

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION
PERMIT

Permit Number: 070421

This is to certify that PEARL PROPERTIES LLC d/b/a Reynolds
 has permission to rebuild existing wooden wall 8" concrete block (CMV)
 AT 61 INDIA ST

020 E021001

PERMIT ISSUED

MAY 18 2007

provided that the person or persons who apply for or accept this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is laid or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

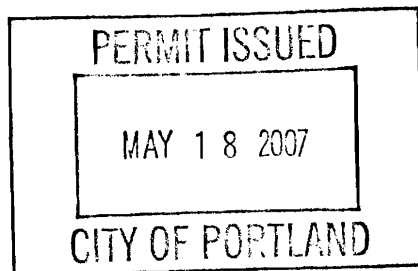
Permit No: 07-0421	Issue Date:	CBL: 020 E021001
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Location of Construction: 61 INDIA ST	Owner Name: PEARL PROPERTIES LLC	Owner Address: 198 TUTTLE RD	Phone:
Business Name:	Contractor Name: Joe Reynolds	Contractor Address: 198 Tuttle Road Cumberland	Phone: 2078387296
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B2b

Past Use: MULTI-USE COMMERCIAL	Proposed Use: MULTI-USE COMMERCIAL - rebuild existing wooden wall w/ 8" concrete block (CMV) <i>legal use - 1st floor office space & retail - 2 dv on 2nd & 3rd floor.</i>	Permit Fee: \$40.00	Cost of Work: \$1,200.00	CEO District: 1
Proposed Project Description: rebuild existing wooden wall w/ 8" concrete block (CMV)		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <input checked="" type="checkbox"/> Type: 3 <i>IBC 2003</i>	
		Signature: <i>Corea C...</i>	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
		Signature:	Date:	

Permit Taken By: ldobson	Date Applied For: 04/24/2007	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>rebuild existing wall</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/15/07</i> <i>APM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0421	Date Applied For: 04/24/2007	CBL: 020 E021001
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Location of Construction: 61 INDIA ST	Owner Name: PEARL PROPERTIES LLC	Owner Address: 198 TUTTLE RD	Phone:
Business Name:	Contractor Name: Joe Reynolds	Contractor Address: 198 Tuttle Road Cumberland	Phone (207) 838-7296
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: MULTI-USE COMMERCIAL - rebuild existing wooden wall w/ 8" concrete block (CMV)	Proposed Project Description: rebuild existing wooden wall w/ 8" concrete block (CMV)
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 05/15/2007

Note: Use of building established with permit #06-0836 - first floor retail & office, second & third floor two dwelling units. **Ok to Issue:**

1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 05/17/2007

Note: **Ok to Issue:**

Dept: Fire **Status:** Not Applicable **Reviewer:** Capt Greg Cass **Approval Date:** 05/15/2007

Note: **Ok to Issue:**



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>61 India Street</u>		
Total Square Footage of Proposed Structure: <u>1-16 s.f. (8" x 17") wall</u>		Square Footage of Lot: <u>8,030 s.f.</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>020 E 021001</u>	Owner: <u>Joseph Reynolds</u>	Telephone: <u>838-7296</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>198 Tuttle Road Cumberland, ME 04021 (207) 829-8093</u>	Cost Of Work: \$ <u>1,200⁰⁰</u> Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) <u>storage</u>	If vacant, what was the previous use? <u>SAME</u>	
Proposed Specific use: <u>SAME</u>	Is property part of a subdivision? <u>no</u> If yes, please name _____	
Project description: <u>rebuild existing wooden wall with 8" concrete block (CMU)</u>		
Contractor's name, address & telephone: <u>SAME AS OWNER</u>		
Who should we contact when the permit is ready: <u>SAME AS ABOVE</u>		
Mailing address: _____ Phone: _____		

Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.

