

20-D-32

113 Newbury St.

Bay House

~~Village at~~

~~Green~~

~~Century~~

SITE DEVELOPMENT PLANS FOR NEWBURY LOFTS CONDOMINIUM COMPLEX PORTLAND, MAINE JULY 2012 PERMITTING DOCUMENTS

CURRENT APPLICANT
HAMPSHIRE STREET PROPERTIES, LLC
217 COMMERCIAL STREET
PORTLAND, MAINE 04101

OWNER
REBECCO, LLC
217 COMMERCIAL STREET
PORTLAND, MAINE 04101
28-14
28-16
28-19
28-110
28-112
28-0-3
28-0-8

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- NOT IN PRELIMINARY SUBMISSION

WATER:
PORTLAND WATER DISTRICT
22 DOUGLAS STREET
P. O. BOX 3553
PORTLAND, MAINE 04104
CONTACT: RICO SPUGNARDI
207.761.8310

SEWER:
CITY OF PORTLAND
PUBLIC SERVICES DIVISION
55 PORTLAND STREET
PORTLAND, MAINE 04102
207.874.8850
CONTACT: DAVID MARGOLIS-PIKEO, DEPUTY CITY ENGINEER

ELECTRIC:
CENTRAL MAINE POWER
162 CANCO ROAD
PORTLAND, MAINE 04103
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CONTACT: JAMIE COUGH

TELEPHONE:
FAIRPOINT COMMUNICATIONS
5 DAVIS HILL FARM ROAD
PORTLAND, MAINE 04103
207.797.1119
CONTACT: SUE SERRETTE

NATURAL GAS:
NORTHERN UTILITIES
1075 FOREST AVENUE
PORTLAND, MAINE 04103
207.797.8002, EXT. 6220
CONTACT: MIKE SMITH
OR
BRAD BUZZELL
252.0907 (CELL)
888.344.7233
CALL BEFORE YOU DIG

UTILITIES

PERMITS / APPROVALS

TYPE:
LOCAL
ZONE CHANGE / TEXT AMENDMENTS /
SITE PLAN SUBMISSION APPROVAL
BUILDING PERMIT
UTILITY / STREET OPENING PERMITS

GOVERNING BODY:

CITY OF PORTLAND PLANNING AUTHORITY
CITY HALL, CONGRESS STREET
PORTLAND, MAINE 04103
207.874.8699
CONTACT: BARBARA BARRYDT

CITY OF PORTLAND CODE ENFORCEMENT OFFICE
CITY HALL, CONGRESS STREET
PORTLAND, MAINE 04103
207.874.8600

CITY OF PORTLAND PUBLIC SERVICES DIVISION
55 PORTLAND STREET
PORTLAND, ME 04102

STATUS/DATE ISSUED:

PRELIMINARY SUBMISSION 07.03.12

I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THE I.A.M.C. I HEREBY CERTIFY THIS DOCUMENT.

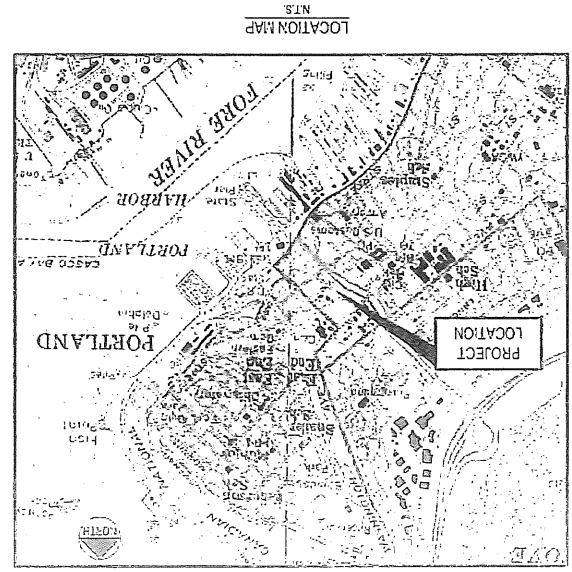
Architect: ARCHETYPE architects 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056		Project: HAMPSHIRE STREET NEWBURY LOFTS PORTLAND, ME	
Date: JULY 2012		Scale: N.T.S.	
Prepared For: HAMPSHIRE STREET PROPERTIES, LLC PORTLAND, ME 04101		Revisions:	

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ARCHITECT:
ARCHETYPE
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www.archetype-architects.com

SURVEYOR:
Northeast Civil Solutions
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207.883.1030
ATTN: JOHAN BUISSMAN
www.northeastcivilsolutions.com



Plan 1-1

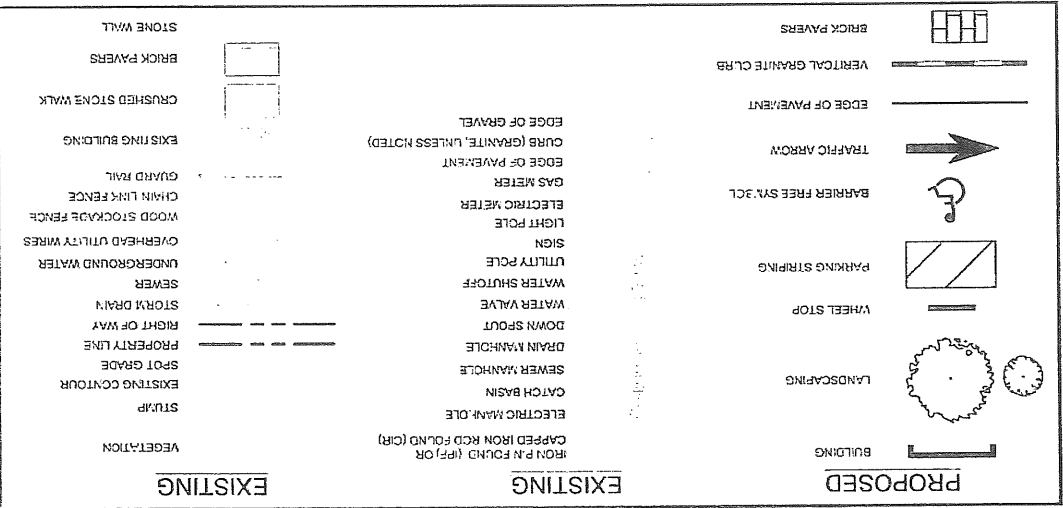
GENERAL NOTES

- 1. THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF ALL REGULATIONS ADMINISTERED BY THE LOCAL UTILITY COMPANIES AND THE CITY OF PORTLAND.
2. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCES EXITS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY EXTRACTION POINTS.
3. ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL SERVICE CONNECTIONS.

EROSION CONTROL NOTES

- 1. LAND DISTURBING ACTIVITIES SHALL BE ACCOMPLISHED IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE SITE.
2. STABILIZED CONSTRUCTION ENTRANCES. THE CONTRACTOR SHALL INSTALL THE PERMANENT SILT FENCES AND THE PRIOR TO BEGINNING ANY CLEARING/LAND DISTURBING ACTIVITIES.
3. SILT BARRIERS SHALL BE INSPECTED, REPAIRED AND CLEANED AS NOTED IN THE EROSION CONTROL NOTES SHOWN ON THE EROSION CONTROL DETAIL SHEET.

LEGEND



GRADING AND DRAINAGE NOTES

- 1. ALL STORM DRAIN PIPE SHALL BE SLOTTED BORE INTERIOR PROVIDING A MINIMUM ROUNDNESS COEFFICIENT OF 0.03 OR LESS. UNLESS A SPECIFIC PIPE MATERIAL IS CALLED FOR ON THE CONTRACT DRAWINGS, PVC PIPING SHALL NOT BE USED IN AREAS OF EXPOSED UNMOUNTED SLOPE PROTECTION IS TO BE PROVIDED PER THE DESIGN PLANS AND MAY INCLUDE H FRAM, SOD OR GRASS.
2. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION DURING EARTHWORK OPERATIONS TO INSURE MINIMUM DISTURBANCE TO THE STEEP SLOPE AREAS AND MINIMIZE TO THE EXTENT PRACTICABLE.

UTILITY NOTES

- 1. ALL REQUIRED UTILITY SERVICES THE PROJECT SHALL BE COORDINATED BETWEEN THE SITE WORK CONTRACTOR AND DIVISION 2228 (CONTRACTORS). THE SITE WORK CONTRACTOR SHALL BE RESPONSIBLE TO EXTEND ALL PROPOSED UTILITIES TO WITHIN FIVE (5) FEET OF THE BUILDING TO A LOCATION COORDINATED WITH THE ARCHITECTURAL AND ELECTRICAL SUBCONTRACTORS. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES WITHIN FIVE (5) FEET AND INSIDE THE BUILDING OR UNDER SLAB.
2. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF OVERHEAD AND UNDERGROUND TELEPHONE WITH THE PARTICIPATING COMPANIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUITS, PULL WIRES, TRENCHING AND BACKFILLING TELEPHONE WITH PARTICIPATING COMPANIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUITS, PULL WIRES, TRENCHING AND BACKFILLING TELEPHONE WITH PARTICIPATING COMPANIONS.

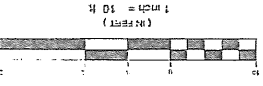
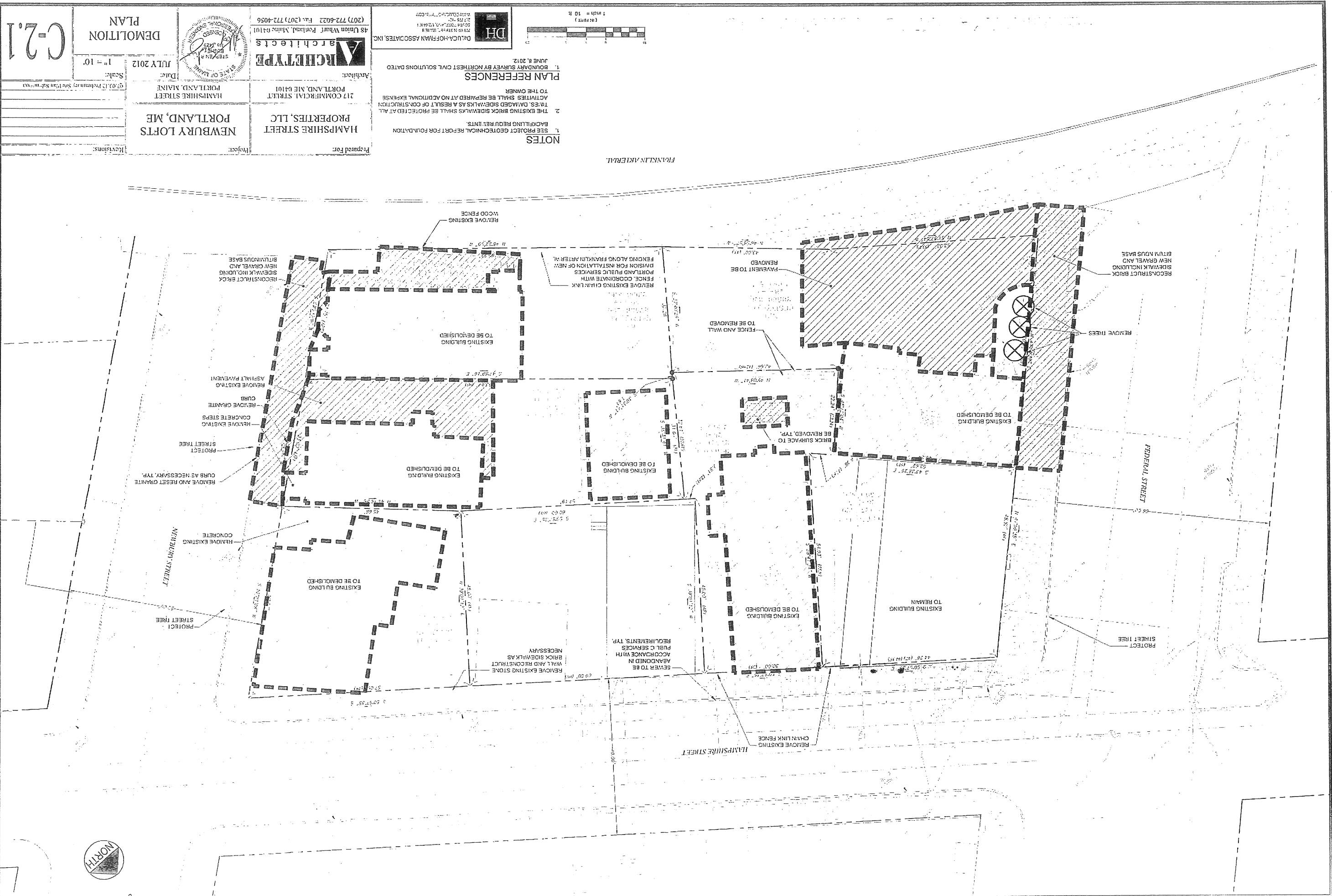
ZONING SUMMARY

Table with 2 columns: PERMITTED USES, RESIDENTIAL. Rows include: EXISTING ZONING: RESIDENTIAL; REQUIRED ZONING: B-2b; PERMITTED USES: RESIDENTIAL; RESIDENTIAL: SINGLE-FAMILY TWO-FAMILY; RESIDENTIAL: MULTIFAMILY; BUSINESS: OFFICE, PROFESSIONAL SERVICE, RETAIL, RESTAURANT, SERVICE, HOTEL, NIGHT CLUB, NIGHTTIME ENTERTAINMENT, NIGHTTIME RECREATION, NIGHTTIME CULTURAL, NIGHTTIME EDUCATIONAL, NIGHTTIME HEALTH CARE, NIGHTTIME SOCIAL DRINKING ESTABLISHMENT, NIGHTTIME GAMING, NIGHTTIME RECREATION, NIGHTTIME CULTURAL, NIGHTTIME EDUCATIONAL, NIGHTTIME HEALTH CARE, NIGHTTIME SOCIAL DRINKING ESTABLISHMENT, NIGHTTIME GAMING.

REQUIRED DIMENSION - R6

Table with 2 columns: NAME, VALUE. Rows include: MINIMUM LOT WIDTH: 30.00 FEET; MINIMUM LOT AREA: 2700.00 SQ. FT.; MINIMUM FRONT SETBACK: 10.00 FEET; MINIMUM SIDE SETBACK: 5.00 FEET; MINIMUM REAR SETBACK: 10.00 FEET; MINIMUM FRONT YARD SETBACK: 10.00 FEET; MINIMUM SIDE YARD SETBACK: 5.00 FEET; MINIMUM REAR YARD SETBACK: 10.00 FEET; MINIMUM FRONT SETBACK (FOR OFF-STREET PARKING SPACES): 10.00 FEET; MINIMUM SIDE SETBACK (FOR OFF-STREET PARKING SPACES): 5.00 FEET; MINIMUM REAR SETBACK (FOR OFF-STREET PARKING SPACES): 10.00 FEET; MINIMUM FRONT SETBACK (FOR OFF-STREET PARKING SPACES): 10.00 FEET; MINIMUM SIDE SETBACK (FOR OFF-STREET PARKING SPACES): 5.00 FEET; MINIMUM REAR SETBACK (FOR OFF-STREET PARKING SPACES): 10.00 FEET.

