

# SEAPORT LOFTS

NEWBURY / HANCOCK STREET  
PORTLAND, MAINE

**APPLICANT:**

113 NEWBURY STREET, LLC

35 FAY STREET, SUITE 107B  
BOSTON, MA 02118-4320

**ENGINEER / SURVEYOR /  
LANDSCAPE ARCHITECT:**

**SEBAGO**  
TECHNICS

CIVIL ENGINEERING • SURVEYING • LANDSCAPE ARCHITECTURE

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75 John Roberts Rd. - Suite 1A  
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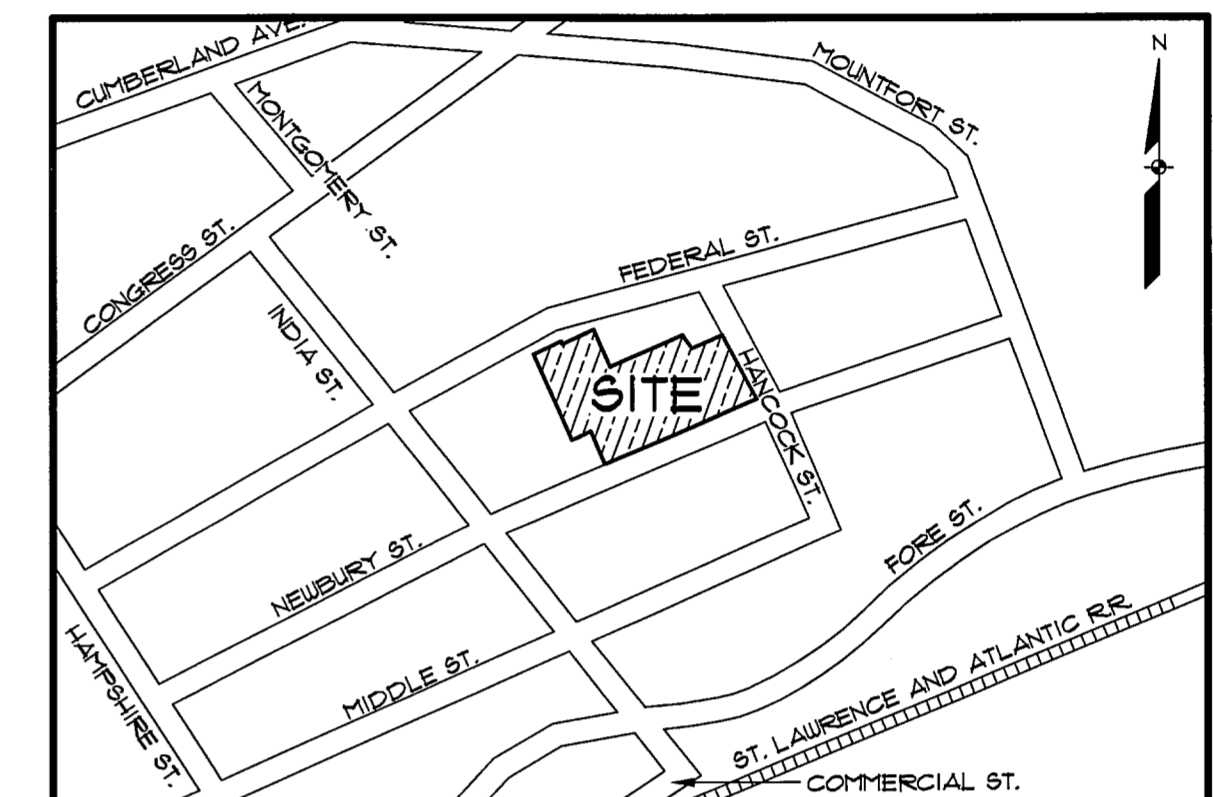
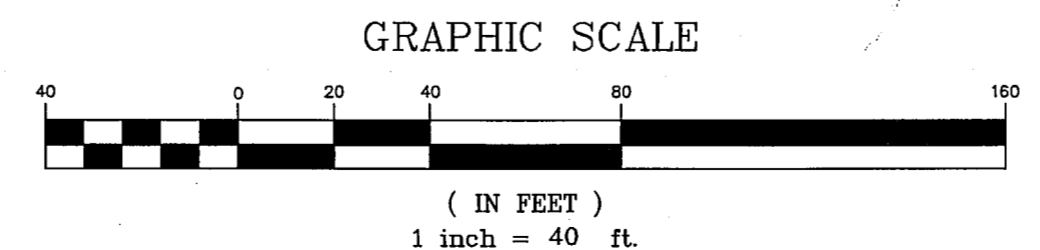
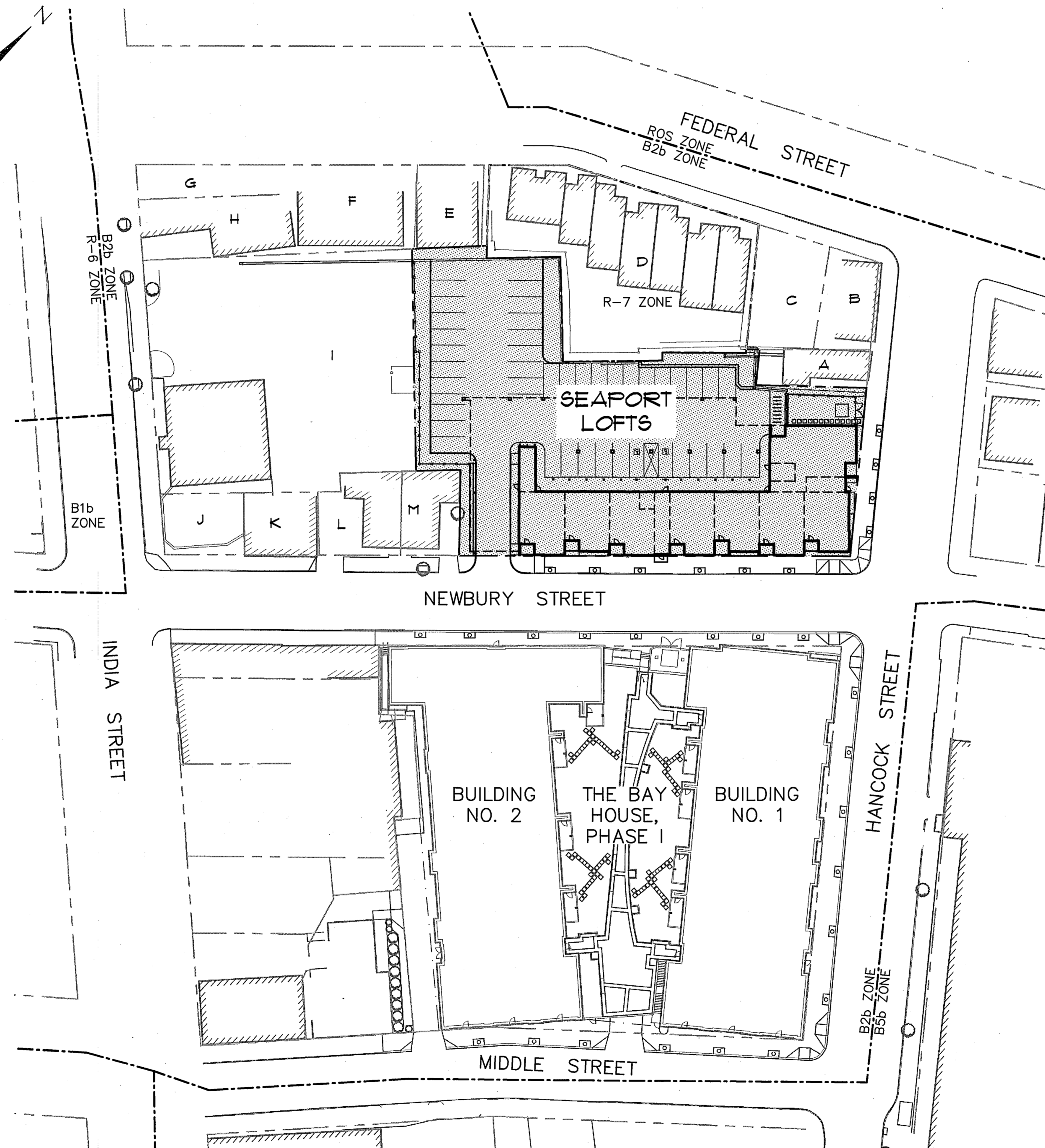
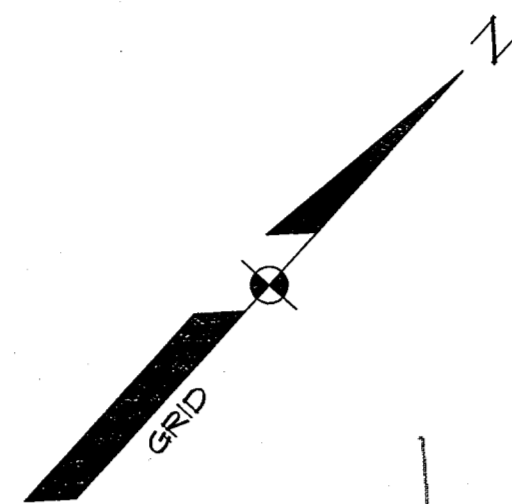
**PROJECT ARCHITECT:**

DAVID M. WHITE,  
ARCHITECT

403 TIBBETTS HILL ROAD  
GOFFSTOWN, NH 03045

**LIST OF ABUTTERS**

KEY	ABUTTER	BOOK/PAGE
A	ROLAND SMALLEY, JR.	12574/211
B	TIM HARDY	12154/50
C	DAVID FILIPOS	15916/285
	HUGH R. NAZOR & LINDA J. MURNIK	24922/233
D	PAUL & MARIA DESJARDINS	25930/65
	JOHN & ZDENKA S. GRISWOLD	25359/117
E	STEPHEN M. & WILMA ROSE	24131/258
	RICHARD H. & WENDY E. PENLEY	28557/308
F	RICHARD B. & ELIZABETH M. CARSON	29071/289
	PETER & PATRICIA BAGG	24613/252
G	LIV R. CHASE & BRENT L. ADLER	27194/123
	JUBILACION, LLC	25543/282
H	BETTY POMROY	6706/216
	DASHA, LLC	27829/29
I	DOMINIC REALI REALTY, LLC	15585/301
	DOMINIC REALI REALTY, LLC	14431/266
J	DOMINIC REALI REALTY, LLC	15585/304
	DAVID & ALLISON BROWN	15769/132
K	ELIZABETH MONAGHAN & KURT NIELSEN	23346/36



LOCATION MAP

N.T.S.

**SHEET INDEX:**

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3	DEMOLITION PLAN
4	SUBDIVISION PLAT
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7	OFF-SITE DRAINAGE PLAN
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E	WTC	10-15-13	CITY SUBMITTAL 6
D	WTC	10-03-13	CITY SUBMITTAL 5
C	WTC	09-17-13	CITY SUBMITTAL 4
B	WTC	09-03-13	CITY SUBMITTAL 3
A	WTC	07-29-13	SUBMIT SITE PLAN APPLICATION TO CITY
REV:	BY:	DATE:	STATUS:

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

13251C.dwg, TAB: C



**CONSTRUCTION AND EROSION/SEDIMENTATION CONTROL NOTES**

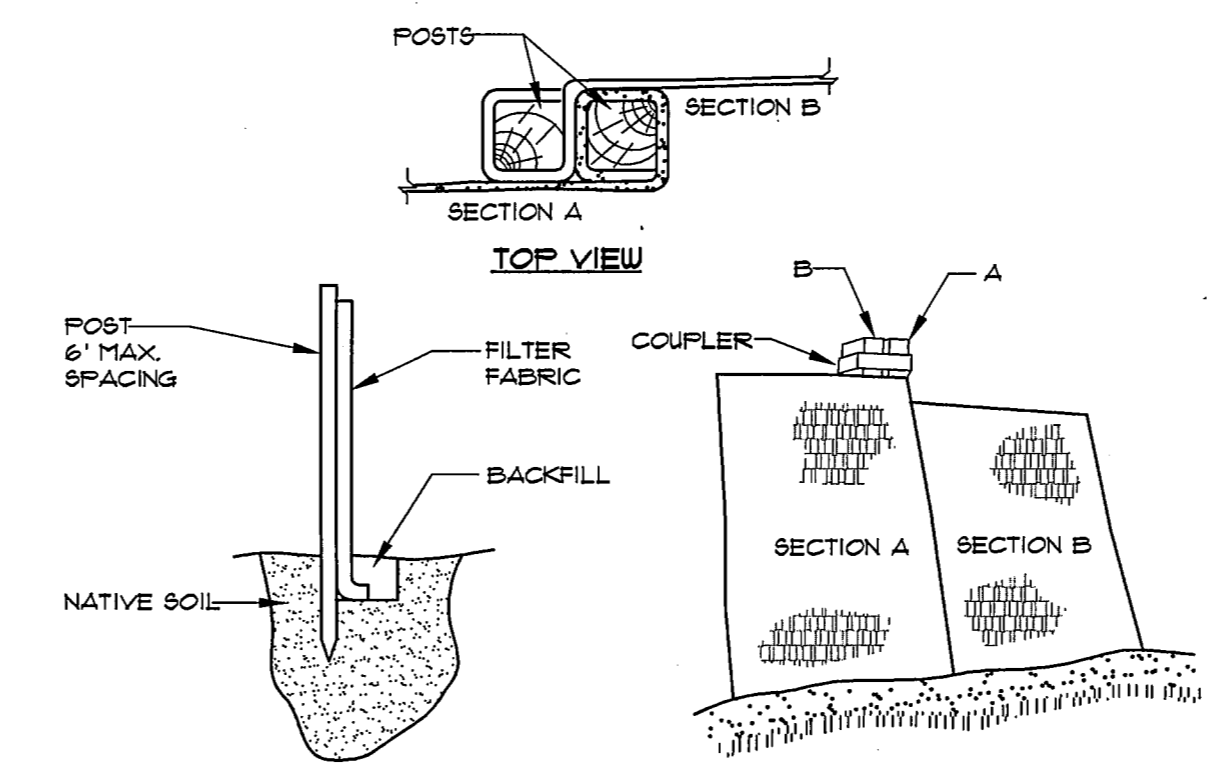
- ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND CONDITIONS AFFECTING THE WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS 'EXISTING' WHICH ARE NOT FOUND IN THE FIELD.
- INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OWNER'S REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
- CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
- CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
- SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES FOR PUBLIC AND PRIVATE LANDS, AND THE CONSTRUCTION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION MARCH 1991 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
- THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG SAFE (1-888-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRS.A 336(2)-A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITIES TO OBTAIN AUTHORIZATION PRIOR TO RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.
- IMMEDIATELY UPON COMPLETION OF CUTS/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.
- PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR SHALL CONFIRM SETBACKS AND BUILDING DIMENSIONS WITH ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DIFFERENCES AFFECTING BUILDING OR SITE CONSTRUCTION.
- REMOVE TOPSOIL AND ROUGHEN SUBGRADE TO ESTABLISH SUITABLE INTERFACE FOR ALL FILLS.
  - PRE-CONSTRUCTION PHASE:
 

PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, FILTER FABRIC FENCING WILL BE STAKED ACROSS THE SLOPES, AT OR JUST BELOW THE LIMITS OF CLEARING OR GRUBBING, AND/OR JUST ABOVE ANY ADJACENT PROPERTY LINE OR WATERCOURSE TO PROTECT AGAINST CONSTRUCTION RELATED EROSION. THE PLACEMENT OF SILT FENCES SHALL BE COMPLETED IN ACCORDANCE WITH GUIDELINES ESTABLISHED IN BEST MANAGEMENT PRACTICES AND IN ACCORDANCE WITH THE EROSION CONTROL PLAN. DETAILS IN THE PLAN SET. THIS NETWORK IS TO BE MAINTAINED BY THE CONTRACTOR UNTIL ALL EXPOSED SLOPES HAVE AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER AND CONSTRUCTION ACTIVITY IN THE AREA HAS BEEN COMPLETED. THE CONTRACTOR SHALL MAINTAIN THE NETWORK PRIOR TO ANY CLEARING, GRUBBING, STRIPPING OR PULVERIZING CONSTRUCTION ENTRANCE(S) SHALL BE CONSTRUCTED AT THE APPROVED ACCESS POINTS TO THE PROJECT SITE FROM THE EXISTING PUBLIC ROADWAY TO AVOID TRACKING OF MUD, DUST AND DEBRIS FROM THE SITE. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PREPARE A DETAILED SCHEDULE AND MARKED UP PLAN INDICATING AREAS AND COMPONENTS OF THE WORK AND KEY DATES SHOWING DATE OF DISTURBANCE AND COMPLETION OF THE WORK. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE MUNICIPAL STAFF. THREE COPIES OF THE SCHEDULE AND MARKED UP PLAN SHALL BE PROVIDED TO THE MUNICIPALITY THREE DAYS PRIOR TO THE SCHEDULED PRE-CONSTRUCTION MEETING. SPECIAL ATTENTION SHALL BE GIVEN TO THE 14 DAY LIMIT OF THE SCHEDULE ADDRESSING TEMPORARY AND PERMANENT VEGETATIVE MEASURES.
  - CONSTRUCTION AND POST-CONSTRUCTION PHASE:
    - AREAS UNDERGOING ACTUAL CONSTRUCTION SHALL ONLY EXPOSE THAT AMOUNT OF MINERAL SOIL NECESSARY FOR PROGRESSIVE AND EFFICIENT CONSTRUCTION AND SHALL NOT EXCEED 14 DAYS. AREAS THAT WILL NOT BE COMPLETED (COVERED AND/OR FINISH GRADED) WITHIN FOURTEEN (14) DAYS OF DISTURBANCE SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL MEASURES WITHIN FOURTEEN (14) DAYS OF DISTURBANCE. TEMPORARY EROSION CONTROL MEASURES SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE INSPECTING ENGINEER AND AS SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF 3 LBS./1000 SQUARE FEET. APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE. MULCH SHALL BE KEPT MOIST TO AVOID LOSS DUE TO WIND. MULCH AND NETTING SHALL BE APPLIED IN THE BASE OF ALL GRASSED WATERWAYS (I.E. ROADWAY DITCHES) AND IN SLOPES WHICH EXCEED 5% AND ANY DISTURBED AREAS WITHIN 100' OF WETLANDS OR STREAMS.
    - IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY SEPTEMBER 15TH OF THE YEAR OF CONSTRUCTION THEN ALL DISTURBED AREAS SHALL BE SEEDING WITH A WINTER COVER CROP OF RYE AT THE RATE OF 3 LBS./1000 SF. TO PROVIDE WINTER PROTECTION. WINTER SEEDINGS SHALL BE COVERED WITH EROSION CONTROL MESH (MULCH AND NETTING) HEAVY GRADE THAT SHALL BE USED IN THE BASE OF ALL GRASSED WATERWAYS, ON SLOPES EQUAL TO OR GREATER THAN 5%, AND ANY DISTURBED AREAS WITHIN 100' OF WETLANDS OR STREAMS. MULCH AND NETTING SHALL ALSO BE APPLIED FOR ADDITIONAL WINTER PROTECTION ALONG SIDE SLOPES OF GRASSED WATERWAYS AND IN ALL AREAS EQUAL TO OR GREATER THAN 8% SLOPE.
    - DURING WINTER CONDITIONS, AREAS THAT WILL NOT BE COMPLETED (COVERED AND/OR FINISH GRADED) WITHIN SEVEN (7) DAYS OF DISTURBANCE SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL MEASURES WITHIN SEVEN (7) DAYS OF DISTURBANCE. TEMPORARY EROSION CONTROL SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE INSPECTING ENGINEER AND AS SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, HAY OR STRAW MULCH SHALL BE APPLIED TO PROVIDE A MINIMUM UNIFORM MULCH DEPTH OF 4". THE APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE.
  - ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEEDING WITH RYE AT 3 LBS./1000 SF. AND MULCHED, AND RE-USED AS REQUIRED. SILTATION FENCING SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LOAM. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER AND INSPECTING ENGINEER.
  - ALL SILT FENCES AND EROSION CONTROL MEASURES SHALL BE INSTALLED ACCORDING TO THIS PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER. ALL SILT FENCES AND EROSION CONTROL MEASURES SHALL BE INSPECTED BEFORE AND AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER OF GRASSES.
  - A CONSTRUCTION ENTRANCE SHALL BE BUILT AT THE INTERSECTION OF THE EXISTING ROADWAY AND THE ACCESS DRIVE. ROADWAY AREAS SHALL BE PERIODICALLY SWEPT OR WASHED TO AVOID TRACKING OF MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA. DUST CONTROL DURING CONSTRUCTION SHALL BE ACHIEVED BY THE USE OF A WATERING TRUCK TO PERIODICALLY SPRINKLE THE EXPOSED ROADWAY AREAS AS NECESSARY TO REDUCE DUST DURING THE DRY MONTHS.
  - CATCH BASIN INLET PROTECTION SHALL BE PLACED WITHIN EXISTING CATCH BASINS IN THE CONSTRUCTION AREA PRIOR TO CONSTRUCTION. INLET PROTECTION FOR PROPOSED CATCH BASINS SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE INSTALLATION OF THE OUTFALL PIPING.
  - ALL AREAS SHALL BE SEEDING AND STABILIZED IN ACCORDANCE WITH THE FOLLOWING VEGETATION PLAN.
 

VEGETATION PLAN:  
REVEGETATION MEASURES SHALL COMMENCE IMMEDIATELY UPON COMPLETION OF CONSTRUCTION OF THE ROADWAY IMPROVEMENTS. DISTURBED AREAS SHALL ALSO BE MULCHED AND ANCHORED PRIOR TO ANY STORM EVENT. SEE MULCHING REQUIREMENTS IN SECTION B(1A) ABOVE. IF FINAL SEEDING CANNOT BE ACCOMPLISHED BY SEPTEMBER 15TH, THEN ALL DISTURBED AREAS SHALL BE SEEDING WITH A WINTER COVER CROP OF RYE AT THE RATE OF 3 LBS./1000 SQ. FT. TO PROVIDE WINTER PROTECTION. SEEDING AREAS SHALL BE COVERED WITH EROSION CONTROL MESH. SEE WINTER PROTECTION REQUIREMENTS IN SECTION B (1B) ABOVE.

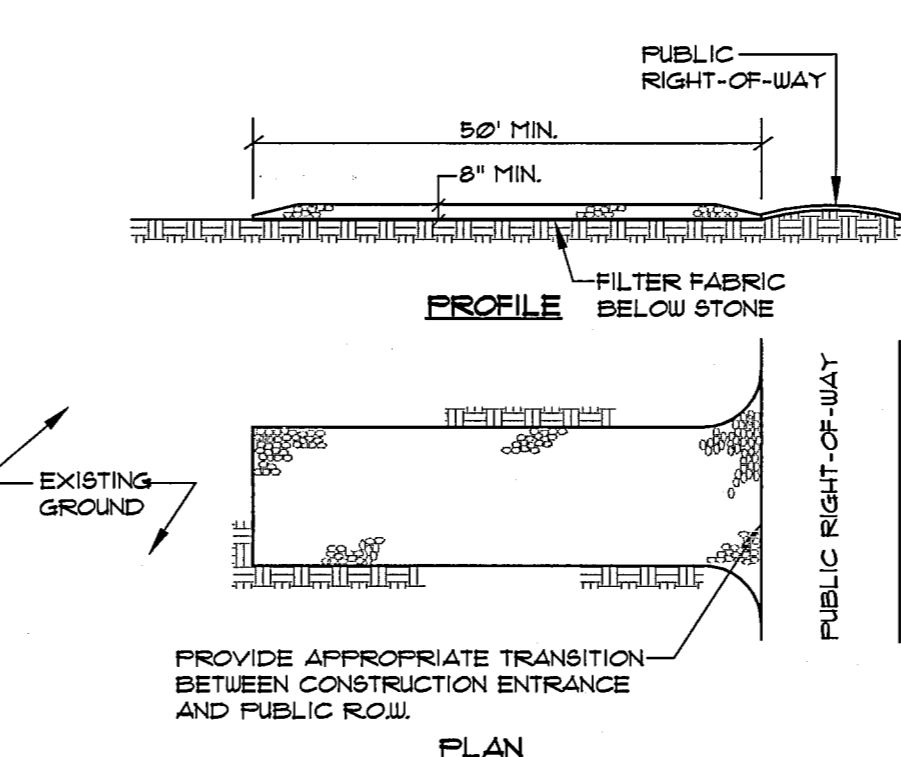
- REVEGETATION MEASURES SHALL CONSIST OF THE FOLLOWING:
- FOUR INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE. LOAM SHALL BE FREE OF SUBSOIL, CLAY LUMPS, STONES AND OTHER OBJECTS OVER 1" IN DIAMETER, AND WITHOUT WEEDS, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
  - SOILS TESTS SHALL BE TAKEN AT THE TIME OF SOIL STRIPPING TO DETERMINE FERTILIZATION REQUIREMENTS. SOILS TEST SHALL BE TAKEN PROMPTLY AS TO NOT INTERFERE WITH THE 14 DAY LIMIT ON SOIL EXPOSURE. BASED UPON TEST RESULTS, SOIL AMENDMENTS SHALL BE INCORPORATED INTO THE SOIL PRIOR TO FINAL SEEDING. IN LIEU OF SOIL TESTS, SOIL AMENDMENTS MAY BE APPLIED AS FOLLOWS:
 

ITEM	APPLICATION RATE
10-20-20 FERTILIZER (N-P2O5-K2O OR EQUAL)	18.4 LB./1000 SF.
GROUND LIMESTONE (95% CALCIUM + MAGNESIUM OXIDE)	130 LB./1000 SF.
  - FOLLOWING SEED BED PREPARATION, SWALE AREAS, FILL AREAS AND BACK SLOPES SHALL BE SEEDING AT A RATE OF 3 LBS./1000 SF. WITH A MIXTURE OF 35% CREEPING RED FESCUE, 6% RED TOP, 24% KENTUCKY BLUEGRASS, 10% PERENNIAL RYEGRASS, 20% ANNUAL RYEGRASS AND 5% WHITE DUTCH CLOVER.
  - EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISH SEEDING AREAS AS SPECIFIED ON THE DESIGN PLANS.
  - ALL HAY BALE AND/OR FILTER FABRIC BARRIERS WILL REMAIN IN PLACE UNTIL SEEDINGS HAVE BECOME 85%-90% ESTABLISHED AND THEN REMOVED WITHIN 10 DAYS.
  - THE INSPECTING ENGINEER AT HIS/HER DISCRETION MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AND/OR SUPPLEMENTAL VEGETATIVE PROVISIONS TO MAINTAIN STABILITY OF EARTHWORKS AND FINISH GRADED AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY SUPPLEMENTAL MEASURES AS DIRECTED BY THE INSPECTING ENGINEER. FAILURE TO COMPLY WITH THE ENGINEER'S DIRECTIONS WILL RESULT IN DISCONTINUATION OF CONSTRUCTION ACTIVITIES.
- D. CONSTRUCTION SCHEDULE:
- SITE IMPROVEMENTS ARE SCHEDULED TO BEGIN IN SUMMER 2018. CONSTRUCTION DURATION IS ANTICIPATED TO BE 36 MONTHS TO TIME OF SUBSTANTIAL COMPLETION.
- SCHEDULE:
- |   |                               |
|---|-------------------------------|
| 1. EROSION CONTROL MEASURES PLACED:                               | WEEK 1- WEEK 2                |
| 2. SITE CLEARING AND GRUBBING:                                    | MONTH 1-ONGOING               |
| 3. CONSTRUCTION OF SITE IMPROVEMENTS:                             | MONTH 1-ONGOING               |
| 4. MULCH SPREAD FOR WINTER EROSION CONTROL:                       | OCT. 15 OF CONSTRUCTION YEAR  |
| 5. START FINAL SEEDINGS ON PREPARED AREAS (DURING GROWTH SEASON): | MONTH 15                      |
| 6. BIWEEKLY MONITORING OF VEGETATIVE GROWTH:                      | MONTH 15                      |
| *1. RESEEDING OF AREAS, IF NEEDED:                                | MONTH 15                      |
| *2. REMOVAL OF EROSION CONTROL DEVICES:                           | UPON FINAL PROJECT COMPLETION |
- \* DATES ARE SUBJECT TO CHANGE AT THE DISCRETION OF THE ENGINEER, DEPENDING ON CONSTRUCTION PROGRESS.
- E. INSPECTIONS/MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, THE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES. THE CONTRACTOR SHALL PERFORM REPAIRS AS NEEDED TO ALLOW CONTINUED PROPER FUNCTIONING OF THE EROSION CONTROL MEASURE. THE CONTRACTOR SHALL PROVIDE THE MUNICIPALITY WITH WRITTEN DOCUMENTATION DESCRIBING DATES OF INSPECTIONS AND NECESSARY FOLLOW-UP WORK TO MAINTAIN EROSION CONTROL MEASURES MEETING THE REQUIREMENTS OF THIS PLAN. FOLLOWING THE TEMPORARY AND/OR FINAL SEEDING, THE CONTRACTOR SHALL INSPECT THE WORK AREA SEMI-MONTHLY UNTIL THE SEEDINGS HAVE BEEN ESTABLISHED. ESTABLISHED AREAS A MINIMUM OF 85%-90% OF AREAS VEGETATED WITH VIGOROUS GROWTH. RESEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW-UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.