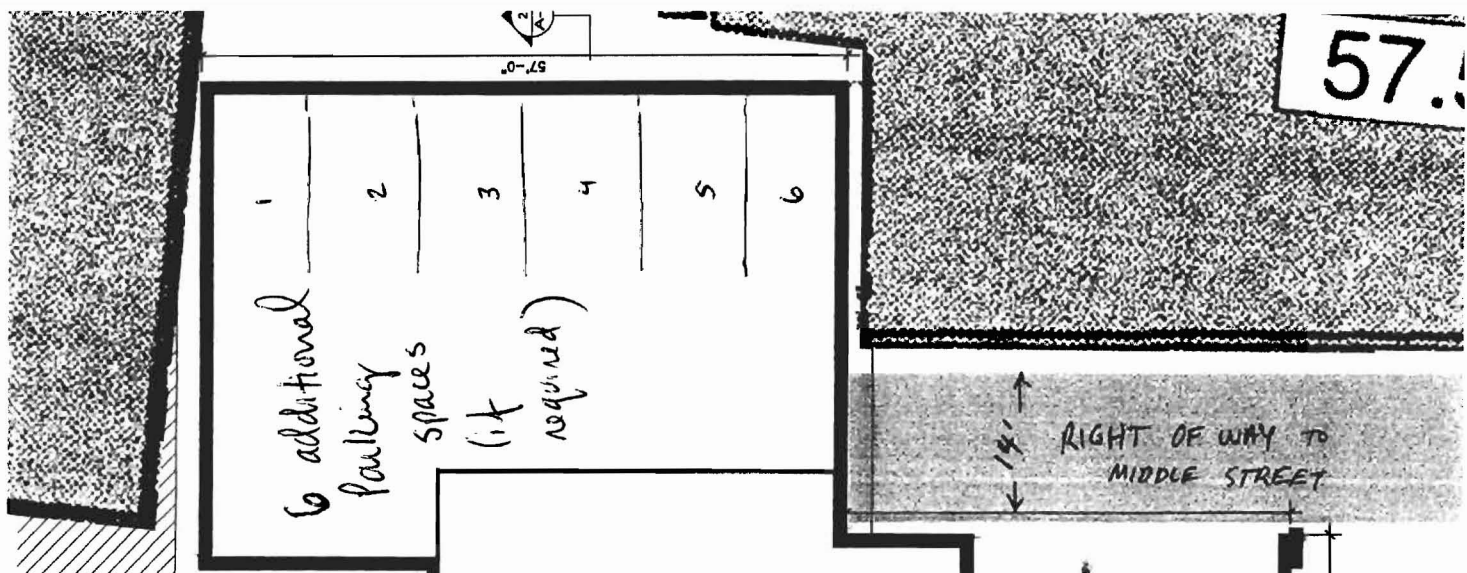
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 4/24/07

This is not a permit; you may not commence ANY work until the permit is issued.

57.