Project information including: Project: HAMPSHIRE STREETS, LLC; PROJECT: NEWBURY LOFTS; PROJECT: PORTLAND, ME; Project: HAMPSHIRE STREET, PORTLAND, MAINE; Date: JULY 2012; Scale: N.T.S.; Legend: GENERAL NOTES AND; Architect: ARCHITECTS; 217 COMMERCIAL STREET, PORTLAND, ME 04101; HAMPSHIRE STREET, PORTLAND, MAINE; (207) 772-6022 Fax (207) 772-4056; 48 Union Wharf, Portland, Maine 04101; DLUCA-HOFFMAN ASSOCIATES, INC.; 350 STATE STREET, PORTLAND, ME 04101; 207.741.1214; DLUCA-HOFFMAN ASSOCIATES, INC.



NOTES

1. SEE PROJECT GEOTECHNICAL REPORT FOR FOUNDATION BACKFILLING REQUIREMENTS.
2. THE EXISTING BRICK SIDEWALKS SHALL BE PROTECTED AT ALL TIMES. DAMAGED SIDEWALKS AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AT NO ADDITIONAL EXPENSE TO THE OWNER.

PLAN REFERENCES

1. BOUNDARY SURVEY BY NORTHEAST CIVIL SOLUTIONS DATED JUNE 8, 2012.

Prepared For: **HAMPSHIRE STREET PROPERTIES, LLC**
 217 COMMERCIAL STREET
 PORTLAND, ME 04101

Project: **NEWBURY LOFTS PORTLAND, ME**
 HAMPSHIRE STREET
 PORTLAND, MAINE

Date: **JULY 2012**
 Scale: **1" = 10'**

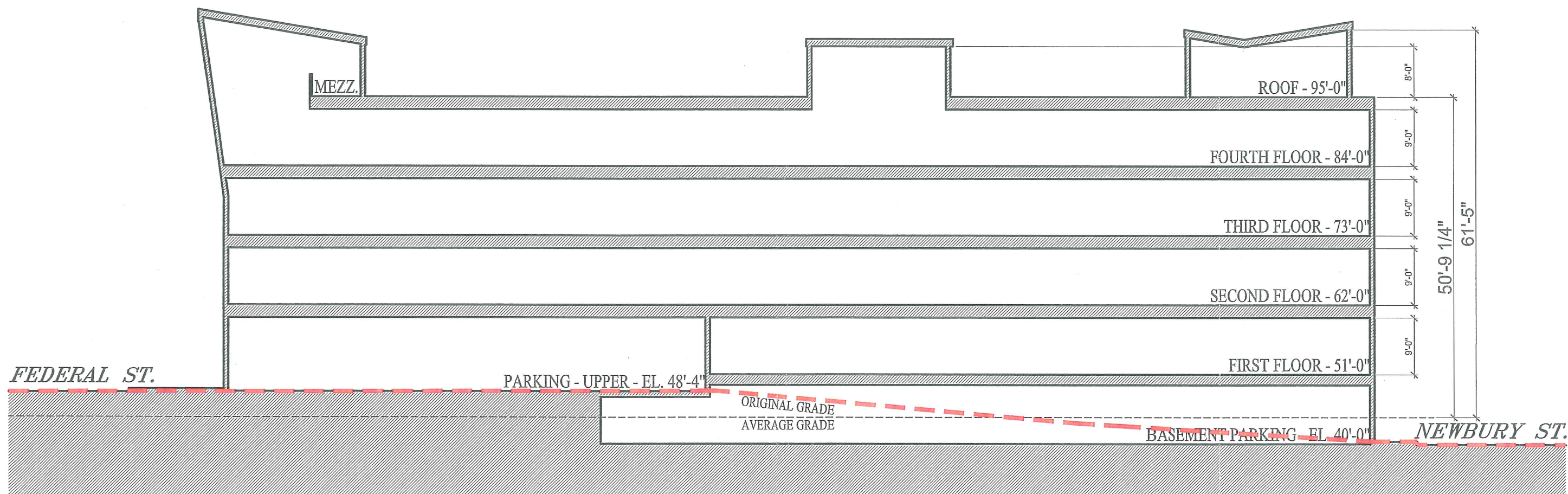


ARCHETYPE architects
 48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax: (207) 772-4056

DEMOLITION PLAN
C-2.1



Plan 1.04



D | FEDERAL STREET
SCALE: 1/16"=1'-0"

Date: 02 July 2012	Scale: 1/16" = 1'-0"	A3.01
ELEVATIONS		
ARCHETYPE architects		

A1.05

4TH FLOOR PLAN

ARCHETYPE
architects

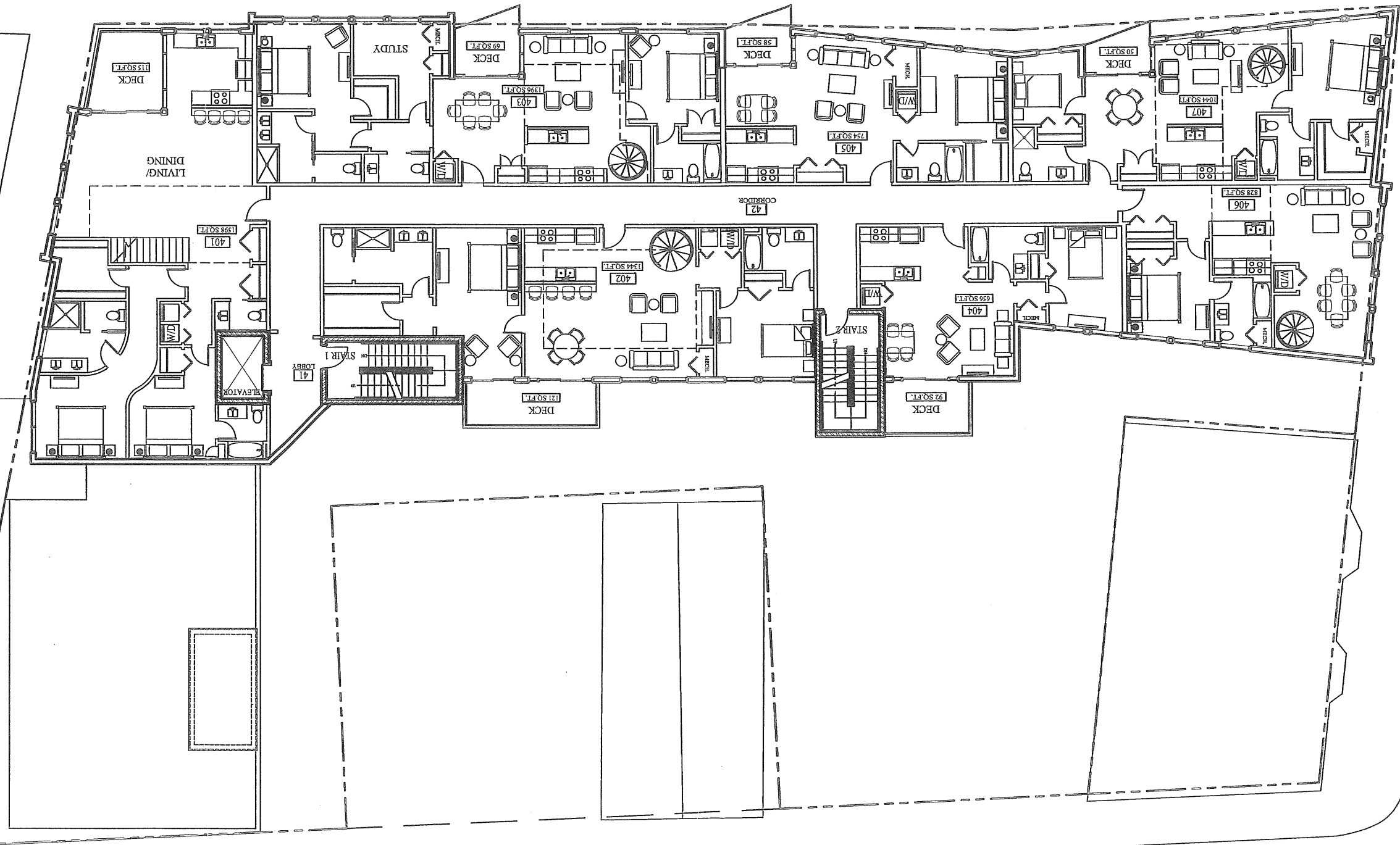
Scale: 1/16" = 1'-0"

Date: 02 July 2012

NEWBURY STREET

FEDERAL STREET

HAMPSHIRE STREET



A1.05

ARCHETYPE
architects

ROOF PLAN

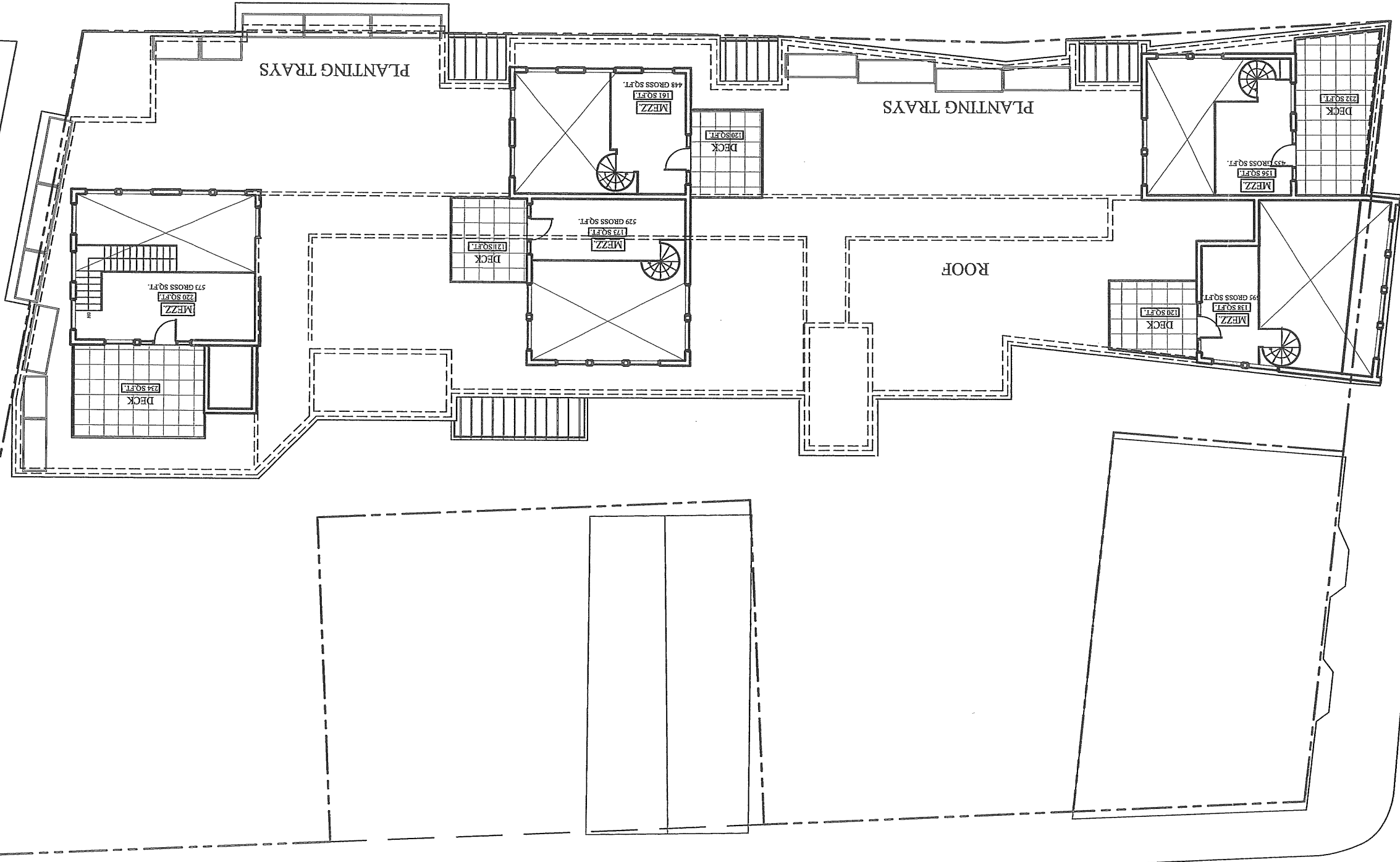
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Date: 02 July 2012


NEWBURY STREET

FEDERAL STREET

HAMPSHIRE STREET




Plan 2.6

A2.01	 V ARCHITECTS
	ELEVATIONS
	Date: 02 July 2012 Scale: 1/16" = 1'-0"

A NEWBURY STREET ELEVATION
 SCALE: 1/16"=1'-0"



Handwritten note: 2.7

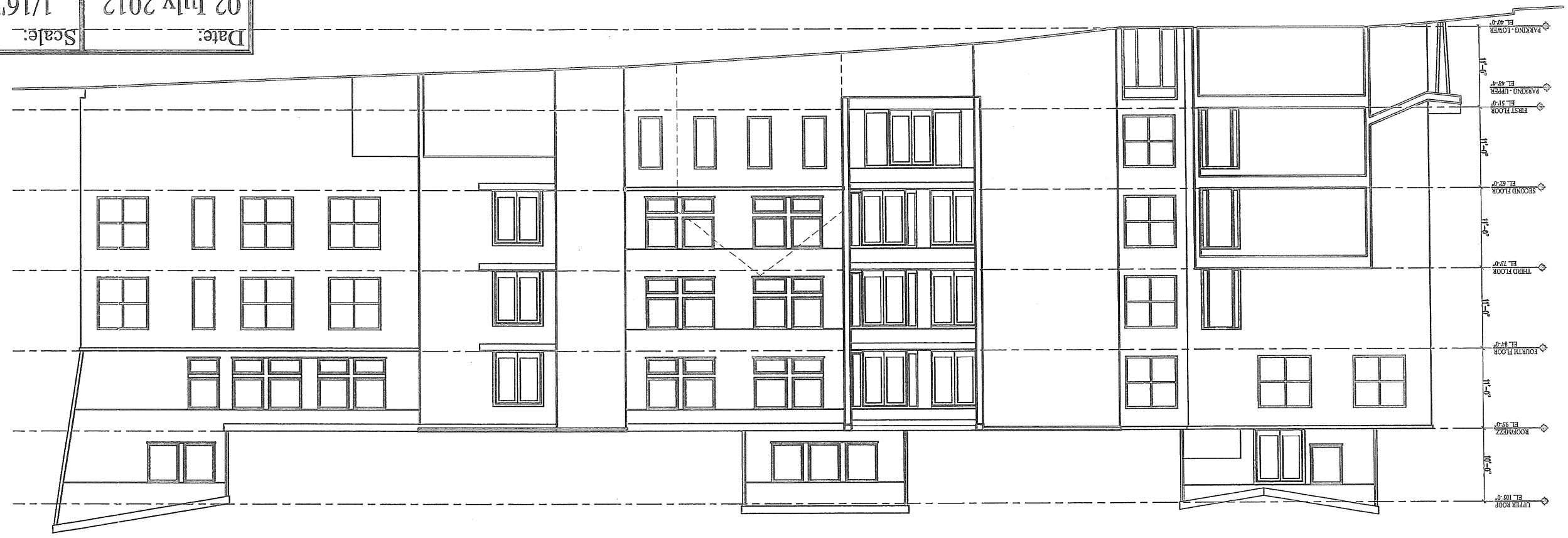
A2.02	 V ARCHITECTS architects
	ELEVATIONS ARCHETYPE
Date: 02 July 2012 Scale: 1/16" = 1'-0"	

B FRANKLIN STREET ELEVATION
 SCALE: 1/16"=1'-0"

