

Comments 7/25/13

Comments 7/30/13

Comments 10/8/13

Comments 10/19/13

City of Portland

Development Review Application
Planning Division Transmittal Form

7/18/13

Application Number: 2013-179

Application Date: 07/16/2013

CBL: 020 D013001

Application Type: Level III Site Plan 50,000 - 100,000

Project Name: Bay House Phase 2

Address: 101-121 NEWBURY STREET

Project Description: Phase II - 4 Story multi-family structure with 39 units, (7 townhouses and 32 flats) 42 parking spaces under building

Zoning: B2B

10/19/13 42 parking spaces

Other Required Reviews:

- Traffic Movement
- Storm Water
- Subdivision
 - # Lots _____
 - # Unit _____
- Site Location
- 14-403 Streets
- # Units _____
- Flood Plain
- Shoreland
- Design Review
- Housing Replacement
- Historic Preservation
- Other:

Distribution List:

Planner	Nell Donaldson	Parking	John Peverada
Zoning	Marge Schmuckal	Design Review	Alex Jaegerman
Traffic Engineer	Tom Errico	Corporation Counsel	Danielle West-Chuhta
Civil Engineer	David Sensus	Sanitary Sewer	John Emerson
Fire Department	Chris Pirone	Inspections	Tammy Munson
City Arborist	Jeff Tarling	Historic Preservation	Deb Andrews
Engineering	David Margolis-Pineo	DRC Coordinator	Phil DiPierro
		Outside Agency	

Comments needed by 7/25/2013

MEMORANDUM

To: FILE

From: Nell Donaldson

Subject: Application ID: 2013-179

Date: 10/8/2013

Comments Submitted by: Marge Schmuckal/Zoning on 10/8/2013

More plans have been submitted showing the average grade and the roof elevation. I would want a little more clarity as to what is being considered as the "roof elevation". The definitions required the height of a building to be measure to the top of the roof beam. Is that where the 87.25 measurement is taken? Also what is above that area? The plans show a higher elevation going around the building. I did not see any plans that explain that level. Is it for sheilding mechanical equipment? The dBA's can be assessed at the time of a building permit for the HVAC systems.

To follow up the 45' maximum height is being exactly met based upon the information received, if the upper roof shown on the plans is for mechanical systems.

Marge Schmuckal
Zoning Administrator

Attachment U

13251 Seaport Lofts Average Grade Calculation

Perimeter Length	Elevations	Extension
30	39.50	1,185.00
8	39.74	317.92
17	40.07	681.19
10	40.40	404.00
17	40.73	692.41
10	41.07	410.70
17	41.35	702.95
8	41.69	333.52
8	41.74	333.92
17	42.07	715.19
10	42.40	424.00
17	42.73	726.41
10	43.07	430.70
17	43.19	734.23
10	43.32	433.20
17	43.66	742.22
33	45.43	1,499.19
14	46.86	656.04
29	48.13	1,395.77
40	49.70	1,988.00
27	42.35	1,143.45
17	42.15	716.55
120	41.05	4,926.00
10	39.73	397.30
28	39.45	1,104.60
27	39.62	1,069.74
39	39.62	1,545.18

87.25
42.35

44.90

87.25
42.25

45.00 ex. act.

Total
Perimeter (A)
Length

607

$1140.82 \div 27 = 42,25092$

Elevation
Subtotal (B)

25,709.38

$+ 607 =$

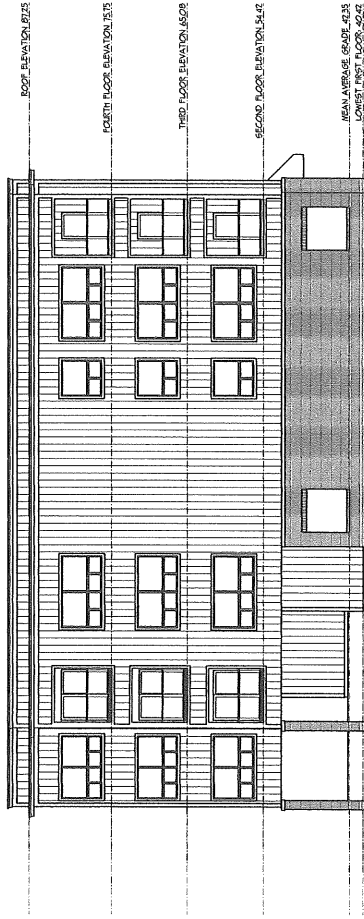
Average
Grade (B/A)

42.35482702

Part of
9/3/2013 ← letter
-3-

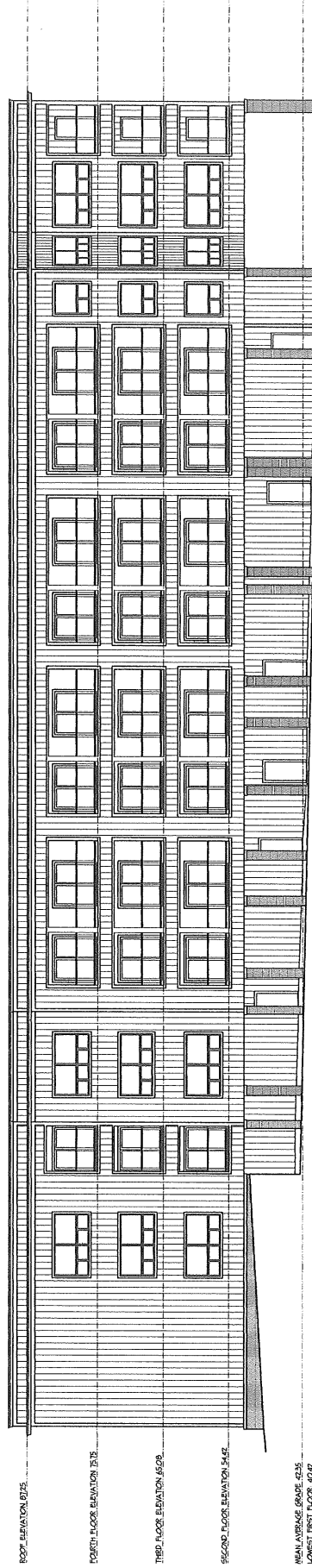
September 3, 2013

15. Attachment R - Revised Stormwater Management Plan and Calculations. As required by David Senus' memo dated August 2, 2013, we have added subsurface stormwater detention capacity to the project. The design of this system is depicted on the revised plan set.
16. In response to David Margolis - Pineo's memo dated August 1, 2013, the plan set has been revised and corrected to address all of his comments.
17. In response to Marge Schmukal's email dated August 1, 2012, graphic bar scales have been added to the architectural plans. The impervious coverage calculation has been revised using the correct lot size and plan adjustments; the project complies with the allowable 90% coverage. Regarding HVAC noise data, we do not have that information at this time, and would request that the City impose a condition of approval that we submit this information prior to issuance of a building permit.
18. In response to Tom Errico's memo dated August 1, 2013, we believe that these items have been addressed. We anticipate a condition of approval that the applicant contribute to the improvements at the India/ Middle Street intersection and to the East End Traffic Monitoring Study per Tom's memo.
19. In response to two memos from Jeff Tarling, dated August 1, 2013, the plans have been revised as follows:
 - a) Valley Forge Elms have been replaced with smaller trees as requested from the neighbors at the Federal Street Condominium.
 - b) We retained Zelkova Street trees on Newbury Street, and enhanced the tree pit detail to deepen the tree pits and to provide an underdrain to improve drainage.
 - c) In the parking area, we replace the Korean fir with Serbian Spruce, reduced the amount on Vinca groundcover and introduced grasses as suggested. The material proposed for screen fencing was previously submitted.
 - d) We replaced the Amur Cork tree with Three Flower Maple as suggested.
 - e) We considered green stormwater features and green wall applications, however, this project does not lend itself to those opportunities. The amount of blank walls on the building has been reduced with additional windows and architectural fenestration as requested.
20. Finally, enclosed are the following drawings and illustrations:



LEFT SIDE ELEVATION

SCALE: 1/8" = 1' 0"



REAR ELEVATION

SCALE: 1/8" = 1' 0"

SEAPORT LOFTS

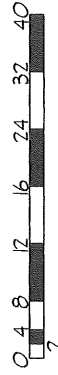
PORTLAND, MAINE

DAVID M. WHITE, ARCHITECT

SEPTEMBER 13, 2013

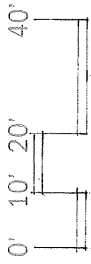
113 NEWBURY STREET, LLC

BOSTON, MASSACHUSETTS

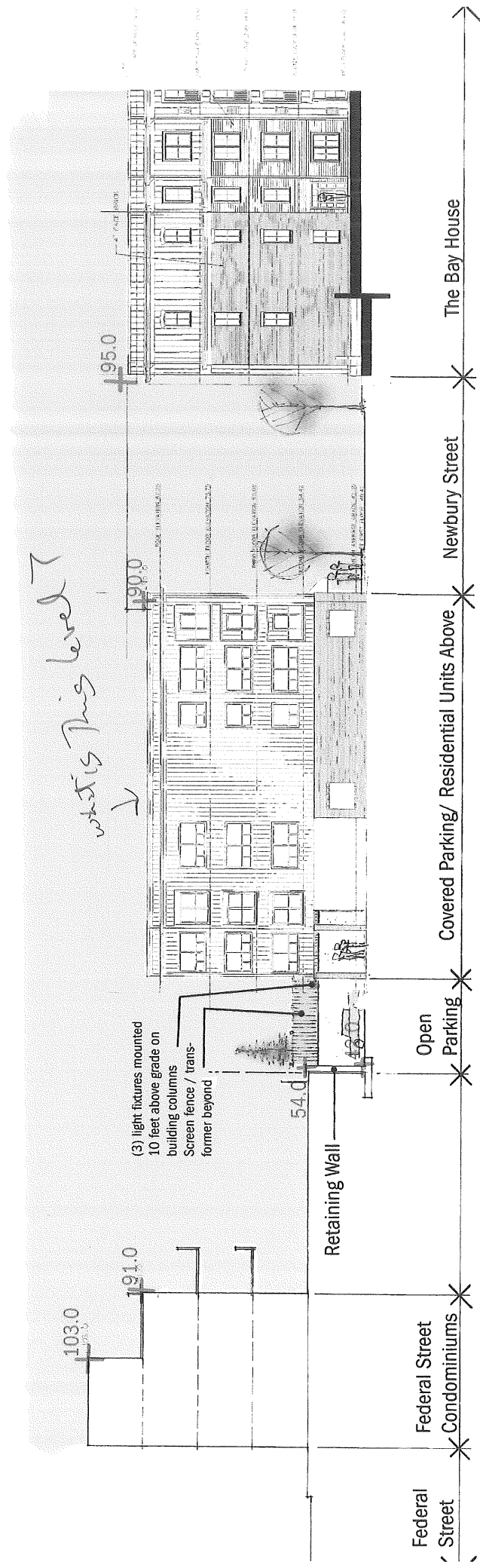


P5

SITE SECTION



what is this level?



Federal Street

Federal Street Condominiums

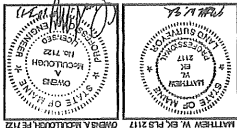
Retaining Wall

Open Parking

Covered Parking / Residential Units Above

Newbury Street

The Bay House

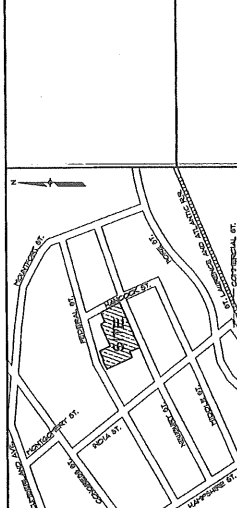


REV	DATE	DESCRIPTION
1	02-28-13	ISSUE FOR PERMIT APPLICATION TO CITY
2	05-17-13	CITY SUBMITTAL 4
3	10-03-13	CITY SUBMITTAL 5

REV	DATE	DESCRIPTION
1	02-28-13	ISSUE FOR PERMIT APPLICATION TO CITY
2	05-17-13	CITY SUBMITTAL 4
3	10-03-13	CITY SUBMITTAL 5

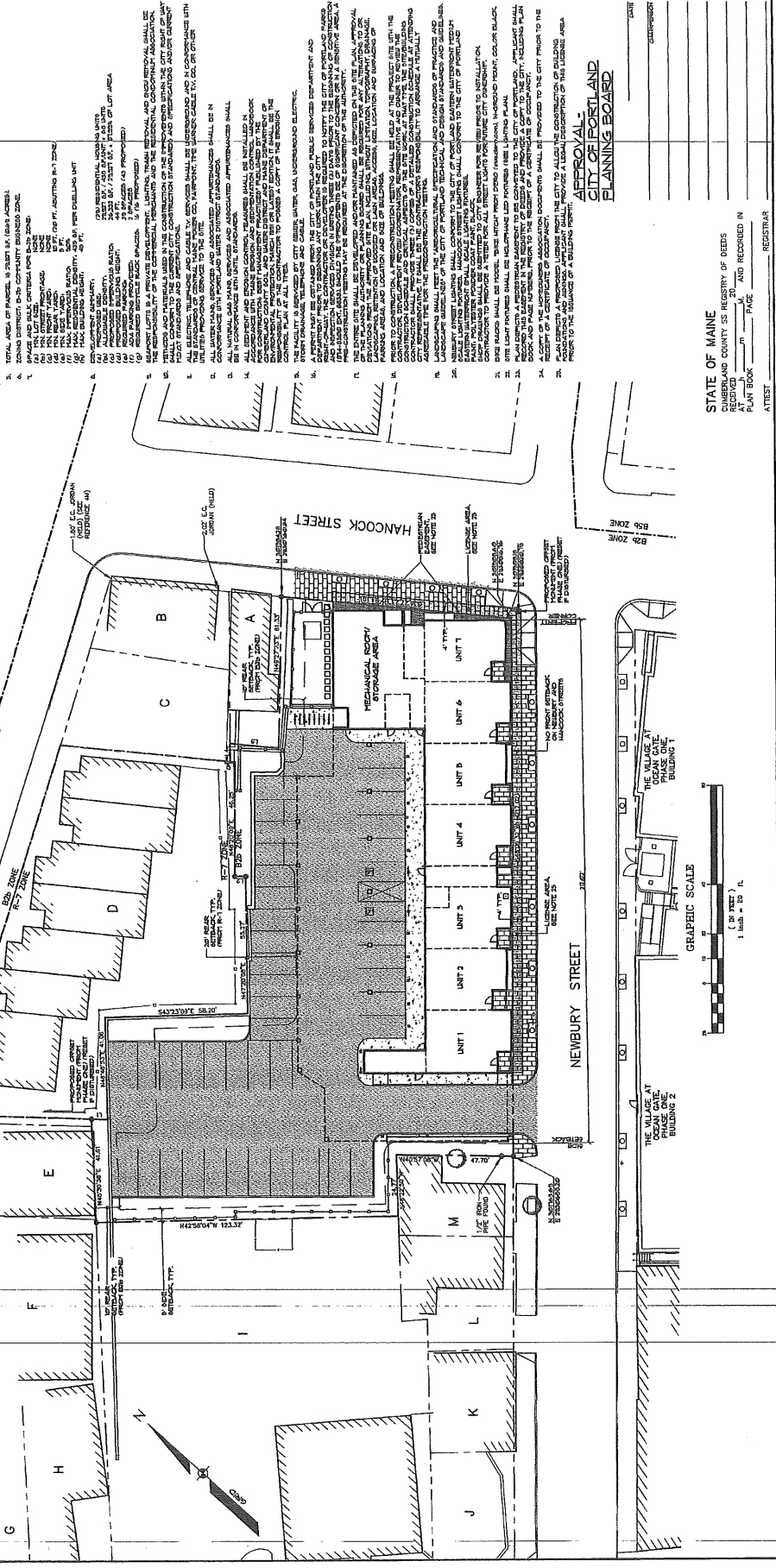
13251
 PROJECT NO. 13251
 FIELD BOOK DESIGN
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 DATE
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 CHECKED
 APPROVED
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 PROJECT NO. 13251
 FIELD BOOK DESIGN
 WTC
 DATE
 DRAWN
 CHECKED
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13251
 PROJECT NO. 13251
 FIELD BOOK DESIGN
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 DATE
 DRAWN
 CHECKED
 APPROVED



