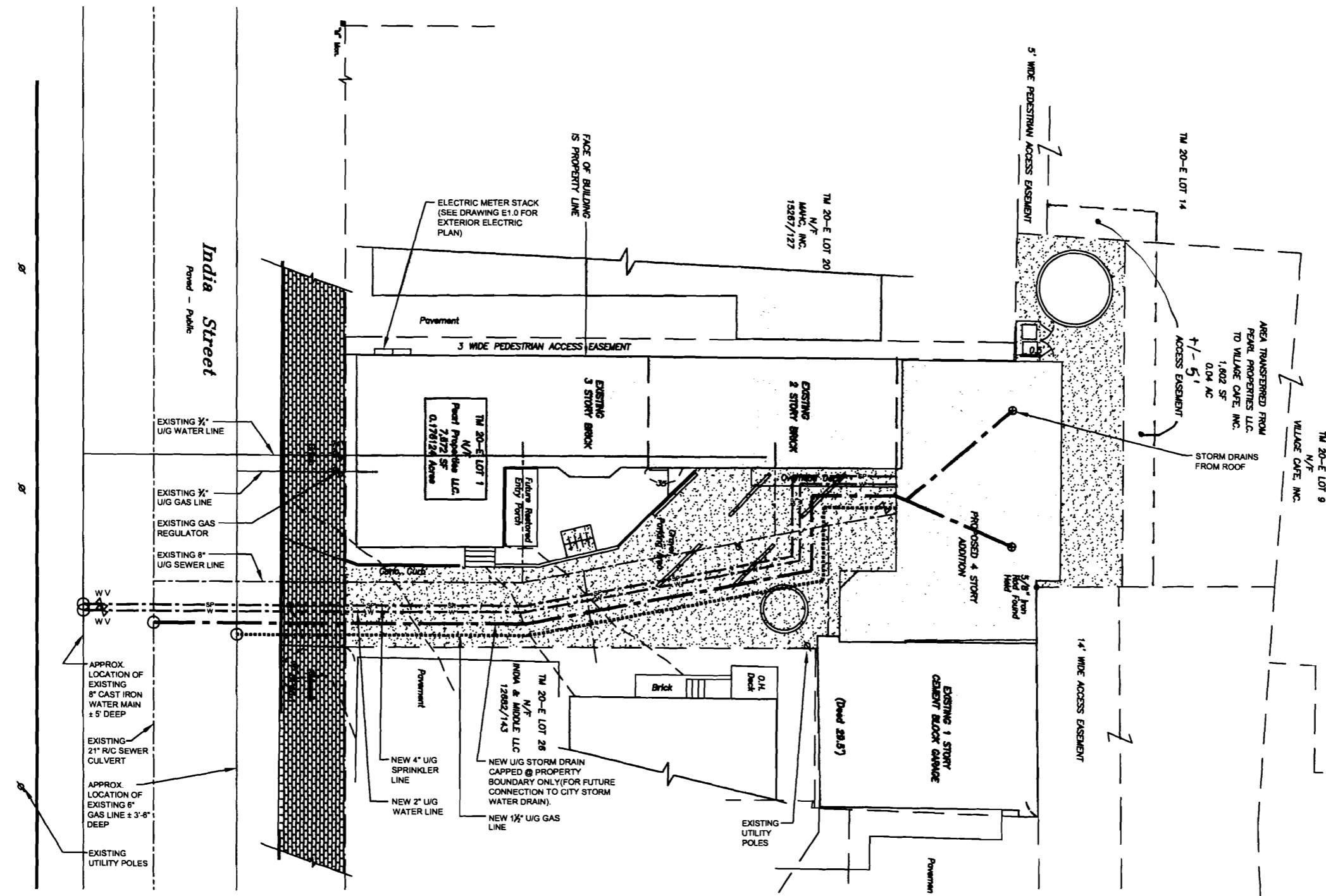
CONSULTANTS:
REVISIONS:
REVISION #1 9/19/08



DATE: 8/25/08
PROJECT No. 0806
DRAWN BY: RTL
CHECKED BY: TST
SCALE: AS SHOWN

SHEET TITLE:
UTILITY PLAN

C1.1



1 UTILITY PLAN
C1.1 1" = 20'