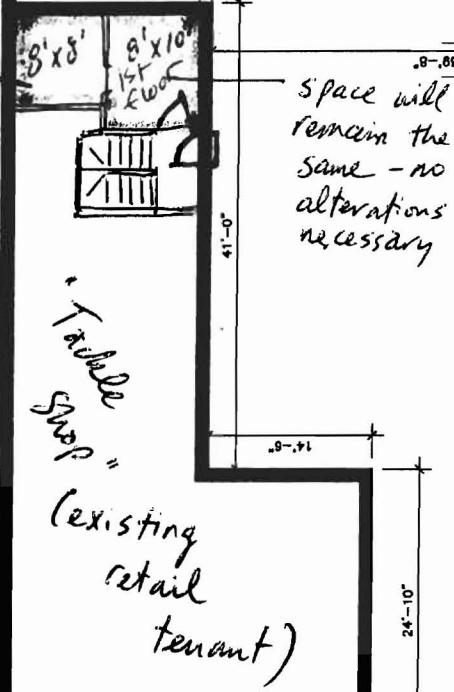
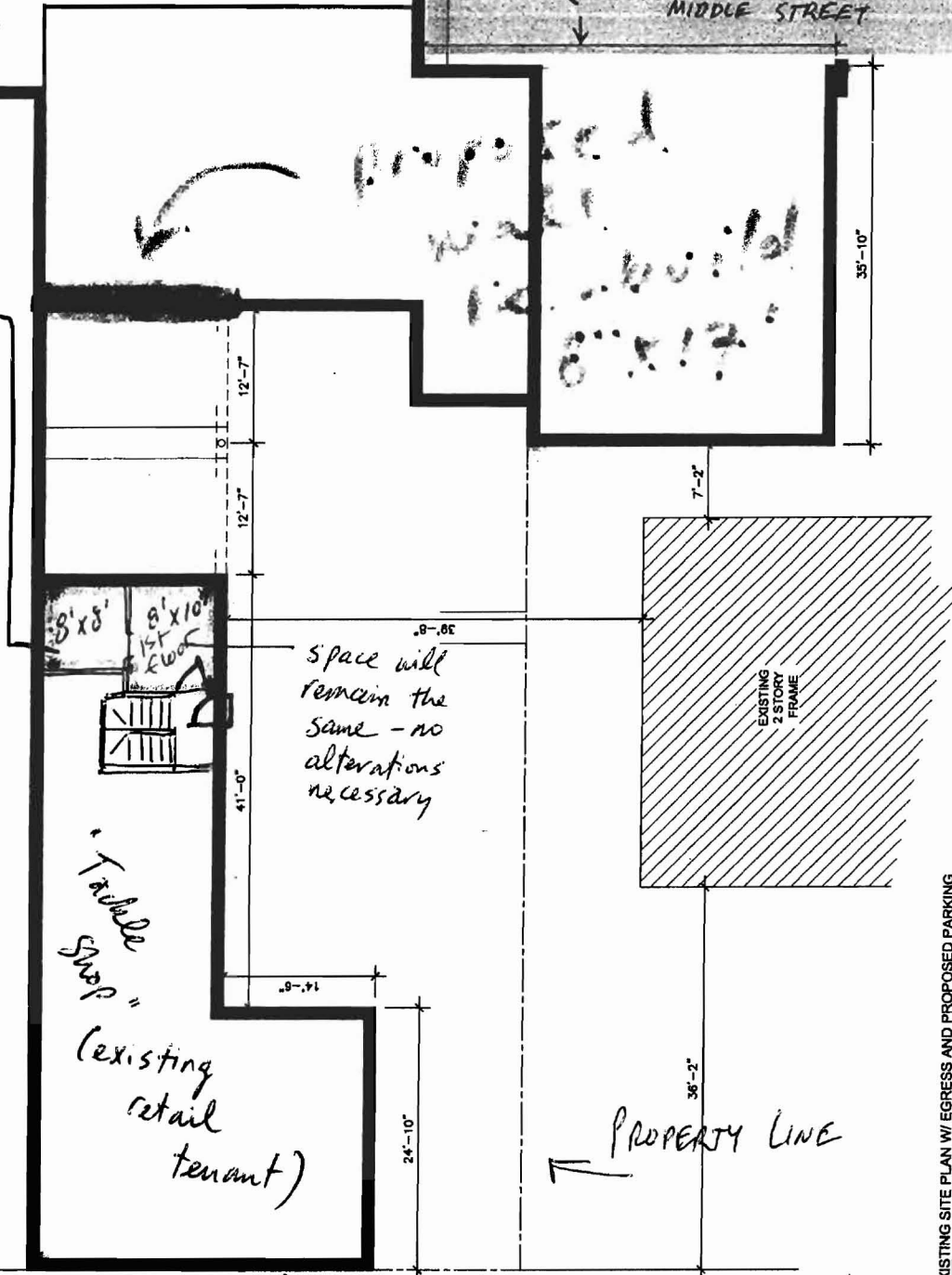
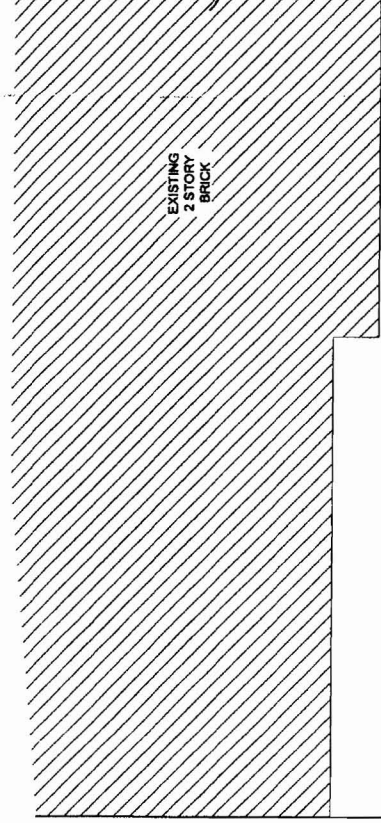


61 INDIA STREET

Floor 4

1-150 s.f.
 Proposed office space (1 tenant)