GENERAL NOTES

- THE PROJECT IS LOCATED IN THE VILLAGE AREA AS SHOWN ON MAP SHEET 14, BOOK 200 PAGE 22, AND THE CITY OF PORTLAND ZONING ORDINANCE CHAPTER 31.200. THE PROJECT IS LOCATED IN THE B2B ZONE.
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LIST OF ABUTTERS

SET	ABUTTER	DESCRIPTION	PROPOSED
1	THE CITY OF PORTLAND	ADJUTANT GENERAL	
2	THE CITY OF PORTLAND	ADJUTANT GENERAL	
3	THE CITY OF PORTLAND	ADJUTANT GENERAL	
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50	THE CITY OF PORTLAND	ADJUTANT GENERAL	

LINE TABLE

LINE NO.	DESCRIPTION	LENGTH
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APPROVAL
 CITY OF PORTLAND
 PLANNING BOARD

STATE OF MAINE
 PLANNING COUNTY 33 REGISTRY OF DEEDS
 RECEIVED
 PLAN BOOK # _____ PAGE _____ AND RECORDED IN
 ATTEST _____ REGISTERAR

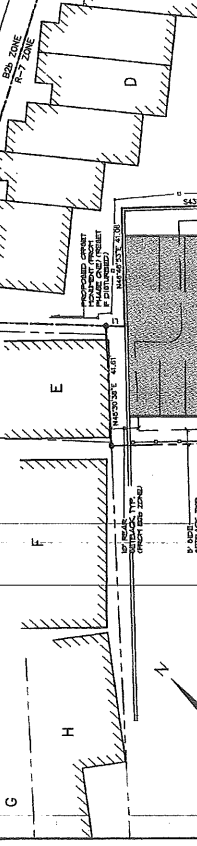
UNIT TABLE

UNIT NO.	AREA	TYPE	FINISH	PRICE
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CONDITIONS OF APPROVAL

WAIVERS GRANTED

5/8" REBAR...
 3/4" REBAR...
 5/8" REBAR...



GRAPHIC SCALE
 1 inch = 8 feet

THE VILLAGE AT
 PHASE ONE
 BUILDING 1

THE VILLAGE AT
 PHASE ONE
 BUILDING 2

- f. *Pavement setback:* For lots adjacent to a residential zone, pavement shall be set back a minimum of ten (10) feet from the side and rear property lines adjacent to the residential zone.
4. *Maximum impervious surface ratio:* 90%.
5. *Maximum residential density:*
- a. *On-peninsula locations, as defined in section 14-47:* Four hundred and thirty-five (435) square feet of land area per dwelling unit.
- b. *Off-peninsula locations, as defined in section 14-47:*
- i. Residential density requirements of the nearest adjacent residential zone shall apply except for multi-family dwellings above the first floor of commercial uses as provided in (ii) below.
- ii. *Multi-family dwellings above first floor commercial uses:* One thousand (1,000) square feet of land area per dwelling unit is required.
6. *Maximum structure height:*
- a. *B-2 and B-2c zones:* Forty-five (45) feet.
- b. *B-2b zone:* Forty-five (45) feet, except in the case of a building with a commercial first floor and residential upper floors, where fifty (50) feet is allowed, and except for the portion of a building located within sixty-five (65) feet of Franklin Street, where sixty-five (65) feet is allowed.

(b) *Business and other non-residential uses:*

1. *Minimum lot size:*

MEMORANDUM

To: FILE

From: Nell Donaldson

Subject: Application ID: 2013-179

Date: 7/30/2013

Comments Submitted by: Marge Schmuckal/Zoning on 7/30/2013

I have reviewed additional plans down loaded into our system on 7/29/2013. On page 5 of 12 there is a note that shows how the project is meeting the impervious surface maximum of 90%. The given lot size on this sheet (30,282 sf) is different from the filled out site plan data sheet which states the lot size is 30,492 sf. The proposed given impervious surface is different again in the same two locations. I would want the applicant to confirm the actual lot size and the final proposed impervious area on the site so I can determine compliance with the Ordinance.

I did not see revised building elevation plans with a graphic scale for me to confirm the actual building height. I will need that information before signing off.

Marge Schmuckal
Zoning Administrator

MEMORANDUM

To: FILE

From:

Subject: Application ID: 2012-466

Date: 7/25/2013

Comments Submitted by: Marge Schmuckal/Zoning on 7/25/2013

This project is located in the B-2b zone. 39 residential dwelling units are proposed and permitted in the B-2b zone. The land area of 435 sf per dwelling unit is being met. The given parking requirements are shown on the plans and exceed the 1 to 1 parking requirement on the peninsula. Setbacks are apparently being met. Graphic bar scales are not on the plans as required under the electronic submission requirements. I can not scale the elevations for height compliance. And I want to confirm my setback measurements that appear to be met.

The bB2b zone states that there is a maximum of 90% impervious surface as a requirement. Based upon the given information on the Project Data sheet, the project will have 90.2% impervious surface which is over the maximum allowed. The project must be revised to meet the maximum allowed impervious surface.

All HVAC equipment shall meet the maximum noise standard of the B-2b zone. Any submission for a permit shall contain all noise data giving readings in decibels.

I will await revised plans to advance my comments.

Marge Schmuckal
Zoning Administrator

Applicant: The Bay House, Phase II Date: 7/16/13

Address: 113 Newbury St cor Hancock E-B-L: 020-D-013
40 Hancock E-B-L: 020-D-014

CHECK-LIST AGAINST ZONING ORDINANCE

020-D-015
020-D-032

Date - New

Zone Location - B-2b ^{yes}

Interior or corner lot - Hancock a Newbury

Proposed Use/Work - 39 DU - New - 4 story

Sewage Disposal - City

Lot Street Frontage - None Reg

Front Yard - min - None
max - 10' or Average

Rear Yard - 20' min side Abuts A Res. ^{R-6, R-7} 24' scaled 20' at close of corner

Side Yard - 5' (does not abut A Res Zone) - 30' 6.2' on left side

Side Yd on Side St - No Reg
Projections -

just over 5' / 2' / 3' plan

Width of Lot - N/A

Height - 45' with Exception

Lot Area - No min Reg - 30,492 ^{7.5, 282} given 29,927 ^{given} 26,332 = 29,927 = 87.98

Lot Coverage/Impervious Surface - 90% max (88%) OK → 27,492 = 30,492 = 90.2%

Area per Family - A 35' of Land Area per DU. 435 x 39 = 16,965 ^{min}

Off-street Parking - 39 PKG Spaces Reg - "42 PKG Spaces shown"

Loading Bays -

Site Plan - 2013 - 179 - Subdivision

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 14 of 17 - Zone C

Noise: HVAC Regs

7/29/13 plans have graphics. No Sectional electronic Submit - only on some



July 16, 2013
05109

Ms. Carol Morrisette, Chair
Portland Planning Board
389 Congress Street
Portland, Maine 04101

Level III Site Plan Application
The Bay House Phase II

Dear Carol:

On behalf of Atlas Investment Group, LLC we are pleased to submit the enclosed preliminary application for your review of The Bay House Phase II. Located on the westerly corner of Hancock and Newbury Streets, The Bay House Phase II is a four story structure fronting on Newbury Street. The building is a multi-family structure with 39 units, of which 7 are townhouse units on the ground level, with 32 flats situated on the upper floors. There are 42 parking spaces under and behind the building; a dumpster and bicycle racks are also located in this area. Enclosed is the completed application form, attachments and the preliminary plan set.