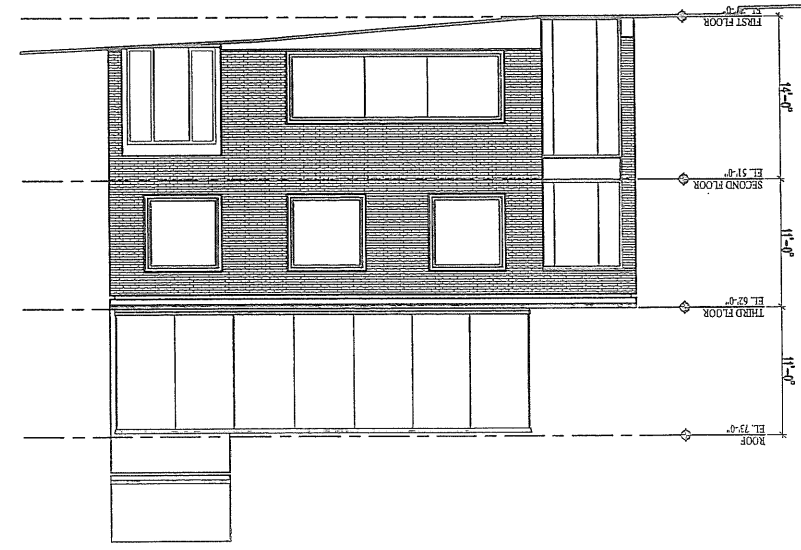


A2.03	ARCHITECTS
	V ARCHITECTS
ELEVATIONS	
Date: 02 July 2012	Scale: 1/16" = 1'-0"

C2 PARTIAL HAMPSHIRE STREET
SCALE: 3/32"=1'-0"



C1 PARTIAL HAMPSHIRE STREET
SCALE: 3/32"=1'-0"




Plan 2.8

A2.04	ARCHITYPE	Architects
	ELEVATIONS	
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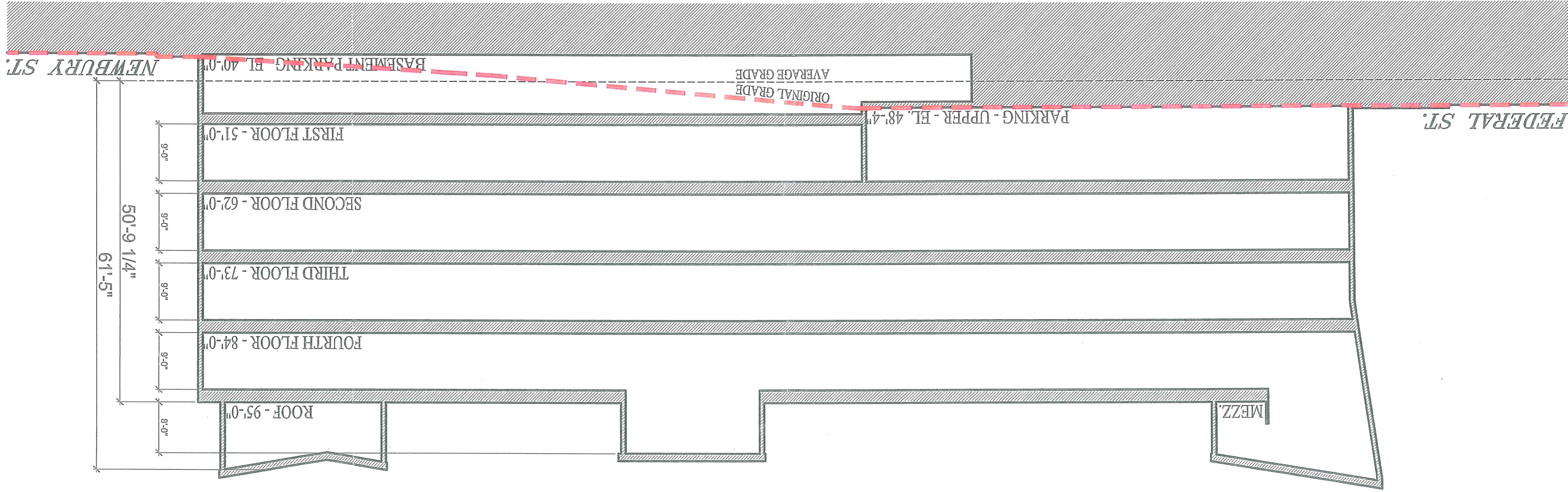
D
FEDERAL STREET
SCALE: 1/16"=1'-0"



Page 2.9

A3.01	 V ARCHITECTS
	ELEVATIONS
Date: 02 July 2012 Scale: 1/16" = 1'-0"	

D | FEDERAL STREET
SCALE: 1/16"=1'-0"



Plan 2.10



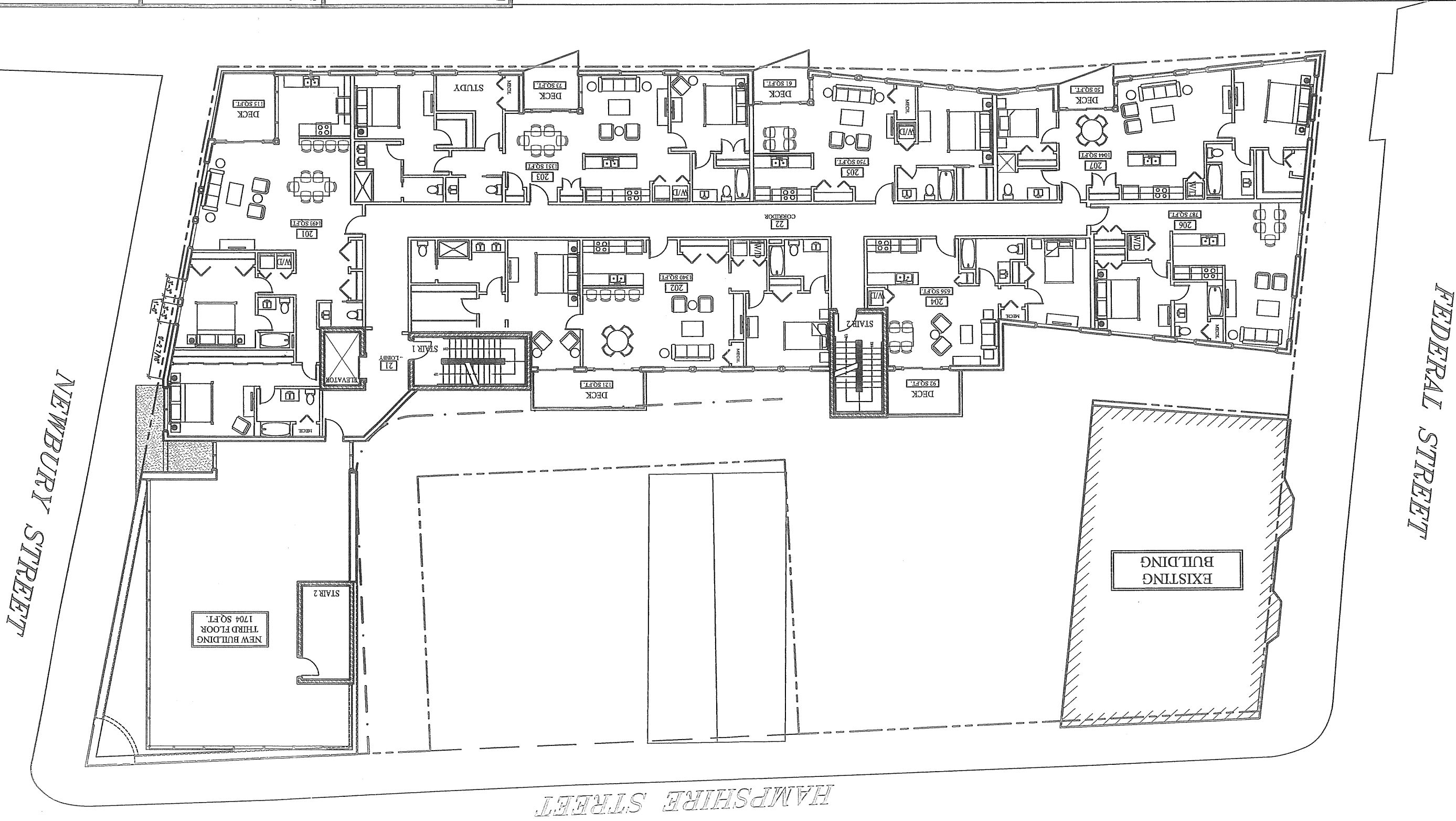
A1.03

2ND FLOOR PLAN

ARCHETYPE
architects

Date: 02 July 2012

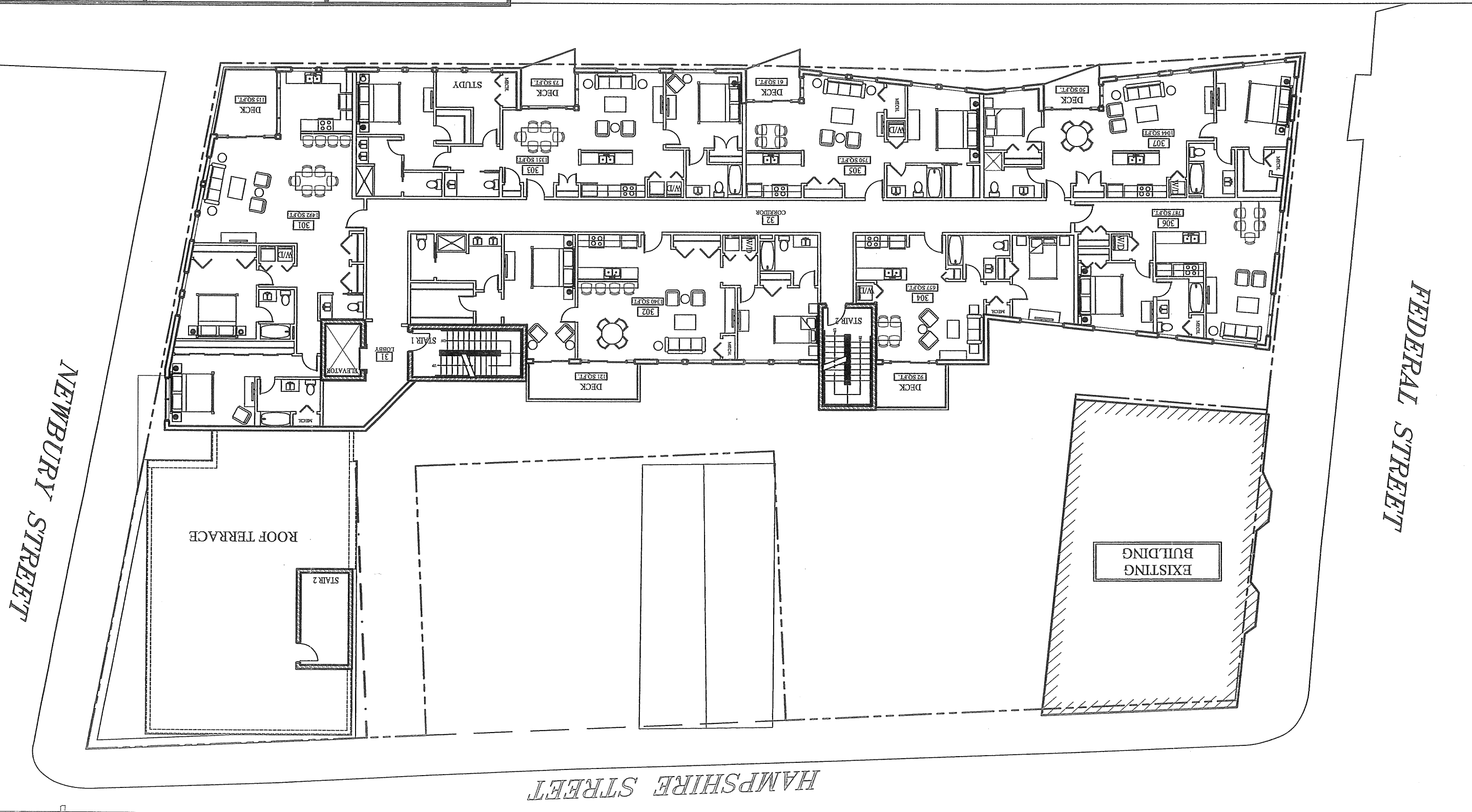
Scale: 1/16" = 1'-0"



Plan 2.3

A1.04

ARCHETYPE
 architects
3RD FLOOR PLAN
 Date: 02 July 2012
 Scale: 1/16" = 1'-0"



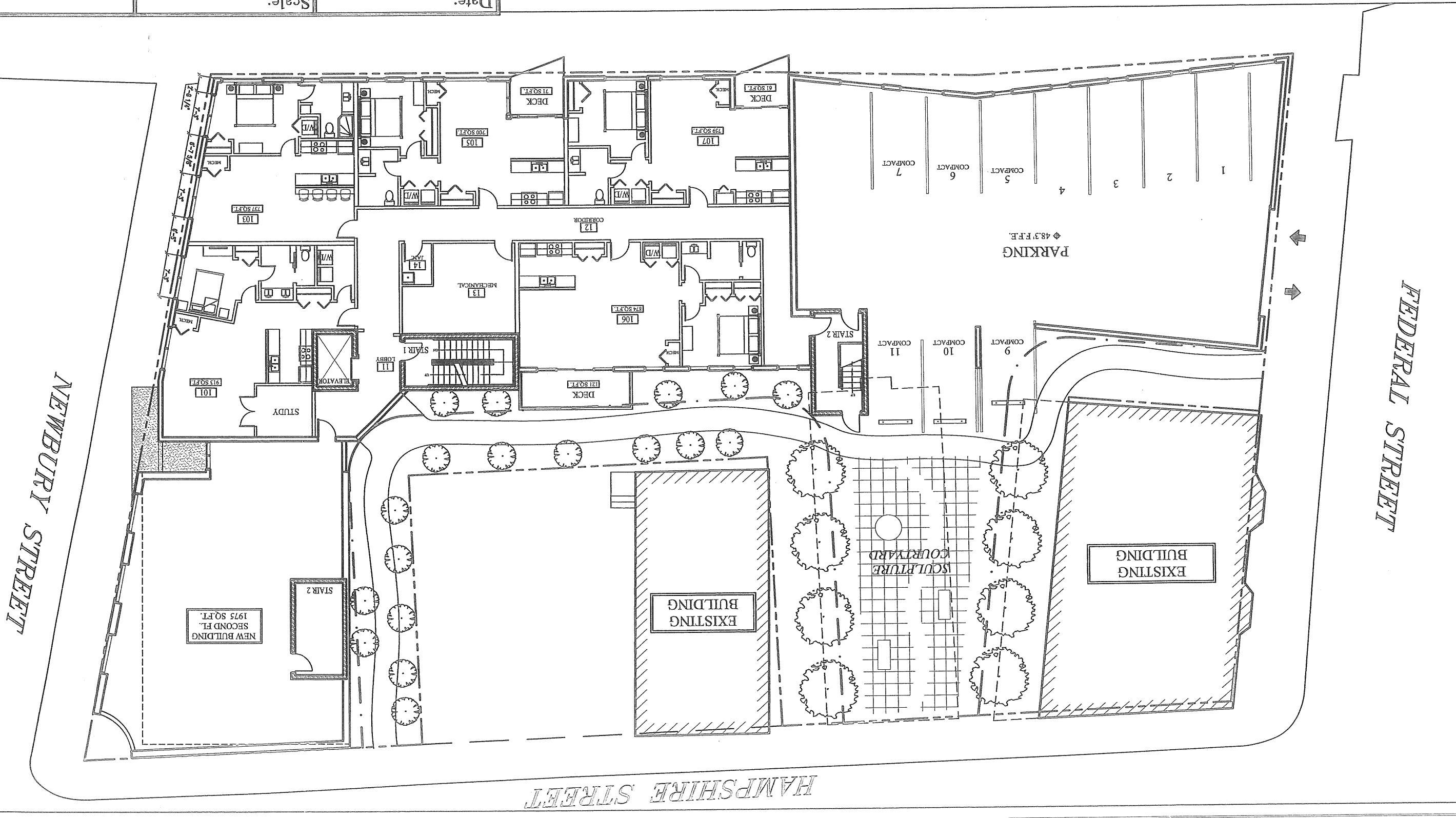
Plan 24

A1.02

ARCHITYPE architects

1ST FLOOR PLAN

Date: 02 July 2012
Scale: 1/16" = 1'-0"