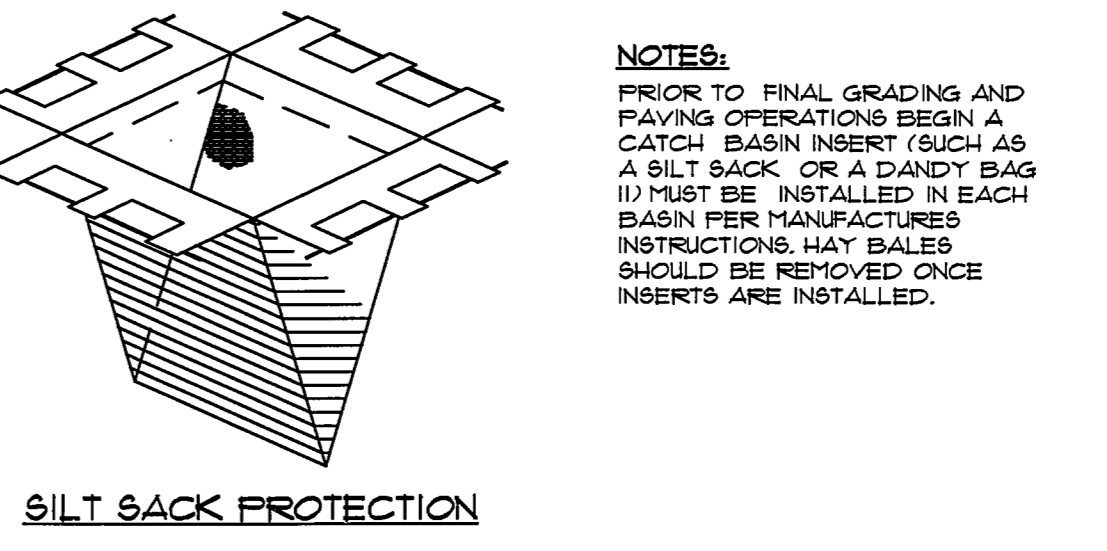
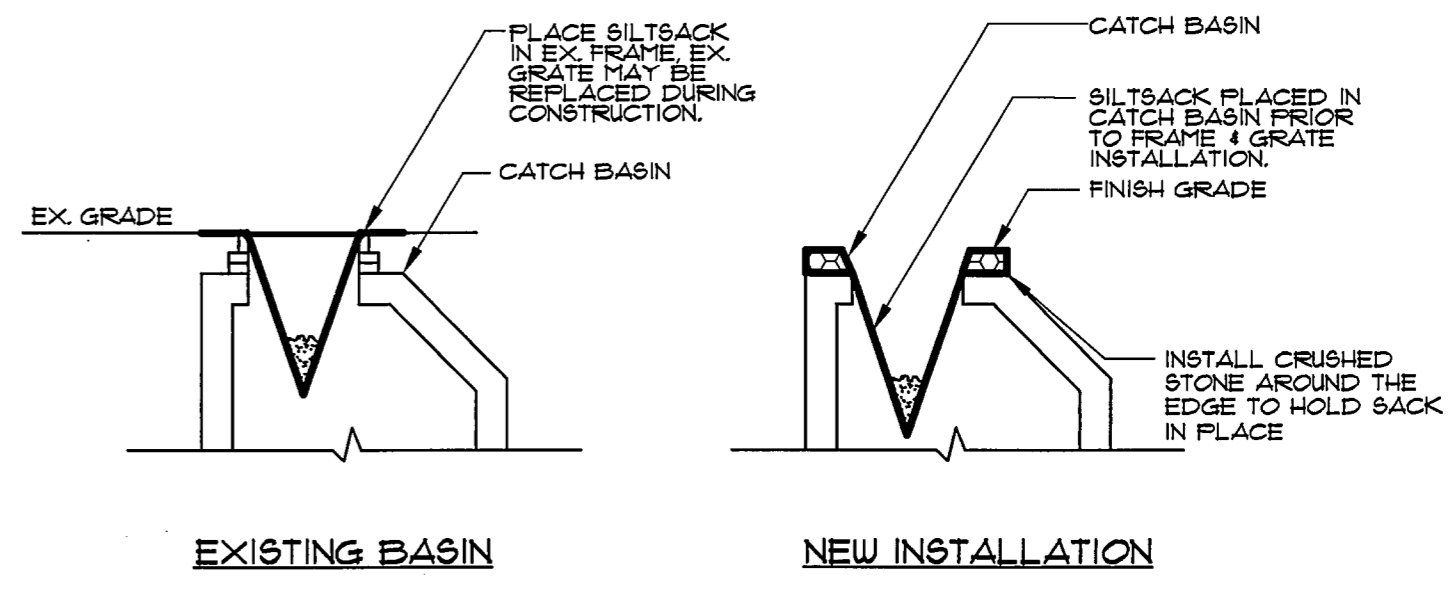


- INSTALLATION:**
- EXCAVATE A 6" x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
  - UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
  - DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
  - LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND FILLING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
  - JOIN SECTION AS SHOWN ABOVE.
  - BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.

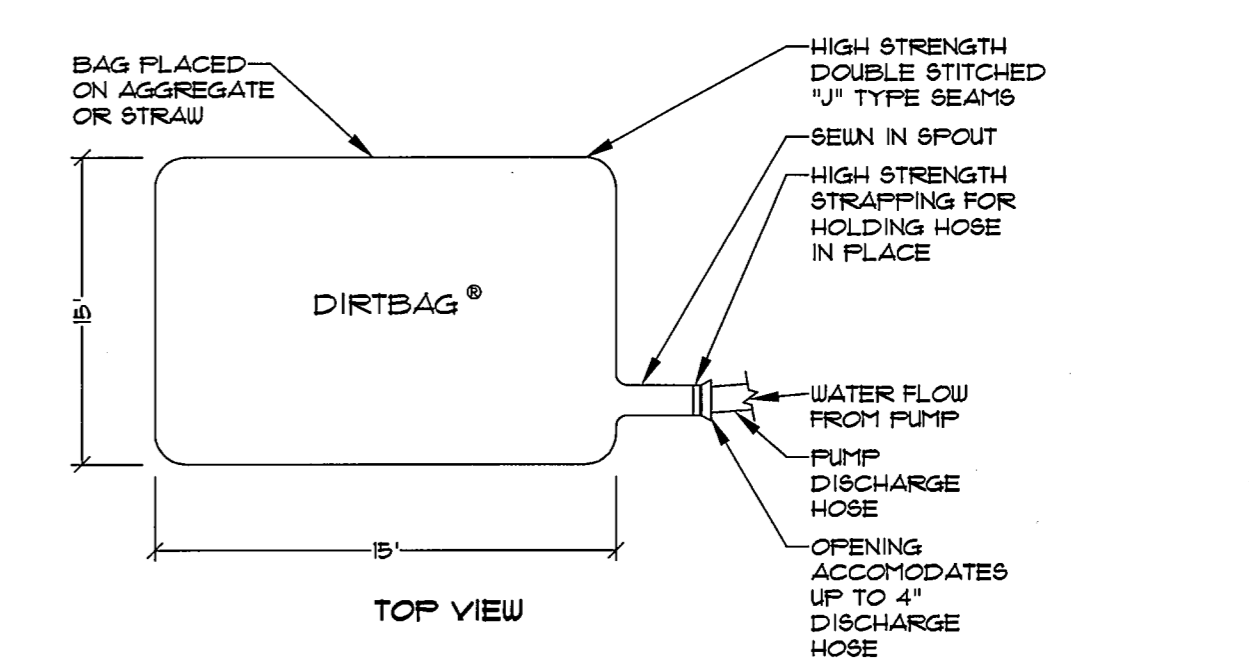
**FILTER BARRIER**  
NOT TO SCALE



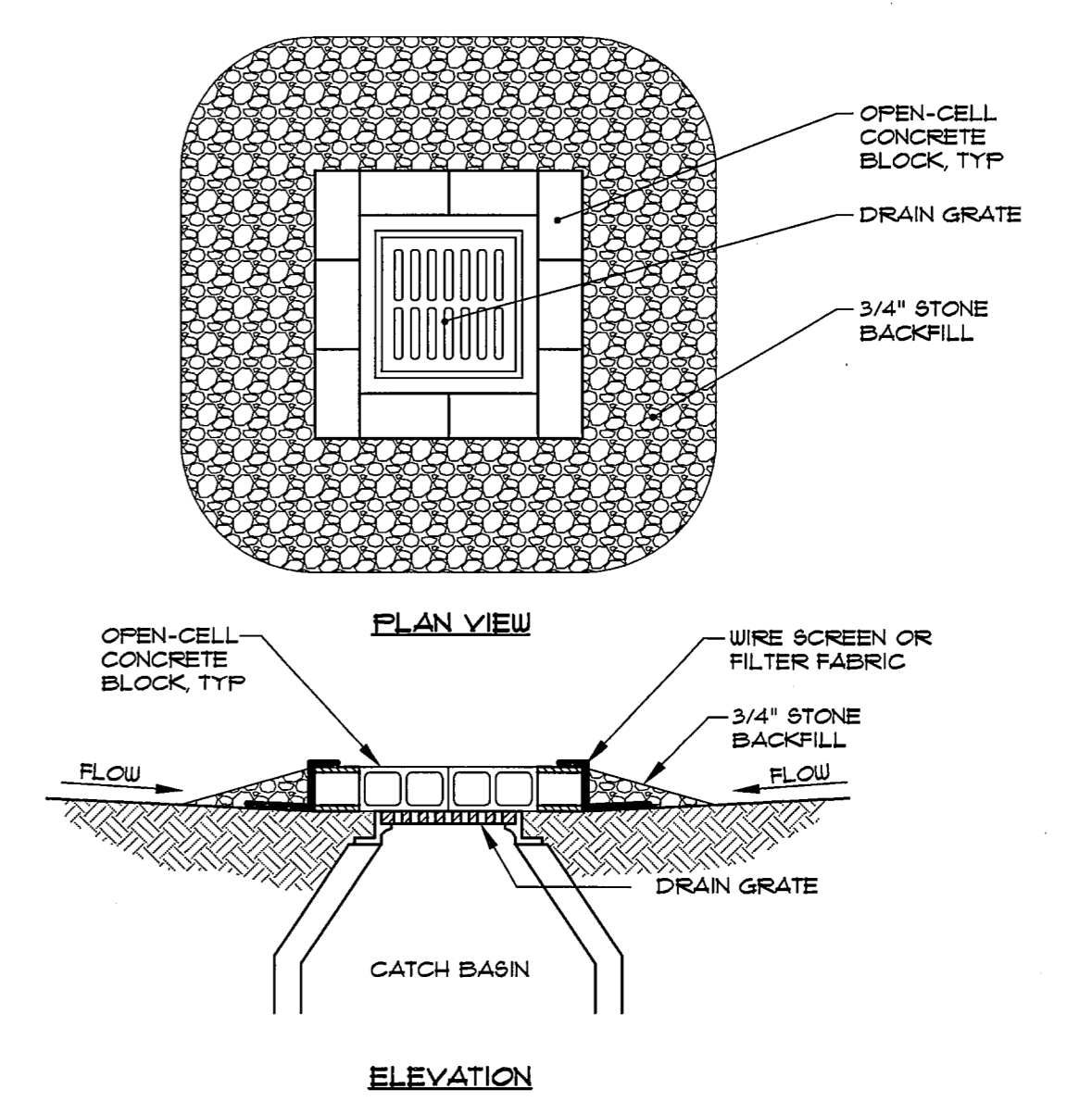
- NOTES:**
- STONE SIZE - AASHTO DESIGNATION M43, SIZE NO. 2 (1 1/2" TO 1 1/2"), USE CRUSHED STONE.
  - LENGTH - AS SHOWN ON PLANS, MIN. 50 FEET.
  - THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
  - WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
- STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



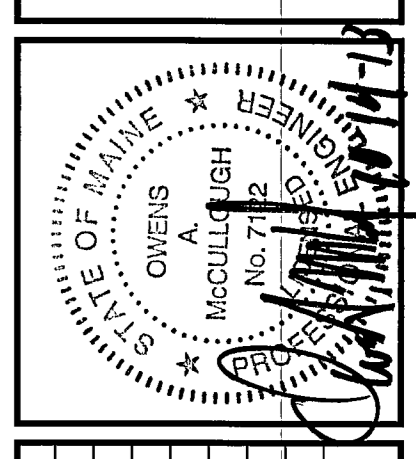
**CATCH BASIN PROTECTION DETAIL**  
(FOR PAVED AREAS)  
NOT TO SCALE



**DIRTBAG PUMPED SILT CONTROL SYSTEM**  
NOT TO SCALE



**BLOCK SEDIMENT BARRIER**  
NOT TO SCALE



REV.	DATE	STATUS
E	10-15-13	WTC
D	10-03-13	WTC
C	09-17-13	WTC
B	09-03-13	WTC
A	07-29-13	WTC

REV. BY: DATE: STATUS: SUBMIT SITE PLAN APPLICATION TO CITY

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PROJECT NO. 13251  
FIELD BOOK DESIGN CHKD DRAWN MAL

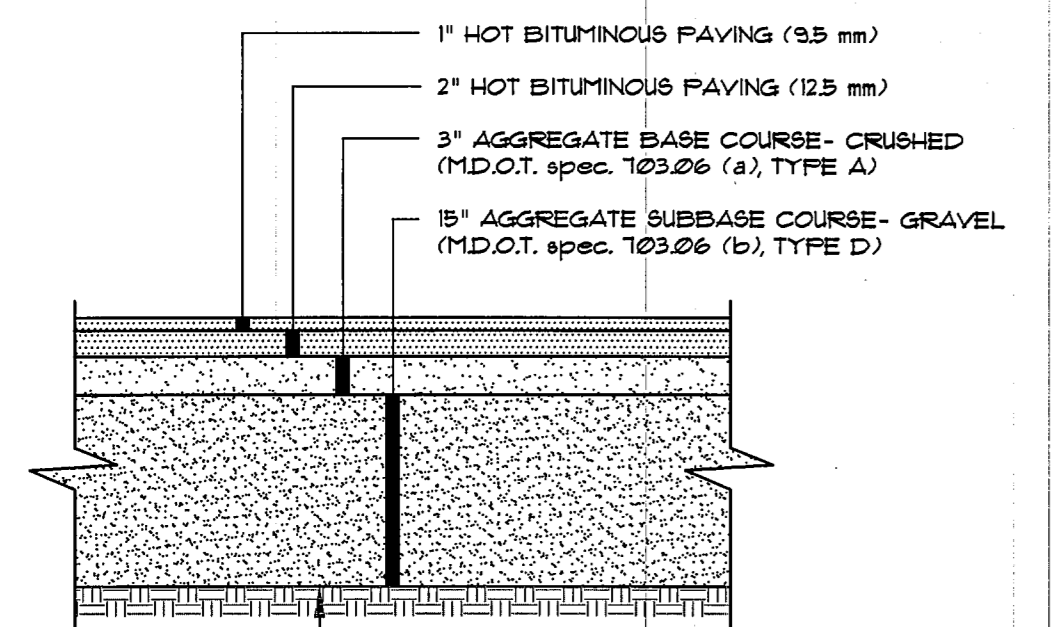
**DETAILS OF:**  
SEAPORT LOFTS  
NEWBURY/HANCOCK STREET  
PORTLAND, MAINE  
FOR:  
113 NEWBURY STREET, LLC  
35 FAY STREET, SUITE 407B  
BOSTON, MA 02118-4520

DATE	SCALE
07-26-13	AS SHOWN

**SHEET 10 OF 14**

13251.DWG, TAB-D1

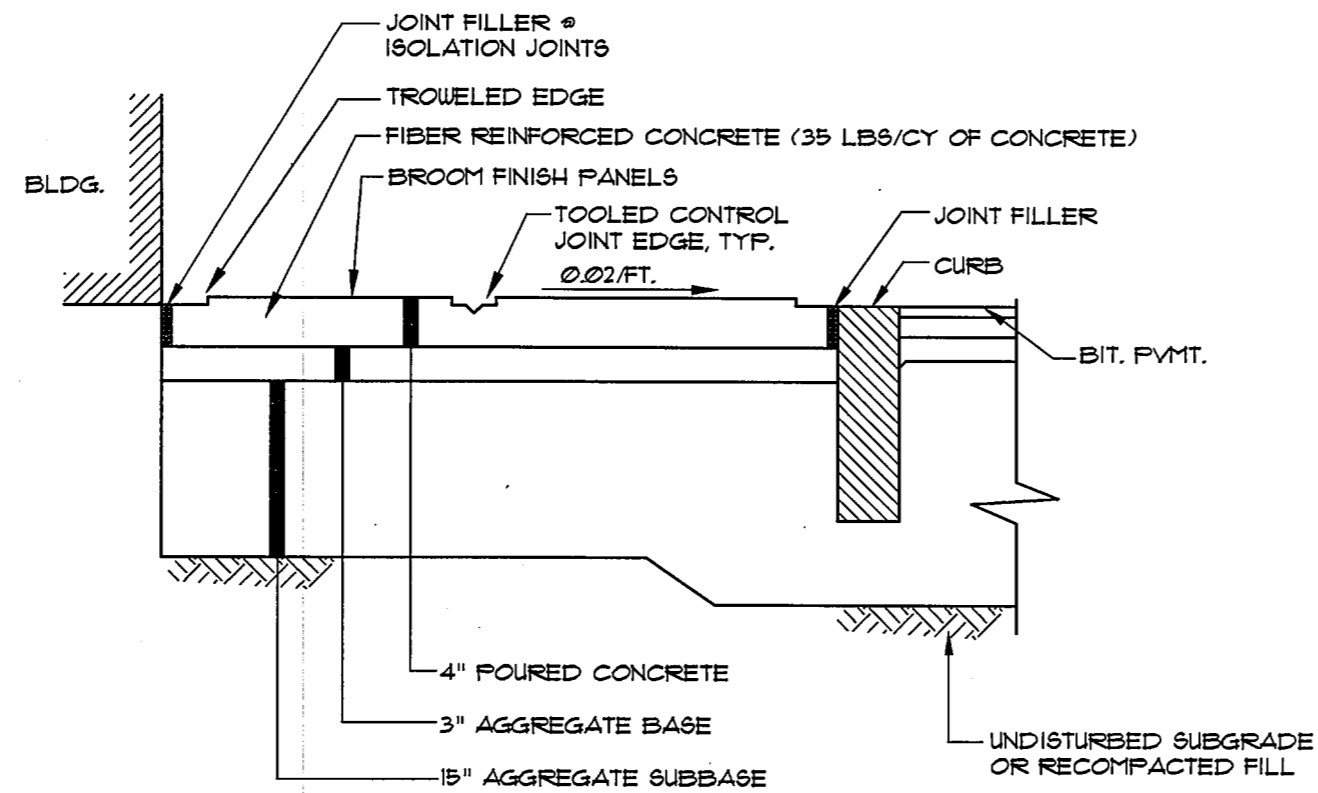




BRING TO SUBGRADE AS REQUIRED W/ COMMON BORROW COMPACTED TO 90% OF MAXIMUM DENSITY.

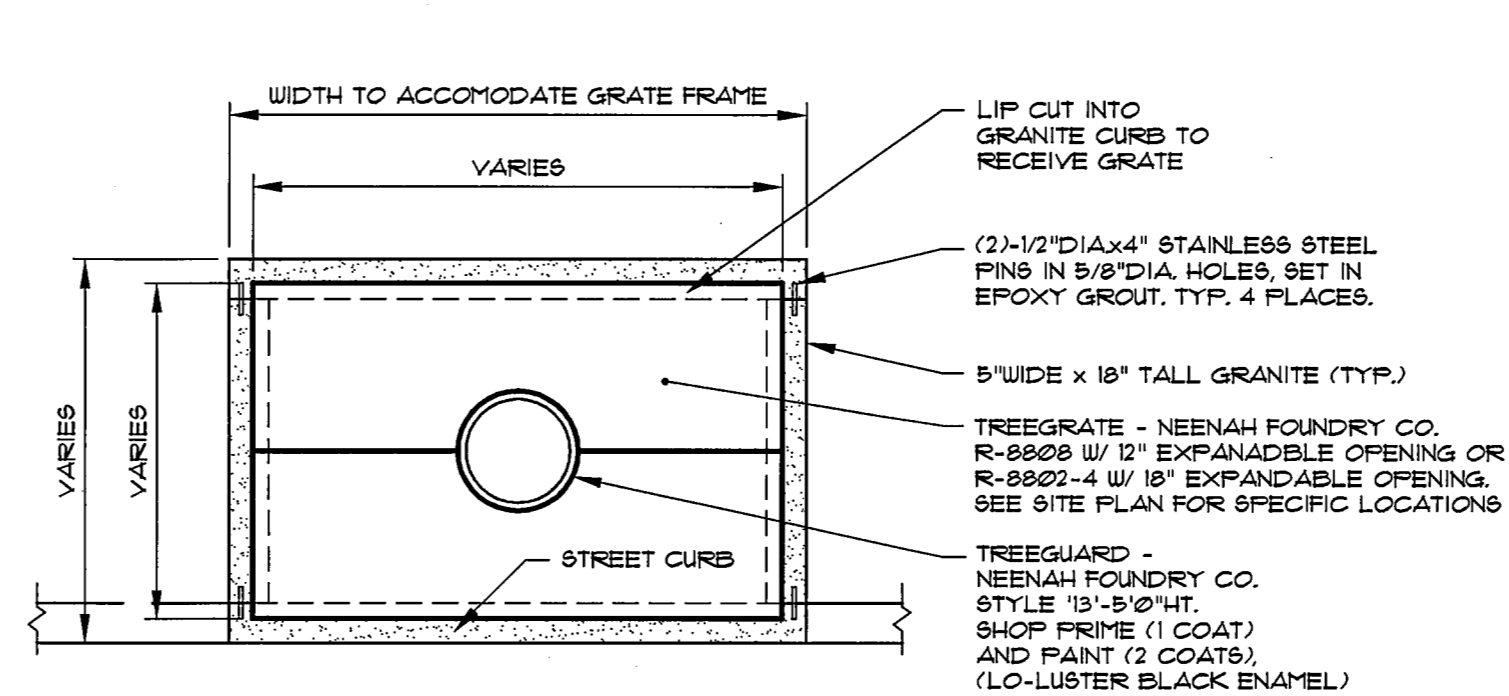
**NOTES:**  
 1. COMPACT GRAVEL SUBBASE, BASE COURSE TO 90% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.  
 2. CONTRACTOR SHALL SET GRADE STAKES MARKING SURFACE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

**TYP. PAVED DRIVEWAY SECTION**  
NOT TO SCALE

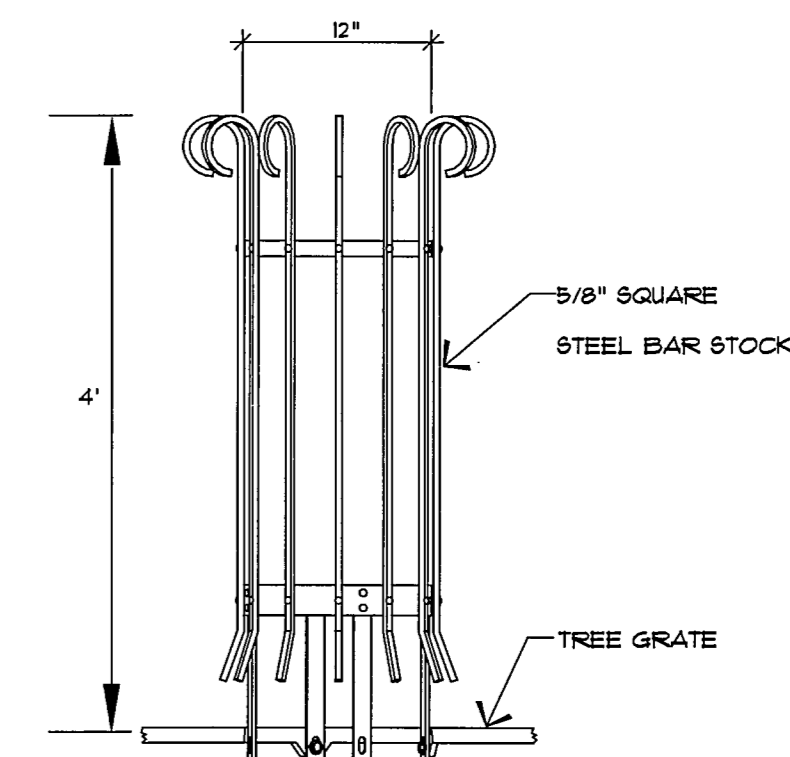


**NOTE:**  
 1. INSTALL 4.5' DEEP SELECT FILL BELOW ENTRANCE SIDEWALKS AT BUILDING (OR TO DEPTH OF SOILD, INTACT BEDROCK).  
 2. CONCRETE SHALL HAVE AN Fc=4500 PSI AND SHALL RECEIVE 2 COATS OF WATER PENETRATING SEALANT.