WRITTEN STATEMENTS:

1. Written Description of project – See Memo from David White, Project Architect (Attachment A).
2. Evidence of Right, Title, Interest – Previously submitted with Phase 1 application.
3. Copies of required State/ Federal permits – Not applicable.
4. Compliance with applicable zoning requirements - This project conforms to the requirements of the B2b zoning district, therefore, conditional zoning is neither required nor requested. The project meets the following space and bulk regulations:
 - minimum lot size, street frontage, front yard (none)
 - minimum side yard (5 feet)
 - minimum rear yard (10 feet)
 - maximum impervious ratio (90%)
 - maximum density (435 sf. du per LUC Sec. 14-47)
 - maximum structure height (45)
5. Existing or Proposed Easements – Not applicable.
6. Waiver Requests – Driveway width at Newbury Street entrance to parking area proposed as 22 feet wide.
7. Traffic Analysis- The traffic study conducted for Phase I will not be updated for this phase. The initial study and Mr. Errico's review focused primarily on parking demand. This project exceeds the requirement of one space per dwelling unit. The applicant will be responsible for all regulatory sign modifications (parking, etc.) on Newbury Street.
8. Summary of significant natural features – Not applicable.

DAVID M. WHITE, ARCHITECT

403 tibbetts hill rd.
p.o. box 447
goffstown, n.h. 03045
603-497-3405
fax 603-497-2783

Attachment A

MEMO

Date: 15 July 2013

From: David M. White, AIA

To: Portland Planning Board

Project: Bay House Phase II

Reference: Project Description

Located on the westerly corner of Hancock and Newbury Streets, The Bay House Phase II is a four story structure fronting on Newbury Street with a side entrance off Hancock Street. The building is a multi-family structure with 39 units, of which 7 are townhouse units fronting on Newbury Street and 32 flats all on the upper floors. There are 42 parking spaces under and behind the building. The spaces under the building are open parking. The parking area includes space for a dumpster and a bicycle rack. Of the 42 spaces, 12 are compact spaces and 2 are van accessible handicapped spaces. The entrance to the parking area is under the upper three floors of the left side of the building. Because this is the lowest point on the site and the townhouse unit first floors step up as they go from this end to Hancock Street, there will be a clearance of approximately 11' at this entrance. All townhouse units have entrances off Newbury Street as well as a second entrance from the parking area. The flats are accessed from a main entrance off Newbury Street into an Elevator Lobby. There is a rear entrance to the Elevator Lobby from the parking area as well as two stairs that serve the upper three floors of flats.

The exterior of the building uses brick on the first two floors on the Newbury Street and Hancock Street elevations as well as partially on each side. This emphasizes the location of the Townhouse units. The upper material is Hardie Clapboard siding with Hardie trim around the windows and at the corners. There will be a precast band separating the brick from the Hardie clapboard material. The present intent is to use the same color palette that was used in the original Bay House project. The difference is that the different colors will define each townhouse unit, rather than the building massing as was done originally. A roof cornice and parapet is used to terminate the building. The building will not exceed the 45' height limitation. The elevator cap and the fencing of the individual condensing units and the make up air unit will protrude above the roof surface.

The project is well under the number of units that could be constructed on this lot and the lot coverage is also well under the ordinance. Because of the existing and proposed retaining walls at the rear of the site the building will be perceived as a three story building from the neighboring properties.