Plan 2-2

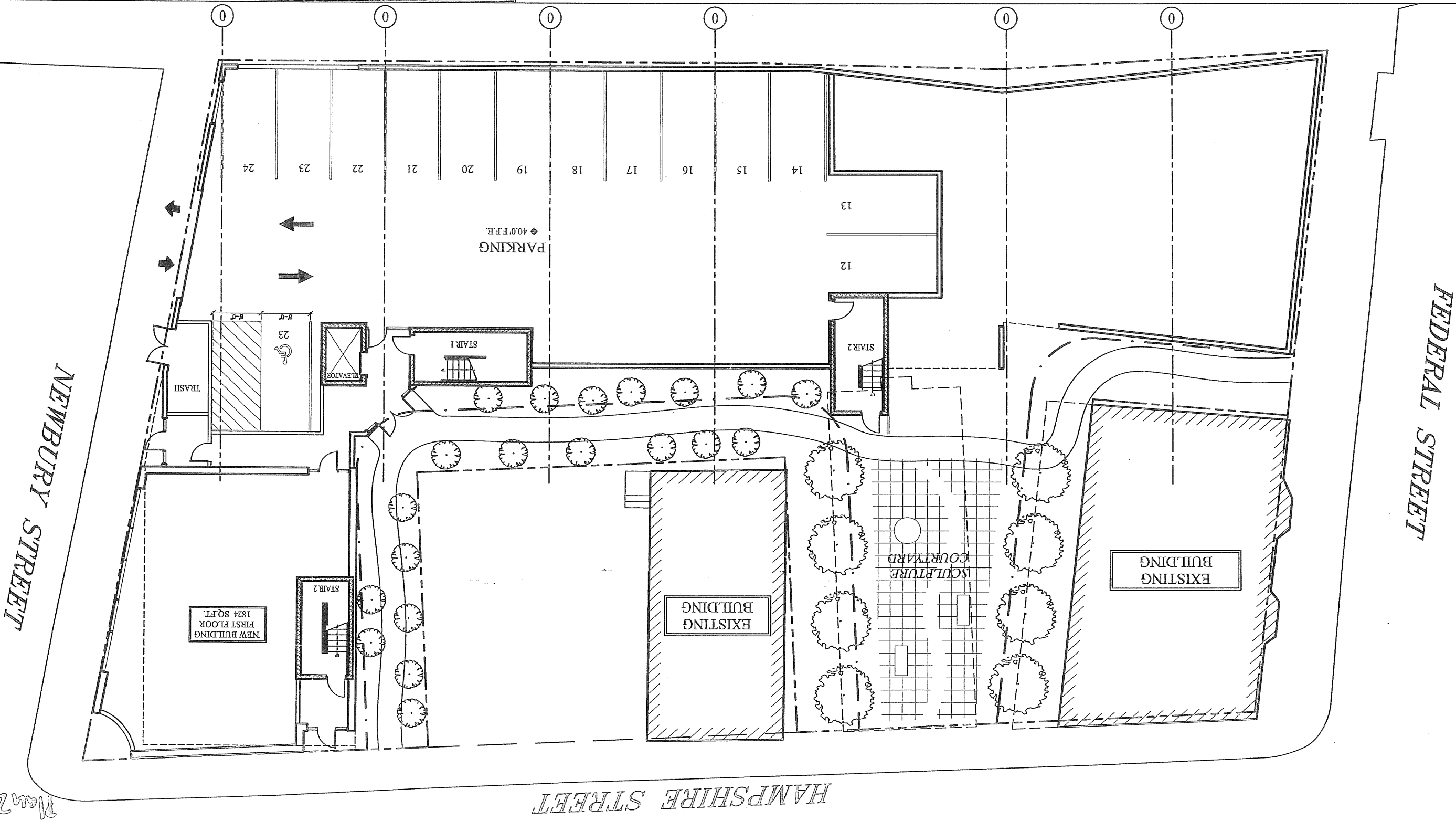
A1.01

ARCHITECTS
V ARCHETYPE

SITE PLAN

Scale: 1/16" = 1'-0"

Date: 02 July 2012



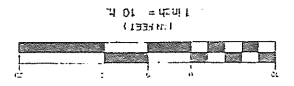
Plan 2-1

PLAN REFERENCES

- 1. ALL BARRIER FREE PARKING SPACES ARE TO RECEIVE BARRIER FREE SIGNS AND PAVEMENT MARKINGS AS ILLUSTRATED ON THE DETAIL SHEETS.
- 2. ALL CURBING MATERIALS WILL BE SELECTED BY THE OWNER. THE DIMENSIONS PROVIDED ON THE PLAN ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE. IS TO THE PROJECT DETAIL SHEETS. ALL CURBING TYPES ARE DETAILED IN THE PROJECT DETAIL SHEETS.
- 3. ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO FACE OF CURB, THE EDGE OF PAVEMENT OR THE FACE OF THE BUILDING.
- 4. EXCEPT WHERE INDICATED OTHERWISE, THE PAVEMENT IS TO BE STANDARD DUTY PAVEMENT.
- 5. VEHICLE SPACES 8 - 10 ARE INTENDED TO BE COMPACT SPACES AND THEY EXTEND OUT INTO THE POSTERIOR SIDE OF THE BUILDING FROM THE FIRST FLOOR LEVEL.

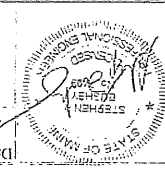
SITE LAYOUT NOTES

- 1. 90' PARKING AUGMENT TO BE REVIEWED AND COORDINATED W/ CITY TRAFFIC ENGINEER.
- 2. FEDERAL STREET
- 3. 1' WIDE BITUMINOUS STRIP
- 4. DRIVEWAY RAMP
- 5. NEW GRANITE TIP
- 6. DOWN, TYP.
- 7. REPAIR EXISTING BRICK
- 8. SIDEWALK, TYP.
- 9. NEW GRANITE CURB



DH
 DALUCA-HOFFMAN ASSOCIATES, INC.
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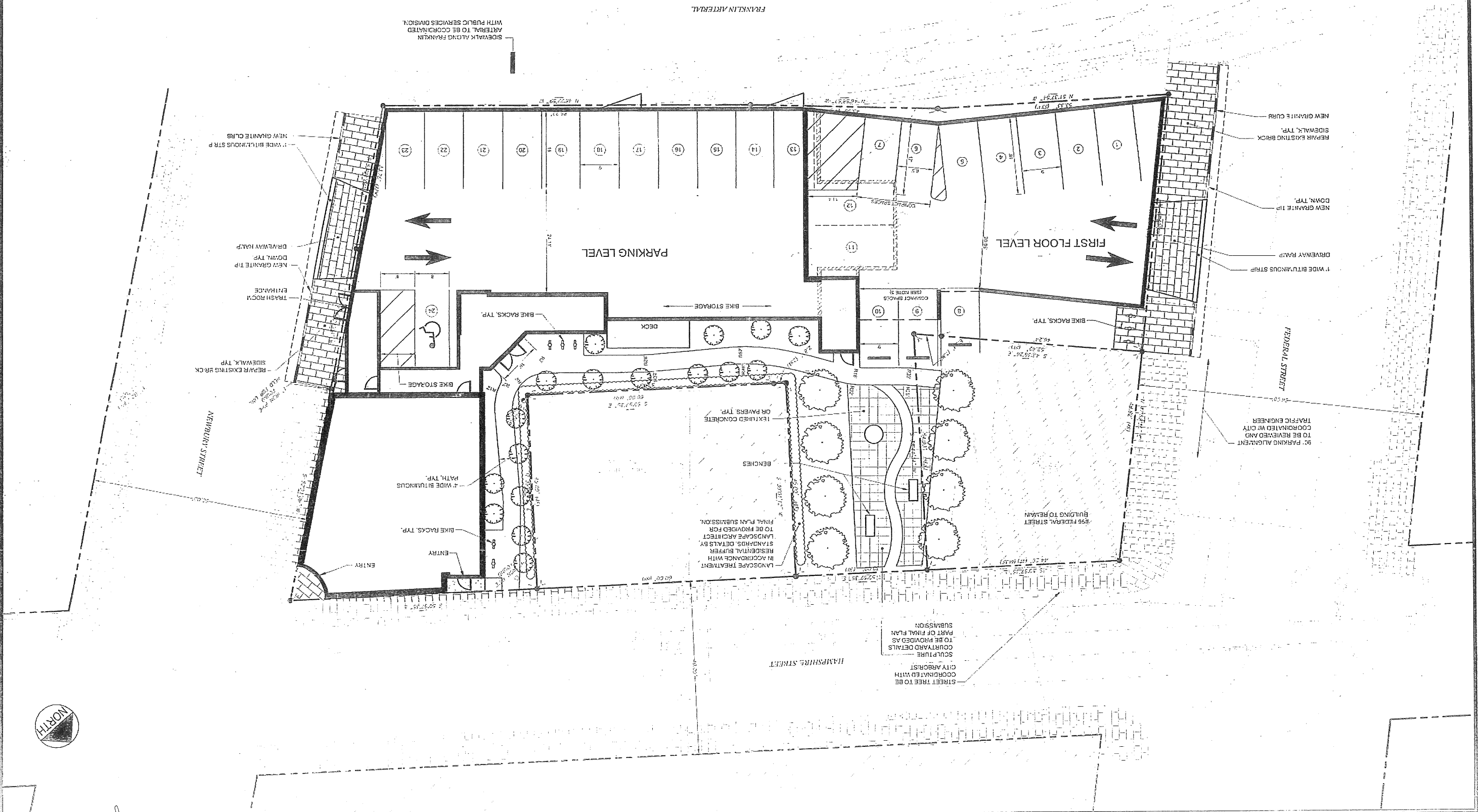
ARCHETYPE
 Architects
 217 COMMERCIAL STREET
 PORTLAND, ME 04101
 TEL: (207) 772-6022 FAX: (207) 772-4056



SITE LAYOUT PLAN

C-3.0

Project:	NEWBURY LOFTS PORTLAND, ME
Prepared For:	HAMPSHIRE STREET PROPERTIES, LLC
Architect:	ARCHETYPE 217 COMMERCIAL STREET PORTLAND, ME 04101
Date:	JULY 2012
Scale:	1" = 10'
Revisions:	



STREET TREE TO BE COORDINATED WITH CITY ARBORIST SCULPTURE COURTYARD DETAILS TO BE PROVIDED AS PART OF FINAL PLAN SUBMISSION

LANDSCAPE TREATMENT IN ACCORDANCE WITH STANDARDS, DETAILS BY LANDSCAPE ARCHITECT RESIDENTIAL BUFFER TO BE PROVIDED FOR FINAL PLAN SUBMISSION.

BUILDING TO REMAIN

90' PARKING AUGMENT TO BE REVIEWED AND COORDINATED W/ CITY TRAFFIC ENGINEER.

REPAIR EXISTING BRICK SIDEWALK, TYP. REPAIR EXISTING BRICK TRASH ROCK ENTRANCE NEW GRANITE TIP DOWN, TYP. DRIVEWAY RAMP NEW GRANITE CURB

BIKE RACKS, TYP. PATH, TYP. 4' WIDE BITUMINOUS

BIKE RACKS, TYP. BIKE STORAGE

PARKING LEVEL

FIRST FLOOR LEVEL

FRANKLIN ARTERIAL

SIDEWALK ALONG FRANKLIN ARTERIAL TO BE COORDINATED WITH PUBLIC SERVICES DIVISION.



Plan 1.5



Plan 2.13





A0

SITE PLAN

Date: 18 APRIL 2012

Scale: 1/8" = 1'-0"

Revisions:

Project: HAMPSHIRE STREET CONDOMINIUMS
HAMPSHIRE STREET
PORTLAND, MAINE

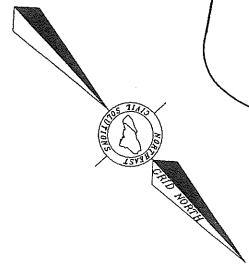
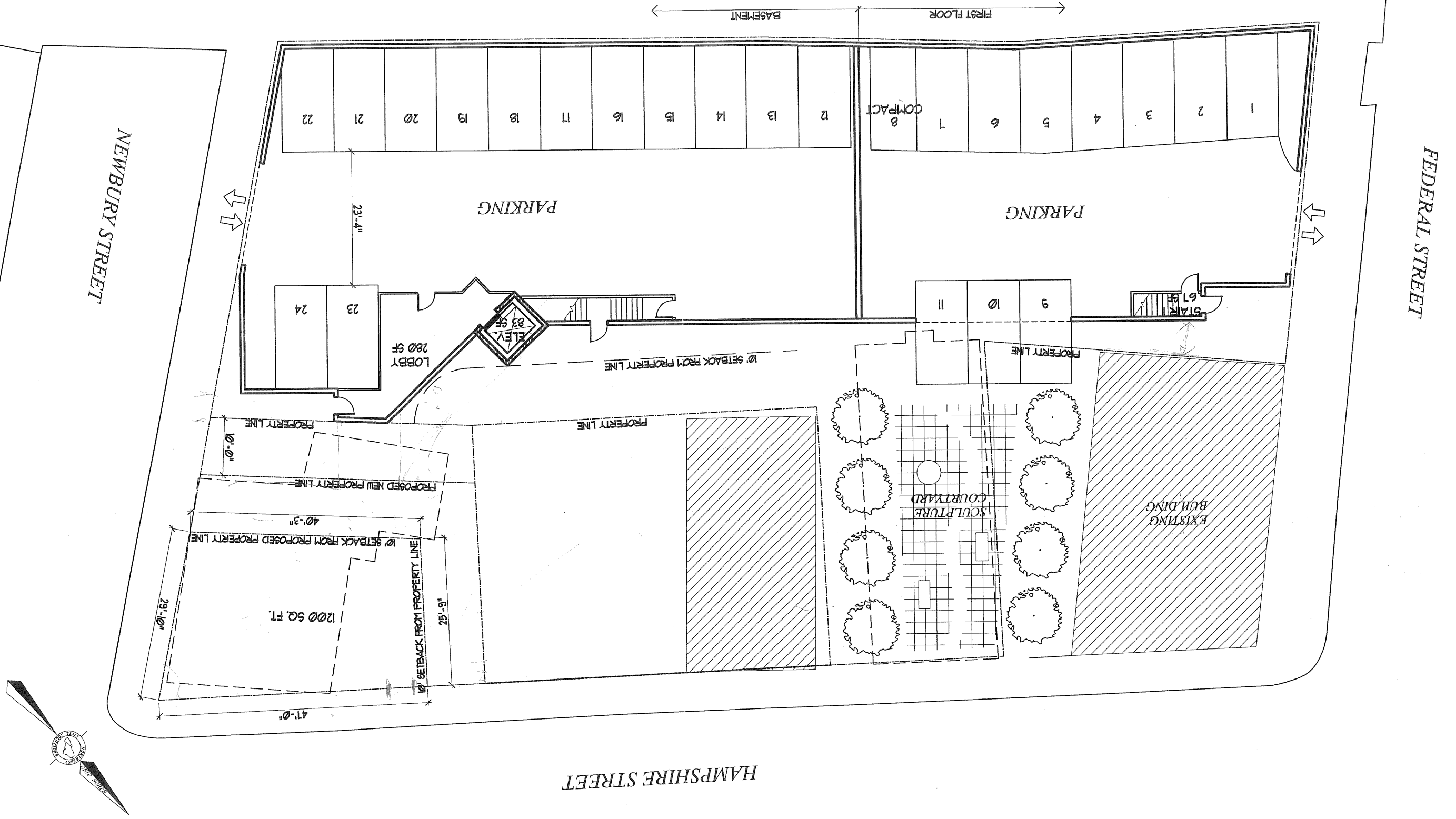
Architect: RCHETTYPE architects
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(207) 772-6022 Fax (207) 772-4056