**CONCRETE PAVING**  
NOT TO SCALE

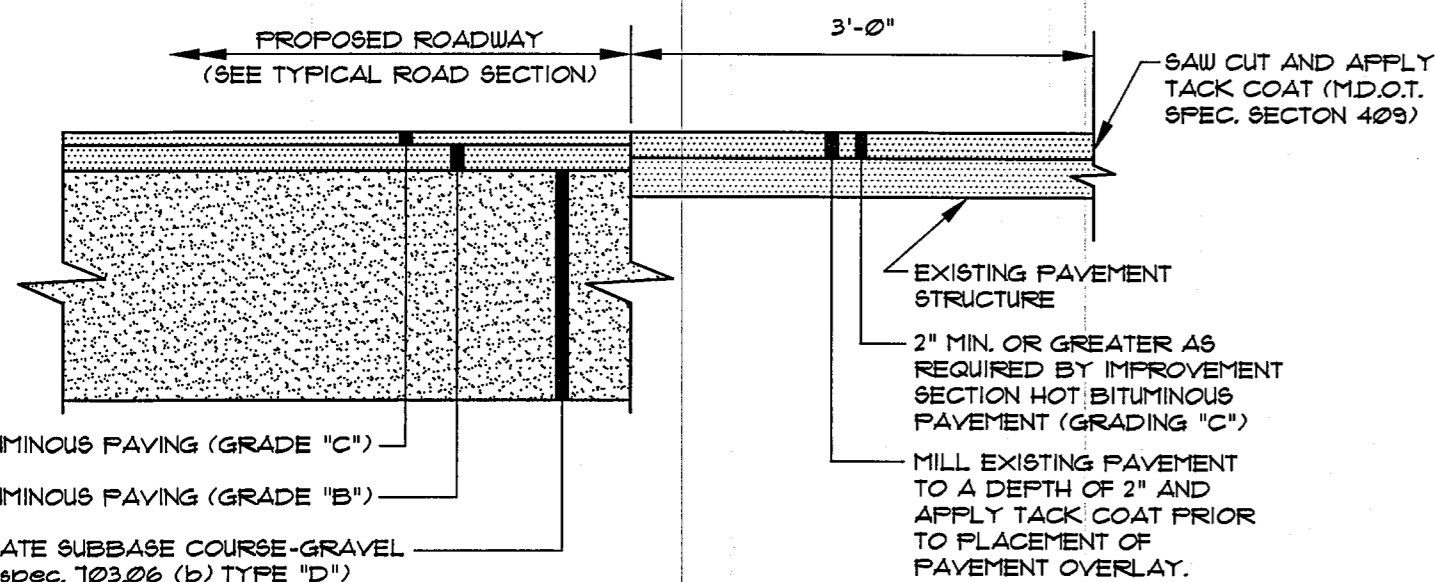


**TREE GRATE DETAIL**  
NOT TO SCALE

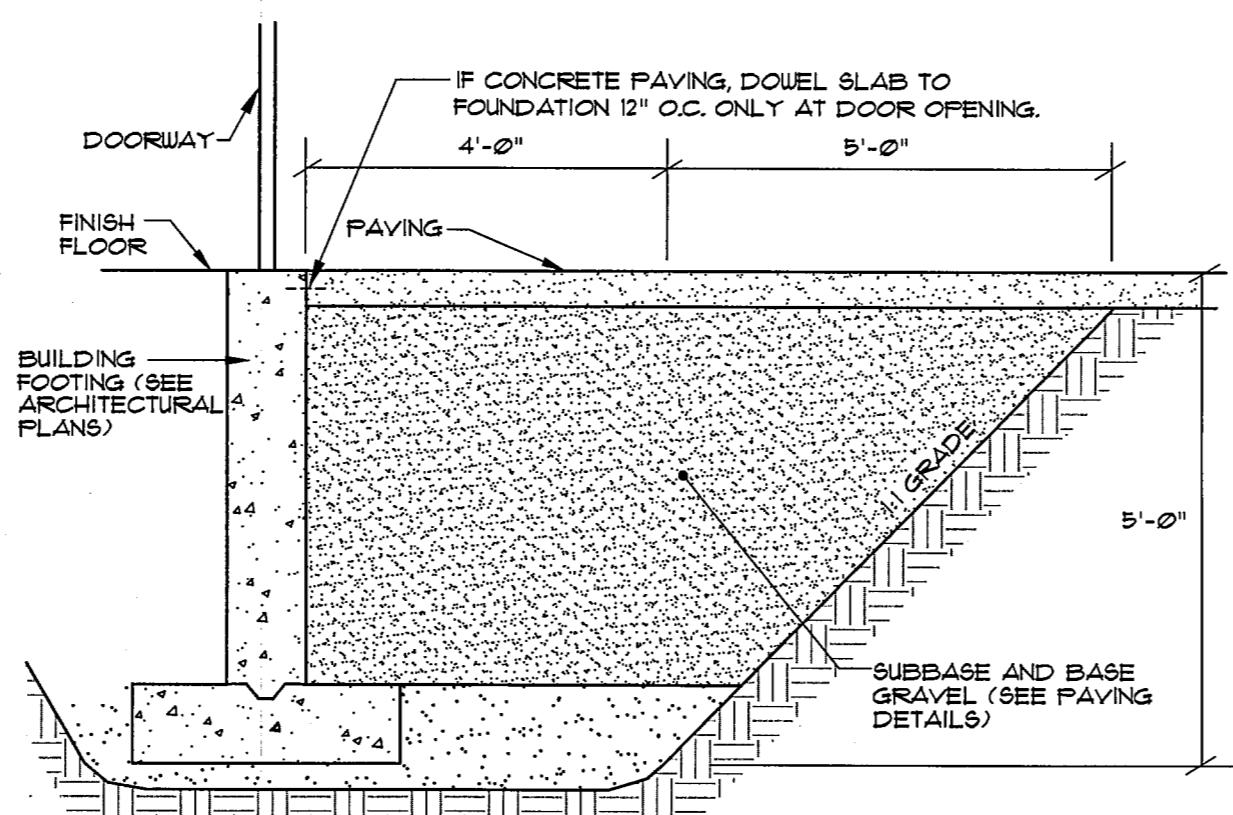


**MATERIAL:** ALL HOT ROLLED MILD STEEL  
**FINISH:** PAINTED WITH ONE COAT LO-LUSTER BLACK ENAMEL  
 Neneah Foundry Co. (nfcocom). Item: Type A, L4, 12" opening.

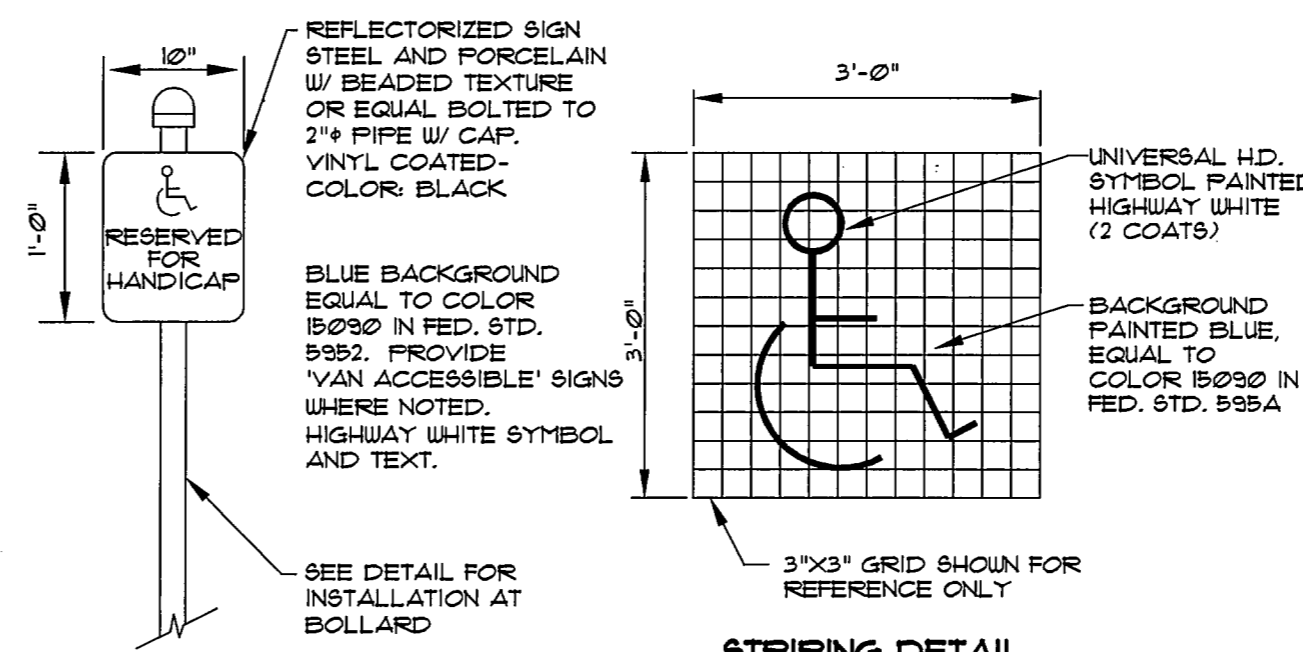
**TYPICAL TREE GUARD**  
NOT TO SCALE



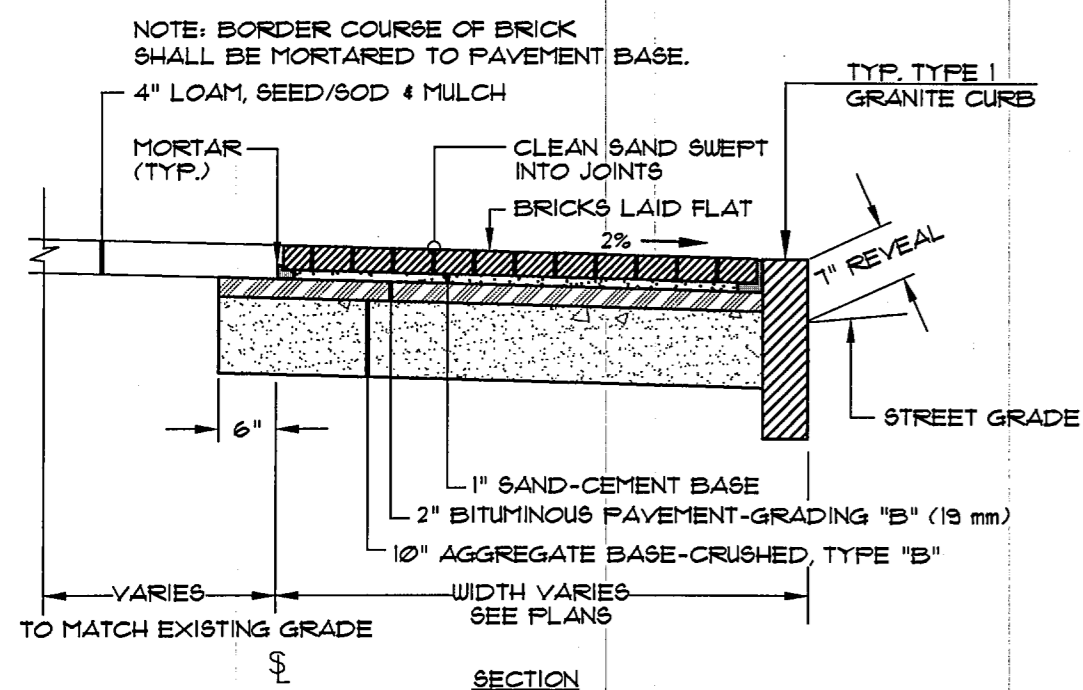
**PAVEMENT SAW CUT DETAIL**  
NOT TO SCALE



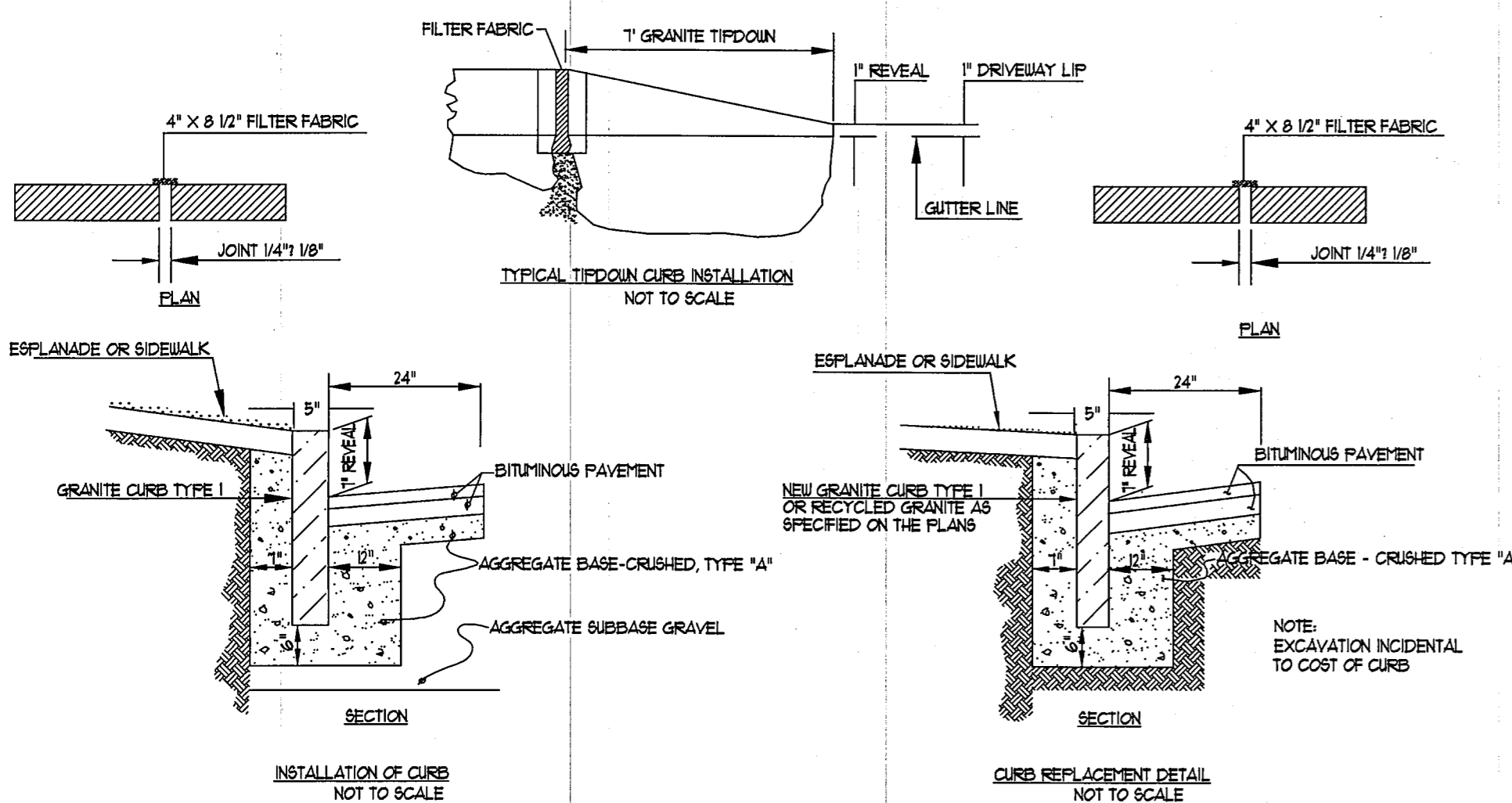
**5' GRANULAR BASE @ DOOR THRESHOLD**  
NOT TO SCALE



**HANDICAP SIGNS AND STRIPING**  
NOT TO SCALE

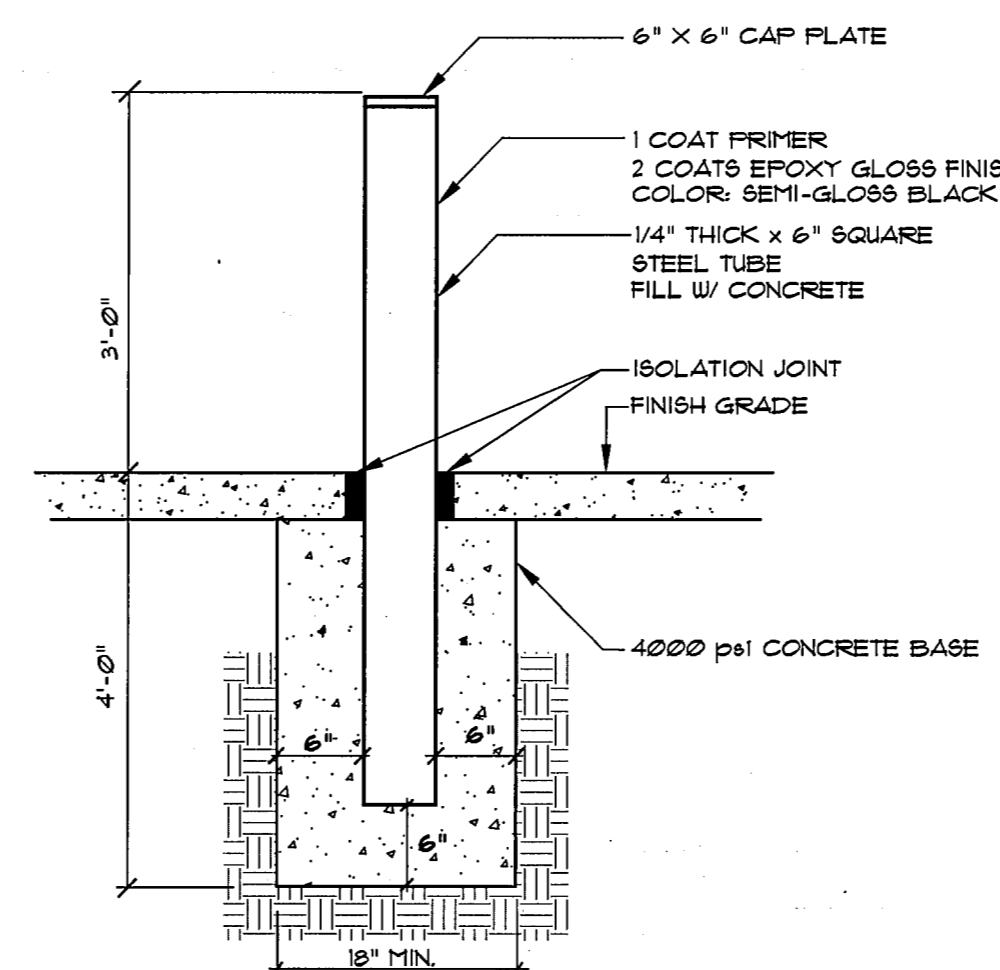


**BRICK SIDEWALK DETAIL**  
NOT TO SCALE

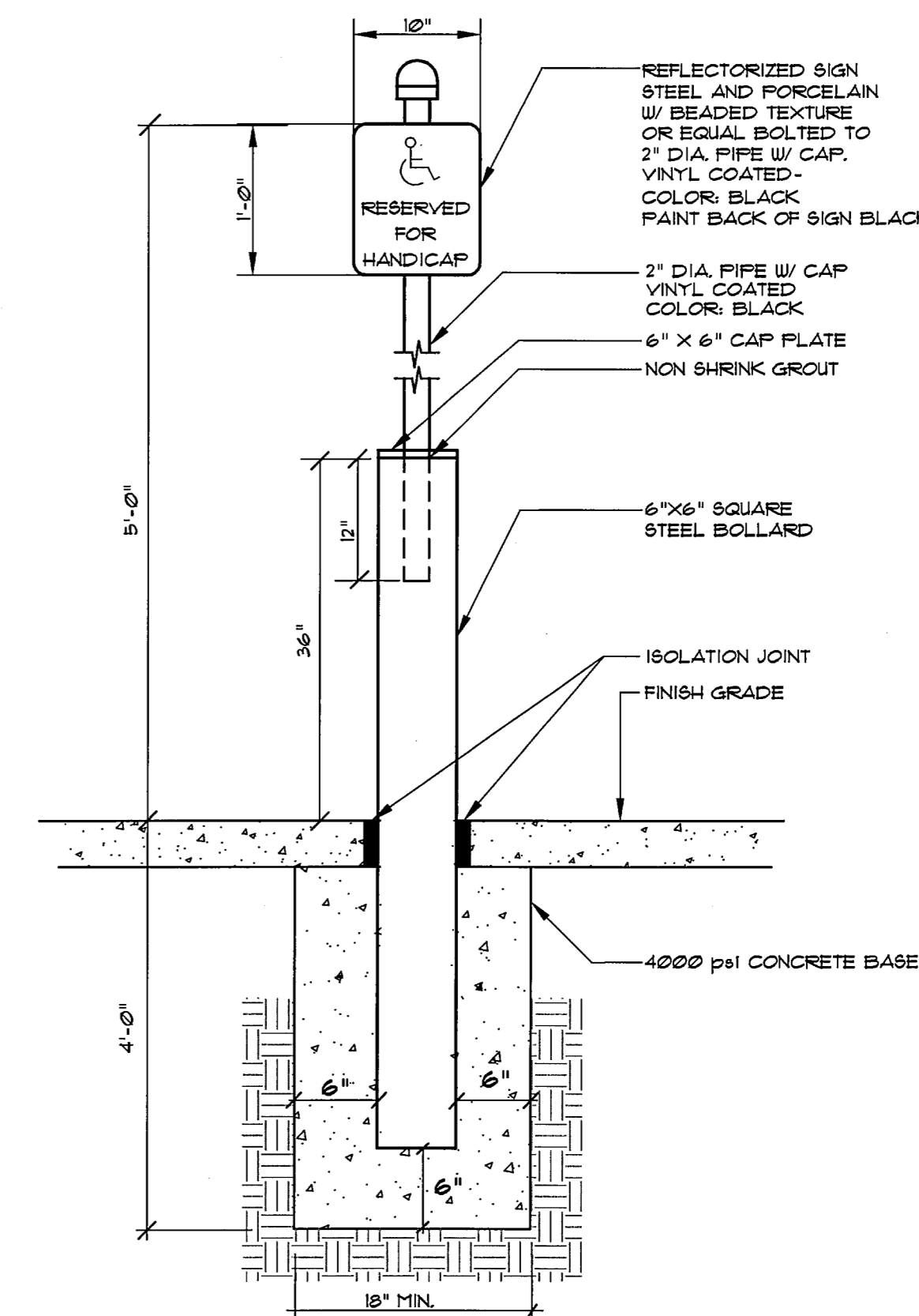


**NOTE:** NO GRANITE CURB SECTIONS SHALL BE INSTALLED LESS THAN 4 FT. IN LENGTH.

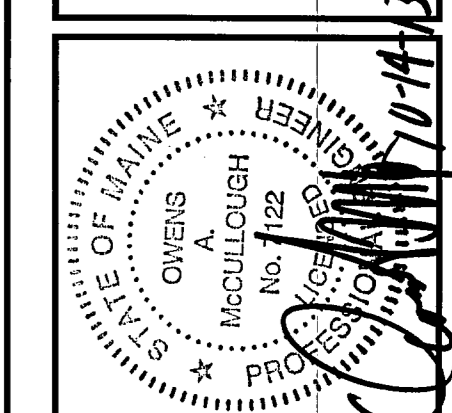
**INSTALLATION OF CURB, TYPE 1**  
NOT TO SCALE



**STEEL BOLLARD**  
NOT TO SCALE



**STEEL BOLLARD MOUNTED SIGN**  
NOT TO SCALE



10-15-13	WTC	CITY SUBMITTAL 6
10-03-13	WTC	CITY SUBMITTAL 5
09-17-13	WTC	CITY SUBMITTAL 4
09-03-13	WTC	CITY SUBMITTAL 3
07-25-13	WTC	SUBMIT SITE PLAN APPLICATION TO CITY
	REV. BY:	DATE
	STATUS:	

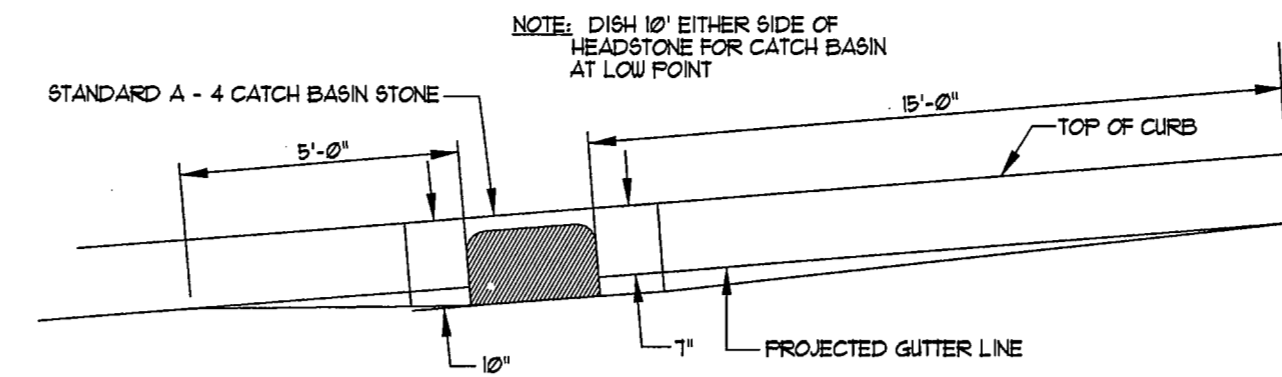
**SEBAGO TECHNICS**  
 WWW.SEBAGOTECHNICS.COM  
 75 Lake Road, Suite B  
 South Portland, ME 04106  
 Tel: 207-783-9556

PROJECT NO. 13251  
 FIELD BOOK DESIGN CHKO DRAWN MAL

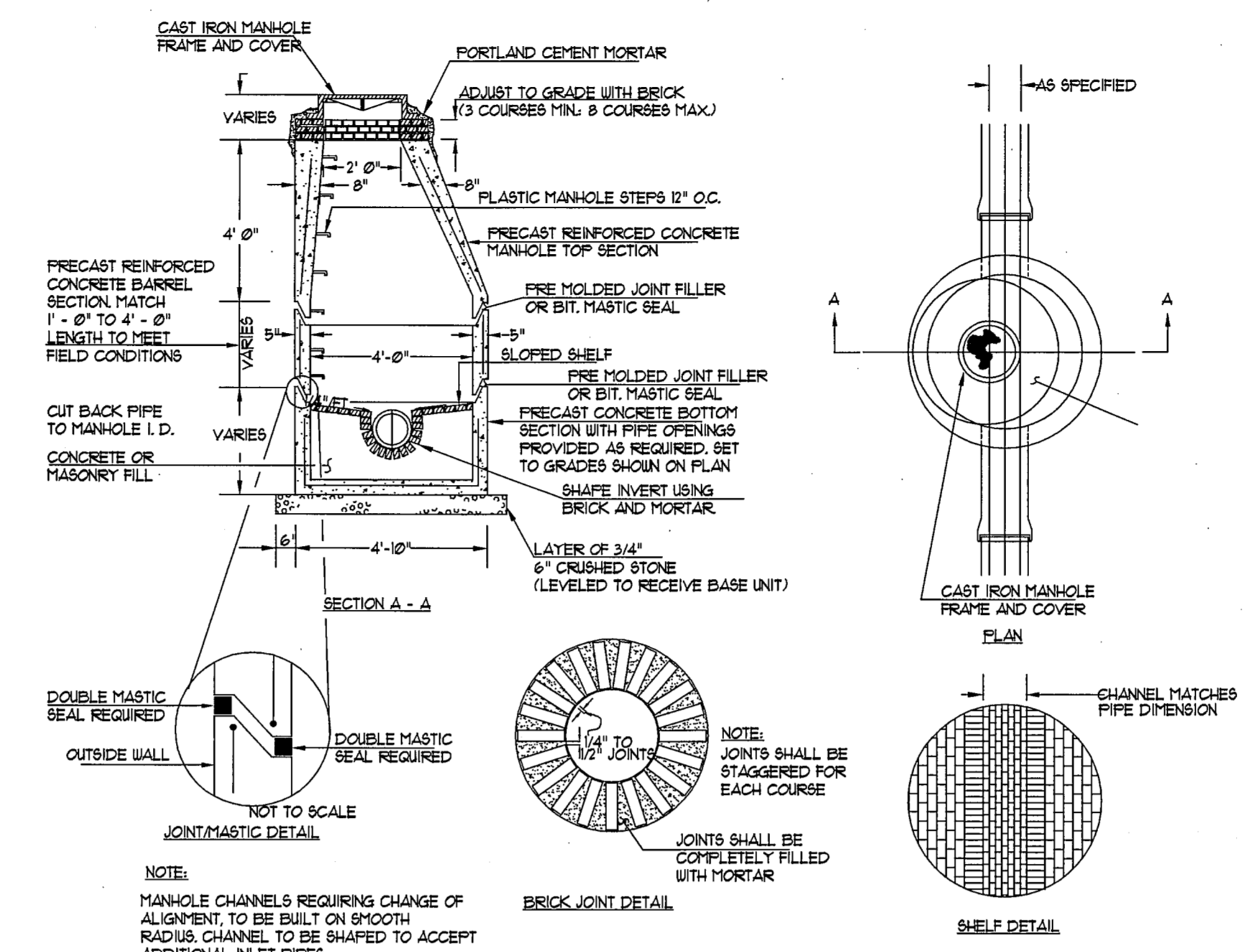
**DETAILS**  
 OF:  
**SEAPORT LOFTS**  
 NEWBURY / HANCOCK STREET  
 PORTLAND, MAINE  
 FOR:  
**113 NEWBURY STREET, LLC**  
 35 FAY STREET, SUITE 407B  
 BOSTON, MA 02118-4520