No Alterations Necessary



32'-10" SIDE WALK

INDIA STREET

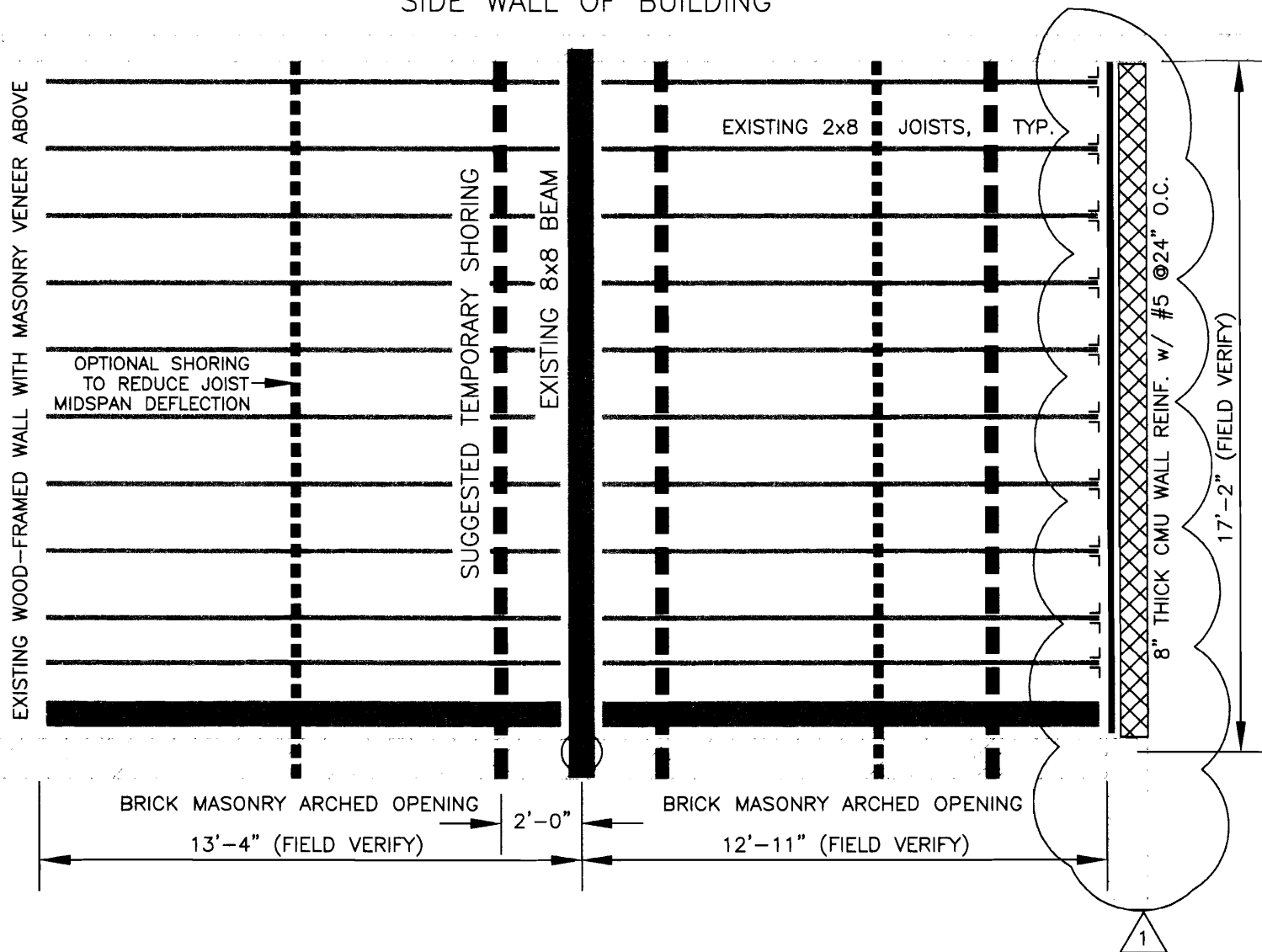
#61
 INDIA

PROPERTY LINE

64φ
 80φ
 144φ

EXISTING SITE PLAN W/ EGRESS AND PROPOSED PARKING
 (X-1) 1/8" = 1'-0"

SIDE WALL OF BUILDING



CARRIAGE SHED

EXISTING CONDITIONS -- PARTIAL SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

KEY NOTES

- NOTE 1: ■■■ ■■■ INDICATES SUGGESTED TEMPORARY SHORING LOCATION ON FIRST AND SECOND FLOORS.
 NOTE 1: ■■■ ■■■ INDICATES OPTIONAL TEMPORARY SHORING LOCATION TO SLOWLY JACK UP EXISTING JOISTS.