Consulting Engineer:

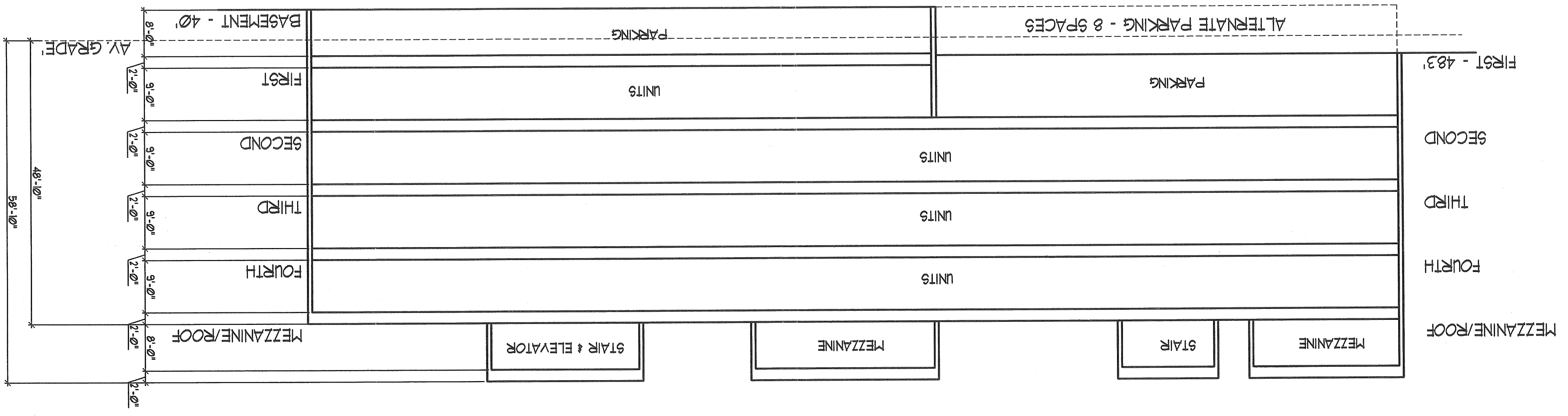
Prepared For:

Att. 5

1 SITE PLAN
SCALE: 1/8"=1'-0"



TYPICAL SECTION

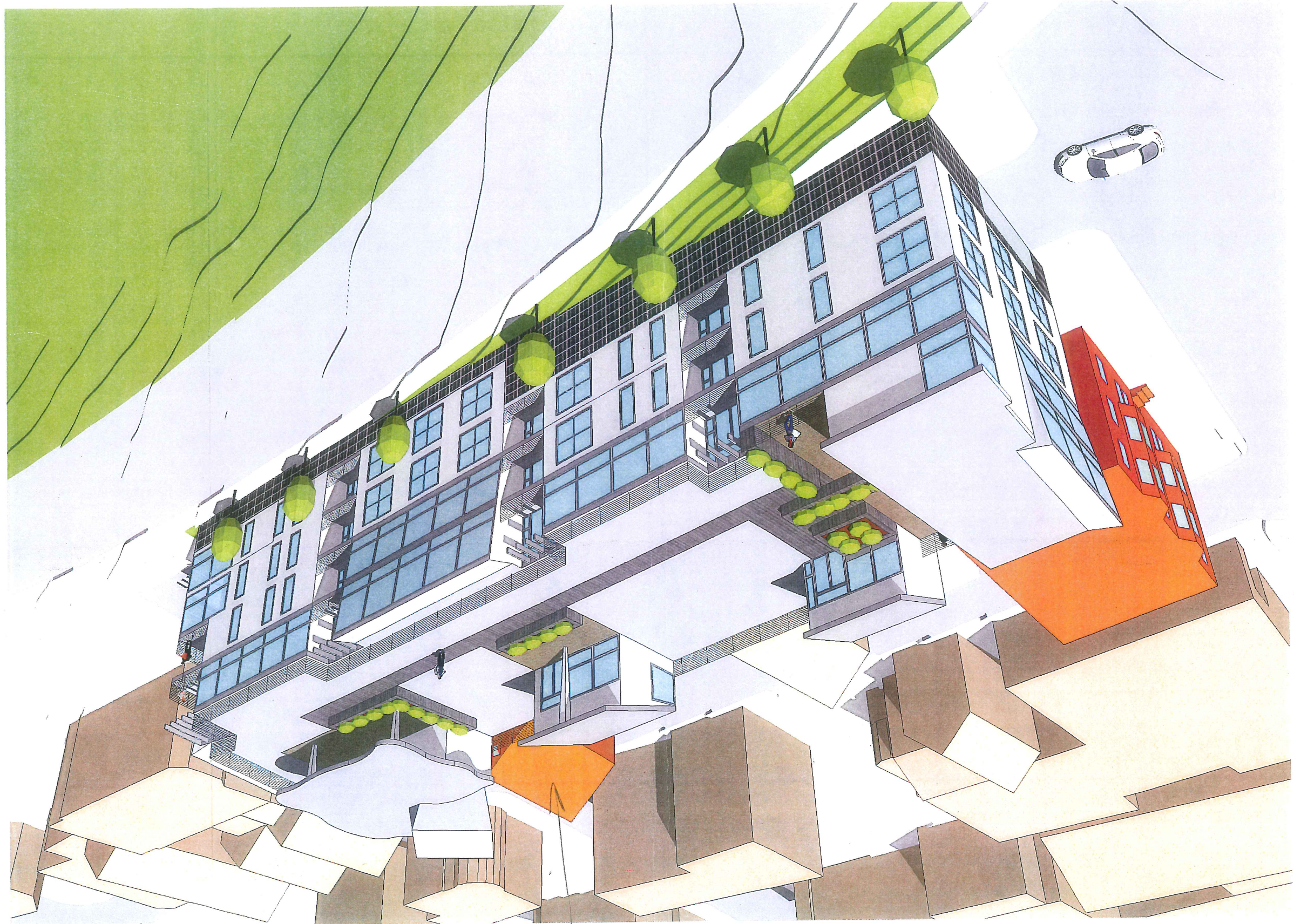


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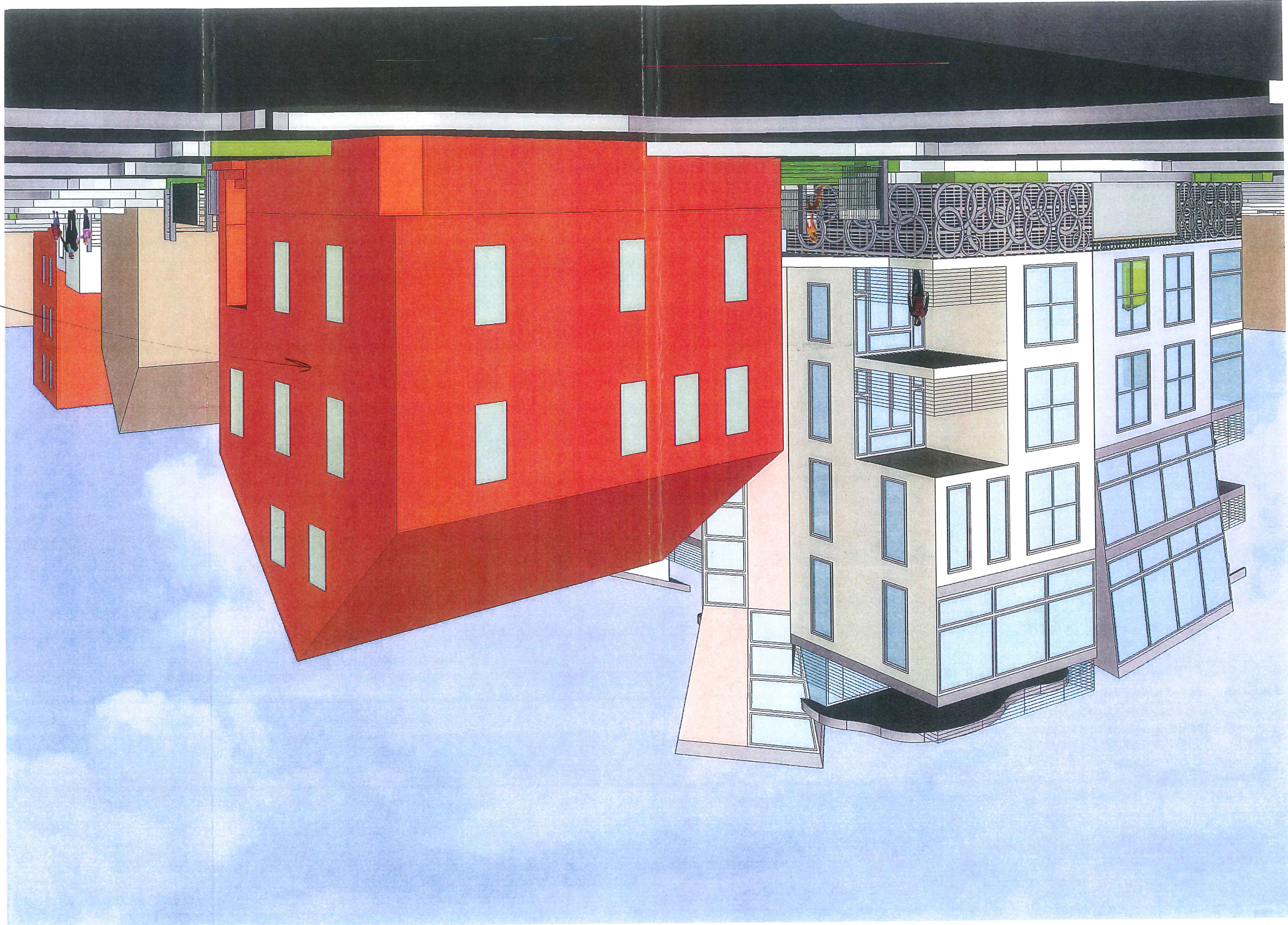


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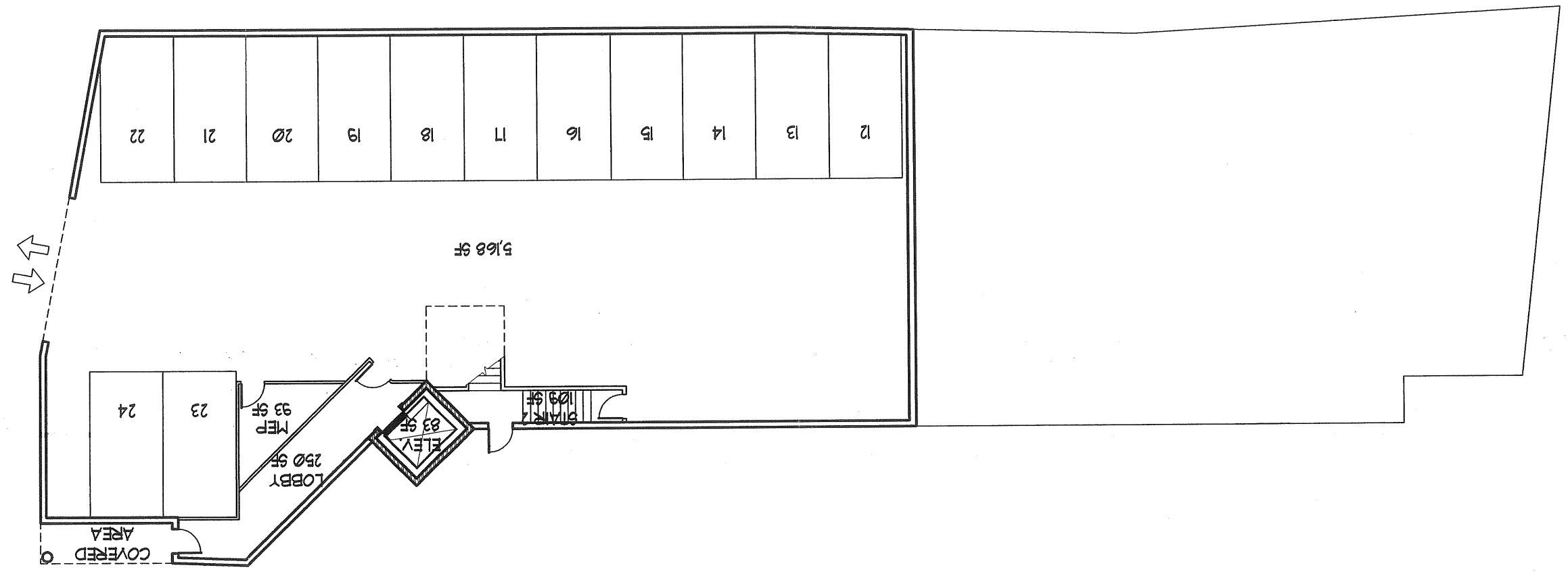