DATE: 07-26-13  
 SCALE: AS SHOWN

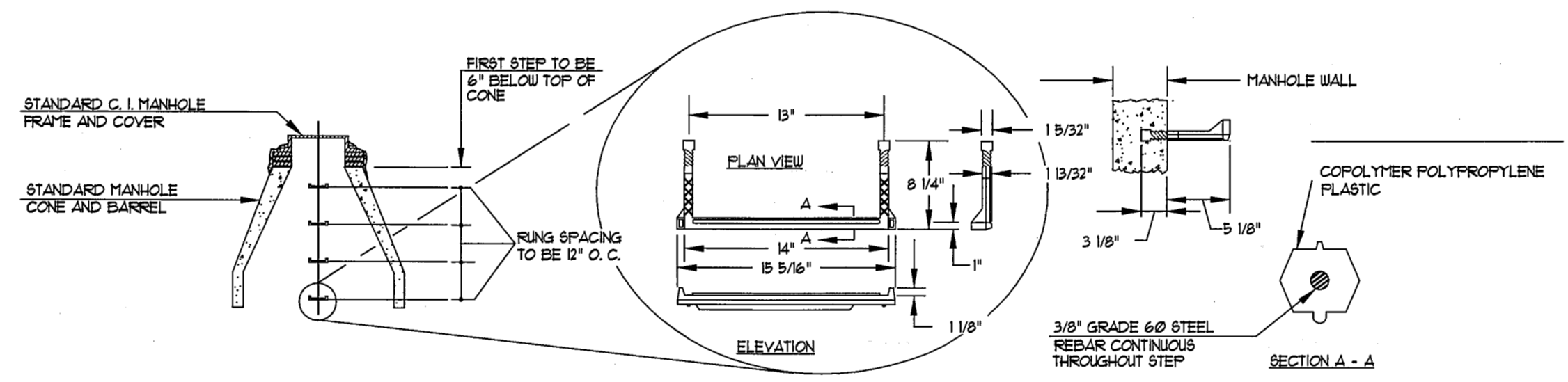
**SHEET 11 OF 14**



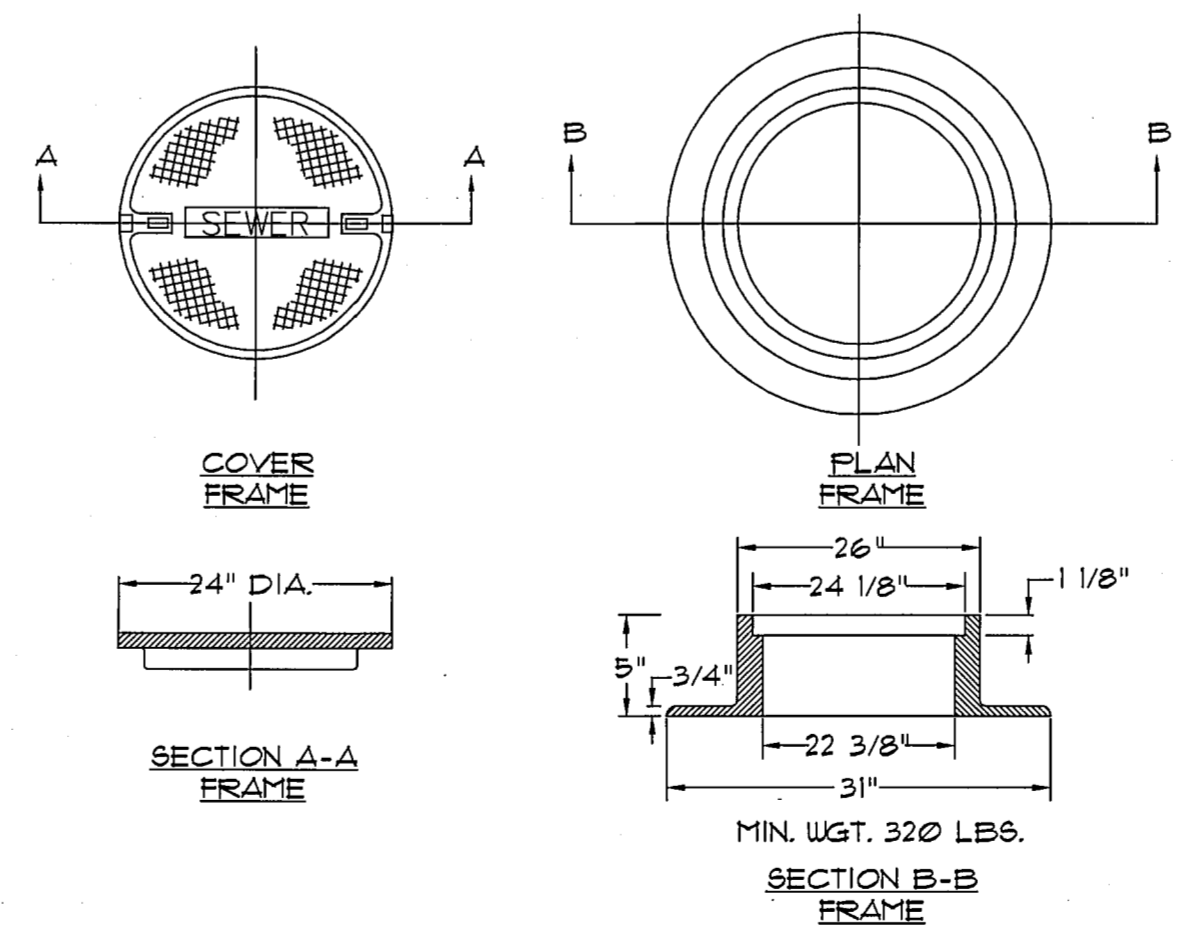
**TYPICAL PAVEMENT GRADING ON SLOPES FOR CATCH BASIN AND INLET**  
NOT TO SCALE



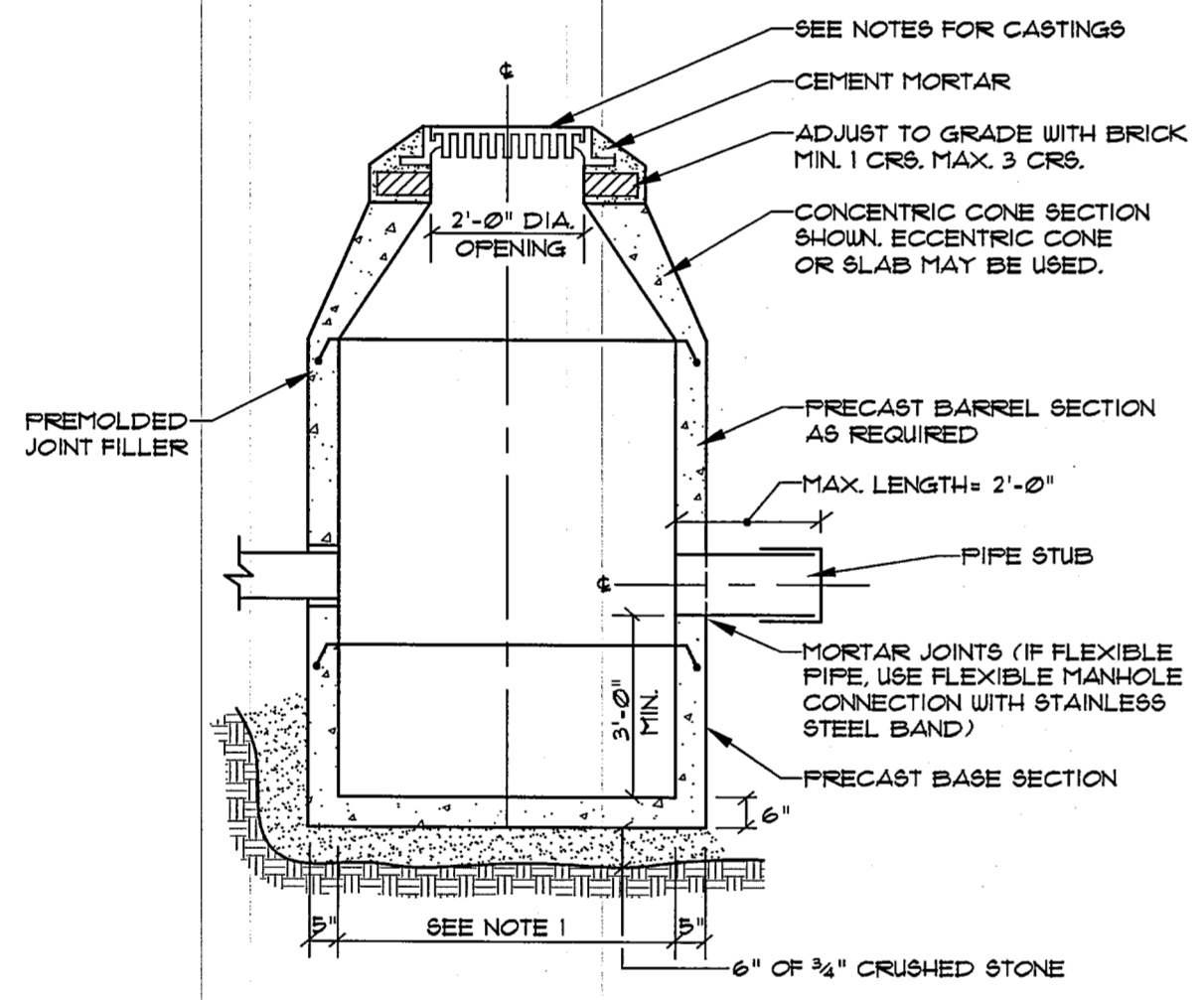
**PRECAST CONCRETE MANHOLE TYPE "A"**  
NOT TO SCALE



**PLASTIC MANHOLE STEPS**  
NOT TO SCALE

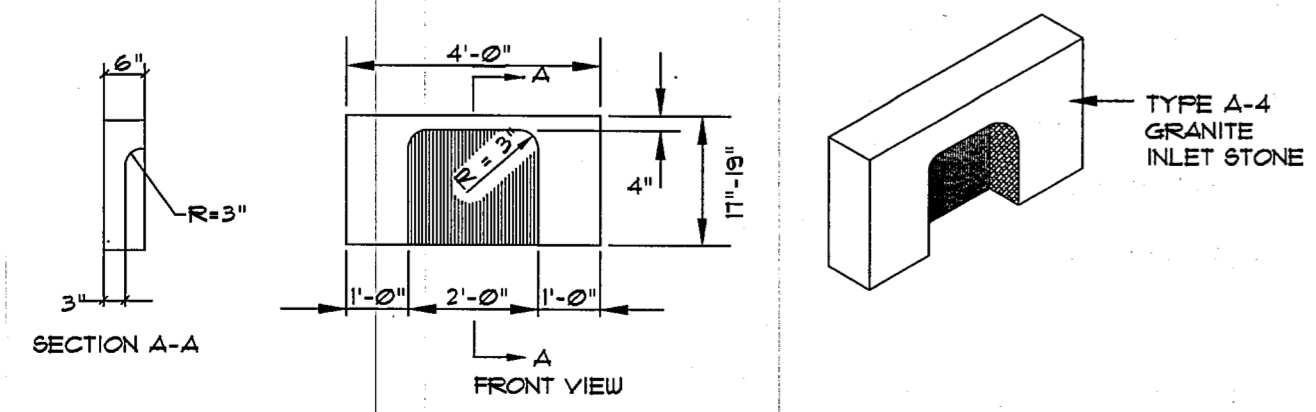


**CAST IRON MANHOLE COVER AND FRAME**  
NOT TO SCALE



- NOTES:**
- 4'-0" ID. TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER ID. PROVIDE SHOP DRAWINGS.
  - DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADING.
  - PIPE SIZES AND INVERTS AS NOTED ON PLANS.
  - CATCH BASIN FRAME AND GRATE TO BE EAST JORDAN FOUNDRY 5250, OR APPROVED EQUAL.
  - DRAINAGE MANHOLE FRAME AND COVER TO BE EAST JORDAN FOUNDRY 122, TYPE A, OR APPROVED EQUAL. COVER SHALL BE MARKED 'DRAIN'.
  - ALL DRAIN MANHOLES SHALL HAVE SHELVES AND CHANNELS INSTALLED.

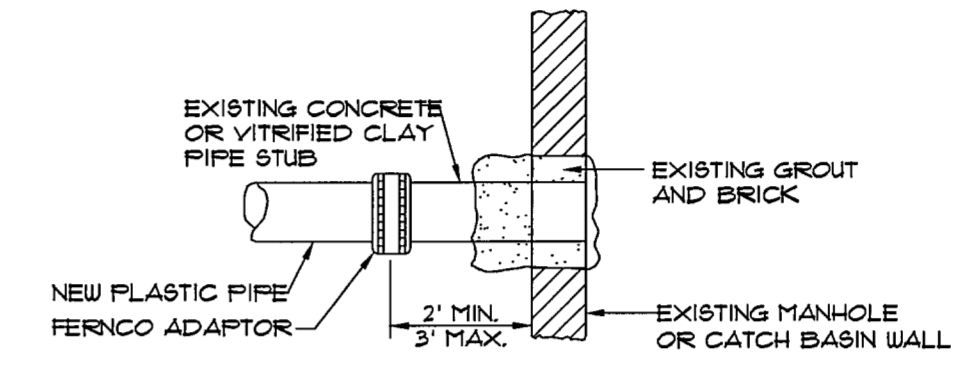
**TYPICAL DRAINAGE MANHOLE/CATCH BASIN**  
NOT TO SCALE



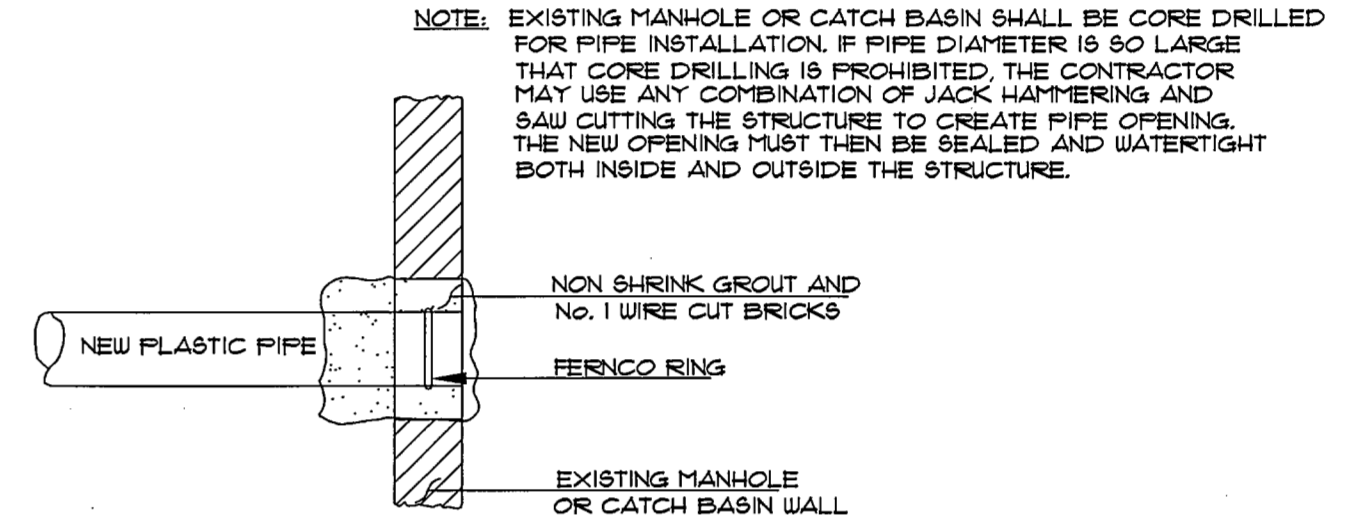
**TYPE A-4 GRANITE CATCH BASIN INLET STONE DETAIL**  
(FOR EXISTING BASIN AT HANCOCK STREET)  
NOT TO SCALE

**GENERAL NOTES FOR MANHOLES AND CATCH BASINS**

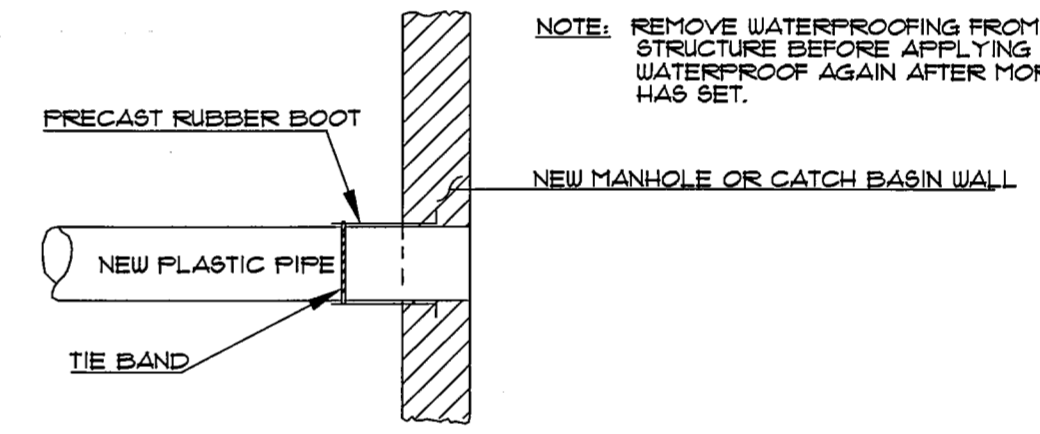
- ALL CONCRETE SHALL BE CLASS "A" AND HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000-psi, PER 50, INCH AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
- PRECAST REINFORCED CONE BARREL MANUFACTURED PER ASTM SPEC. C-418-67.
- SEWER BRICK SHALL CONFORM TO ASTM SPEC. DESIGNATE ON C-32-63, GRADE MA AND SA.
- ALL MANHOLES SHALL HAVE A BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE. IF CONSTRUCTED OF BRICK MASONRY, SURFACE SHALL BE FLASTERED WITH A SMOOTH MORTAR FINISH 3/4" THICK AFTER THE MORTAR HAS SET, THE SURFACE SHALL BE WATERPROOFED AS REQUIRED BY SUPPLEMENTAL SPECIFICATIONS SECTION 604.
- CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-CLASS 35. ALL PARTS OF CASTINGS, EXCEPT FINISHED SURFACE, SHALL RECEIVE A COAT OF COAL TAR FITCH VARNISH OR ASPHALTUM PAINT WHICH SHALL BE SMOOTH AND TOUGH BUT NOT BRITTLE.
- MANHOLES MAY BE CONSTRUCTED OF MASONRY, PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
- ALL PRECAST MANHOLES AND CATCH BASINS SHALL BE IDENTIFIED BY STATION AND GESSET PAINTED ON THE SIDE OF THE STRUCTURE BY THE MANUFACTURER.
- EXISTING MANHOLES, CATCH BASINS, FRAMES, AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND.
- ALL WORK WITHIN THE STREET RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- ALL CATCH BASIN OUTLET PIPES SHALL BE INSTALLED WITH AN OIL AND FLOATABLES SEPARATOR, THE SEPARATOR SHALL BE THE "SLOUT" OR AN APPROVED EQUAL AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- MANHOLE FRAME, GRATE AND COVERS SHALL COMPLY WITH CITY OF PORTLAND TECHNICAL STANDARDS AND REQUIREMENTS.



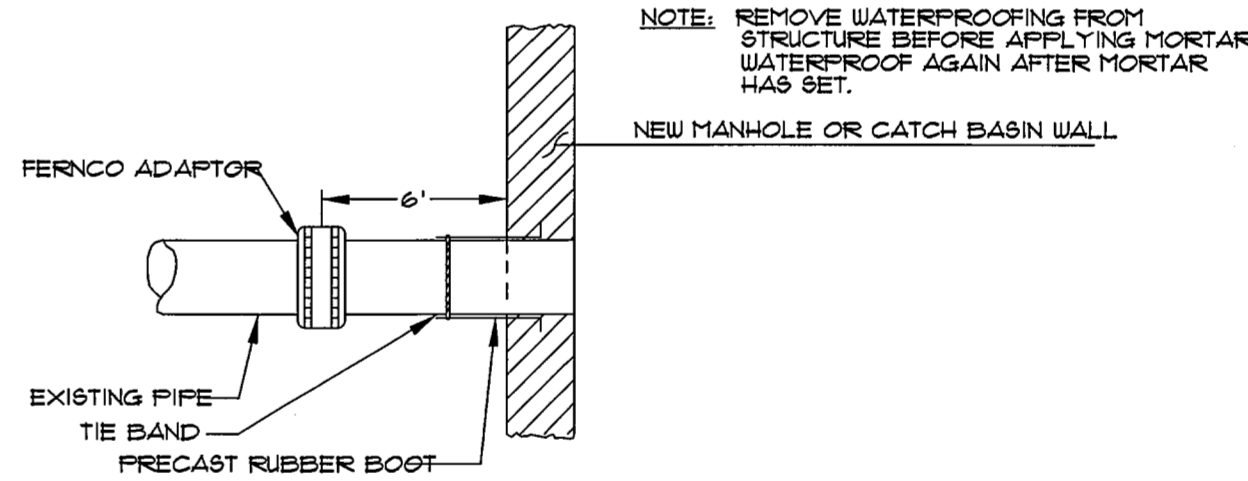
**METHOD 4 - NEW PIPE TO EXISTING STRUCTURE STUB**



**METHOD 3 - NEW PIPE INTO EXISTING STRUCTURE**



**METHOD 2 - NEW CONSTRUCTION**



**METHOD 1 - EXISTING PIPE INTO NEW STRUCTURE**

**PLASTIC PIPE CONNECTION DETAIL**  
NOT TO SCALE



REV.	DATE	BY	STATUS
A	07-29-13	WTC	SUBMIT SITE PLAN APPLICATION TO CITY
B	09-03-13	WTC	CITY SUBMITTAL 3
C	09-17-13	WTC	CITY SUBMITTAL 4
D	10-03-13	WTC	CITY SUBMITTAL 5
E	10-15-13	WTC	CITY SUBMITTAL 6

**SEBAGO TECHNICS**  
 WWW.SEBAGOTECHNICS.COM  
 75 Park Road, Suite 101  
 South Portland, ME 04106  
 Tel: 207-203-2100  
 Fax: 207-783-5555

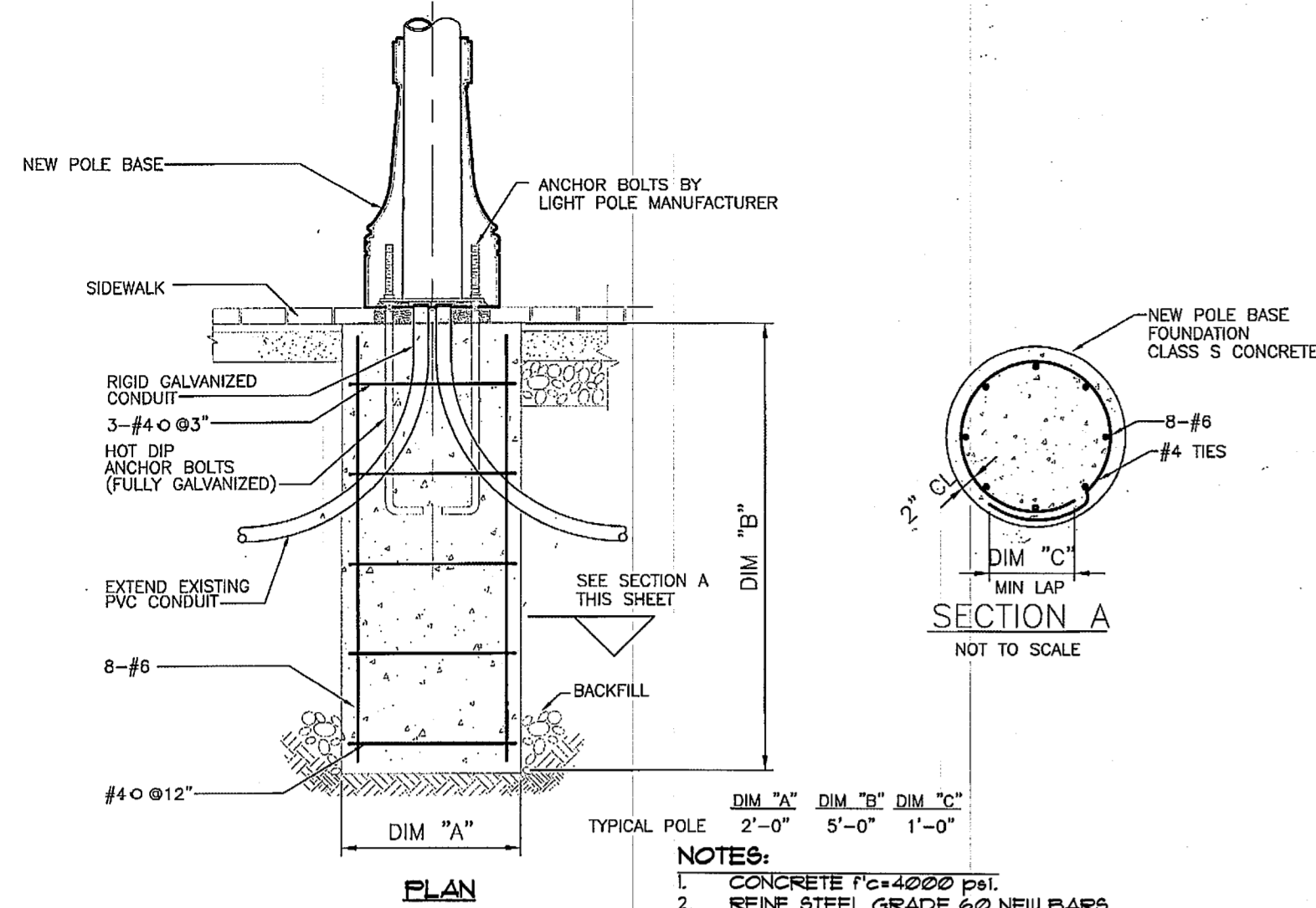
PROJECT NO. 13251  
 FIELD BOOK DESIGN CHKO DRAWN MAL  
 13251 WTC WTC WTC MAL

**DETAILS**  
 OF:  
**SEAPORT LOFTS**  
 NEWBURY / HANCOCK STREET  
 PORTLAND, MAINE  
 FOR:  
**113 NEWBURY STREET, LLC**  
 36 FAY STREET, SUITE 107B  
 BOSTON, MA 02118-4320

DATE SCALE  
 07-26-13 AS SHOWN

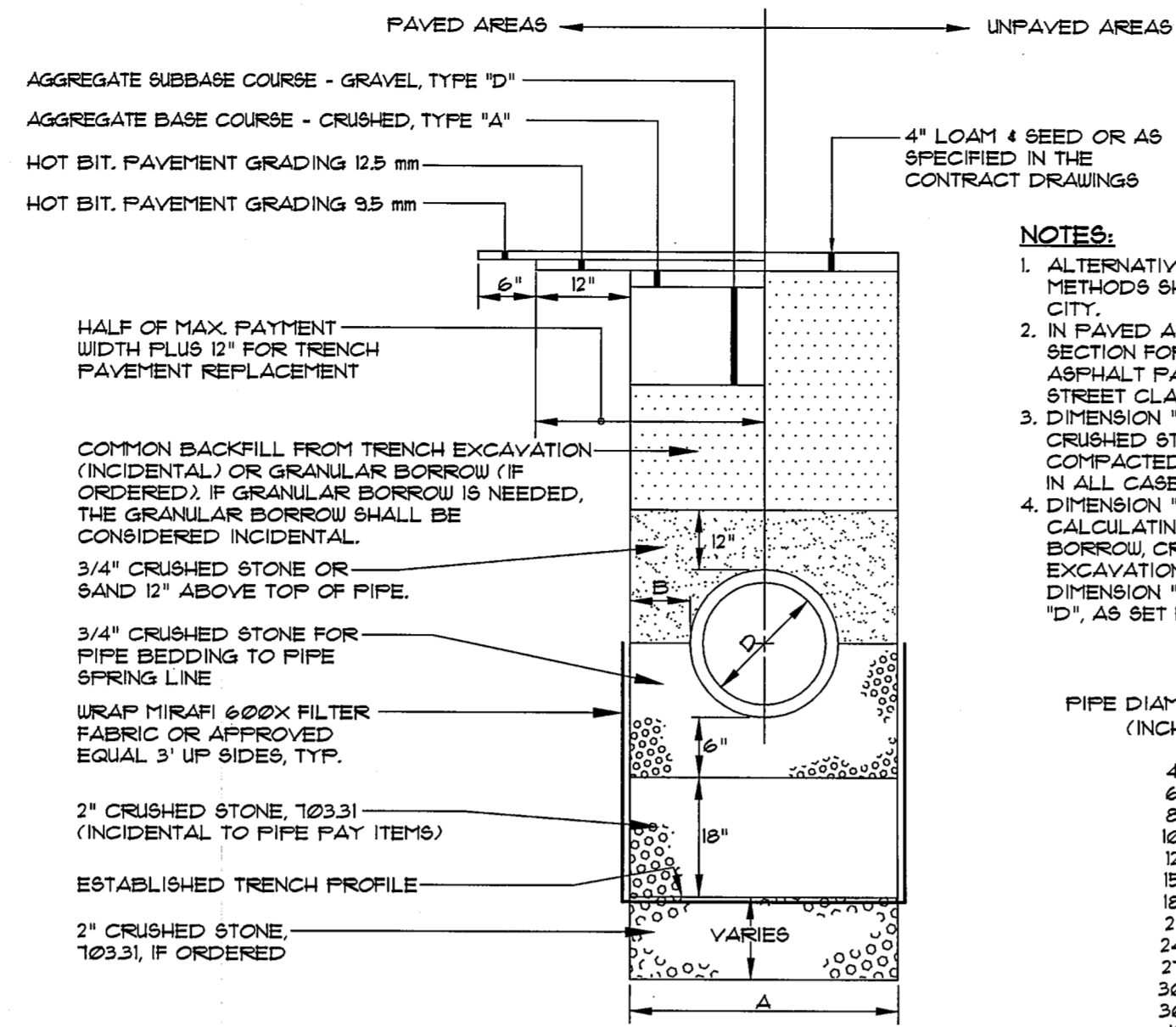
**SHEET 12 OF 14**





**TYPICAL LIGHT POLE BASE**  
NOT TO SCALE

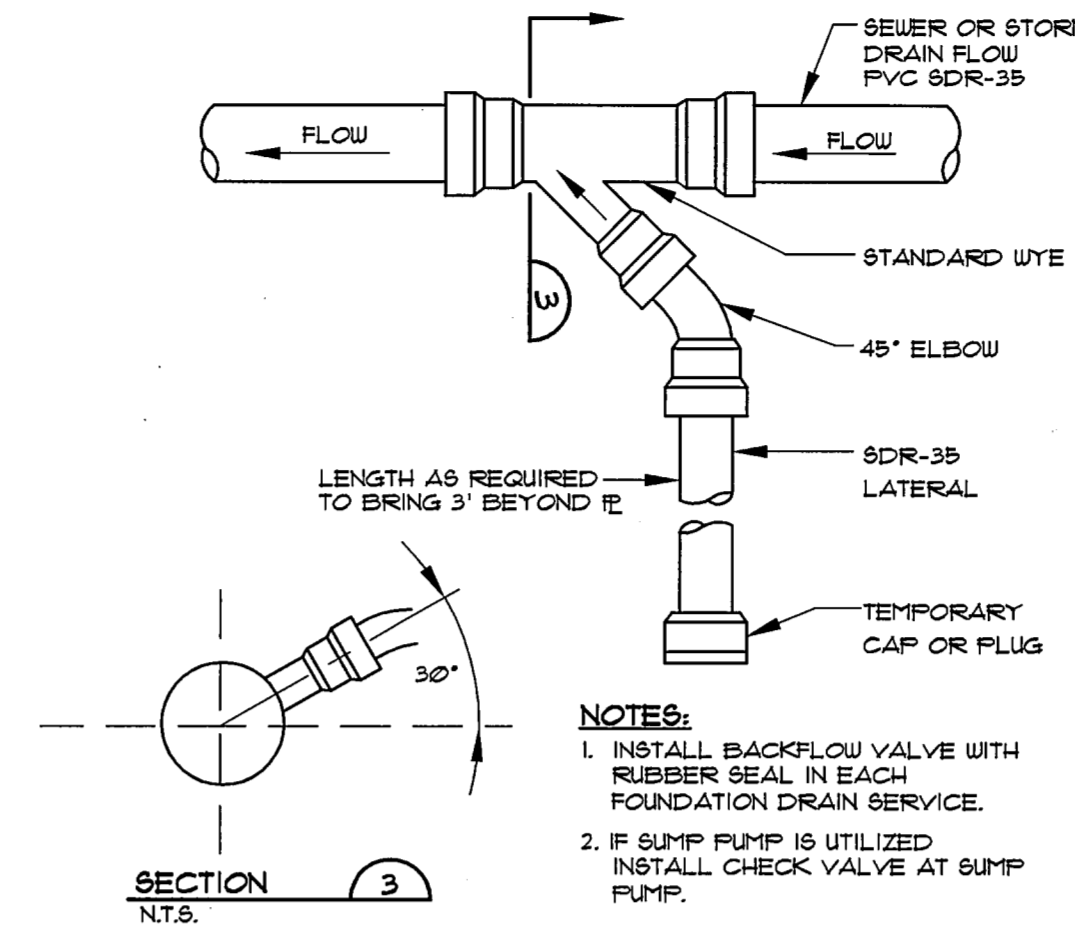
- NOTES:**
1. CONCRETE PER 40889 SPEC.
  2. REIN. STEEL, GRADE 60 NEW BARS.
  3. CONCRETE 3/4" AGG, 6 ± 1% ENTRAINED AIR.
  4. PROVIDE 2 COATS BITUMINOUS DAMPROOFING FOR ALL CONCRETE BELOW GRADE.
  5. POLE BASE PER THE 'BAYSIDE DISTRICT MEDIUM SCALED LIGHTING POLE' AND CITY SPECIFICATIONS. COORDINATE WITH PORTLAND PUBLIC SERVICES.
  6. BID ALT. - CONTRACTOR MAY SUBSTITUTE PRECAST CONCRETE LIGHT POLE BASE EQUAL TO ABOVE SPEC. AND APPROVED BY CITY.