PROJECT DATA

$27,492 \div 30,492 =$

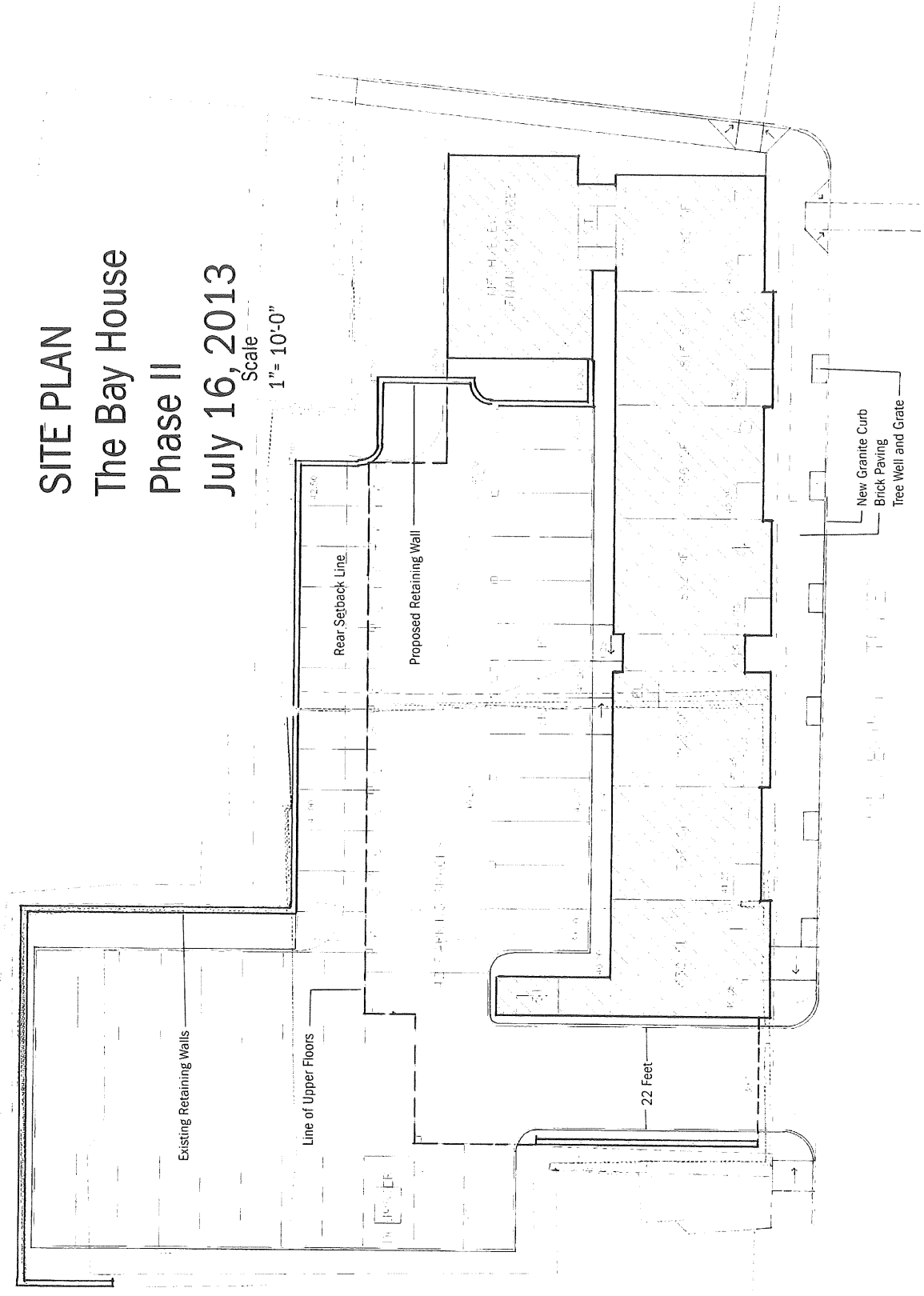
Violation 90.2%
imperv.
90% is MAX

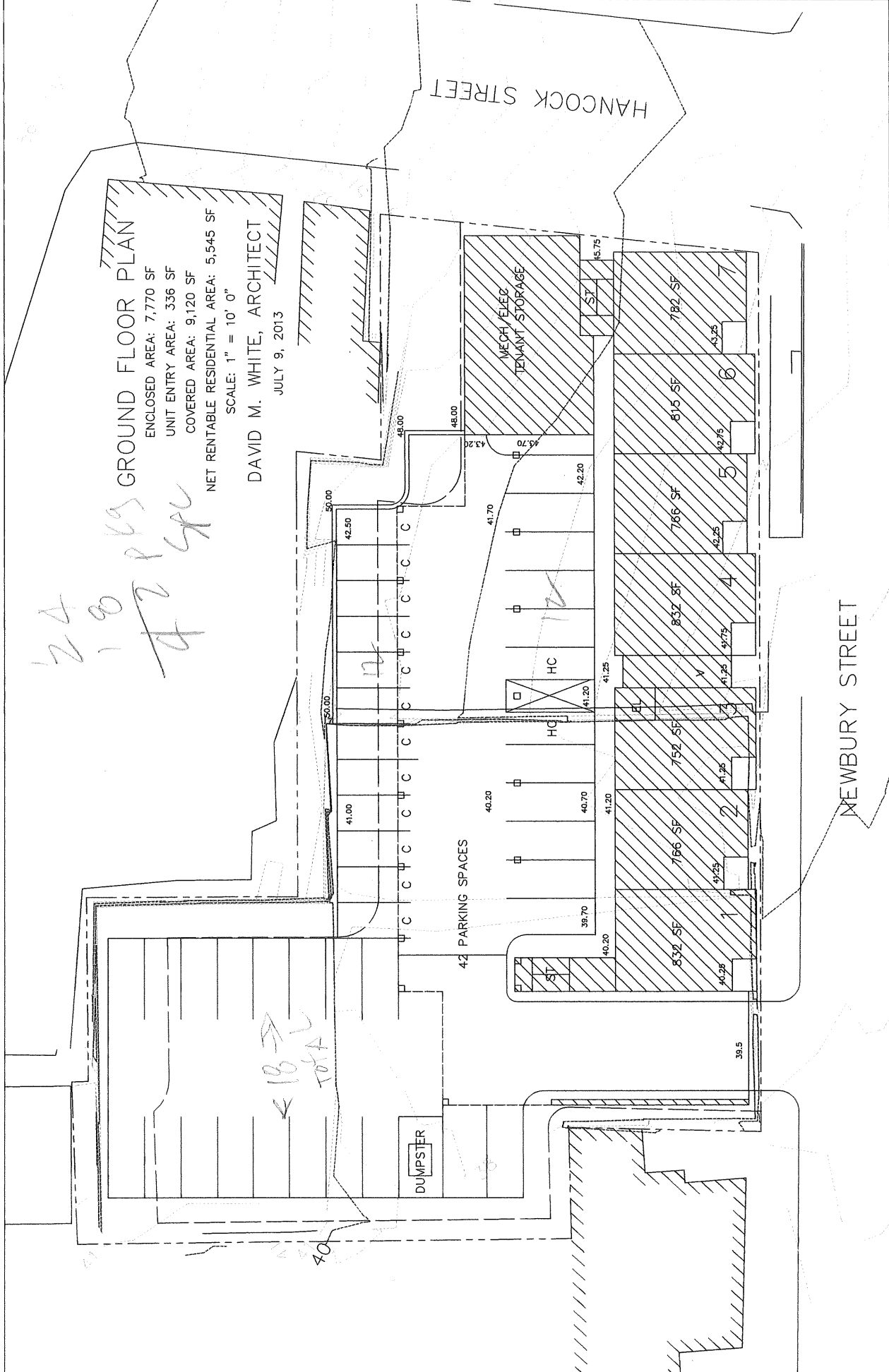
The following information is required where applicable, in order complete the application.

Total Area of Site	30,492	sq. ft.
Proposed Total Disturbed Area of the Site	30,492	sq. ft.
If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland		
Impervious Surface Area		
Impervious Area (Existing)	30,492	sq. ft.
Impervious Area (Proposed)	27,492	sq. ft.
Building Ground Floor Area and Total Floor Area		
Building Footprint (Existing)	0	sq. ft.
Building Footprint (Proposed)	17,395	sq. ft.
Floor Area (Existing)	0	sq. ft.
Floor Area (Proposed)	60,085	sq. ft.
Zoning		
Existing	B2b	
Proposed, if applicable	B2b	
Land Use		
Existing	VACANT LOT	
Proposed	RESIDENTIAL	
Residential, if applicable		
Residential Units (Existing)	0	
Residential Units (Proposed)	39	
# Number of Lots (Proposed)	1	
Affordable Housing Units (Proposed)	0	
Efficiency Units (Proposed)	0	
One-Bedroom Units (Proposed)		
Two-Bedroom Units (Proposed)	39	MIX
Three-Bedroom Units (Proposed)		
Parking Spaces		
Parking Spaces (Existing)	0	
Parking Spaces (Proposed)	42	
Handicapped Spaces (Proposed)	2	
Bicycle Parking Spaces		
Bicycle Spaces (Existing)	0	
Bicycle Spaces (Proposed)	6	
Estimated Cost of Project		\$ 12.0 M

SITE PLAN
The Bay House
Phase II
July 16, 2013

Scale
1" = 10'-0"





GROUND FLOOR PLAN

ENCLOSED AREA: 7,770 SF
 UNIT ENTRY AREA: 336 SF
 COVERED AREA: 9,120 SF
 NET RENTABLE RESIDENTIAL AREA: 5,545 SF

SCALE: 1" = 10' 0"