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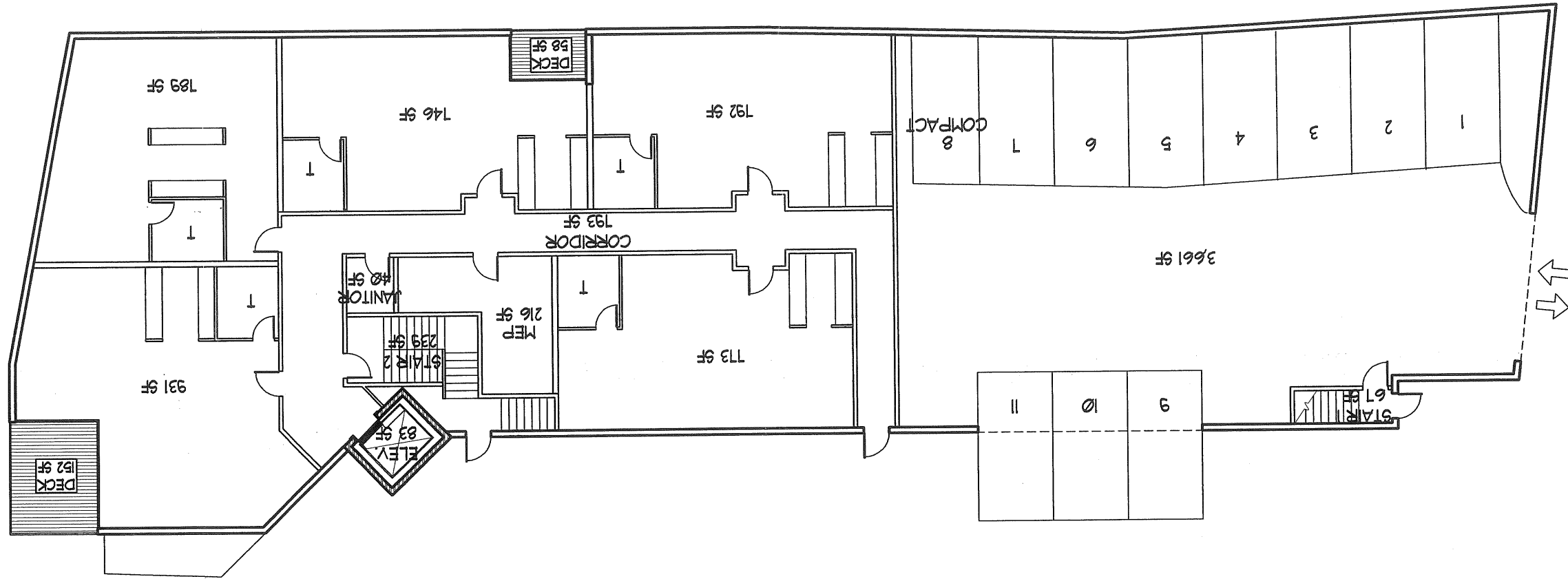
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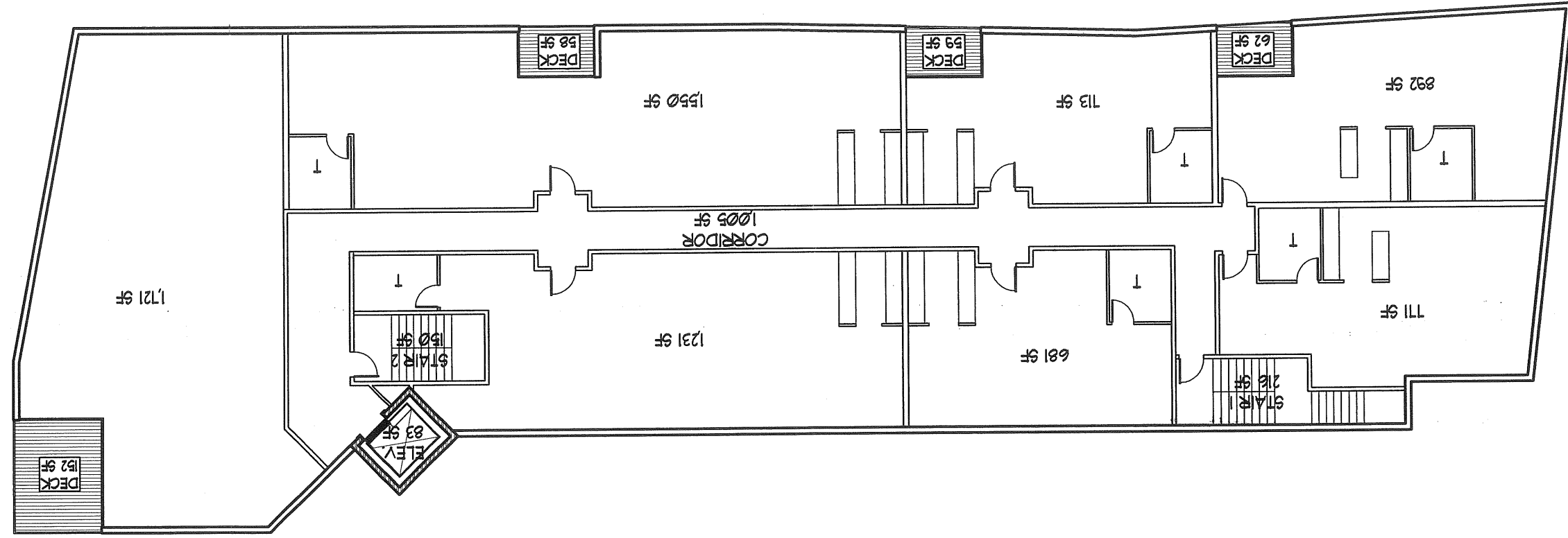
BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



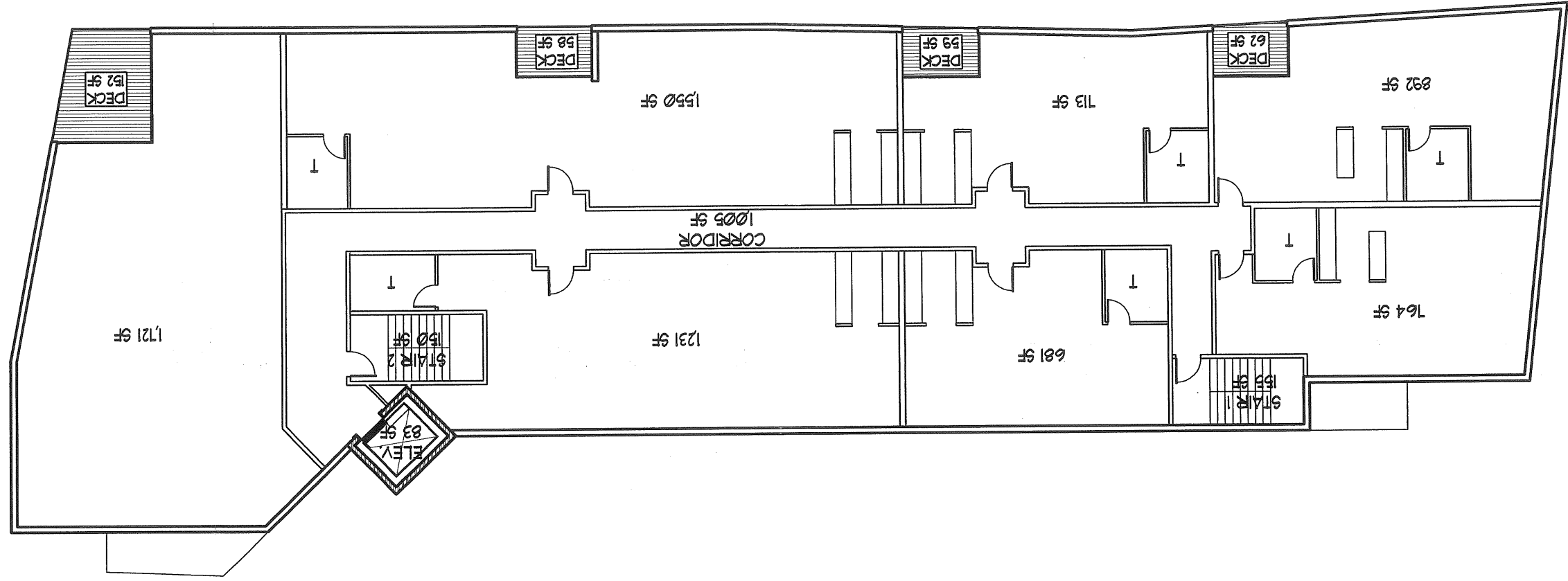
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



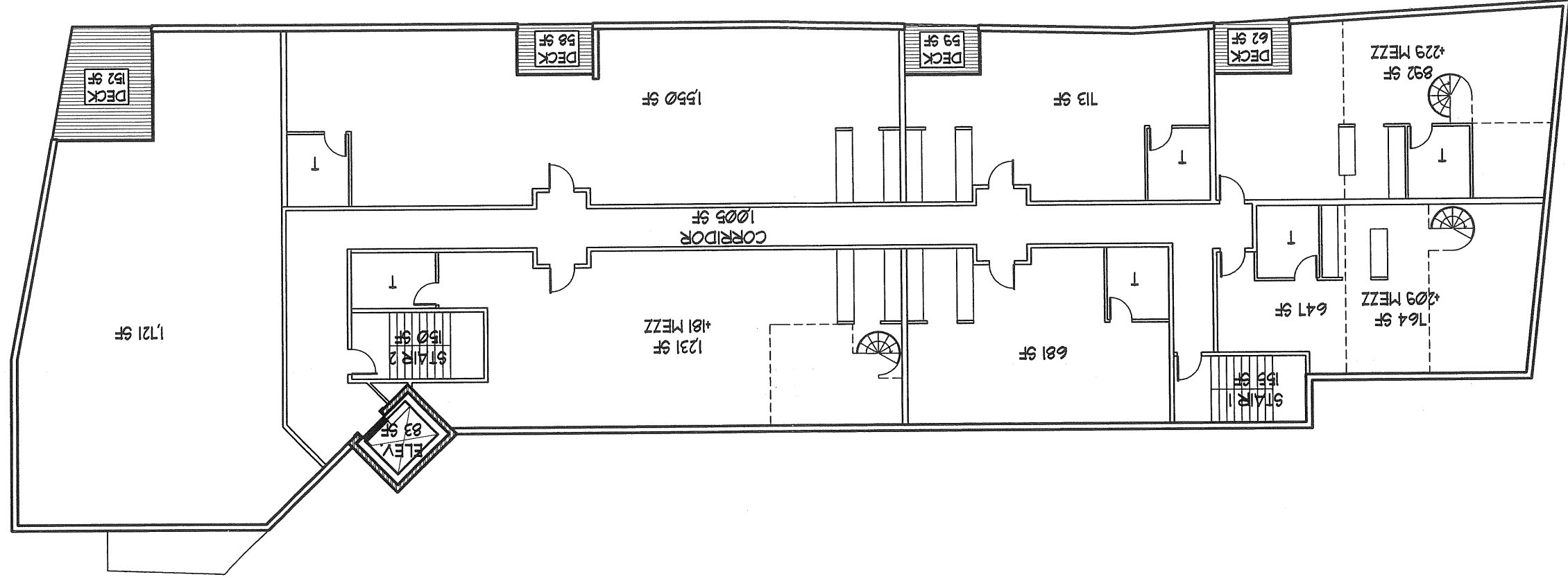
SECOND FLOOR PLAN
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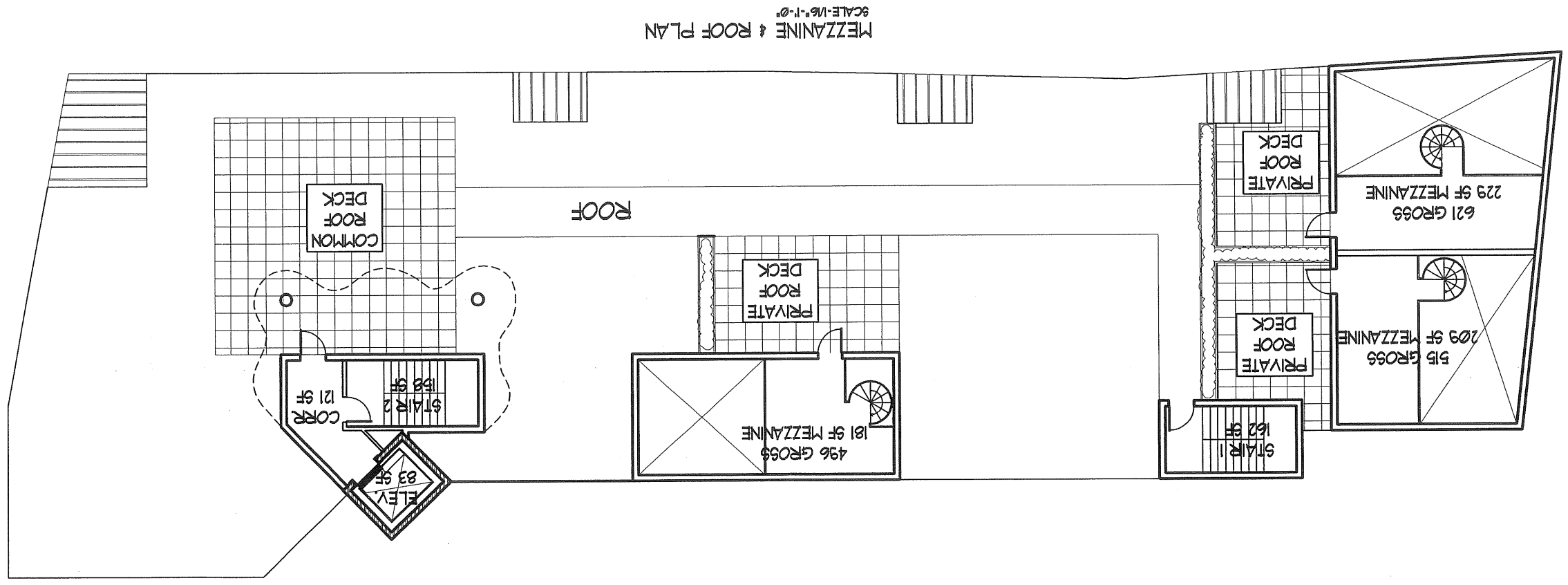


THIRD FLOOR PLAN
SCALE-1/16"=1'-0"



FOURTH FLOOR PLAN
SCALE-1/8"=1'-0"





MEZZANINE & ROOF PLAN
SCALE: 1/8" = 1'-0"

SITE DEVELOPMENT PLANS FOR NEWBURY LOFTS CONDOMINIUM COMPLEX PORTLAND, MAINE JULY 2012 PERMITTING DOCUMENTS

CURRENT APPLICANT
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217 COMMERCIAL STREET
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TAX MAP-BLOCK-LOT

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- C-7.0 DETAILS
- NOT IN PRELIMINARY SUBMISSION

UTILITIES

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- FARPOINT COMMUNICATIONS
- PORTLAND, MAINE 04103
- NATURAL GAS: NORTHERN UTILITIES
- 1076 FOREST AVENUE
- PORTLAND, MAINE 04103
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- CONTACT: MIKE SMITH
- OR
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- DIG SAFE: 888.344.7233
- CALL BEFORE YOU DIG

PERMITS / APPROVALS

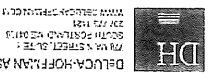
- LOCAL TYPE: CITY OF PORTLAND PLANNING AUTHORITY
- CITY HALL, CONGRESS STREET
- PORTLAND, MAINE 04103
- CONTACT: BARBARA BARNHDT
- 207.874.8693
- CITY OF PORTLAND CODE ENFORCEMENT OFFICE
- CITY HALL, CONGRESS STREET
- PORTLAND, MAINE 04103
- 207.874.8600
- CITY OF PORTLAND PUBLIC SERVICES DIVISION
- 55 PORTLAND STREET
- PORTLAND, ME 04102
- UTILITY / STREET OPENING PERMITS: CONTACT: DAVID MARGOLIS-PINEO, DEPUTY CITY ENGINEER
- 207.874.8850
- PORTLAND, MAINE 04102
- SEWER: CITY OF PORTLAND
- PUBLIC SERVICES DIVISION
- 55 PORTLAND STREET
- PORTLAND, MAINE 04102
- 207.874.8850
- CONTACT: RICO SPUGNARDI
- P.O. BOX 3553
- PORTLAND, MAINE 04104
- 207.761.8310
- SITE PLAN SUBMISSION APPROVAL: CITY OF PORTLAND PLANNING AUTHORITY
- CITY HALL, CONGRESS STREET
- PORTLAND, MAINE 04103
- 207.874.8693
- CONTACT: BARBARA BARNHDT
- CITY OF PORTLAND CODE ENFORCEMENT OFFICE
- CITY HALL, CONGRESS STREET
- PORTLAND, MAINE 04103
- 207.874.8600
- CITY OF PORTLAND PUBLIC SERVICES DIVISION
- 55 PORTLAND STREET
- PORTLAND, ME 04102

STATUS/DATE ISSUED:

PRELIMINARY SUBMISSION 07.03.12

I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THAT I AM CONSENTING TO PREPARE THIS DOCUMENT.

[Signature]



DELUCA-HOFFMAN ASSOCIATES, INC.
207.772.6022
18 Union Wharf Portland, Maine 04101

ARCHITECTS
ARCHITECT
HAMPSHIRE STREET PROPERTIES, LLC
217 COMMERCIAL STREET
PORTLAND, ME 04101

STATE OF MAINE
REGISTERED PROFESSIONAL ENGINEER
DAVID MARGOLIS-PINEO
LICENSE NO. 12072

COVER SHEET
C-1.0

DATE: JULY 2012
SCALE: N.T.S.