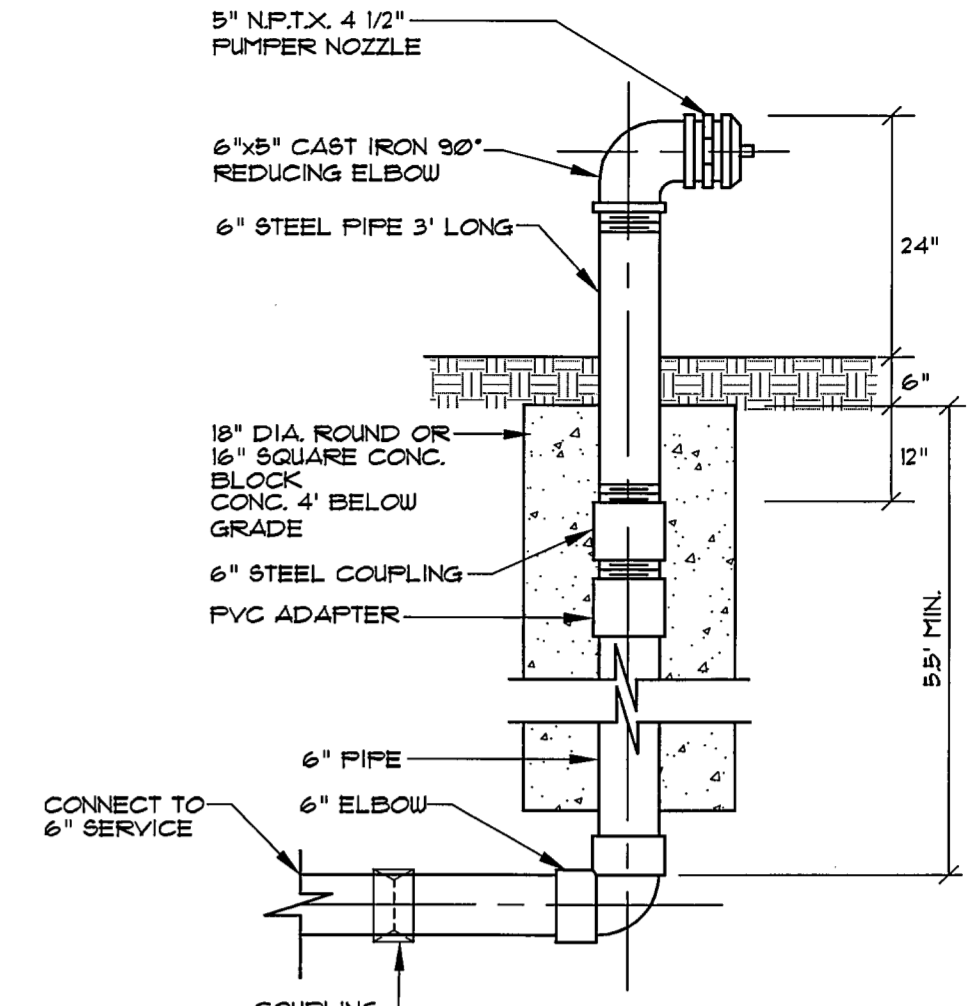
**TYPICAL PIPE INSTALLATION DETAIL**  
NOT TO SCALE

- NOTES:**
1. ALTERNATIVE CONSTRUCTION METHODS OR PAYMENT METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY.
  2. IN PAVED AREAS REFER TO BITUMINOUS PAVEMENT SECTION FOR DEPTHS OF GRAVEL AND HOT MIX ASPHALT PAVEMENT BASED ON THE CORRESPONDING STREET CLASSIFICATION.
  3. DIMENSION 'B' SHALL BE SUFFICIENT TO ALLOW CRUSHED STONE BEDDING TO BE PLACED AND COMPACTED UNDER THE HALVES OF THE PIPE; BUT IN ALL CASES 'B' SHALL BE AT LEAST 9".
  4. DIMENSION 'A' IS THE MAXIMUM WIDTH ALLOWED FOR CALCULATING PAY QUANTITIES UNDER GRANULAR BORROW, CRUSHED STONE, STRUCTURAL EARTH EXCAVATION, AND STRUCTURAL ROCK EXCAVATION. DIMENSION 'A' SHALL BE BASED ON PIPE DIAMETER 'D', AS SET FORTH IN THE FOLLOWING TABLE.

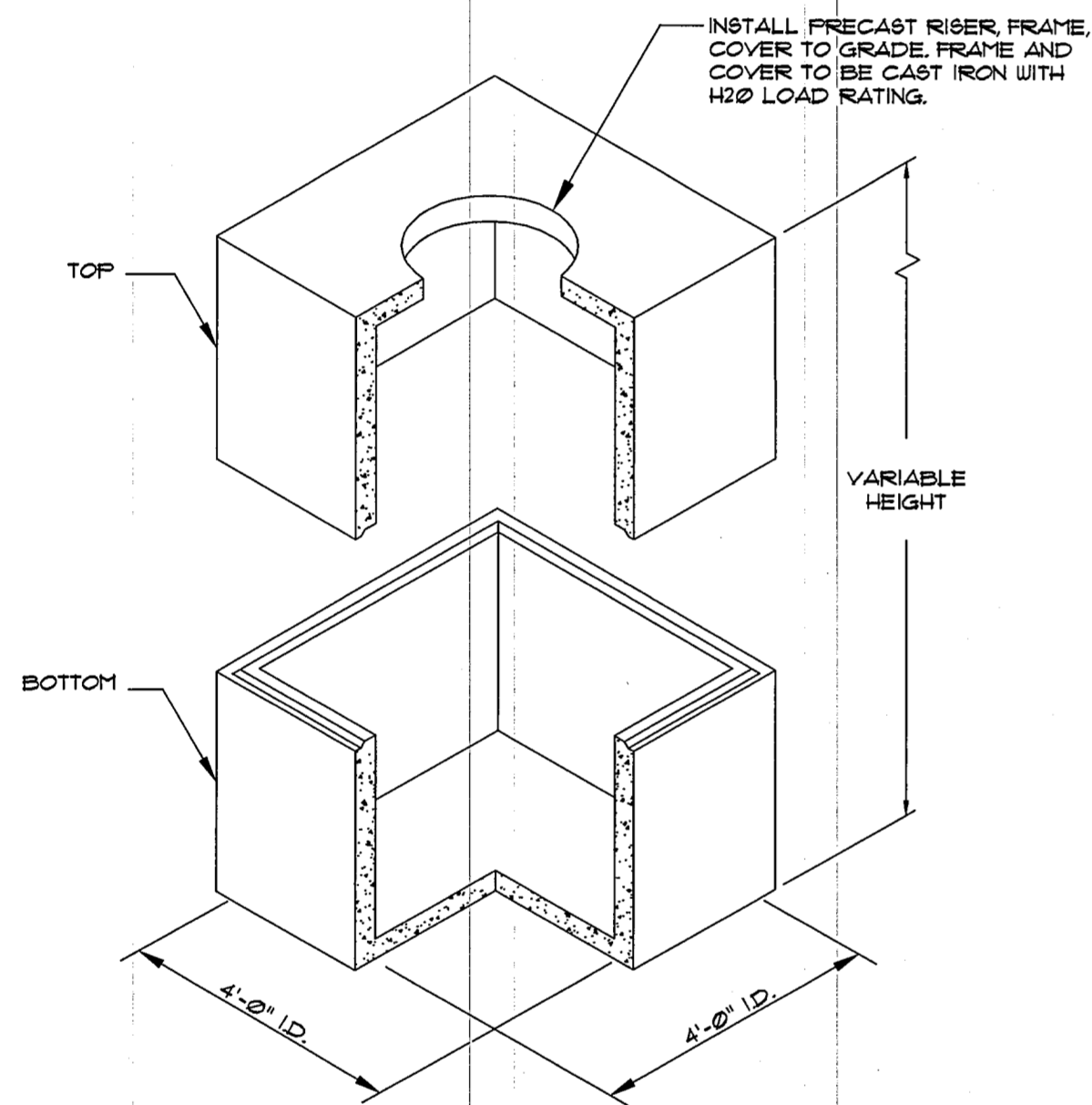
PIPE DIAMETER, 'D' (INCHES)	MAX. TRENCH WIDTH, 'A' (FEET)
4	4.0
6	4.0
8	4.0
10	4.0
12	4.0
15	4.0
18	5.0
21	5.5
24	6.0
27	6.0
30	6.0
36	8.0
42	8.0
48	8.0



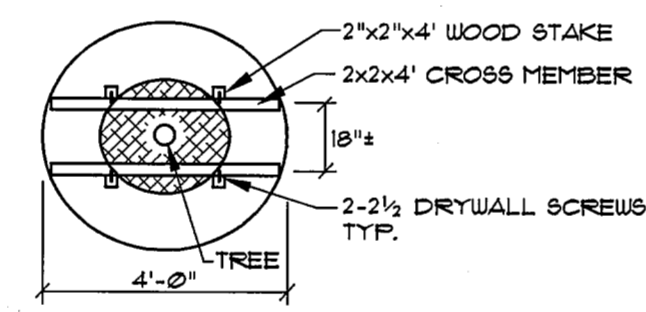
**SEWER / FOUNDATION DRAIN SERVICE CONNECTION**  
NOT TO SCALE



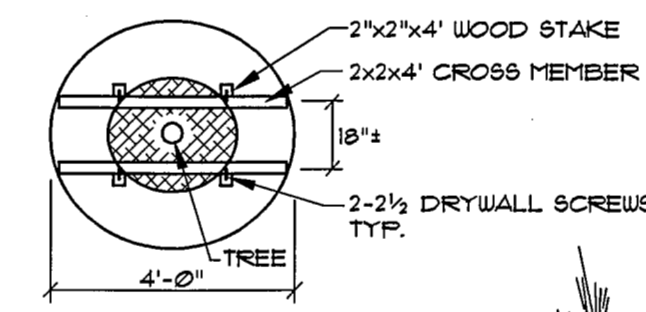
**FIRE PROTECTION STAND PIPE**  
NOT TO SCALE



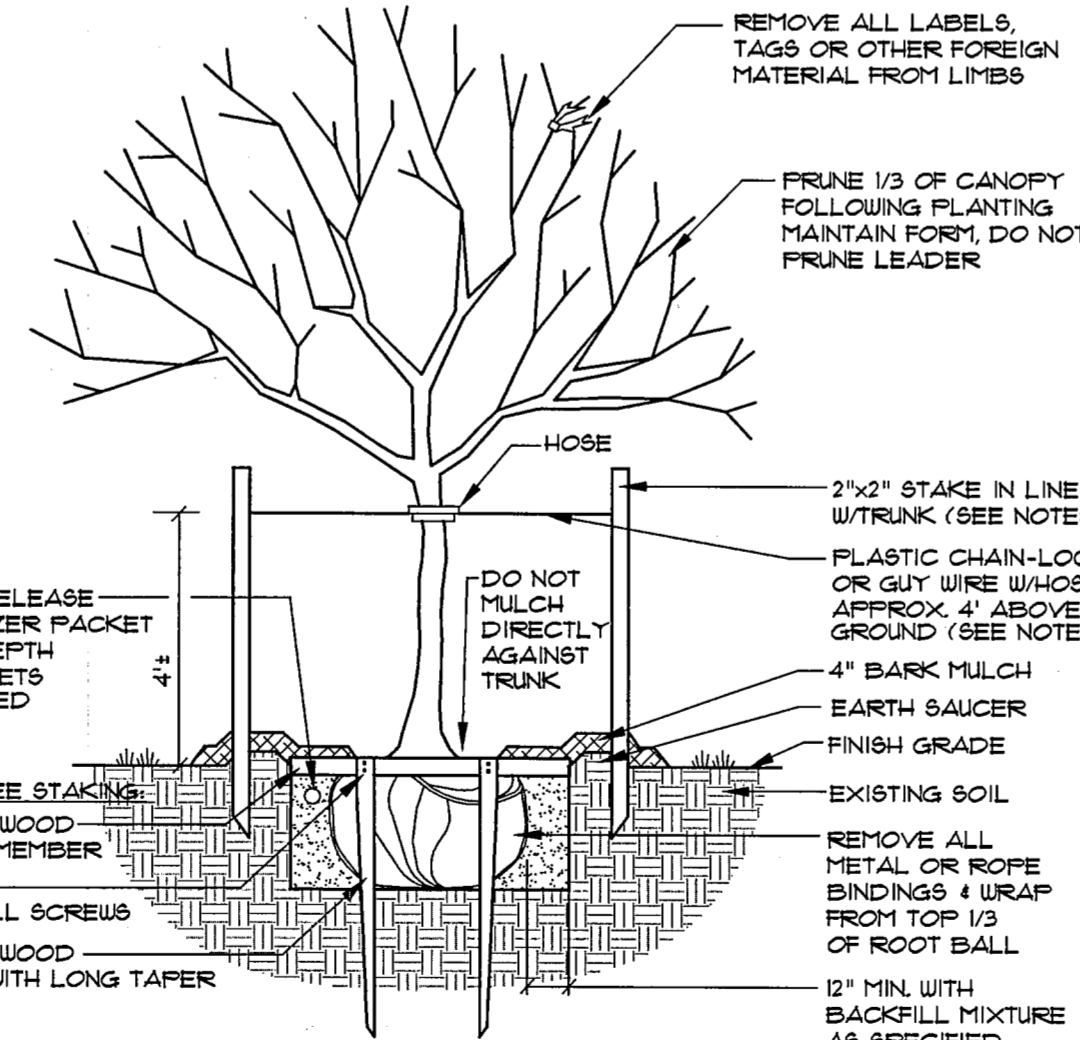
**UTILITY MANHOLE**  
NOT TO SCALE



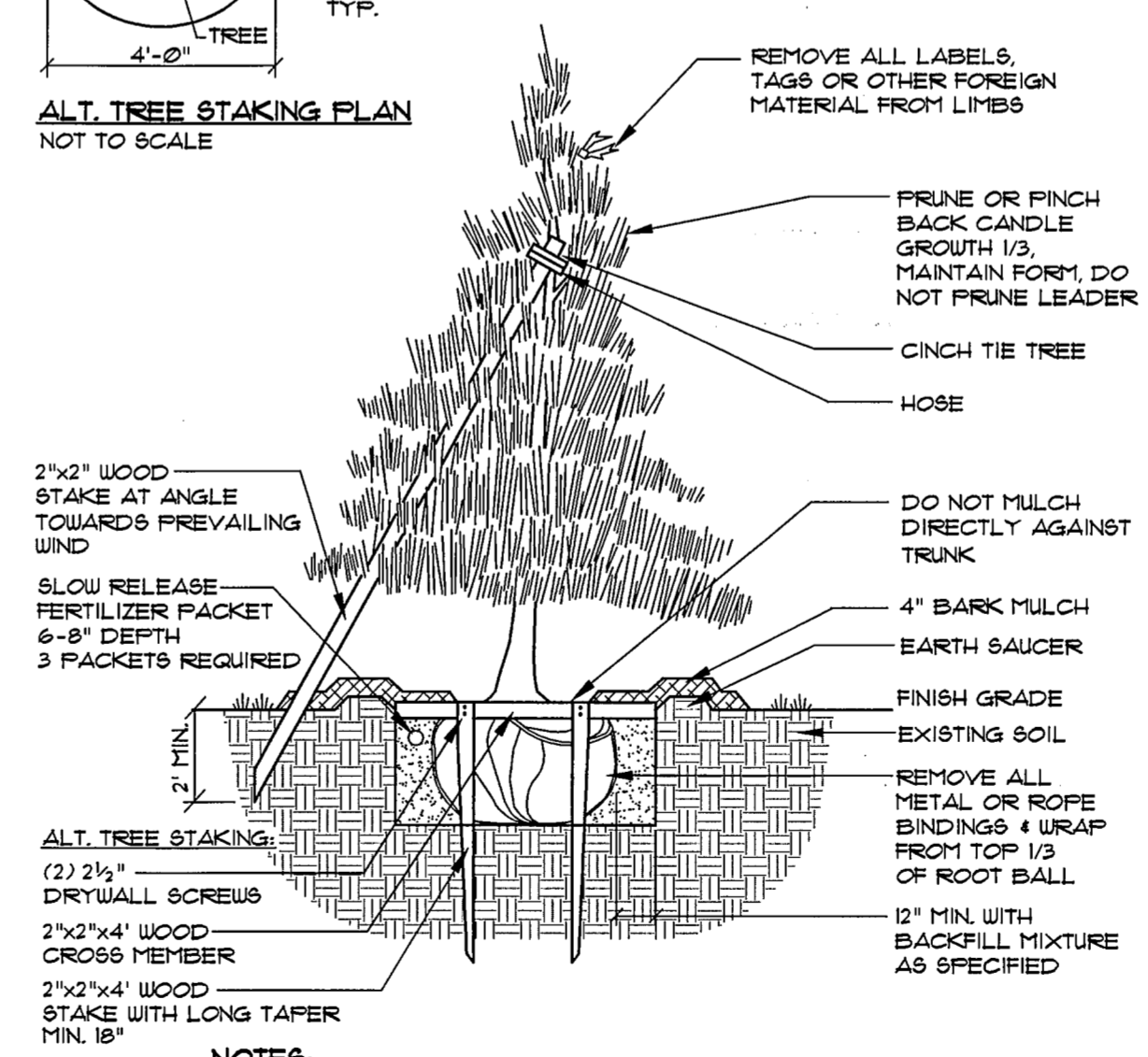
**ALT. TREE STAKING PLAN**  
NOT TO SCALE



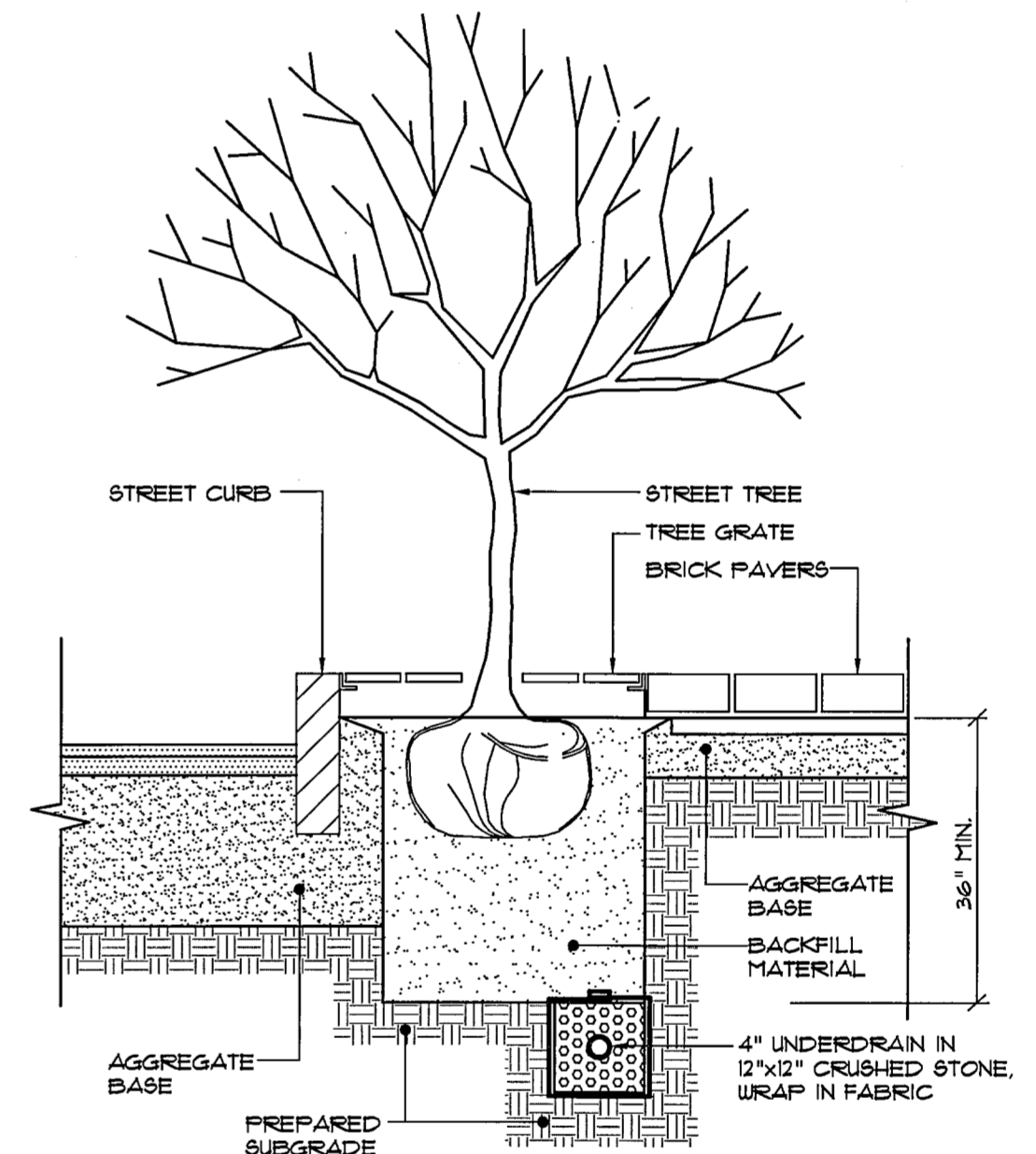
**ALT. TREE STAKING PLAN**  
NOT TO SCALE



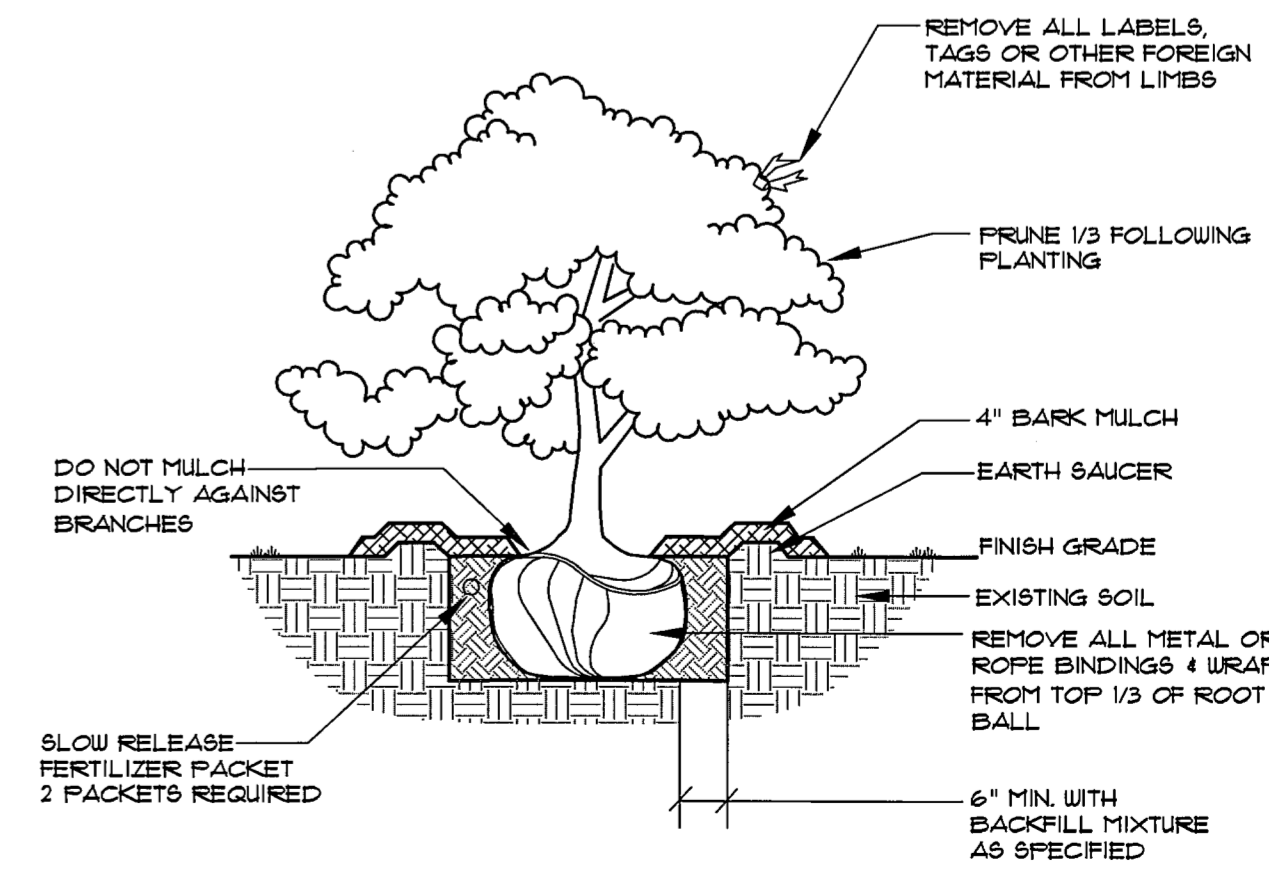
**DECIDUOUS TREES** 2" TO 4" CALIFER  
NOT TO SCALE