STRUCTURAL GENERAL

1. THE CONTRACTOR SHALL COMPLY WITH ALL CODE REQUIREMENTS. FURTHERMORE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK.
2. NO PROVISIONS HAVE BEEN MADE TO ARISE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FORMS, SHORING, AND BRACING.
3. NOTIFY ENGINEER OF ANY DISCREPANCIES OR EXISTING CONDITIONS THAT MAY AFFECT THE DESIGN. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS AS SHOWN ON THE DRAWINGS.
4. ANY MODIFICATION OR ALTERATION TO THE DESIGN SHALL BE APPROVED BY THE ENGINEER IN WRITING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
5. DO NOT SCALE FROM THE DRAWING.

DESIGN CRITERIA

1. INTERNATIONAL BUILDING CODE (IBC) CHAPTER 34, EXISTING BUILDINGS

ADDRESS: 61 INDIA STREET, PLYMOUTH CITY CHART - BLOCK 10, ZONE B-2B

LIVE LOAD: RESIDENTIAL OCCUPANCY
40 POUNDS PER SQUARE FOOT

WIND LOAD: PER IBC SECTION 6.5.5

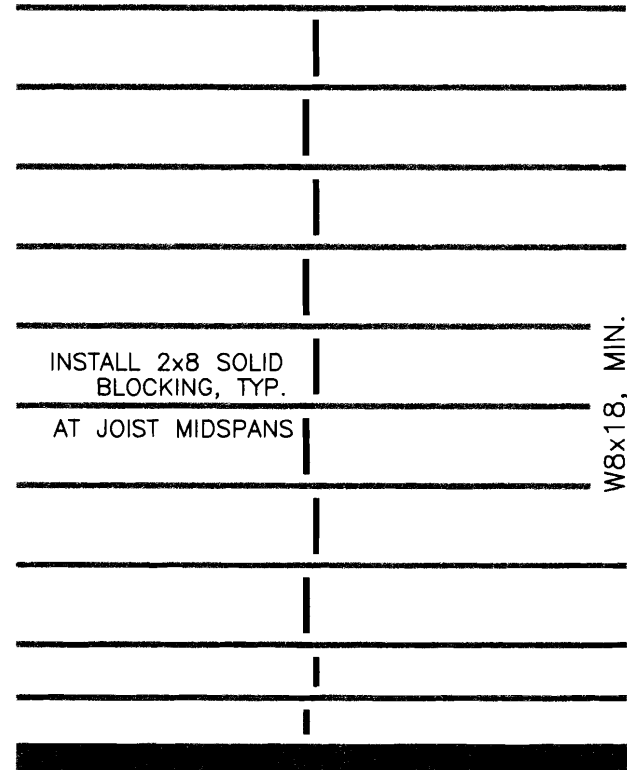
BASIC WIND SPEED, (3 SECOND GUST)
 IMPORTANCE FACTOR I_w
 EXPOSURE CATEGORY
 BUILDING CLASSIFICATION
 BASIC WIND PRESSURE
 COMPONENT/CLADDING PRESSURE

SEISMIC LOAD: PER IBC SECTION 6.10
 EARTHQUAKE DESIGN DATA

SEISMIC IMPORTANCE FACTOR
 SEISMIC USE GROUP
 SHORT-PERIOD RESPONSE ACCELERATION
 1-SECOND RESPONSE ACCELERATION
 SEISMIC DESIGN CATEGORY
 BASIC SEISMIC FORCE-RESISTANCE COEFFICIENT
 RESPONSE MODIFICATION FACTOR
 ANALYSIS PROCEDURE:

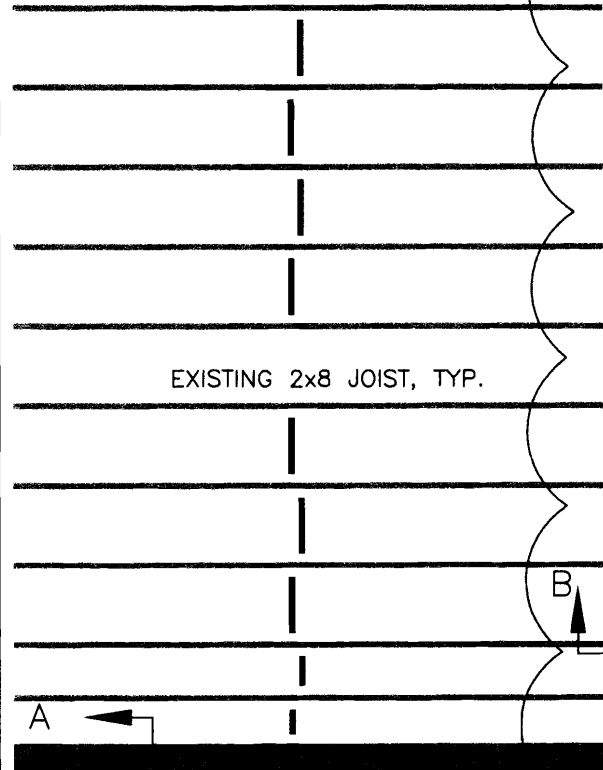
SIDE WALL OF BUILDING

EXISTING WOOD-FRAMED WALL WITH MASONRY VENEER ABOVE



INSTALL 2x8 SOLID
BLOCKING, TYP.
AT JOIST MIDSPANS

W8x18, MIN.



EXISTING 2x8 JOIST, TYP.

17'-2" (FIELD VERIFY)

ARCHED BRICK MASONRY OPENING

13'-4" (FIELD VERIFY)

ARCHED BRICK MASONRY OPENING

12'-11" (FIELD VERIFY)

CARRIAGE SHED

PROPOSED REPAIRS -- PARTIAL SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. PROVIDE 3-PART TNEC COATING SYSTEM FOR STEEL PRIOR TO INSTALLATION. SYSTEM TO CONSIST OF THE FOLLOWING:
PRIMER: SERIES 90-97 TNEC-ZINC (2.5-3.5 mils)
INTERMED: SERIES 66 HI-BUILD EPOXOLINE (2.0-3.0 mils)
TOPCOAT: SERIES 73 ENDURA-SHIELD (2.0-3.0 mils)
(OWNER TO SELECT COLOR OF TOPCOAT)