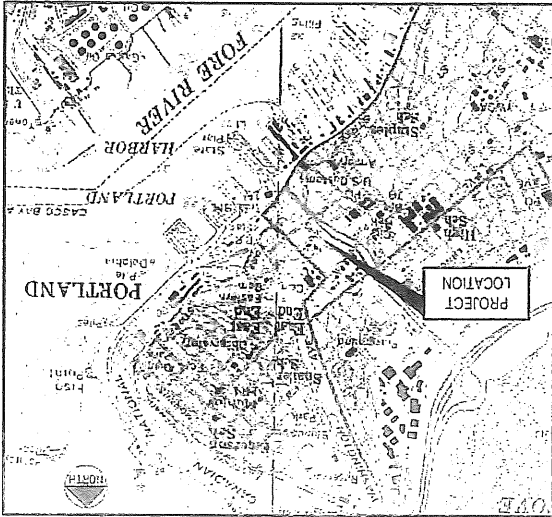
Project:	NEWBURY LOFTS PORTLAND, ME
Prepared For:	HAMPSHIRE STREET PROPERTIES, LLC 217 COMMERCIAL STREET PORTLAND, ME 04101
Architect:	HAMPSHIRE STREET PROPERTIES, LLC 217 COMMERCIAL STREET PORTLAND, ME 04101
Date:	JULY 2012
Scale:	N.T.S.
Revisions:	

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207.772.1121
CONTACT: STEPHEN BUSHEY
www.delucahoffman.com

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www.archtypeps-architects.com

SURVEYOR:
Northeast Civil Solutions
153 U.S. ROUTE 1, SUITE 1A
SCARBOROUGH, MAINE 04074
207.883.1000
ATTN: JOHAN BUSSMAN
www.northeastcivilsolutions.com



Plan 1.1



<p>C-2.1</p> <p>DEMOLITION PLAN</p>	<p>Date: JULY 2012</p>	<p>Architect: ARCHETYPE Architects 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax: (207) 772-4056</p>
	<p>Scale: 1" = 10'</p>	
<p>Project: NEWBURY LOFTS PORTLAND, ME</p>	<p>Client: PROPERTIES, LLC HAMPSHIRE STREET PORTLAND, ME 04101</p>	<p>Prepared For: PROPERTIES, LLC HAMPSHIRE STREET PORTLAND, ME 04101</p>

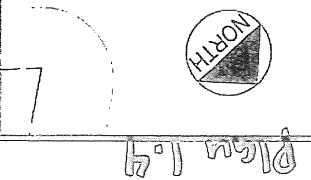
NOTES

1. SEE PROJECT GEOTECHNICAL REPORT FOR FOUNDATION BACKFILLING REQUIREMENTS.
2. THE EXISTING BRICK SIDEWALKS SHALL BE PROTECTED AT ALL ACTIVITIES. DAMAGED SIDEWALKS AS A RESULT OF CONSTRUCTION TO THE OWNER.
3. PLAN REFERENCES

PLAN REFERENCES

1. BOUNDARY SURVEY BY NORTHEAST CIVIL SOLUTIONS DATED JUNE 8, 2012.

DATE: 07/03/12
 DRAWN BY: [Name]
 CHECKED BY: [Name]



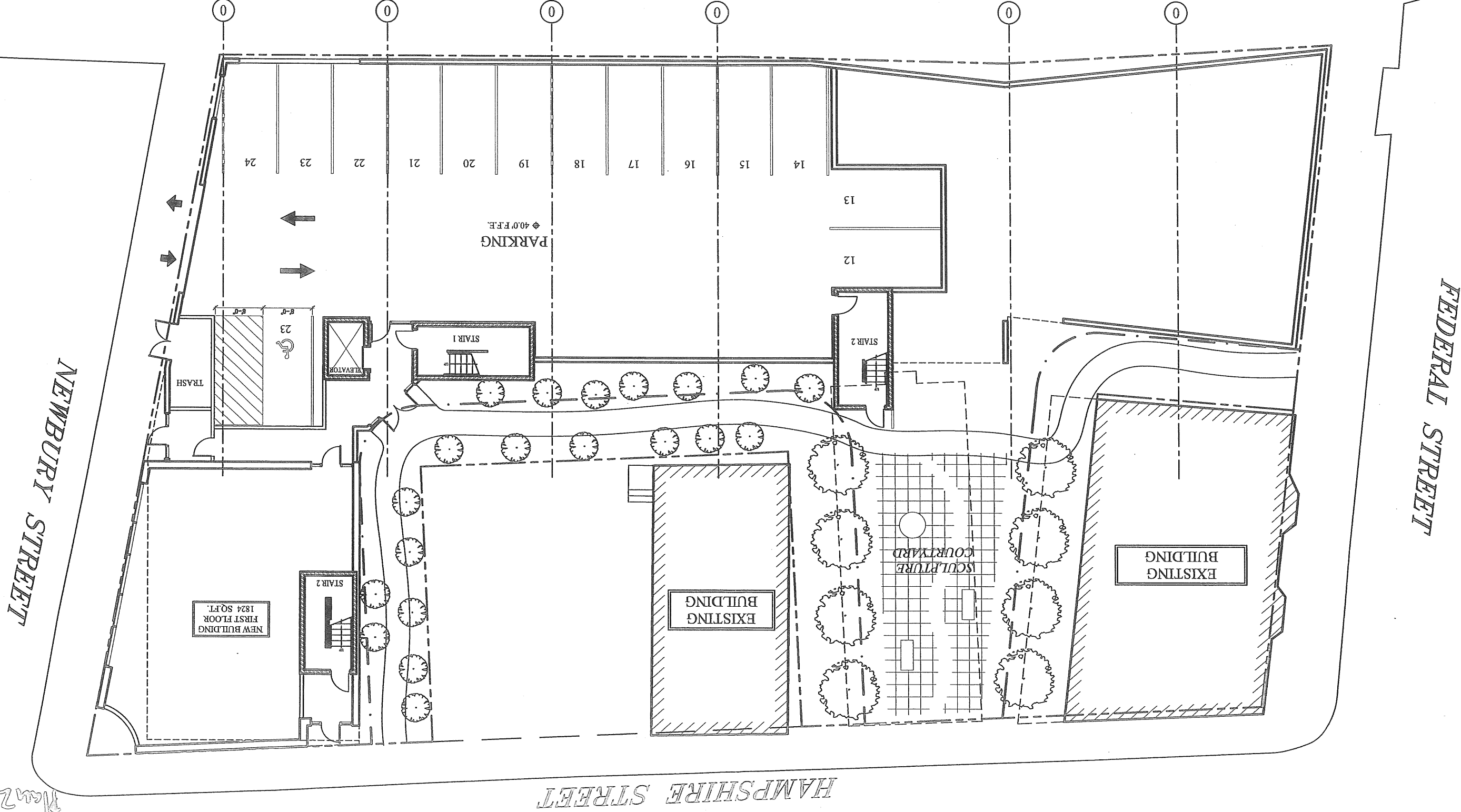
A1.01

ARCHITECTS
V ARCHITYPE

SITE PLAN

Date: 02 July 2012
Scale: 1/16" = 1'-0"

Date: 02 July 2012
Scale: 1/16" = 1'-0"



Plan 2-1

A1.02

ARCHITYPE 1ST FLOOR PLAN

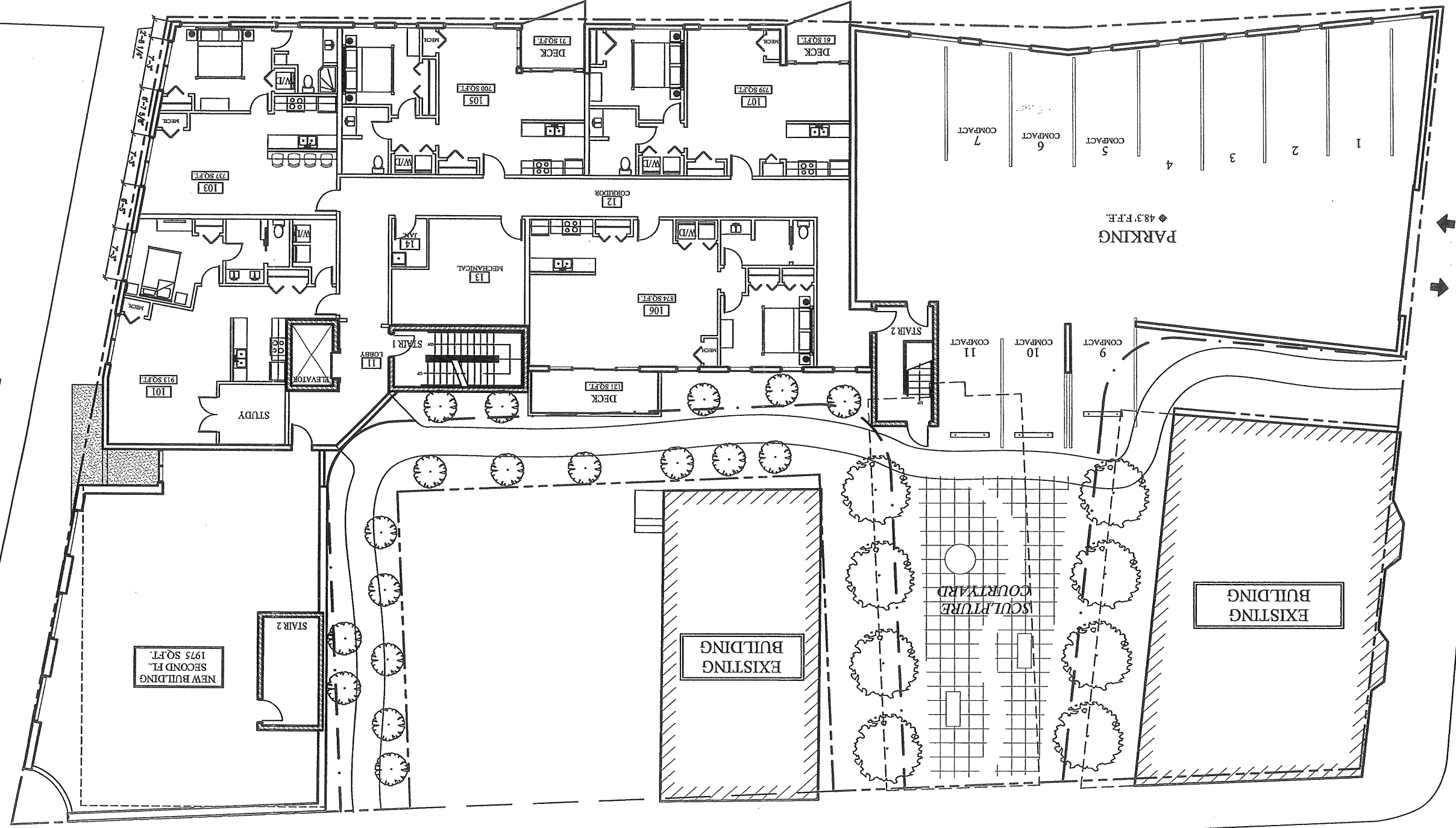
Date: 02 July 2012
Scale: 1/16" = 1'-0"

Architects

NEWBURY STREET

FEDERAL STREET

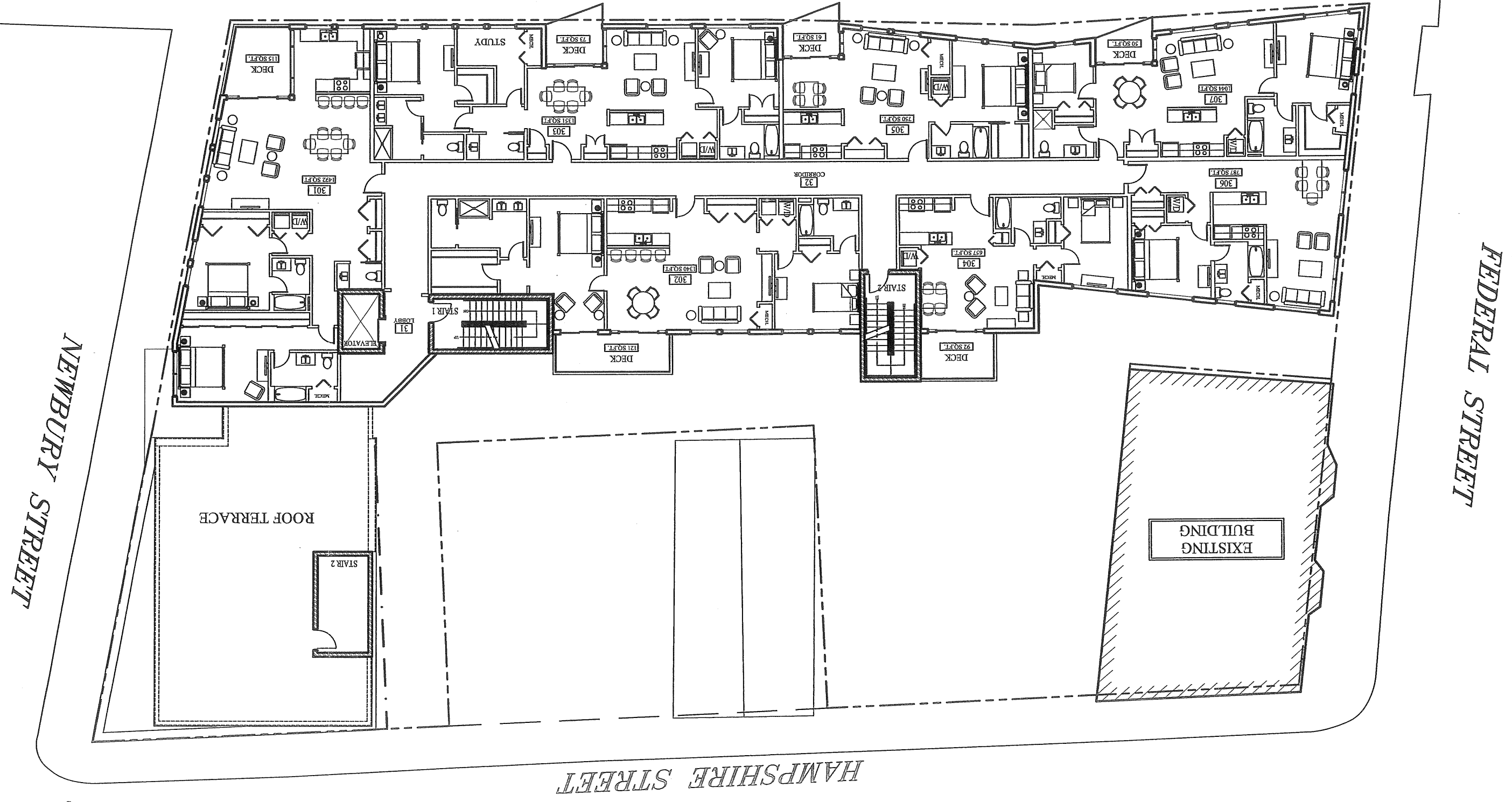
HAMPSHIRE STREET



A1.04

ARCHETYPE
3RD FLOOR PLAN
architects

Date: 02 July 2012
Scale: 1/16" = 1'-0"