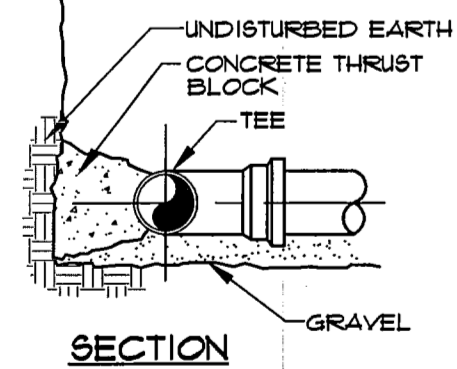
**DECIDUOUS TREES** UNDER 2" CALIFER OR UNDER 8' IN HEIGHT  
**EVERGREEN TREES** 1"-2" IN HEIGHT & UNDER  
NOT TO SCALE



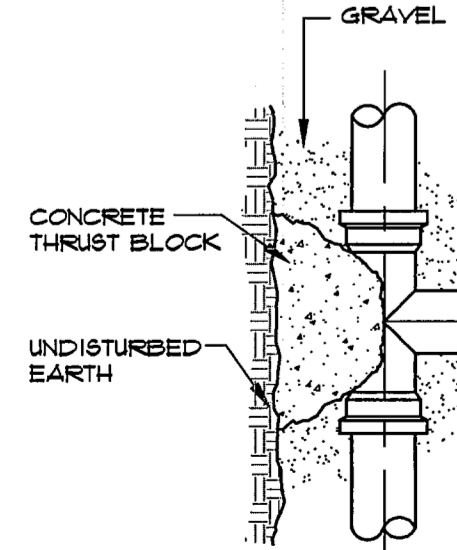
**TREE PIT DETAIL**  
NOT TO SCALE



**DECIDUOUS & EVERGREEN SHRUB**  
NOT TO SCALE



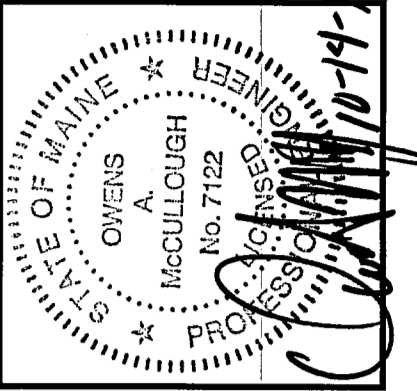
**SECTION**



**PLAN**

FITTINGS	CONCRETE THRUST BLOCK SIZE REQUIREMENTS			
	S.Q. FT. OF BEARING ON UNDISTURBED SOIL		45° BENDS, TEES AND FLUGS	
PIPE SIZE	6"	8"	10"	12"
	4.0	8.0	10	12

**TEE AND BEND DETAIL**  
NOT TO SCALE



REV.	DATE	BY	STATUS
E	10-15-13	WTC	CITY SUBMITTAL 6
D	10-03-13	WTC	CITY SUBMITTAL 5
C	09-17-13	WTC	CITY SUBMITTAL 4
B	09-03-13	WTC	CITY SUBMITTAL 3
A	07-29-13	WTC	SUBMIT SITE PLAN APPLICATION TO CITY

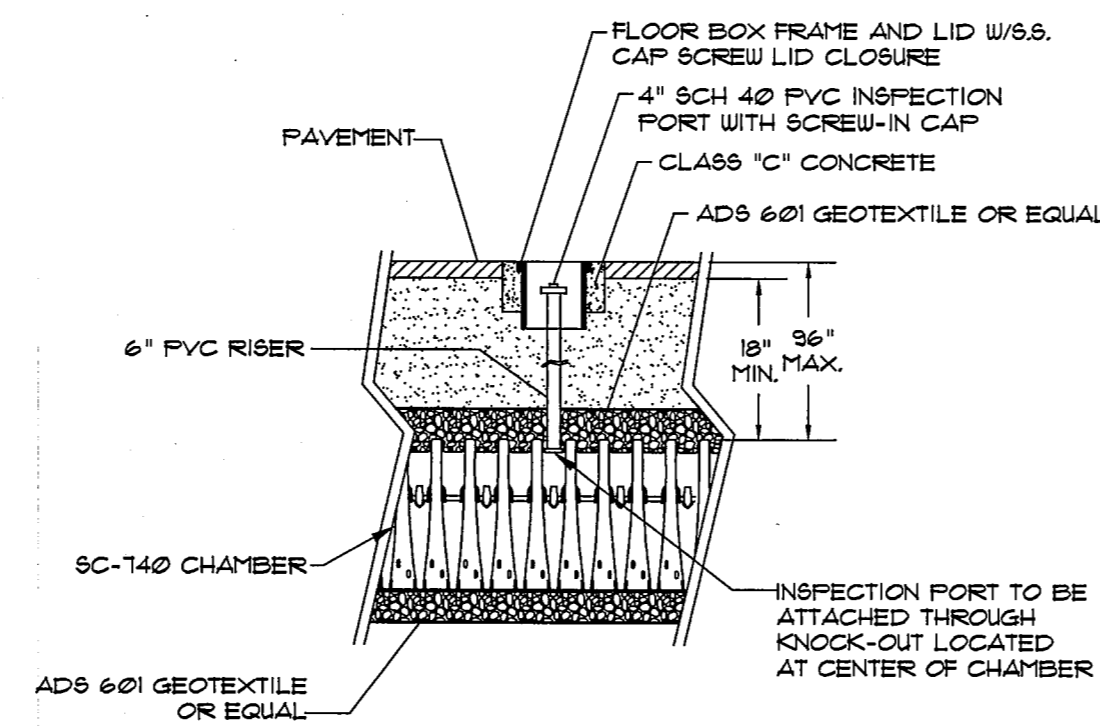
**SEBAGO TECHNICS**  
WWW.SEAGOTECHNICS.COM  
76 Park Road, Suite B  
South Portland, ME 04106  
Tel: 207-883-8556

PROJECT NO. 13251  
FIELD BOOK DESIGN CHKO DRAWN WTC MAL

**DETAILS**  
OF:  
**SEAPORT LOFTS**  
NEWBURY / HANCOCK STREET  
PORTLAND, MAINE  
FOR:  
**113 NEWBURY STREET, LLC**  
35 FAY STREET, SUITE 407B  
BOSTON, MA 02118-4520

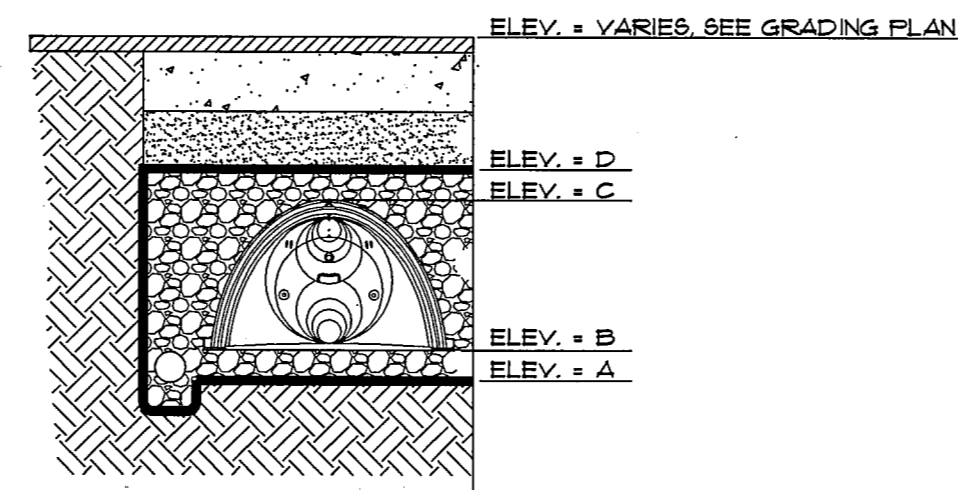
DATE: 07-26-13  
SCALE: AS SHOWN

**SHEET 13 OF 14**



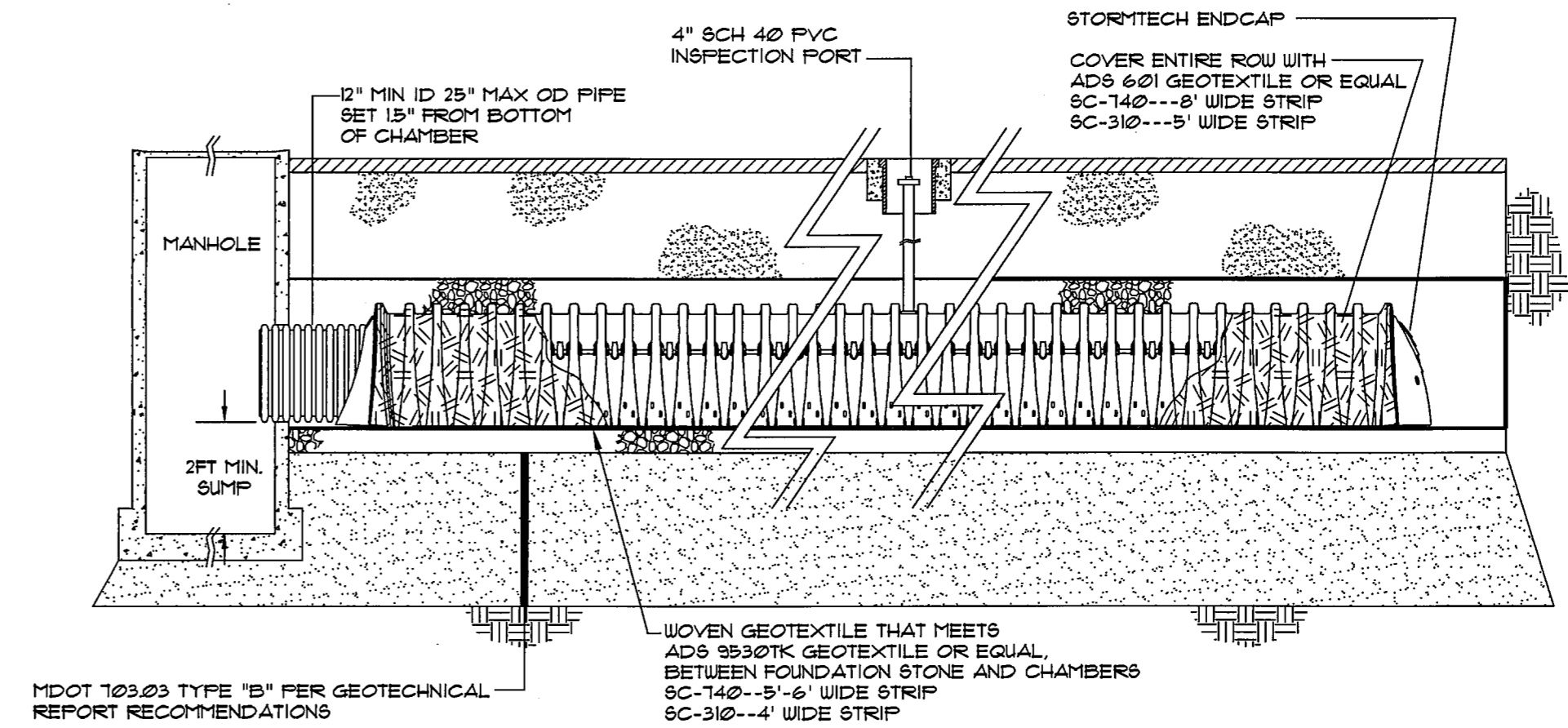
- NOTES:**
1. ALL DESIGN SPECIFICATIONS FOR STORMTECH CHAMBERS SHALL BE IN ACCORDANCE WITH THE STORMTECH DESIGN MANUAL.
  2. THE INSTALLATION OF STORMTECH CHAMBERS SHALL BE IN ACCORDANCE WITH THE LATEST STORMTECH INSTALLATION INSTRUCTIONS.
  3. THE CONTRACTOR IS ADVISED TO REVIEW AND UNDERSTAND THE INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION. CALL 1-888-832-2634 OR VISIT WWW.STORMTECH.COM TO RECEIVE A COPY OF THE LATEST STORMTECH INSTALLATION INSTRUCTIONS.
  4. CONTACT DESIGN ENGINEER PRIOR TO INSTALLATION OF UNDERDRAIN AND STORMTECH SYSTEM.

**STORMTECH SC-140 CHAMBER SYSTEM  
 OPTIONAL INSPECTION PORT DETAIL**  
 NOT TO SCALE

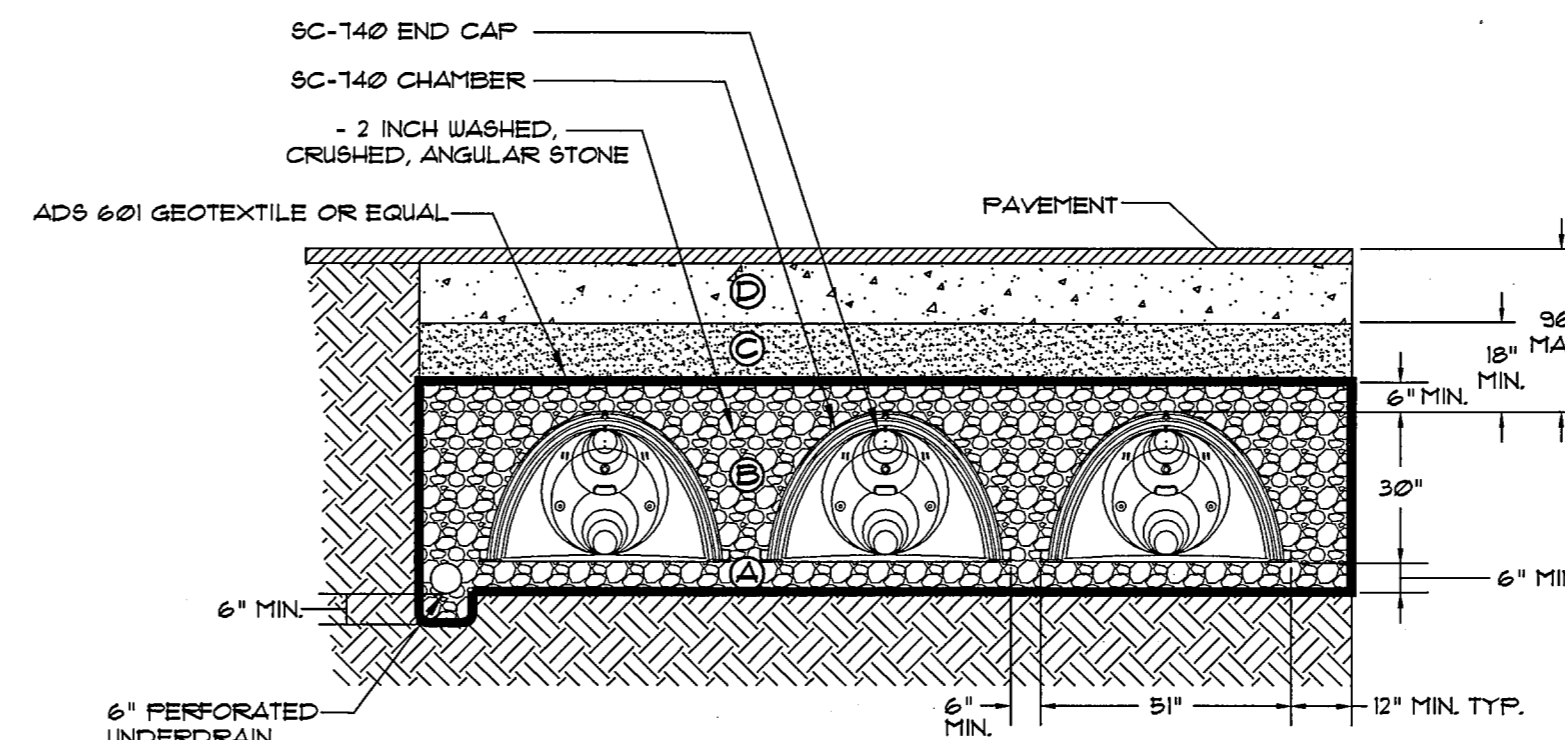


STORMTECH ELEVATIONS				
	A	B	C	D
ST-1	34.05	34.55	31.05	31.55

NOTE: ELEV. A IS THE ELEVATION OF THE BOTTOM OF STONE AND THE INVERT OF THE 6" UNDERDRAIN



**STORMTECH ISOLATOR TM ROW PROFILE VIEW DETAIL**  
 NOT TO SCALE



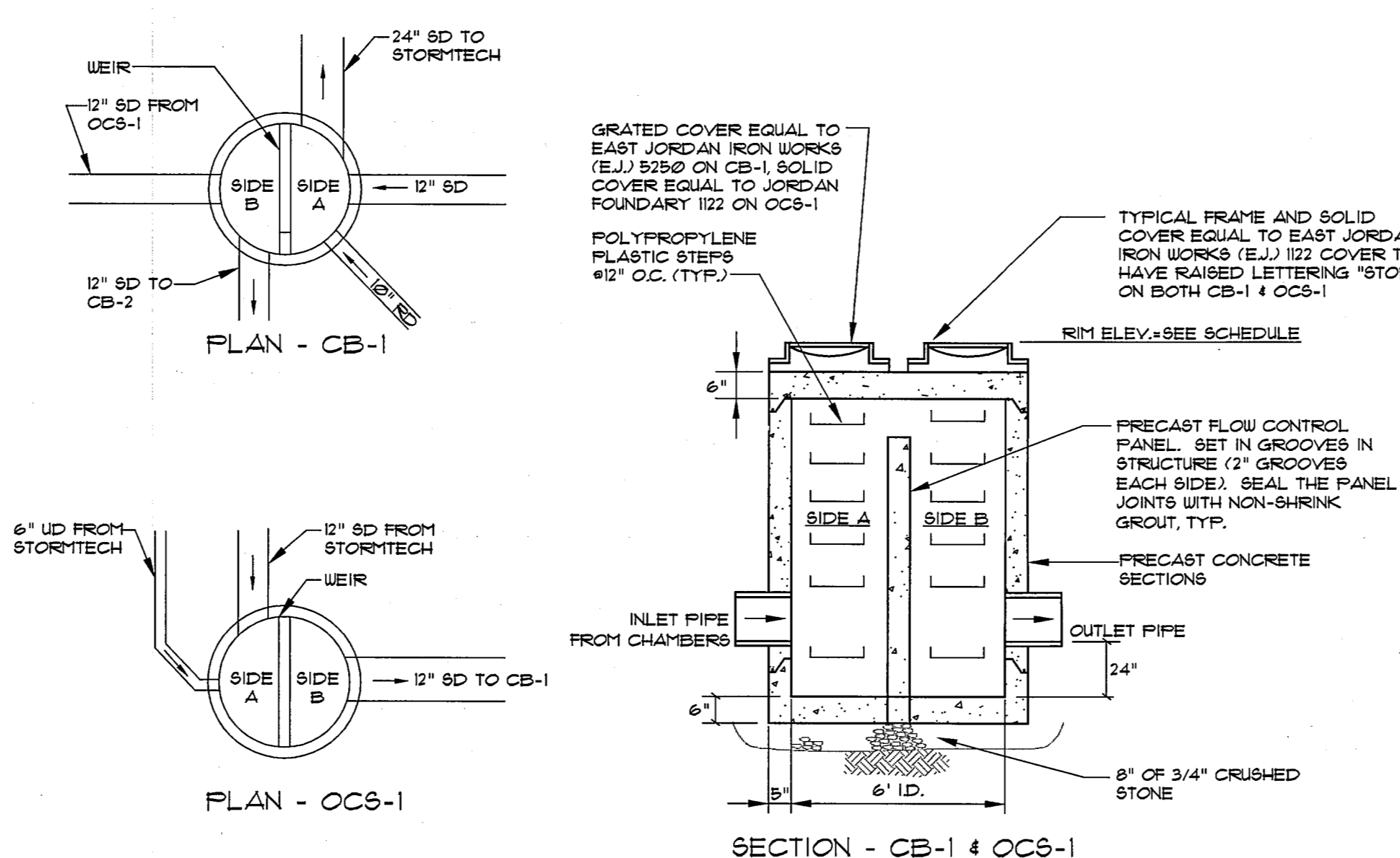
**COMPACTION/DENSITY REQUIREMENTS:**

1. WASHED, ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 3/4" - 2". PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY.
2. WASHED, ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 3/4" - 2". NO COMPACTION REQUIRED.
3. GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES. COMPACT IN 6" LIFTS TO A MINIMUM 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 POUNDS.
4. ANY SOIL/ROCK MATERIALS, NATIVE SOILS OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS. PREPARE PER ENGINEER'S PLANS.

**MEDOT SPECIFICATIONS FOR UNDERDRAINS (MEDOT #103.22)**

SIEVE SIZE	% BY WEIGHT
UNDERDRAIN TYPE B	
1"	100
1/2"	100
3/8"	100
1/4"	100
15/32"	100
3/16"	100
1/8"	100
NO. 20	100
UNDERDRAIN TYPE C	
1"	100
3/4"	100
3/8"	100
1/4"	100
15/32"	100
3/16"	100
1/8"	100
NO. 20	100

**STORMTECH SC-140 CHAMBER SYSTEM**  
 NOT TO SCALE



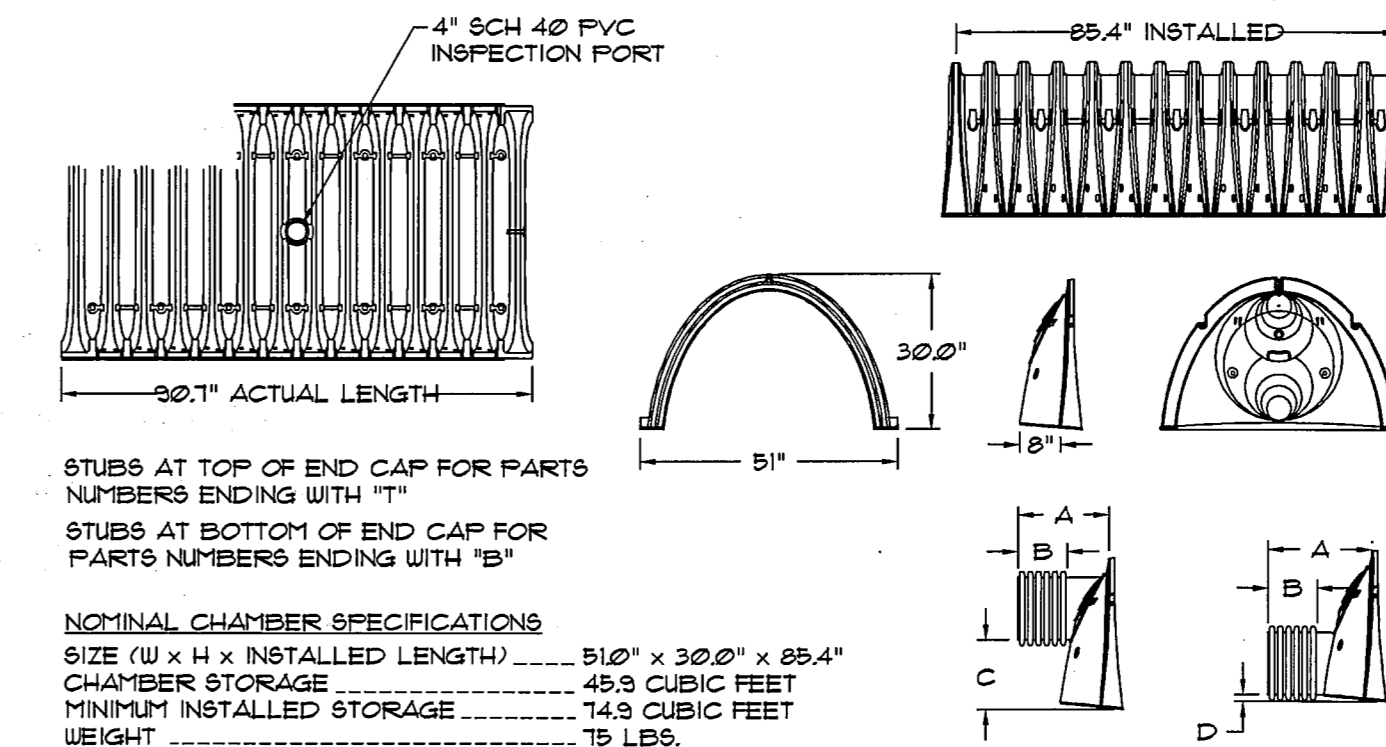
**OUTLET CONTROL STRUCTURE (OCS) FOR ST-1**  
 NOT TO SCALE

- NOTE:  
 1. SUBMIT SHOP DRAWINGS FOR CURVE VIEWS. SEE APPROVAL.  
 2. STRUCTURE SHALL BE DESIGNED FOR H-20 LOADING.

**OUTLET CONTROL STRUCTURE SCHEDULE**

RIM ELEV.	SIDE A		SIDE B		WEIR ELEV.
	INV. IN	INV. OUT	INV. IN	INV. OUT	
CB-1	34.05	34.80 (12"SD)	33.75 (12"SD)	33.50 (12"SD)	31.00
OCS-1	34.05 (6"UD)	34.40 (12"SD)		33.90 (12"SD)	36.50

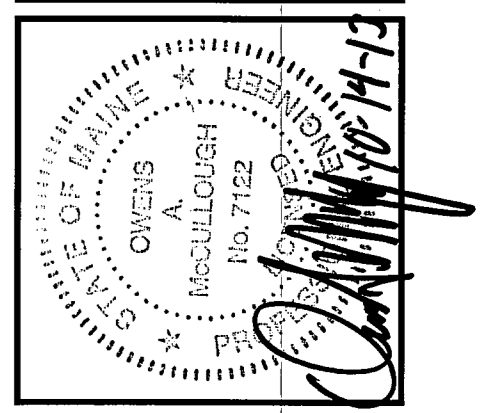
**STORMTECH SC-140 CHAMBER SYSTEM  
 TYPICAL CROSS SECTION DETAIL**  
 NOT TO SCALE



PART #	CHAMBER	PIPE SIZE	A	B	C	D
SC140EPE12B	SC 140	15 in (375 mm)	19.30 in (490 mm)	10.30 in (262 mm)	10.5	26.1 in (663 mm)
SC140EPE24B	SC 140	24 in (600 mm)	18.50 in (470 mm)	9.45 in (240 mm)	N/A	21.0 in (533 mm)

- NOTE: ALL DIMENSIONS ARE NOMINAL  
 ALL STUBS, EXCEPT FOR THE SC140EPE12B AND SC140EPE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP.  
 \* FOR THE SC140EPE12B THE 12" STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 0.25". FOR THE SC140EPE24B THE 24" STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75". BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SETS LEVEL.