LUMBER AND JOIST HANGERS

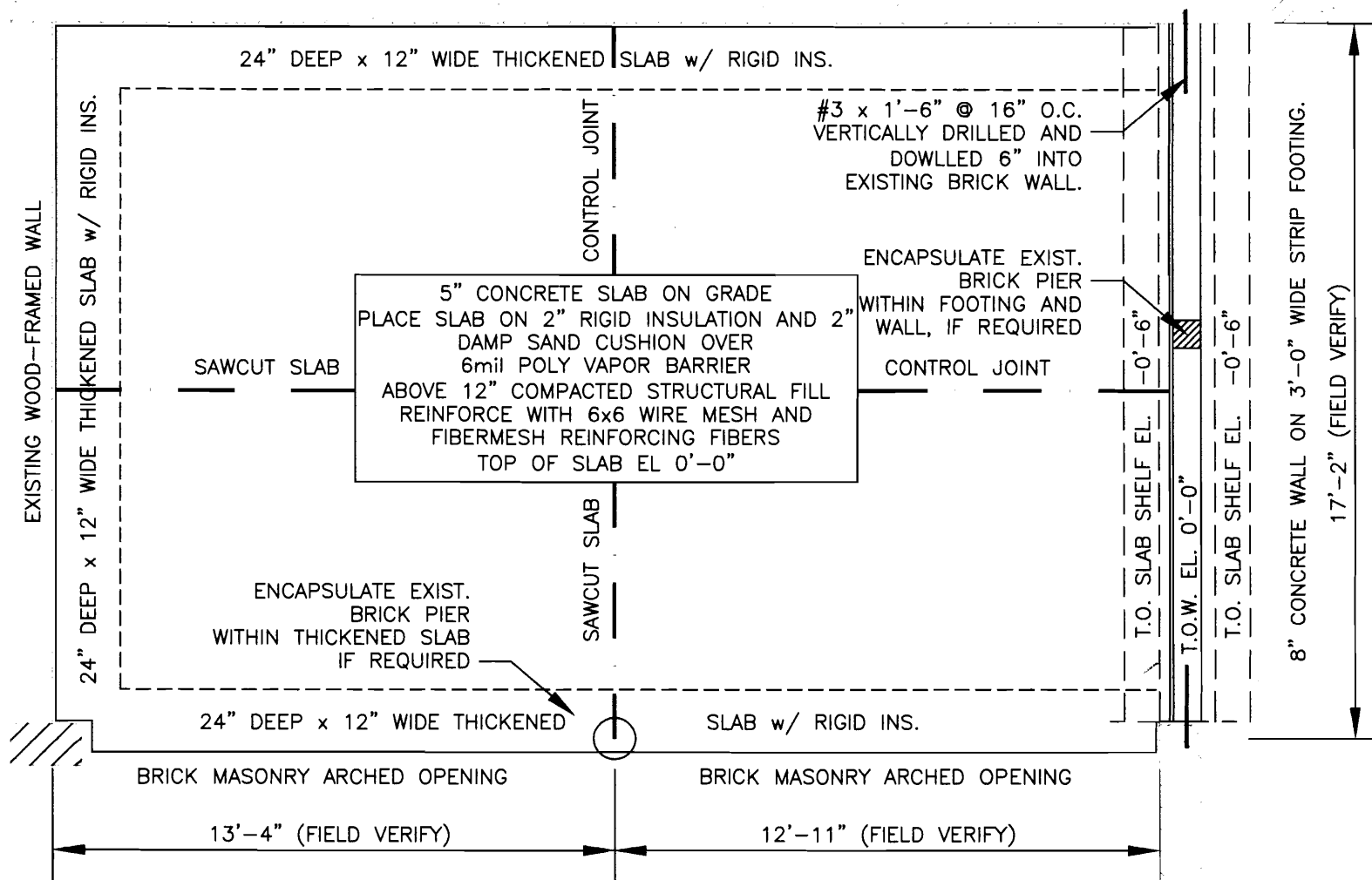
1. ALL COMPOSITE LUMBER USED ON THIS JOB SHALL BE ENGINEERED WOOD PRODUCTS. BENDING STRENGTH AND STIFFNESS OF ALL FRAMING LUMBER USED FOR OTHER WALL AND ROOF SHALL BE SPRUCE-PINE-FIR NO. 2 OR BETTER, KILN DRIED TO 19% MOISTURE.
2. ALL JOIST HANGERS, HURRICANE TIES, AND ANCHORS AS SPECIFIED, MANUFACTURED BY SIMPSON STRONG-TIE COMPANY SHALL MEET SIMPSON STRONG-TIE REQUIREMENTS.
3. SPECIAL ATTENTION SHOULD BE TAKEN TO INSURE PROPER INSTALLATION OF ALL JOIST HANGERS AND ANCHORS.
4. WHEN FASTENING INTO EXISTING LUMBER, IT SHALL BE VERIFIED THAT NAILS OR SCREWS DO NOT CRACK EXISTING FRAMING. TEMPORARILY PIN JOIST HANGER IN PLACE WHILE WORKING.
5. NEW STRUCTURAL FRAMING INSTALLATION SHALL BE DONE IN ACCORDANCE WITH FINISH CARPENTRY, DRYWALL INSTALLATION, AND SHORING IS REMOVED.
6. ACCLIMATE FRAMING LUMBER TO INTERIOR CLIMATE FOR AT LEAST 48 HOURS BEFORE USE. KEEP LUMBER SPACER BLOCKS. STORE OUT OF DIRECT SUNLIGHT.
7. DO NOT NOTCH JOISTS IN THE MIDDLE-THIRD OF SPAN. REPAIR EXISTING, NOTCHED JOISTS AND RAFTER WITH NEW MATERIAL OF THE SAME DEPTH. GLUE AND SCREW NEW MATERIAL TO THE EXISTING MATERIAL. PREDRILL HOLES INTO ADDED PIECES TO PROVIDE FOR EXISTING MATERIAL. REFER TO PLANS AND SPECIFICATIONS FOR DETAILS.