DAVID M. WHITE, ARCHITECT

JULY 9, 2013

Handwritten notes:
 24
 100
 42
 65
 40

Handwritten notes:
 18
 TOTAL

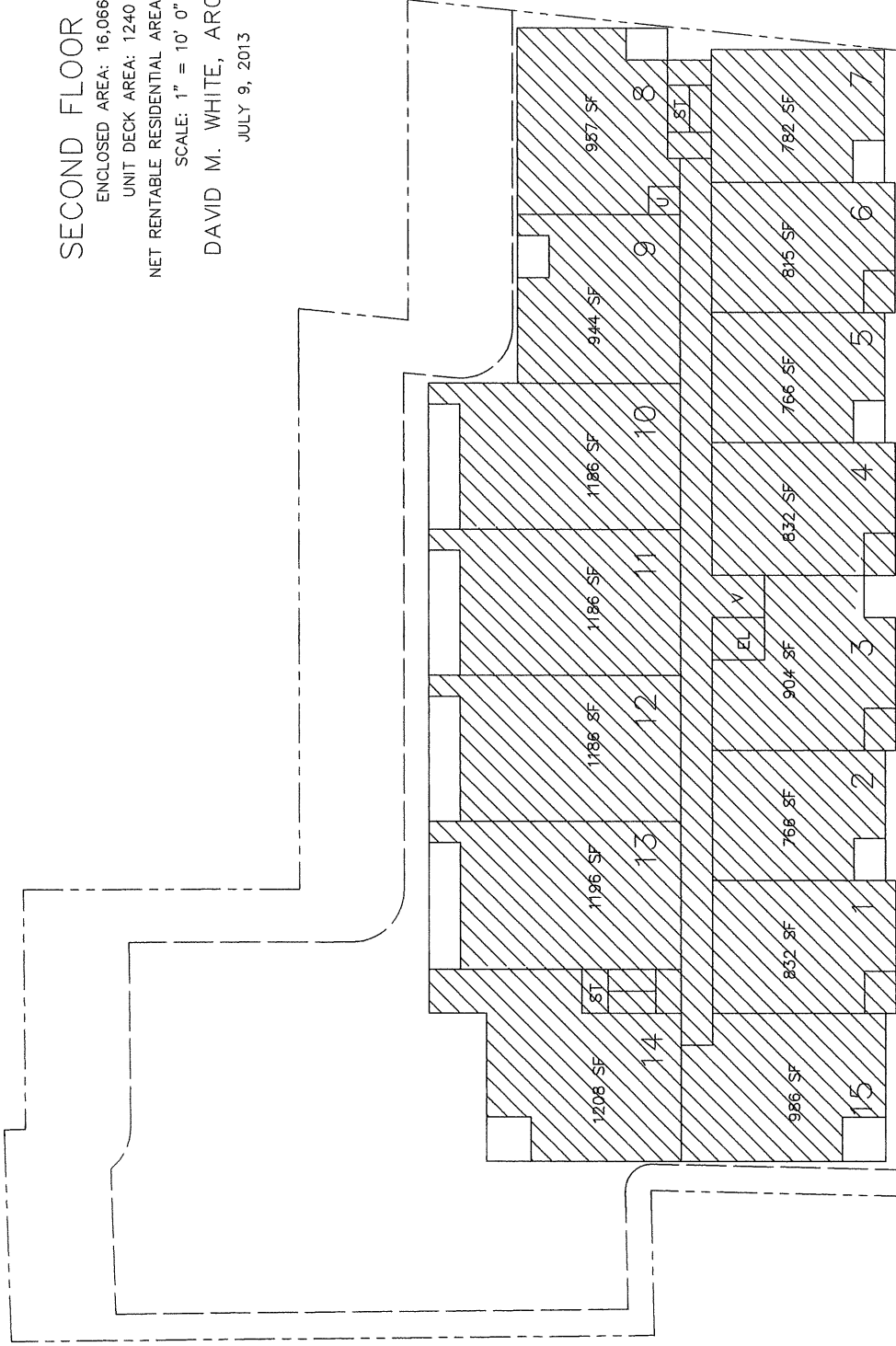
HANCOCK STREET

NEWBURY STREET

SECOND FLOOR PLAN

ENCLOSED AREA: 16,066 SF
UNIT DECK AREA: 1240 SF
NET RENTABLE RESIDENTIAL AREA: 14,589 SF
SCALE: 1" = 10' 0"

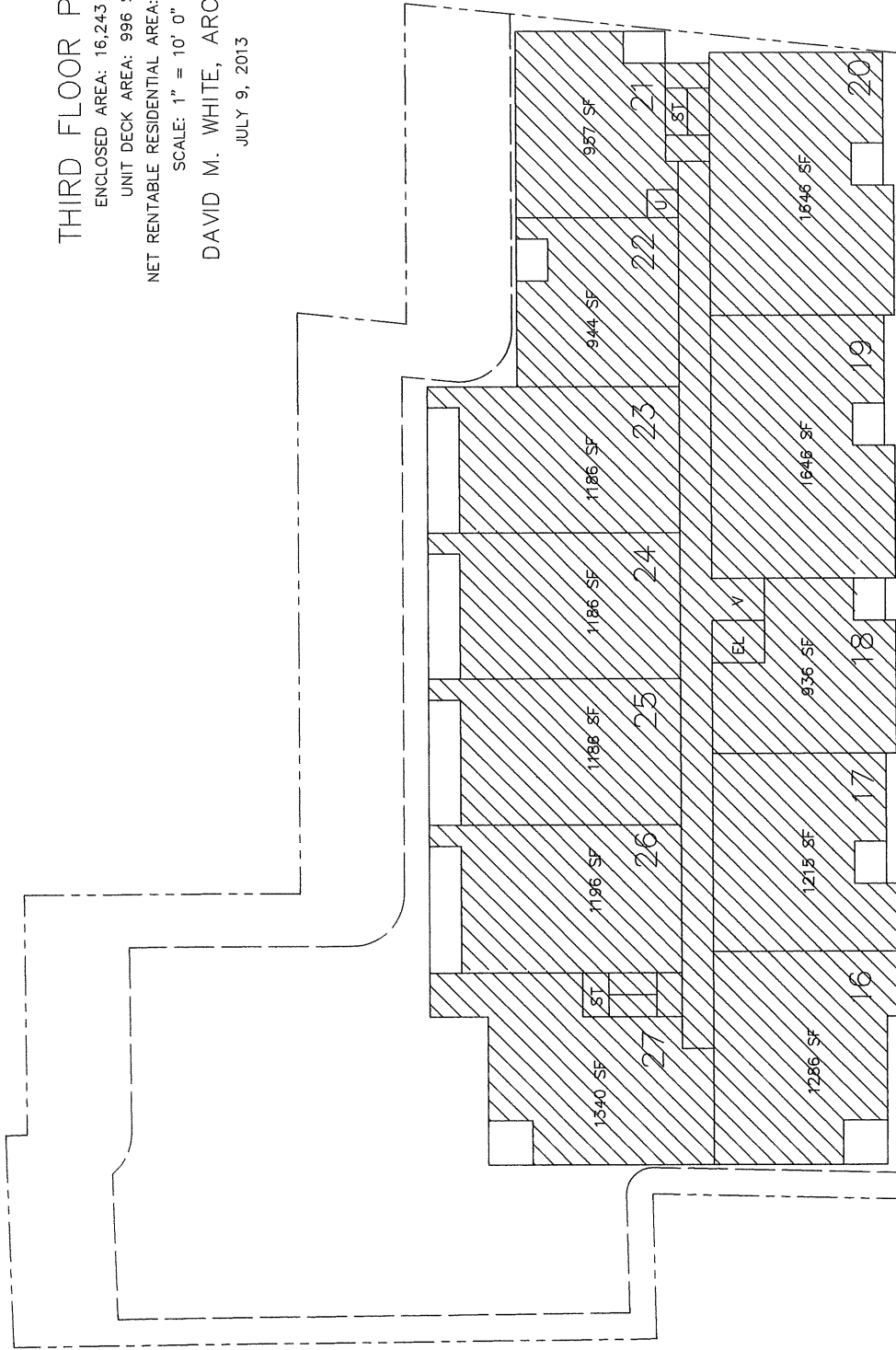
DAVID M. WHITE, ARCHITECT
JULY 9, 2013



THIRD FLOOR PLAN

ENCLOSED AREA: 16,243 SF
UNIT DECK AREA: 996 SF
NET RENTABLE RESIDENTIAL AREA: 14,724 SF
SCALE: 1" = 10' 0"