**STORMTECH SC-140 CHAMBER  
 TECHNICAL SPECIFICATIONS**  
 NOT TO SCALE



REV.	BY:	DATE:	STATUS:
E	WTC	10-15-13	CITY SUBMITTAL 6
D	WTC	10-03-13	CITY SUBMITTAL 5
C	WTC	09-17-13	CITY SUBMITTAL 4
B	WTC	09-03-13	CITY SUBMITTAL 3
A	WTC	07-29-13	SUBMIT SITE PLAN APPLICATION TO CITY

**SEBAGO TECHNICS**  
 WWW.SEBAGOTECHNICS.COM  
 75 Ash Road, Suite B  
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 Tel: 207-783-5656

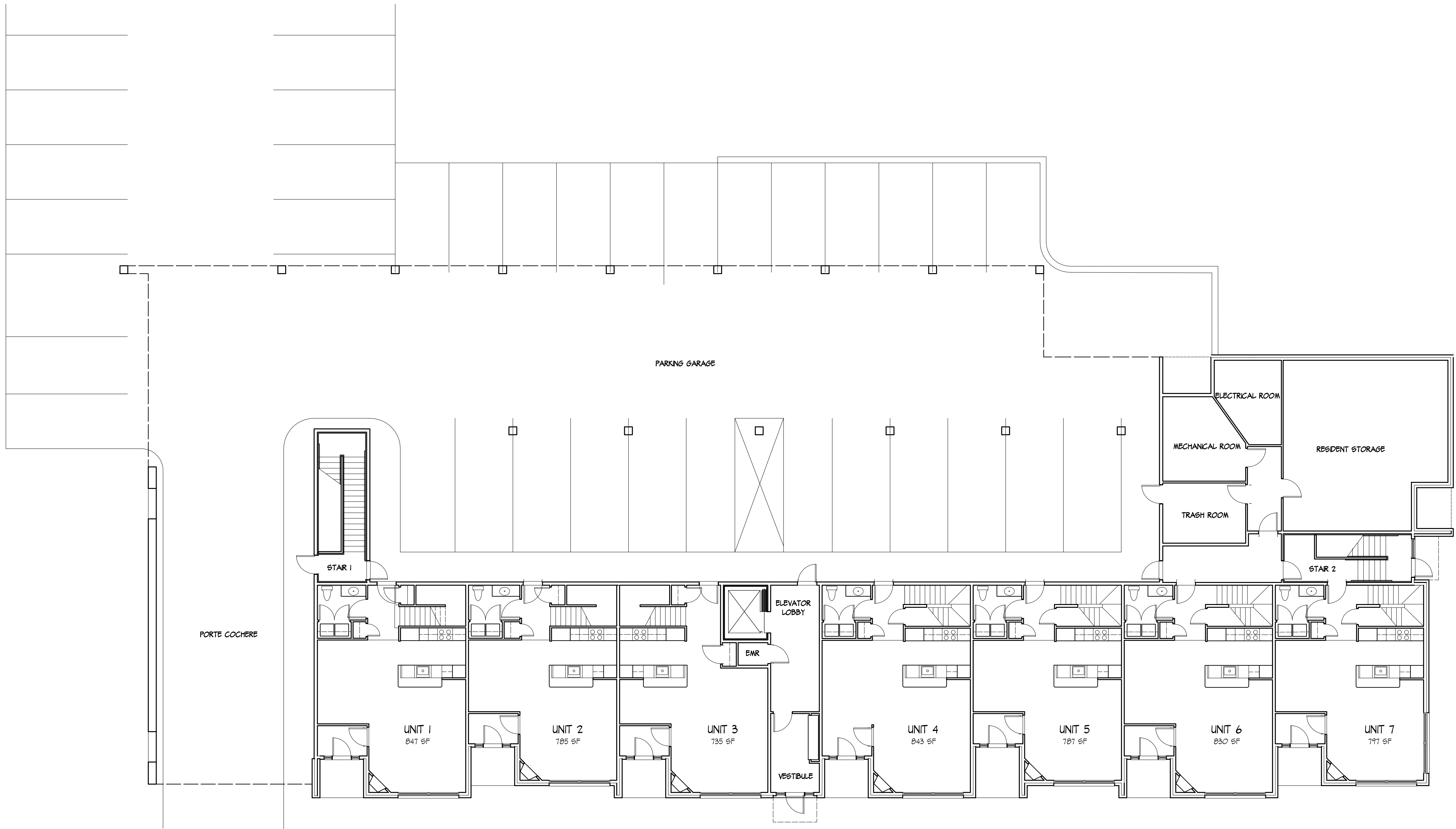
PROJECT NO. 13251  
 FIELD BOOK  
 DESIGN  
 CHKD  
 DRAWN  
 WTC  
 WTC  
 MAL

DETAILS OF:  
**SEAPORT LOFTS**  
 NEWBURY/HANCOCK STREET  
 PORTLAND, MAINE  
 FOR:  
**113 NEWBURY STREET, LLC**  
 35 FAY STREET, SUITE 107B  
 BOSTON, MA 02118-4320

DATE: 07-26-13  
 SCALE: AS SHOWN

SHEET 14 OF 14





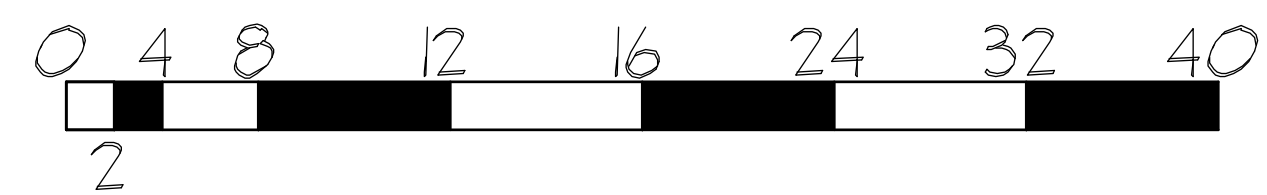
GROSS AREA: 17,371 SF  
 ENCLOSED BUILDING AREA: 7,916 SF  
 PORTE-COCHERE AREA: 1,331 SF  
 COVERED PARKING AREA: 7,695 SF  
 GROSS SALABLE AREA: 5,622 SF

# FIRST FLOOR PLAN

SCALE: 1/8" = 1' 0"

DAVID M. WHITE, ARCHITECT

OCTOBER 12, 2013



# SEAPORT LOFTS

PORTLAND, MAINE

113 NEWBURY STREET, LLC

BOSTON, MASSACHUSETTS

PI



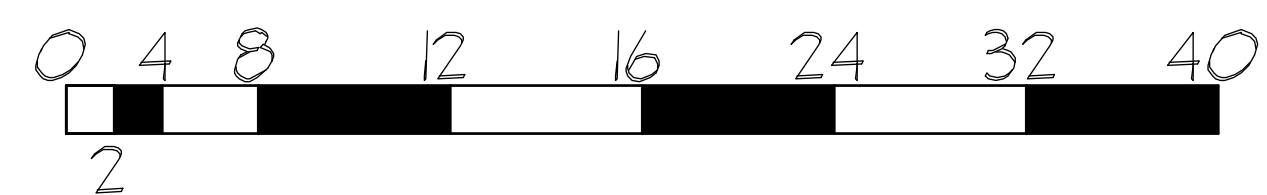
ENCLOSED BUILDING AREA: 16,410 SF  
 DECK AREA: 925 SF  
 GROSS SALABLE AREA: 14,879 SF

## SECOND FLOOR PLAN

SCALE: 1/8" = 1' 0"

DAVID M. WHITE, ARCHITECT

OCTOBER 12, 2013



## SEAPORT LOFTS

PORTLAND, MAINE

113 NEWBURY STREET, LLC

BOSTON, MASSACHUSETTS

P2





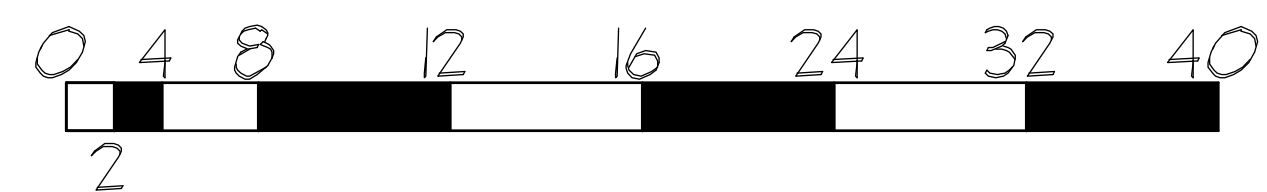
GROSS AREA: 17,293 SF  
 ENCLOSED BUILDING AREA: 16,520 SF  
 DECK AREA: 773 SF  
 GROSS SALABLE AREA: 15,046 SF

### THIRD FLOOR PLAN

SCALE: 1/8" = 1' 0"

DAVID M. WHITE, ARCHITECT

OCTOBER 7, 2013



### SEAPORT LOFTS

PORTLAND, MAINE

113 NEWBURY STREET, LLC

BOSTON, MASSACHUSETTS



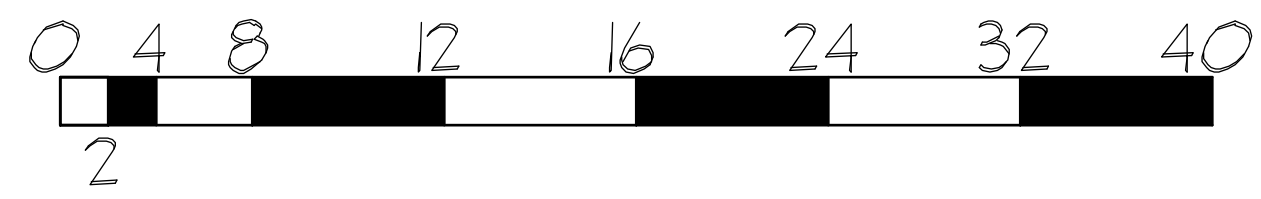
GROSS AREA: 17,239 SF  
 ENCLOSED BUILDING AREA: 16,472 SF  
 DECK AREA: 767 SF  
 GROSS SALABLE AREA: 14,924 SF

# FOURTH FLOOR PLAN

SCALE: 1/8" = 1' 0"

DAVID M. WHITE, ARCHITECT

OCTOBER 7, 2013



# SEAPORT LOFTS

PORTLAND, MAINE

113 NEWBURY STREET, LLC

BOSTON, MASSACHUSETTS





# HANCOCK STREET ELEVATION

SCALE: 1/8" = 1' 0"

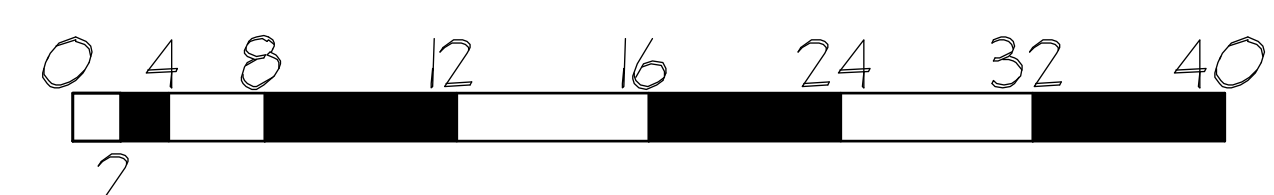


# NEWBURY STREET ELEVATION

SCALE: 1/8" = 1' 0"

DAVID M. WHITE, ARCHITECT

OCTOBER 12, 2013



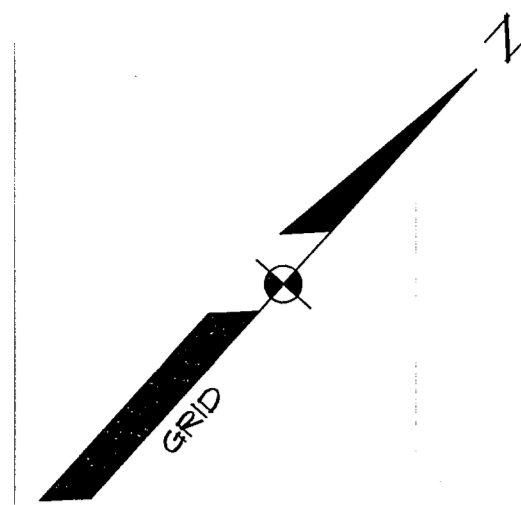
# SEAPORT LOFTS

PORTLAND, MAINE

113 NEWBURY STREET, LLC

BOSTON, MASSACHUSETTS

P5



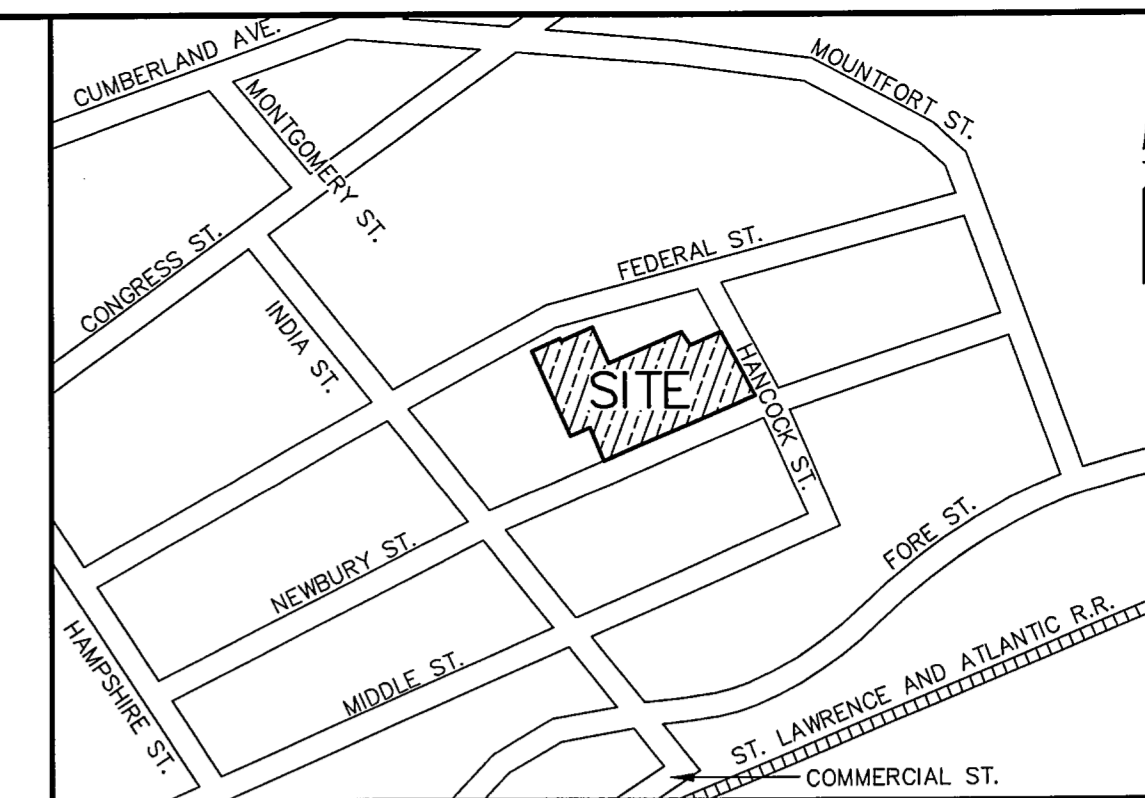
LINE TABLE		
LINE	BEARING	LENGTH
L1	S40°10'12"E	6.92'
L2	N41°39'51"W	4.44'
L3	N36°18'30"W	2.01'
L4	N48°08'32"E	7.43'
L5	S35°38'51"E	20.00'

**LIST OF ABUTTERS**

KEY	ABUTTER	BOOK/PAGE
A	ROLAND SMALLEY, JR.	12574/217
B	TIM HARDY	12154/50
C	DAVID FILIPOS	15976/285
D	HUGH R. NAZOR & LINDA J. MURNIK	24922/233
	PAUL & MARIA DESJARDINS	25930/65
	JOHN & ZDENKA S. GRISWOLD	25359/117
	STEPHEN M. & WILMA ROSE	24737/258
	RICHARD H. & WENDY E. PENLEY	28557/308
	RICHARD B. & ELIZABETH M. CARSON	28071/288
	PETER & PATRICIA BAGG	24613/252
	SUNNY TIME SOLAR LLC	29723/305
E	JUBILACION, LLC	25543/282
F	BETTY POMROY	6706/276
G	DASHA, LLC	27829/29
H	DOMINIC REALTY, LLC	15585/307
I	DOMINIC REALTY, LLC	14437/266
J	DOMINIC REALTY, LLC	15585/304
K	DAVID & ALLISON BROWN	15768/132
L	ELIZABETH MONAGHAN & KURT NIELSEN	23346/36

**LEGEND**

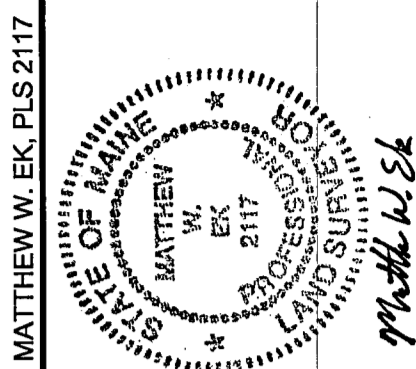
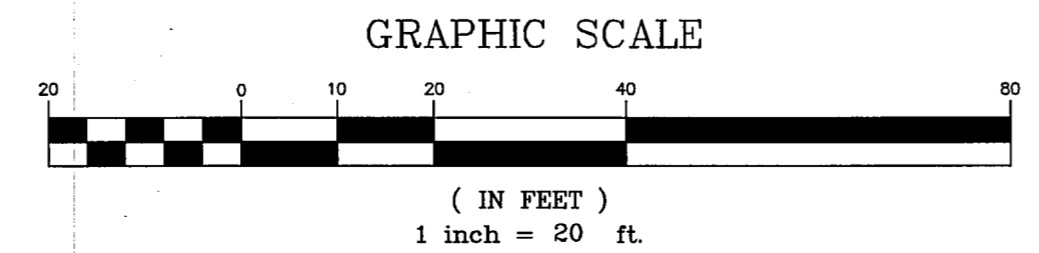
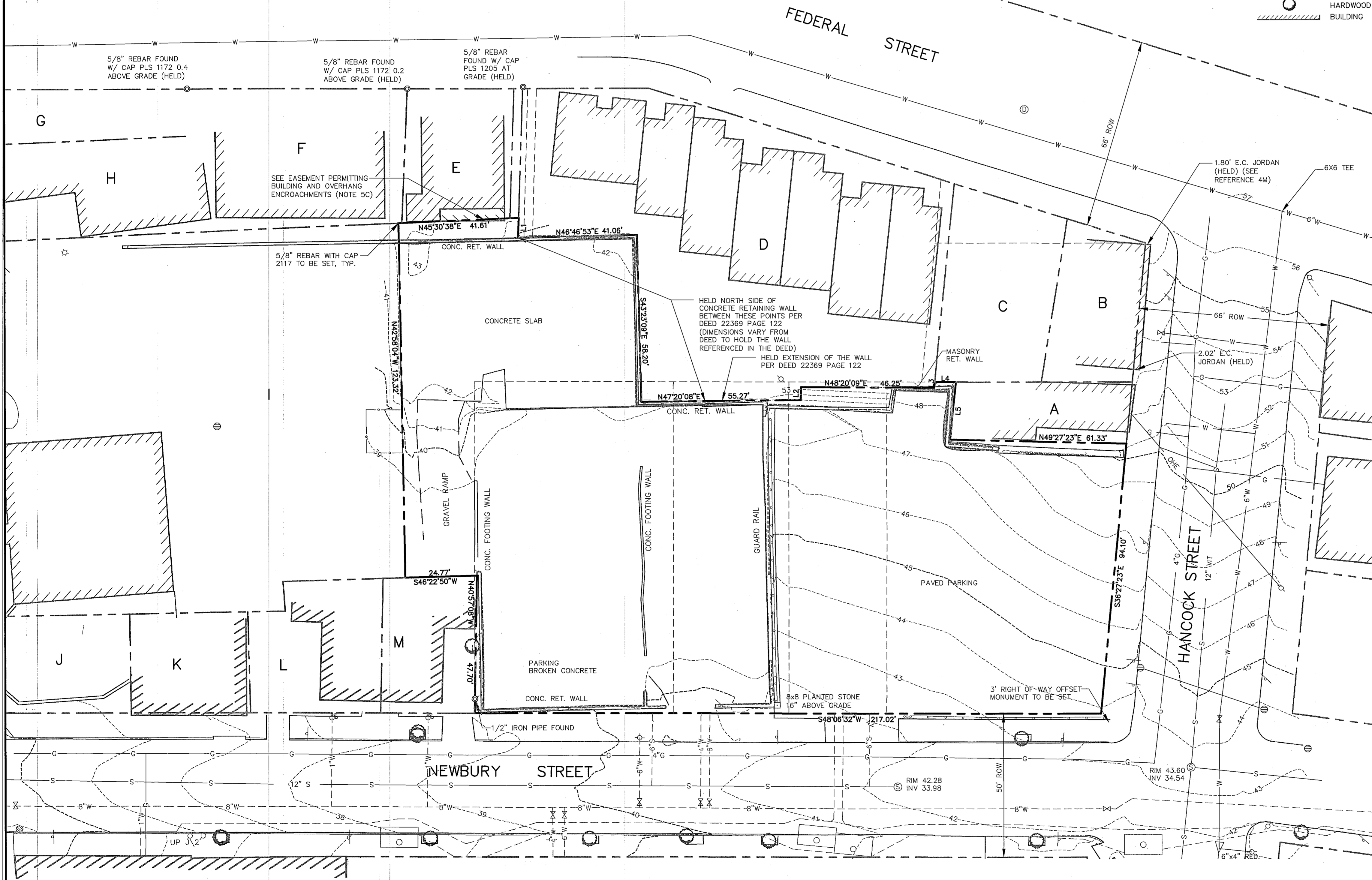
EXISTING	DESCRIPTION
---	LOCUS PROPERTY/ROW
---	ABUTTERS PROPERTY/ROW
---	SETBACK
---	EASEMENT
---	HISTORIC DEED LINE
□	MONUMENT
⊕	IRON PIPE/ROD
⊖	WATER SHUT OFF
⊗	CATCH BASIN
⊘	GATE VALVE
⊙	HYDRANT
⊚	SEWER MANHOLE
⊛	UTILITY POLE
⊜	GUY WIRE
⊝	ELECTRIC MANHOLE
—S—	SEWER
—G—	GAS
—W—	WATER
—OHU—	OVERHEAD ELECT.
---	EDGE PAVEMENT
---	CURBLINE
---	BENCHMARK
○	HARDWOOD TREE
▭	BUILDING



LOCATION MAP N.T.S.

**GENERAL NOTES**

- THE RECORD OWNER OF THE PROPERTY IS THE VILLAGE CAFE AS DESCRIBED IN THE FOLLOWING DEEDS RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD) IN BOOK 9591 PAGE 34, BOOK 4094 PAGE 222, AND BOOK 4357 PAGE 289.
- THE PROPERTY IS DEPICTED ON THE CITY OF PORTLAND TAX MAP 20 BLOCK D AS LOTS 13, 14, 15, AND 32.
- THE BEARINGS SHOWN HEREON ARE BASED UPON GRID NORTH NAD 1983 MAINE WEST ZONE. CONTOURS AND ELEVATION SHOWN HEREON ARE BASED UPON THE CITY OF PORTLAND VERTICAL DATUM. THE CITY DATUM WAS DETERMINED UTILIZING U.S. COAST AND GEODETIC SURVEY BENCHMARK, BEING A DRILL HOLE LOCATED IN THE GRANITE STEPS OF THE CUSTOM HOUSE ON COMMERCIAL STREET. THE CITY ELEVATION IS 14.072 THE NGVD 29 ELEVATION IS 14.042 AND NAVD88 IS 13.30'.
- PLAN REFERENCES:
  - PLAN TITLED "ALTA / ACSM TITLE SURVEY OF JORDAN'S MEATS PROPERTY, PREPARED FOR PME I LIMITED PARTNERSHIP, BY SEBAGO TECHNICS, INC., DATED 4/29/05
  - PLAN TITLED "PLAN OF LAND STANDARD BOUNDARY SURVEY ON FORE, INDIA, MIDDLE NEWBURY, HANCOCK, & MOUNTFORD STREETS, PORTLAND MAINE" PREPARED FOR AMERICAN HOIST & DERRICK CO., BY OWEN HASKELL, INC., DATED APRIL OF 1987.
  - ALTA/ACSM LAND TITLE SURVEY, PREPARED FOR ARI REAL ESTATE HOLDINGS BY OWEN HASKELL INC., DATED NOV. 8, 2001.
  - PLAN TITLED "CITY OF PORTLAND, MAINE PUBLIC WORKS DEPARTMENT ENGINEERING SECTION - HAMPSHIRE STREET SL WORKSHEET" BY THE CITY OF PORTLAND ENGINEERING OFFICE, DATED FEB. 2002.
  - RIGHT OF WAY MAPS BY THE CITY OF PORTLAND; # 21, 52, 73, AND 113.
  - PLAN OF SEWER LINE - NEWBURY STREET, BUILT JUNE 1877, CITY PLAN #425/5. PLAN OF SEWER LINE - MIDDLE STREET, RE-BUILT AUG. 1926, CITY PLAN #24/10. PLAN OF SEWER LINE - INDIA, NEWBURY, FEDERAL, AND CONGRESS STS. RE-BUILT AUG. 1926, CITY PLAN #440/25.
  - PLAN OF PROPERTY IN PORTLAND, MAINE, PREPARED FOR THOMAS LAUGHLIN CO., DATED SEPT. 2, 1955, DRAWING #473/9.
  - PLAN OF PORTLAND SEWER SYSTEM INFILTRATION - INFLOW ANALYSIS, PREPARED FOR PORTLAND WATER DISTRICT BY HUNTER-BALLEW ASSOCIATES, CITY DRAWING #V-4.
  - PORTLAND WATER DISTRICT, PORTLAND SHEET 9.
  - PLAN TITLED "PLAN OF LAND STANDARD BOUNDARY SURVEY ON FORE, INDIA, MIDDLE NEWBURY, HANCOCK, & MOUNTFORD STREETS, PORTLAND MAINE" PREPARED FOR SHIPYARD BREWING COMPANY, BY OWEN HASKELL, INC., DATED APRIL OF 1987, REVISED 11/27/95.
  - SITE PLAN "ADDITIONS TO: THE VILLAGE CAFE, PORTLAND, ME. BY JOHN H. LEASURE - ARCHITECT, INC., DATED JAN. 4, 1985.
  - PLAN TITLED "INDIA ST. REBUILDING SEWER - MIDDLE ST. TO CONGRESS ST., BY THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS, DRAWN ON 11/4/55, DRAWING #659/8.
  - "PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR VILLAGE CAFE" DATED 4-10-84 BY EC JORDAN.
  - ALTA/ACSM LAND TITLE SURVEY OF THE BAY HOUSE, FOR THE VILLAGE AT OCEANSTATE, LLC, BY SEBAGO TECHNICS, INC. DATED AUGUST 27, 2012.
  - SUBDIVISION RECORDING PLAT OF 7-UNIT BUILDING AT 44 FEDERAL STREET PORTLAND, MAINE FOR BOULET INVESTMENTS, BY BACK BAY BOUNDARY, INC. LAST DATED JULY 25, 1995, AND RECORDED IN CORD PLAN BOOK 205 PAGE 579.
- SUBJECT TO:
  - RIGHTS AND EASEMENT GRANTED TO THOMAS LAUGHLIN COMPANY FOR NOISE, VIBRATION, SMOKE, SOOT, CONDENS, FUMES, GASES, AND VAPORS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN THE FOLLOWING BOOKS AND PAGES: 1611/362, 2064/472, 1899/75, 1611/327, 1611/321, 1658/313, 2041/135.
  - RIGHTS AND EASEMENTS GRANTED BY WARWICK CORPORATION TO CENTRAL MAINE POWER COMPANY AND NEW ENGLAND TELEPHONE COMPANY RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 3211 PAGE 557.
  - BUILDING AND OVERHANG EASEMENT FOR BLOCK D LOT 8 (SHOWN AS ABUTTER E ON THIS PLAN) DESCRIBED IN BOOK 7575 PAGE 0074.
- THERE IS NO 100 YEAR FLOOD PLANE LOCATED ON THE SITE AND IS DESIGNATED AS ZONE C PER THE FLOOD INSURANCE RATE MAP FOR THE CITY OF PORTLAND, MAINE, COMMUNITY PANEL NUMBER 230051 0014 B DATED JULY 17, 1986.
- PUBLIC WATER AND SEWER IS PROVIDED TO SUBJECT PARCELS.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON A FIELD SURVEY BY SEBAGO TECHNICS PERFORMED IN 2005 WITH UPDATES PERFORMED THROUGH 2013. SEVERAL MONUMENTS WERE SURVEY LOCATED OFF THIS SITE. COMBINED WITH CITY RECORDS AND PLANS, TO DETERMINE THE STREET RIGHT OF WAYS. THE SUBJECT AND ABUTTERS DEEDS, AS WELL AS SITE FEATURES WERE THEN UTILIZED TO DETERMINE THE PARCELS BOUNDARIES. THE SITE IS CURRENTLY BEING USED AS A CONSTRUCTION YARD. CURRENT SITE CONDITIONS MAY HAVE CHANGED SINCE 2005 BUT HAVE NOT BEEN UPDATED DUE TO CONSTRUCTION EQUIPMENT.
- THE TOTAL AREA OF THE LOCUS PARCEL IS APPROXIMATELY 29,927 S.F.
- UTILITIES IN NEW BURY STREET PER AS-BUILT MARKUPS FROM BAY HOUSE SITE CONTRACTOR, NOT FIELD VERIFIED.