3'-0"± CANTILEVER



FUTURE BALCONY
SUPPORT FRAMING

SIDE WALL OF BUILDING



CARRIAGE SHED SLAB PLAN

SCALE: 1/4" = 1'-0"

CAST-IN-PLACE CONCRETE

1. ALL CONCRETE WORK AND REINFORCEMENT SHALL BE TO THE LATEST ACI STANDARDS.
2. SLAB CONCRETE SHALL BE AIR ENCLOSED AND HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI.
3. PLACE NO CONCRETE WITHOUT REINFORCEMENT EMBEDDED ITEMS BY THE CITY OF CHICAGO.
4. FIRMLY SECURE ALL EMBEDDED ITEMS BY TIE WIRE TO PREVENT MOVEMENT. COORDINATE ALL DIMENSIONS AND LOCATIONS OF ALL EMBEDDED ITEMS AS SHOWN ON THE DRAWINGS.
5. ALL CONCRETE MATERIALS, MIXTURES, OR DEBRIS.
6. CONSOLIDATE ALL CONCRETE TO THE FULL DEPTH OF THE FORMS TO THE ACI 301.
7. SLAB WIRE REINFORCING SHALL BE #3 @ 16" O.C.

CONCRETE MASONRY UNIT

1. HOLLOW CONCRETE BLOCK WALL DESIGN STRENGTH, $F'_m = 1.5$
2. LAY UNITS IN RUNNING BOND.
3. USE TYPE M MORTAR FOR JOINTS.
4. PROVIDE 3000 psi MINIMUM 28-DAY COMPRESSIVE STRENGTH IMMEDIATELY AFTER POURING AND FINISHING.
5. MAXIMUM GROUT LIFT WITHIN JOINTS SHALL NOT EXCEED 3'-0".
6. TIE VERTICAL REINFORCING ANCHORS USING SINGLE WIRE AND LOOP THROUGH THE JOINTS TO THE COMPANY OR APPROVED EQUAL.
7. IN WALL, PROVIDE VERTICAL REINFORCING ANCHORS FULL HEIGHT OF WALL:
 - A. 1-#5 AT EACH WALL END OR
 - B. 1-#5 AT 24" ON CENTER TYPE
 - C. 1-#5 AT EACH CORE WITHIN
8. PROVIDE GALVANIZED LADDER BARS AT 48" ON CENTER.
9. WET MASONRY WALL THOROUGHLY AFTER PLACEMENT IF TEMPERATURES ARE BELOW 40°F.
10. FOR DOORWAYS NOT SHOWN ON THIS PLAN, CMU BOND BEAM WITH 2-#5 BARS.

BACK BUILDING CORNICE EL. 32'-0"±

BRICK MASONRY FULL HEIGHT
IN AREA OF MANSARD.
MANSARD FRAMING TO TIE INTO
BRICK.

TOP OF WALL NOT
SHOWN. PROVIDE 16"
CMU BOND BEAM REINF.
w/ 2- #5" CONTINUOUS.

ROOFING AND FLASHING NOT
SHOWN FOR CLARITY.

EXISTING FLAT ROOF EL 23'-2"

5/8" DIA. GALVANIZED EXPANSION
BOLTS AT 16" O.C.
STAGGERED. THROUGH 2X12
LEDGER.

2ND FLOOR EL 12'-0"

SIMPSON LUS28R ROUGH-CUT
JOIST HANGERS ATTACHED WITH
8d x 1 1/2" GALV. NAILS.

16" CMU BOND BEAM
REINF. w/ 2- #5"
CONTINUOUS AT EACH
FLOOR LEVEL AND AT
TOP OF WALL.

STRAPPING AND DRYWALL
NOT SHOWN FOR CLARITY

8" CMU WALL REINF. w/
#5@24" O.C. IN
FULLY-GROUTED CELLS.

#5@24" O.C. DOWEL INTO
FOUNDATION WALL
1'-6"

GROUND FLOOR EL 0'-0"

1" RIGID INSULATION
THERMAL BREAK

FUTURE SLAB NOT
SHOWN FOR CLARITY

BITUMINOUS
DAMP-PROOFING AND
2" RIGID INSULATION

2" RIGID INSULATION
OVER 12" COMPACTED
STRUCTURAL FILL, SAND,
AND VAPOR BARRIER

1'-10" WIDE WALL w/ 6"
DEEP x 6" WIDE SLAB
SHELVES EACH SIDE

BOT OF FTG EL -3'-0"

3'-0" x 1'-6" DP.
CONCRETE FOOTING
REINF. w/ 4-#6
T&B

12" DEEP COMPACTED CRUSHED
STONE WRAPPED IN FILTER FABRIC

PROPOSED REPAIRS -- CARRIAGE SHED EAST WALL

SCALE: 3/4" = 1'-0"