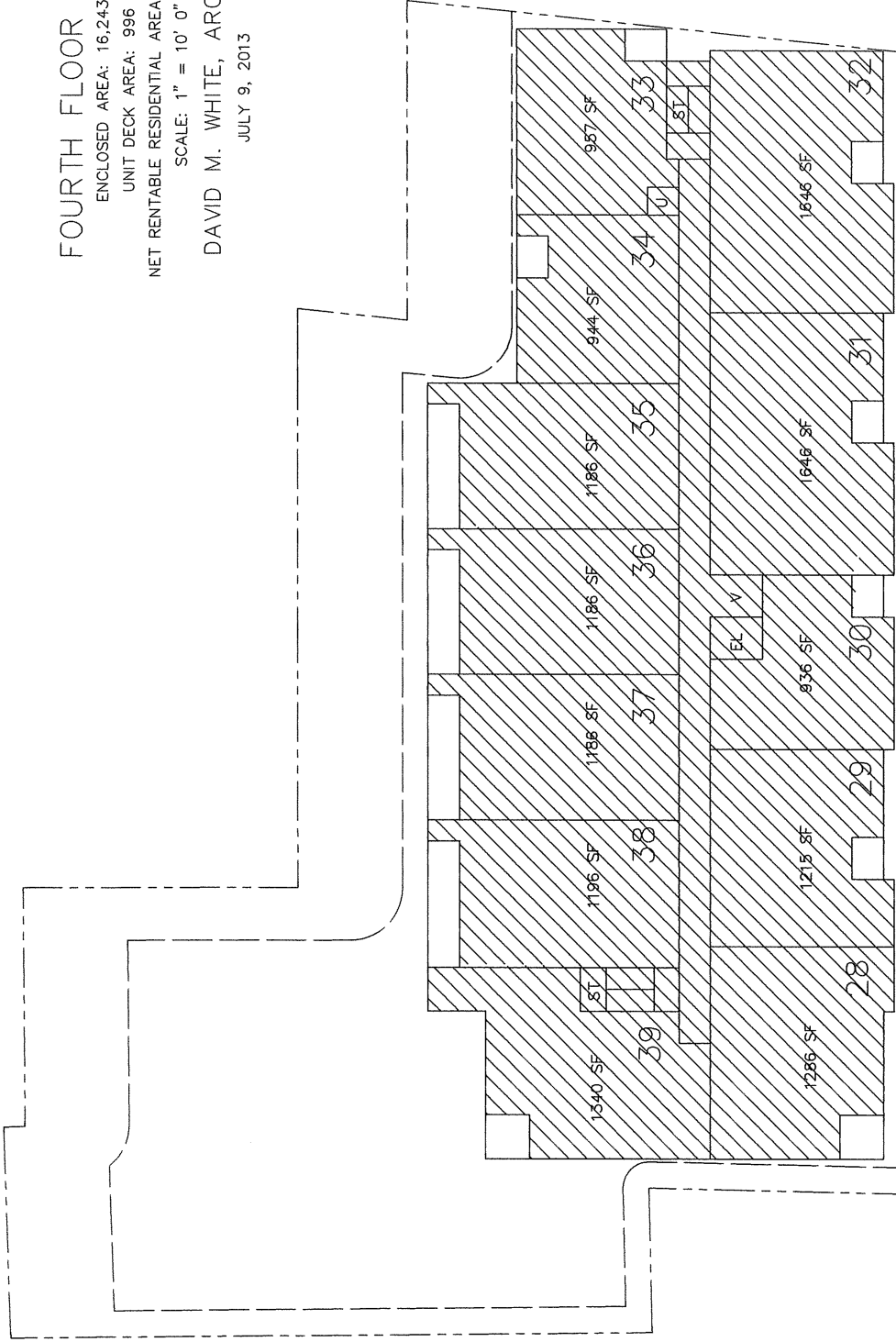
DAVID M. WHITE, ARCHITECT
JULY 9, 2013



FOURTH FLOOR PLAN

ENCLOSED AREA: 16,243 SF
UNIT DECK AREA: 996 SF
NET RENTABLE RESIDENTIAL AREA: 14,724 SF
SCALE: 1" = 10' 0"

DAVID M. WHITE, ARCHITECT
JULY 9, 2013



Attachment E

7/29/13 addition

THE BAY HOUSE PHASE II
SUMMARY OF WAIVER REQUESTS

Land Use Ordinance Section 14- 526 Landscape Requirements

Request waiver of specific quantities of landscape plantings and landscape islands in parking area.

Rationale :

- (a) Requirements for landscape preservation are not applicable as this site is currently developed and contains no significant existing vegetation.
- (b) Requirements for screening trash enclosure and transformer is met using a combination of screen fencing and landscape plantings.
- (c) We do not meet the requirement to provide (6) shrubs per 45 LF along the property line, as the existing retaining walls abut the majority of the rear property line and there is no space to provide shrub plantings. Due to the height of these retaining walls, it would be impractical to remove and replace them. We have provided shrub plantings in areas where these walls allow for plant materials.
- (d) We do not meet the requirement to provide (2) trees for every (5) parking spaces in curbed islands. We note that the ordinance requires that planting islands are to be "distributed so that uninterrupted areas of pavement do not exceed (40) parking spaces. Whereas we have a total of (42) spaces, and that (12) of these are located under the building, we believe that the intent to avoid expansive paved areas has been met. We are proposing several trees adjacent to the parking area for screening and for providing shaded areas.
- (e) We do not meet the requirement for (1) street tree per residential unit set forth in the City Technical Manual Section 4.6. In lieu of (39) street trees we are providing (10) trees, and would expect compensation to the Portland Tree Fund.

City Technical Manual Section 1.7

Request waiver of this section to reduce the entrance driveway width from 20 feet to 19 feet.

Rationale : This waiver allows us to provide a pedestrian walkway in this location, and will not affect the operational function of the driveway.

City Technical Manual Section 1.14

Request waiver of this section to construct (12) compact parking spaces , exceeding the allowable (8) compact spaces.

Rationale : These spaces are located between columns under the building; this area, while open to air, functions much like a municipal parking garage, where reduced parking spaces are common.

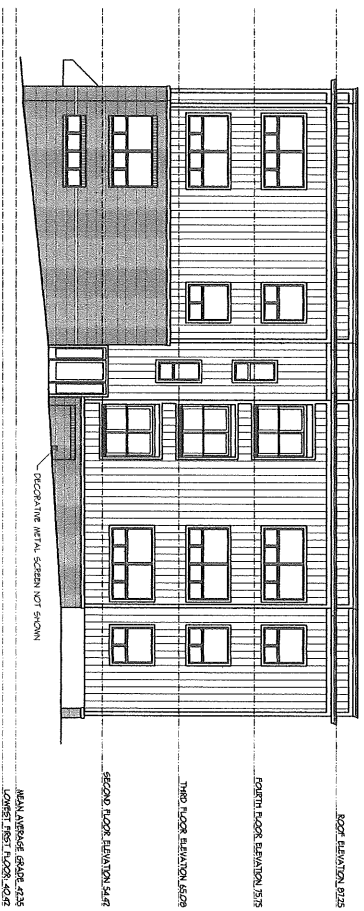
Marge Schmuckal - height calculations etc. for Bay House Phase II

From: Helen Donaldson
To: Marge Schmuckal
Date: 10/7/2013 8:52 AM
Subject: height calculations etc. for Bay House Phase II
Attachments: City Submittal 5.2 - Height Calcs.pdf; City Submittal 5.3 - Sheet 4 Subdivision Plat.PDF; City Submittal 4.9 - Elevations 1.pdf; City Submittal 4.10 - Elevations 2.pdf

Marge,

Could you take a look at these and let me know if you're all set?