Plan 24

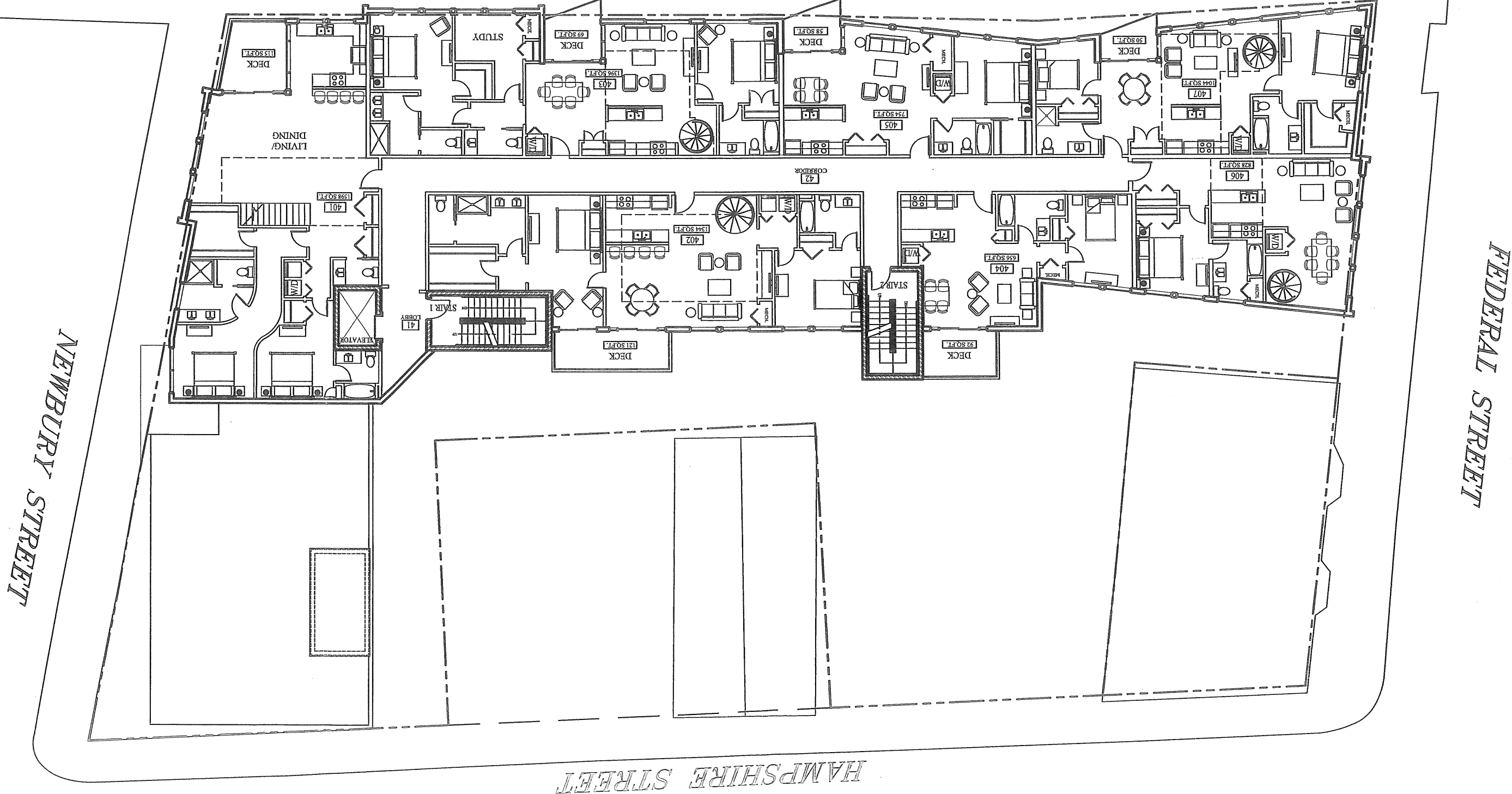
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4TH FLOOR PLAN



Scale: 1/16" = 1'-0"

Date: 02 July 2012



plan 2-5

A1.05



ROOF PLAN
ARCHETYPE

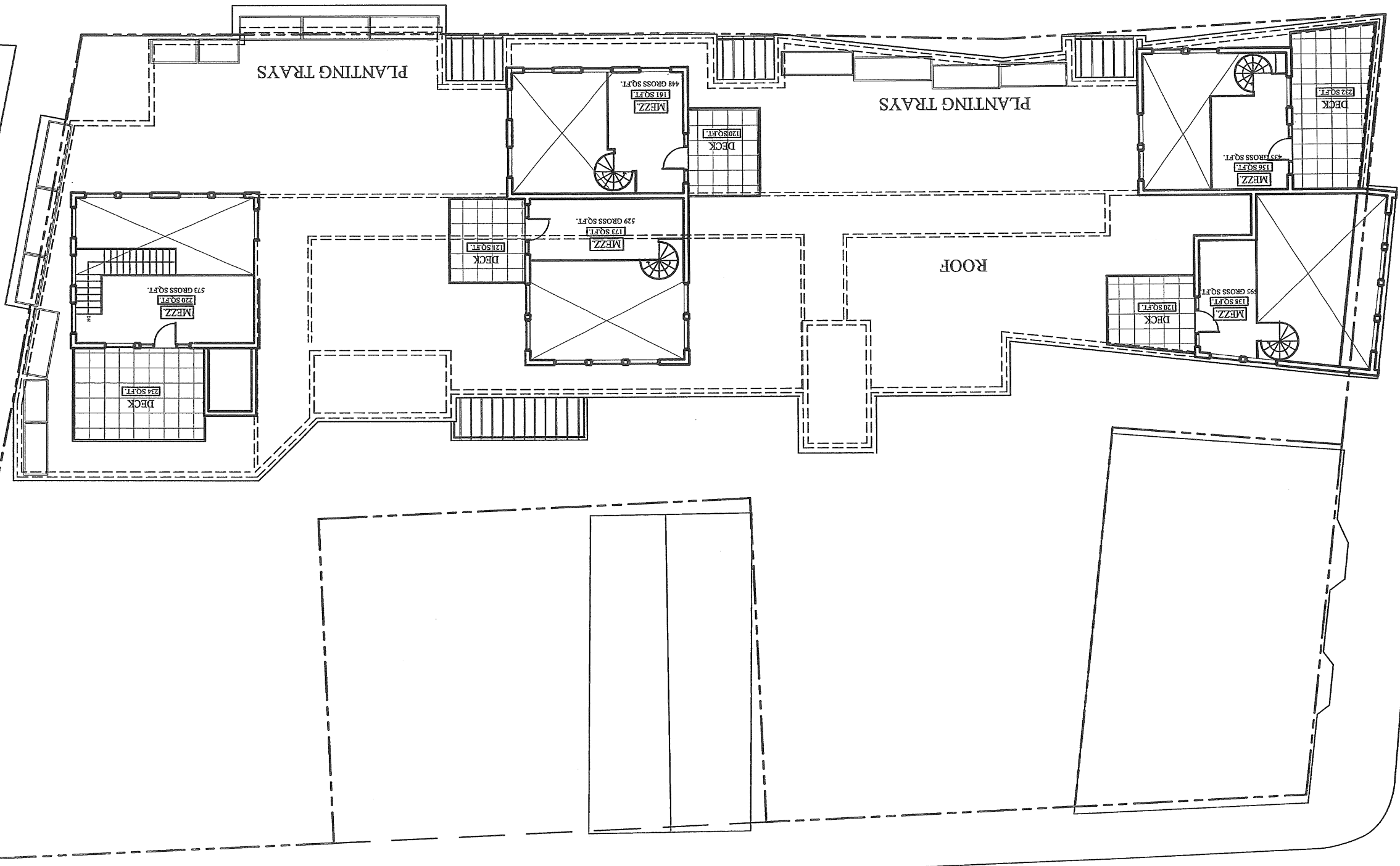
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Date: 02 July 2012


NEWBURY STREET

FEDERAL STREET

HAMPSHIRE STREET




Plan 2.6

A2.01	 V ARCHITECTS
	ELEVATIONS
Date: 02 July 2012 Scale: 1/16" = 1'-0"	


A NEWBURY STREET ELEVATION
 SCALE: 1/16"=1'-0"



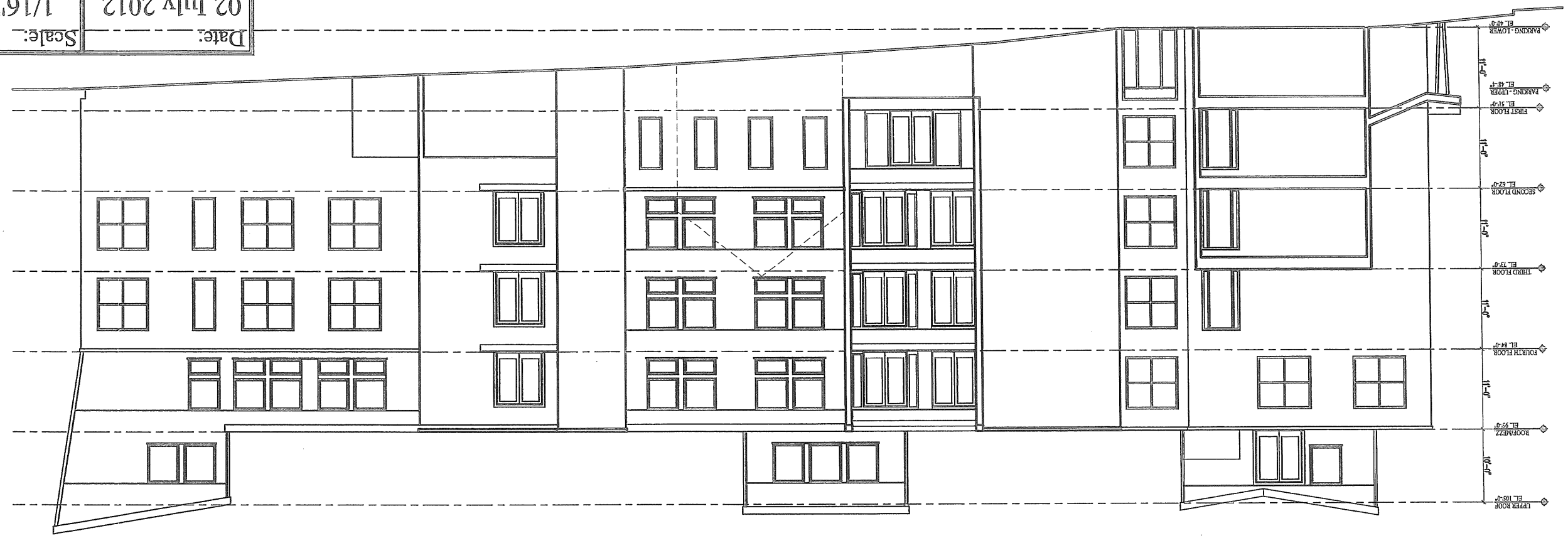
A2.02	 ARCHETYPE architects
	ELEVATIONS
Date: 02 July 2012	Scale: 1/16" = 1'-0"

B
FRANKLIN STREET ELEVATION
SCALE: 1/16"=1'-0"

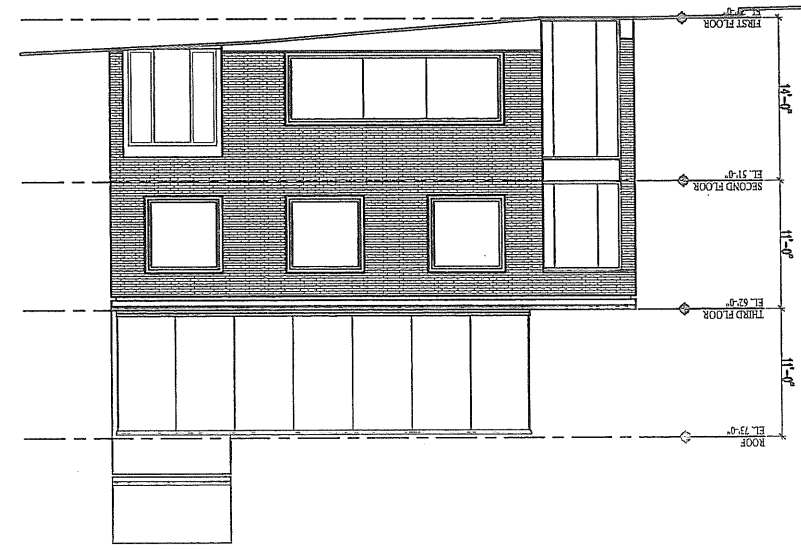


A2.03	
	ELEVATIONS
Date: 02 July 2012	Scale: 1/16" = 1'-0"

C2 PARTIAL HAMPSHIRE STREET
SCALE: 3/32"=1'-0"



C1 PARTIAL HAMPSHIRE STREET
SCALE: 3/32"=1'-0"




Plan 2.8

A2.04	ARCHITYPE architects	
	ELEVATIONS	
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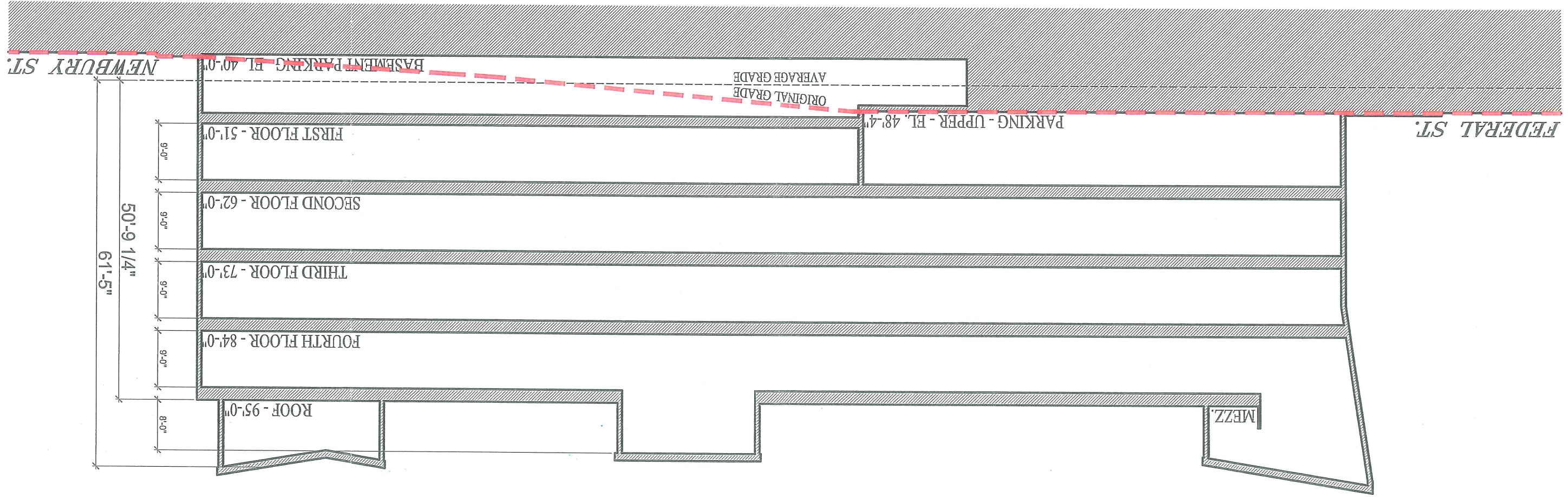
D
FEDERAL STREET
SCALE: 1/16"=1'-0"



Plan 2.9

A3.01	 V ARCHITECTS
	ELEVATIONS
Date: 02 July 2012 Scale: 1/16" = 1'-0"	

D FEDERAL STREET
 SCALE: 1/16"=1'-0"



Plan 2.10