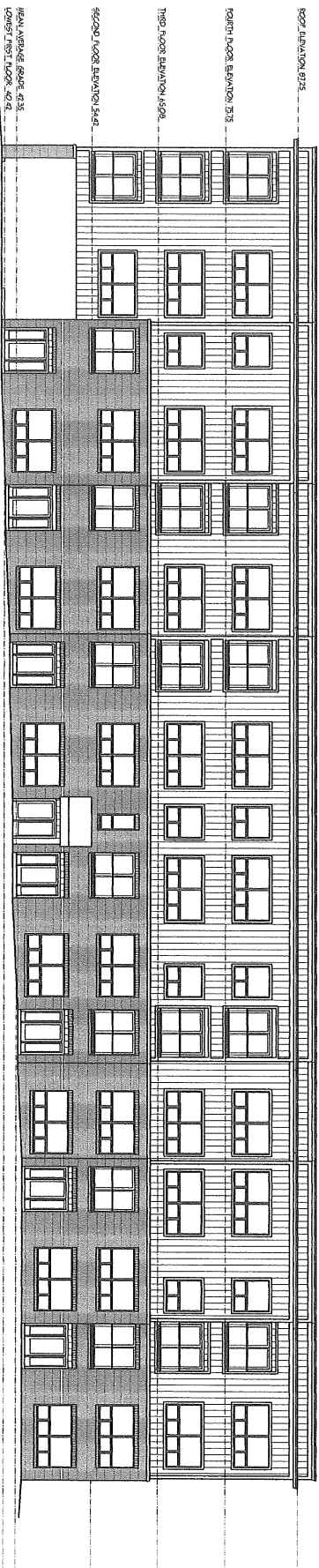
Thanks!
Nell



HANCOCK STREET ELEVATION

SCALE: 1/8" = 1' 0"

875

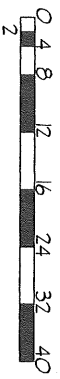


NEWBURY STREET ELEVATION

SCALE: 1/8" = 1' 0"

DAVID M. WHITE, ARCHITECT

SEPTEMBER 13, 2013



SEAPORT LOFTS

PORTLAND, MAINE

113 NEWBURY STREET, LLC

BOSTON, MASSACHUSETTS

P5

PORTLAND TAX MAP 20/ BLOCK D

BASED UPON A FIELD SURVEY BY
ARY INFORMATION SHOWN HEREON
N UPDATED.

N GRID NORTH NAD 1983 MAINE
HEREON ARE BASED UPON THE CITY
M WAS DETERMINED UTILIZING U.S.
ING A DRILL HOLE LOCATED IN THE
ERICAL STREET. THE CITY
14042 AND NAVD83 IS 1330'.

RES)
NE.

BUTTING R-1 ZONE)

WELLING UNIT

7/29/13 Submitted
on 5/26/12

- 8. DEVELOPMENT SUMMARY:
 - (a) PROPOSED USE: (39) RESIDENTIAL HOUSING UNITS
 - (b) ALLOWABLE DENSITY: 30,282 SF / 435 SF/UNIT = 69 UNITS
 - (c) PROPOSED IMPROVEMENT RATIO: 26,451 SF. / 30,282 SF. = 87.37% OF LOT AREA
 - (d) PROPOSED BUILDING HEIGHT: 44 FT.
 - (e) REQUIRED PARKING: 39 SPACES (42 PROPOSED)
 - (f) ADA PARKING PROVIDED: 2 SPACES
 - (g) REQUIRED BICYCLE RACK SPACES: 16 (16 PROPOSED)
- 9. THE BAY HOUSE, IS A PRIVATE DEVELOPMENT. LIGHTING, TRASH REMOVAL AND SNOW REMOVAL SHALL BE THE RESPONSIBILITY OF THE COMMERCIAL MERCHANTS AND THE RESIDENTIAL CONDOMINIUM ASSOCIATION.
- 10. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS WITHIN THE CITY RIGHT OF WAY SHALL CONFORM TO THE CURRENT CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS AND/OR CURRENT M.D.O.T STANDARDS AND SPECIFICATIONS.
- 11. ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH THE STANDARDS OF CENTRAL MAINE POWER CO, FAIRPOINT, TIME WARNER CABLE T.V. CO, OR OTHER UTILITIES PROVIDING SERVICE TO THE SITE.
- 12. ALL WATER MAINS, SERVICES AND ASSOCIATED APPURTENANCES SHALL BE IN CONFORMANCE WITH PORTLAND WATER DISTRICT STANDARDS.
- 13. ALL NATURAL GAS MAINS, SERVICES AND ASSOCIATED APPURTENANCES SHALL BE IN CONFORMANCE WITH UTILTY STANDARDS.
- 14. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK
- 15. THE FAC STORM I
- 16. A PERMI DEPART-O OF FORI DAYS FI THE IMPI PRE-COI AUTHORI
- 17. THE ENTI SITE PLA REQUIRE PLAN, IN RETENTIC PARKING
- 18. PRIOR T PROJECT REPERE; CRITICAL SHALL P ATTENDI) TO AREA
- 19. LANDSC OF PRAC AND DEI

MEMORANDUM

To: FILE

From: Nell Donaldson

Subject: Application ID: 2013-179

Date: 10/9/2013

Comments Submitted by: Marge Schmuckal/Zoning on 10/8/2013

More plans have been submitted showing the average grade and the roof elevation. I would want a little more clarity as to what is being considered as the "roof elevation". The definitions required the height of a building to be measure to the top of the roof beam. Is that where the 87.25 measurement is taken? Also what is above that area? The plans show a higher elevation going around the building. I did not see any plans that explain that level. Is it for sheilding mechanical equipment? The dBA's can be assessed at the time of a building permit for the HVAC systems.

To follow up the 45' maximum height is being exactly met based upon the information received, if the upper roof shown on the plans is for mechanical systems.

Marge Schmuckal
Zoning Administrator

Marge Schmuckal - RE: comments from zoning regarding height

From: "David White" <dmwarch@comcast.net>
To: "Helen Donaldson" <HCD@portlandmaine.gov>
Date: 10/8/2013 10:02 PM
Subject: RE: comments from zoning regarding height
CC: "Will Conway" <wconway@sebagotechnics.com>

Nell,

We measure the top of the roof to the top of the plywood on the roof trusses, so we are probably on the safe side. The roof slopes to drains, so the measurement would be to the highest location. The parapet that surrounds the roof are is to shield the roof ventilators, the plumbing stacks and the condenser units for each dwelling unit. Also on the roof is the make up air unit which serves the corridors. The elevator hoistway will extend above the roof deck, probably to or slightly above the roof deck. This is allowed by the zoning ordinance. Having the parapet does effectively shield these items from street level as well as any floor height 6' lower than the roof level unless you happen to be on the top floor of the townhouses beyond as they are higher than the roof level. This parapet works the same way as the parapet on the adjoining Bay House project.

David

From: Helen Donaldson [mailto:HCD@portlandmaine.gov]
Sent: Tuesday, October 08, 2013 6:37 PM
To: dmwarch@comcast.net
Cc: Will Conway
Subject: comments from zoning regarding height

David and Will,

Marge's comments on the elevation calculations are as follows:

More plans have been submitted showing the average grade and the roof elevation. I would want a little more clarity as to what is being considered as the "roof elevation". The definitions required the height of a building to be measure to the top of the roof beam. Is that where the 87.25 measurement is taken? Also what is above that area? The plans show a higher elevation going around the building. I did not see any plans that explain that level. Is it for sheilding mechanical equipment? The dBA's can be assessed at the time of a building permit for the HVAC systems.

To follow up the 45' maximum height is being exactly met based upon the information received, if the upper roof shown on the plans is for mechanical systems.

*Marge Schmuckal
 Zoning Administrator*

Can you provide me with a response for Marge? I'm still hoping we can get rid of this condition!

Thanks,
 Nell