NO.	DATE	STATUS
1	10-15-13	CITY SUBMITTAL 6
2	10-03-13	CITY SUBMITTAL 5
3	09-17-13	CITY SUBMITTAL 4
4	09-03-13	CITY SUBMITTAL 3
5	07-29-13	SUBMIT SITE PLAN APPLICATION TO CITY

**SEBAGO TECHNICS**  
 75 John Roberts Rd., Suite B  
 South Portland, ME 04106  
 Tel. 207-783-6566

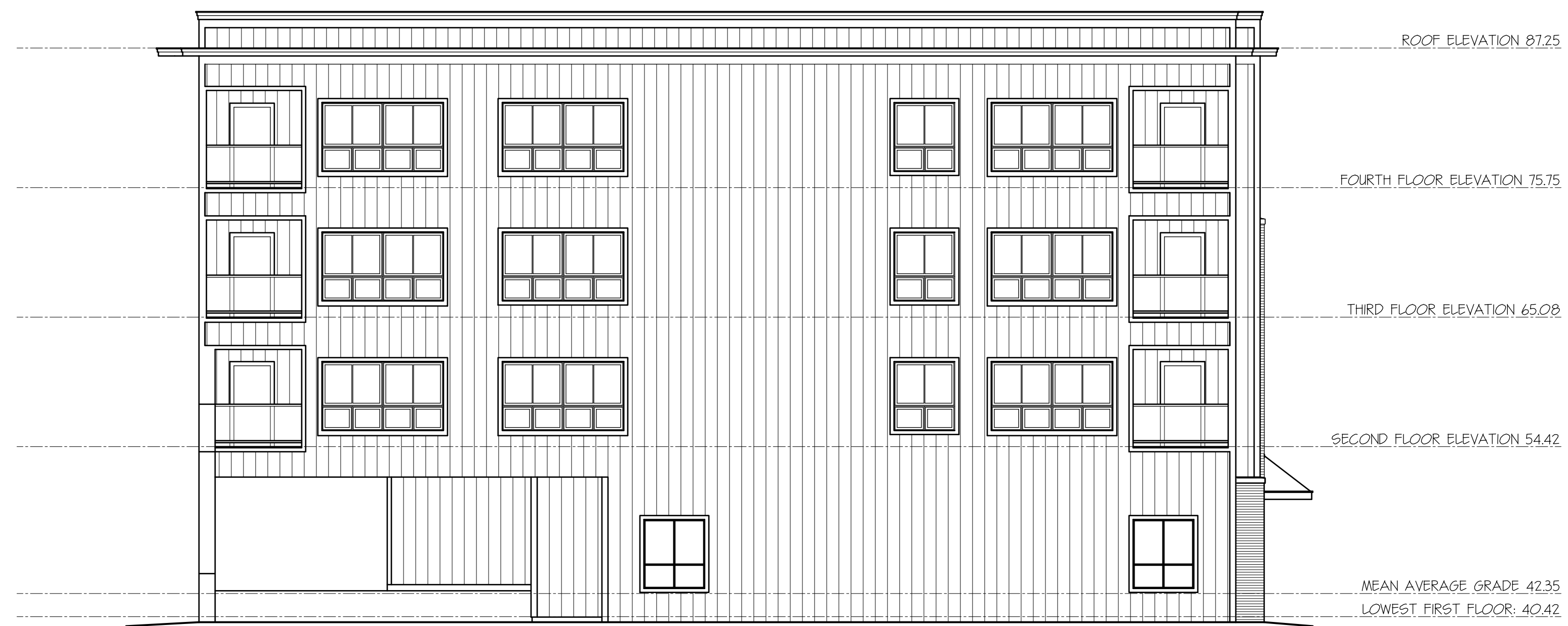
PROJECT NO. 13251  
 FIELD BOOK DESIGN CHKD DRAWN  
 MWE MWE/MAL

**BOUNDARY & TOPOGRAPHIC SURVEY**  
 OF:  
 SEAPORT LOFTS  
 NEWBURY / HANCOCK STREET  
 PORTLAND, MAINE  
 FOR:  
 113 NEWBURY STREET, LLC  
 35 FAY STREET, SUITE 07B  
 BOSTON, MA 02118-4920

DATE 07-26-13  
 SCALE 1" = 20'

SHEET 2 OF 14





LEFT SIDE ELEVATION

SCALE: 1/8" = 1' 0"



REAR ELEVATION

SCALE: 1/8" = 1' 0"

SEAPORT LOFTS

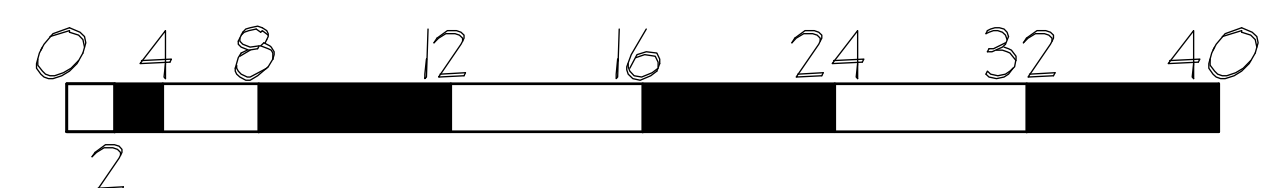
PORTLAND, MAINE

DAVID M. WHITE, ARCHITECT

113 NEWBURY STREET, LLC

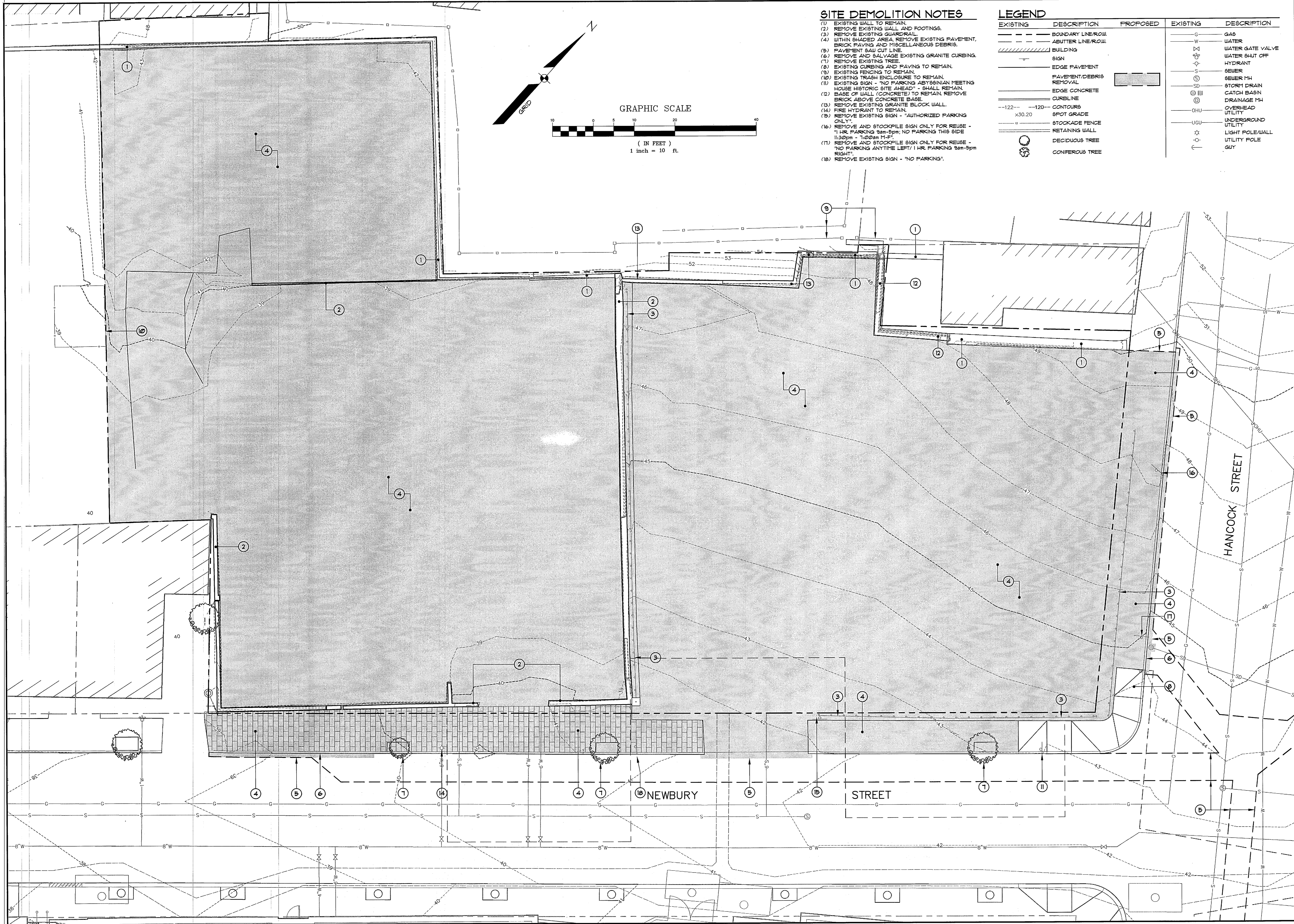
OCTOBER 12, 2013

BOSTON, MASSACHUSETTS



P6



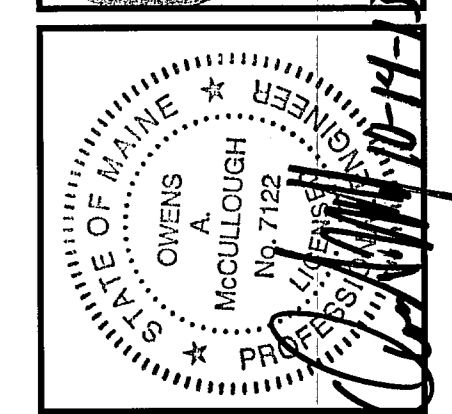
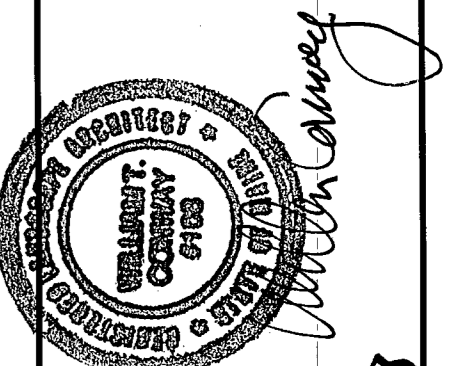


**SITE DEMOLITION NOTES**

- (1) EXISTING WALL TO REMAIN.
- (2) REMOVE EXISTING WALL AND FOOTINGS.
- (3) REMOVE EXISTING GUARDRAIL.
- (4) WITHIN SHADED AREA, REMOVE EXISTING PAVEMENT, BRICK PAVING AND MISCELLANEOUS DEBRIS.
- (5) PAVEMENT SAW CUT LINE.
- (6) REMOVE AND SALVAGE EXISTING GRANITE CURBING.
- (7) REMOVE EXISTING TREE.
- (8) EXISTING CURBING AND PAVING TO REMAIN.
- (9) EXISTING FENCING TO REMAIN.
- (10) EXISTING TRASH ENCLOSURE TO REMAIN.
- (11) EXISTING SIGN - "NO PARKING ABYSSINIAN MEETING HOUSE HISTORIC SITE AHEAD" - SHALL REMAIN. BASE OF WALL (CONCRETE) TO REMAIN. REMOVE BRICK ABOVE CONCRETE BASE.
- (12) REMOVE EXISTING GRANITE BLOCK WALL.
- (13) FIRE HYDRANT TO REMAIN.
- (14) REMOVE EXISTING SIGN - "AUTHORIZED PARKING ONLY".
- (15) REMOVE AND STOCKPILE SIGN ONLY FOR REUSE - "1 HR. PARKING 9am-5pm; NO PARKING THIS SIDE 11:30pm - 1:00am M-F".
- (16) REMOVE AND STOCKPILE SIGN ONLY FOR REUSE - "NO PARKING ANYTIME LEFT / 1 HR. PARKING 9am-5pm RIGHT".
- (18) REMOVE EXISTING SIGN - "NO PARKING".

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED	EXISTING	DESCRIPTION
---	BOUNDARY LINE/ROW	---	G	GAS
---	ADJUTER LINE/ROW	---	W	WATER
	BUILDING	---	WV	WATER GATE VALVE
---	SIGN	---	WS	WATER SHUT OFF
---	EDGE PAVEMENT	---	H	HYDRANT
---	PAVEMENT/DEBRIS REMOVAL	---	S	SEWER
---	EDGE CONCRETE	---	SM	SEWER MH
---	CURBLINE	---	SD	STORM DRAIN
---	CONTOURS	---	SB	CATCH BASIN
---	SPOT GRADE	---	SBH	DRAINAGE MH
---	STOCKADE FENCE	---	OHU	OVERHEAD UTILITY
---	RETAINING WALL	---	UGU	UNDERGROUND UTILITY
○	DECIDUOUS TREE	---	○	LIGHT POLE/WALL
○	CONIFEROUS TREE	---	○	UTILITY POLE



REV.	BY:	DATE:	STATUS:
E	WTC	10-15-13	CITY SUBMITTAL 6
D	WTC	10-03-13	CITY SUBMITTAL 5
C	WTC	09-17-13	CITY SUBMITTAL 4
B	WTC	09-03-13	CITY SUBMITTAL 3
A	WTC	07-29-13	SUBMIT SITE PLAN APPLICATION TO CITY

THIS PLAN SHALL NOT BE MODIFIED WITHOUT THE PERMISSION FROM SEBAGO TECHNIQS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNIQS, INC.

**SEBAGO**  
 T E C H N I C A L S  
 WWW.SEAGOTECHNIQS.COM  
 75 John Rolland, NE of 106  
 South Portland, ME 04240  
 Tel: 207-260-2100  
 Fax: 207-783-9588

PROJECT NO. 13251  
 DESIGN: WTC  
 CHKD: WTC  
 DRAWN: WTC  
 MAL

**DEMOLITION PLAN**  
 OF:  
**SEAPORT LOFTS**  
 NEWBURY/HANCOCK STREET  
 PORTLAND, MAINE  
 FOR:  
**113 NEWBURY STREET, LLC**  
 35 FAX STREET, SUITE 107B  
 BOSTON, MA 02118-4520

DATE: 07-26-13  
 SCALE: 1" = 10'

SHEET 3 OF 14



UNIT NO.	SIZE (SQ. FT.)
UNIT 1	1671
UNIT 2	1599
UNIT 3	1120
UNIT 4	1669
UNIT 5	1564
UNIT 6	1654
UNIT 7	920
UNIT 8	920
UNIT 9	931
UNIT 10	1218
UNIT 11	1211
UNIT 12	1211
UNIT 13	1218
UNIT 14	1388
UNIT 15	949
UNIT 16	1201
UNIT 17	931
UNIT 18	1639
UNIT 19	1632
UNIT 20	920
UNIT 21	931
UNIT 22	1218
UNIT 23	1211
UNIT 24	1211
UNIT 25	1218
UNIT 26	1346
UNIT 27	1393
UNIT 28	1194
UNIT 29	946
UNIT 30	1634
UNIT 31	1632
UNIT 32	920
UNIT 33	931
UNIT 34	1218
UNIT 35	1211
UNIT 36	1218
UNIT 37	1318
UNIT 38	1346
UNIT 39	1378

**WAIVERS GRANTED**

**CONDITIONS OF APPROVAL**

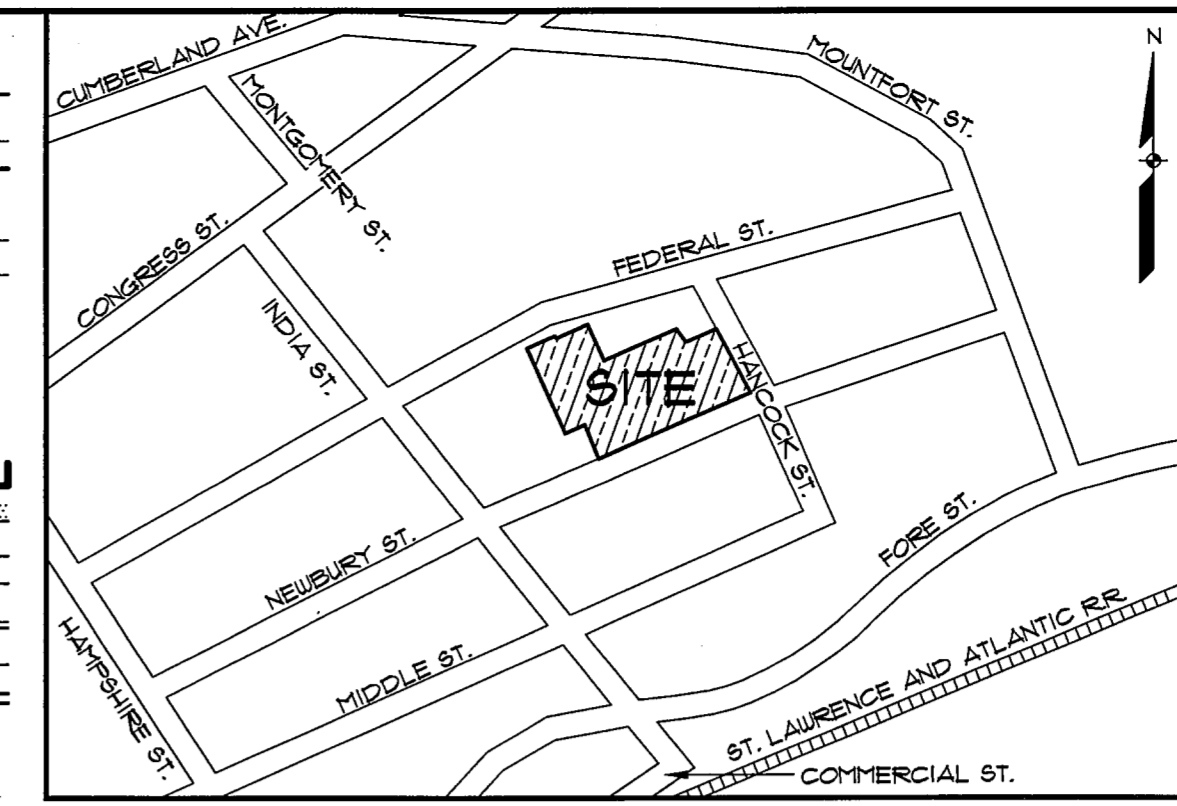
**LIST OF ABUTTERS**

KEY	ABUTTER	BOOK/PAGE
A	ROLAND SMALLEY, JR.	12514/211
B	TIM HARDY	1254/50
C	DAVID FILIFOS	1536/285
D	HUGH R. MAZOR & LINDA J. MURNIK	2432/233
E	PAUL & MARIA DESJARDINS	2532/65
F	JOHN & ZDENKA S. GRISWOLD	2535/117
G	STEPHEN M. & WILMA ROSE	24191/259
H	RICHARD H. & WENDY E. FENLEY	2855/328
I	RICHARD B. & ELIZABETH M. CARSON	2827/288
J	PETER & PATRICIA BAGGS	24619/252
K	LIV R. CHASE & BRENT L. ADLER	2194/23
L	JUBILATION, LLC	25943/282
M	BETTY POHROY	6106/216
N	DASHA, LLC	2193/29
O	DOMINIC REALTY, LLC	15585/321
P	DOMINIC REALTY, LLC	14431/266
Q	DOMINIC REALTY, LLC	15585/324
R	DAVID & ALLISON BROUN	15168/132
S	ELIZABETH MONAGHAN & KURT NIELSEN	23346/36

LINE	BEARING	LENGTH
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**LEGEND**

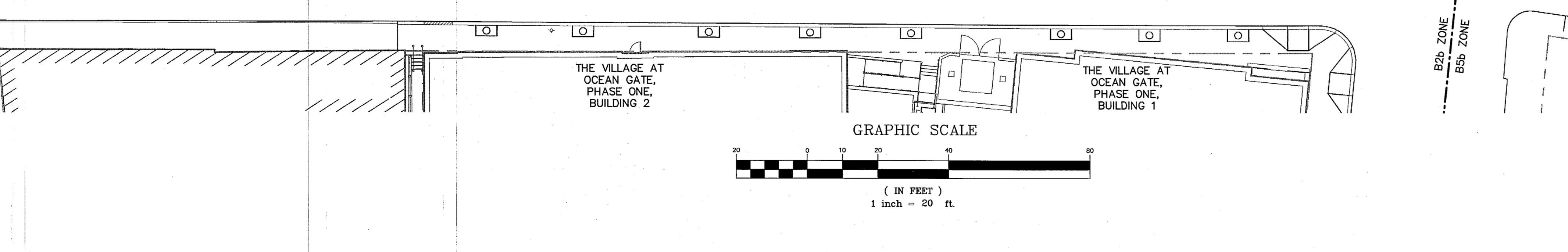
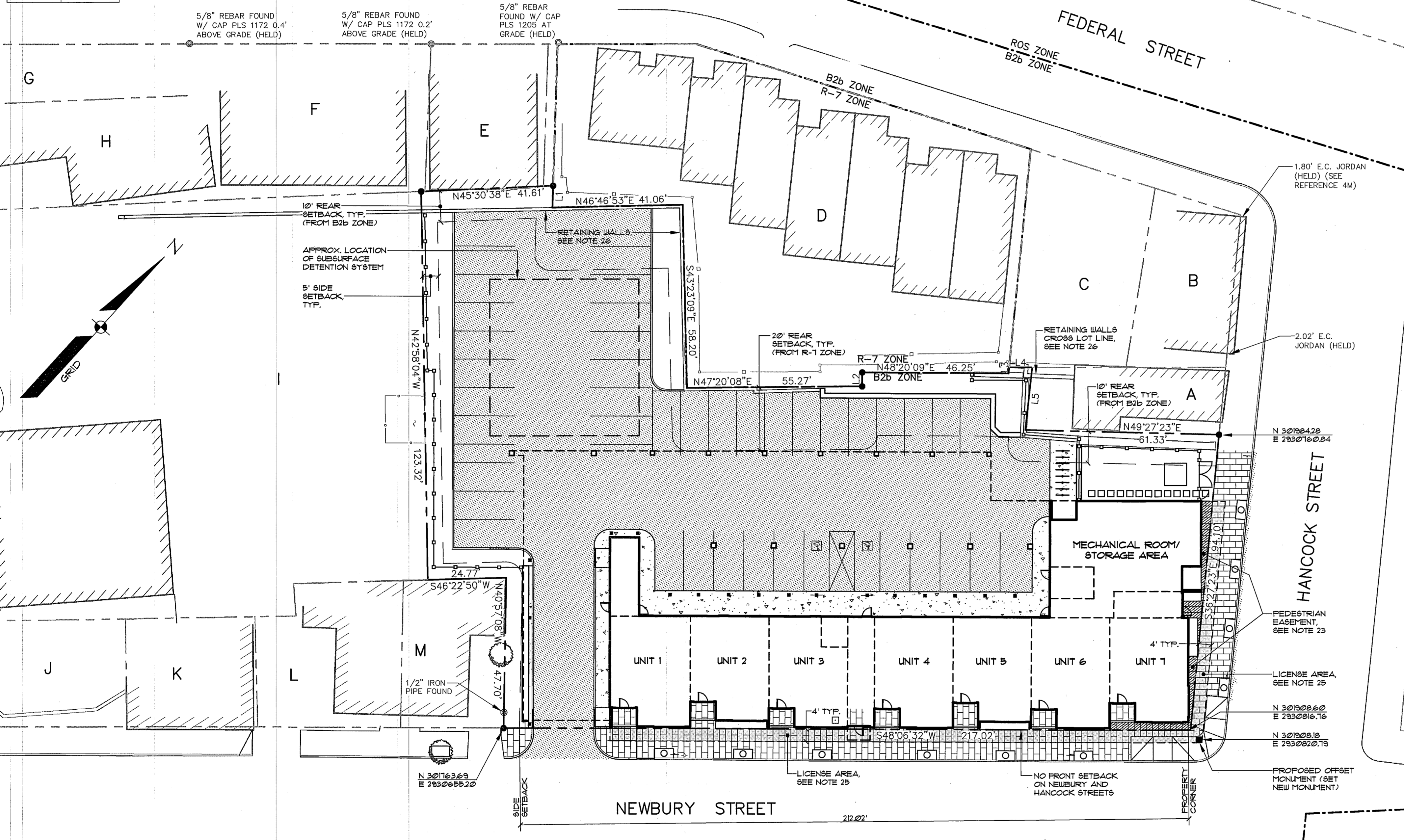
EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/ROW	---
---	ABUTTER LINE/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
C1/L1	CURVE/LINE NO.	---
---	ZONE LINE	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	EDGE CONCRETE	---
---	PAVEMENT PAINT	---
---	CURBLINE	---
---	STOCKADE FENCE	---
---	RETAINING WALL	---



**LOCATION MAP**

**GENERAL NOTES**

- THE RECORD OWNER OF THE PROPERTY IS THE VILLAGE CAFE AS DESCRIBED IN A DEED RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CORD) IN BOOK 9581 PAGE 34, BOOK 4034 PAGE 222, AND BOOK 4351 PAGE 289.
- THE PROPERTY IS DEPICTED ON THE CITY OF PORTLAND TAX MAP 20, BLOCK D, AS LOTS 013, 014, 015 & 022.
- TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON A FIELD SURVEY BY SEBAGO TECHNICS PERFORMED IN 2009. BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON A FIELD SURVEY BY SEBAGO TECHNICS PERFORMED IN 2009 WITH UPDATES PERFORMED THROUGH 2019. THE SITE IS CURRENTLY BEING USED AS A CONSTRUCTION YARD. CURRENT SITE CONDITIONS MAY HAVE CHANGED SINCE 2009 BUT HAVE NOT BEEN UPDATED DUE TO CONSTRUCTION EQUIPMENT. SEE THE BOUNDARY AND TOPOGRAPHIC SURVEY (SHEET 2) OF THIS SET FOR ADDITIONAL BOUNDARY NOTES.
- THE BEARINGS SHOWN HEREON ARE BASED UPON GRID NORTH NAD 1983 MAINE WEST ZONE. CONTOURS AND ELEVATION SHOWN HEREON ARE BASED UPON THE CITY OF PORTLAND VERTICAL DATUM. THE CITY DATUM WAS DETERMINED UTILIZING U.S. COAST AND GEODETIC SURVEY BENCHMARK BEING A DRILL HOLE LOCATED IN THE GRANITE STEPS OF THE CUSTOM HOUSE ON COMMERCIAL STREET. THE CITY ELEVATION IS 14.072 THE NGVD 29 ELEVATION IS 14.042 AND NAVD83 IS 13.927.
- TOTAL AREA OF PARCEL IS 29,921 SF. (0.69 ACRES).
- ZONING DISTRICT: B-2b COMMUNITY BUSINESS ZONE.
- SPACE AND BULK CRITERIA FOR B-2b ZONE:
  - (a) MIN. LOT SIZE: NONE
  - (b) MIN. STREET FRONTAGE: NONE
  - (c) MIN. FRONT YARD: NONE
  - (d) MIN. REAR YARD: 10 FT. (20 FT. ABUTTING R-1 ZONE)
  - (e) MIN. SIDE YARD: 5 FT.
  - (f) MAX. IMPERVIOUS RATIO: 32%
  - (g) MAX. RESIDENTIAL DENSITY: 495 SF. PER DWELLING UNIT
  - (h) MAX. BUILDING HEIGHT: 45 FT.
- DEVELOPMENT SUMMARY:
  - (a) PROPOSED USE: (39) RESIDENTIAL HOUSING UNITS
  - (b) ALLOWABLE DENSITY: 29,921 SF. / 435 SF./UNIT = 68 UNITS
  - (c) PROPOSED IMPERVIOUS RATIO: 26,332 SF. / 29,921 SF. = 87.99% OF LOT AREA
  - (d) PROPOSED BUILDING HEIGHT: 44 FT.
  - (e) REQUIRED PARKING: 39 SPACES (43 PROPOSED)
  - (f) ADA PARKING PROVIDED: 2 SPACES
  - (g) REQUIRED BICYCLE RACK SPACES: 16 (16 PROPOSED)
- SEAPORT LOfts IS A PRIVATE DEVELOPMENT. LIGHTING, TRASH REMOVAL AND SNOW REMOVAL SHALL BE THE RESPONSIBILITY OF THE COMMERCIAL MERCHANTS AND THE RESIDENTIAL CONDOMINIUM ASSOCIATION.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS WITHIN THE CITY RIGHT OF WAY SHALL CONFORM TO THE CURRENT CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS AND/OR CURRENT M.D.O.T STANDARDS AND SPECIFICATIONS.
- ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH THE STANDARDS OF CENTRAL MAINE POWER CO., FAIRPOINT, TIME WARNER CABLE T.V. CO. OR OTHER UTILITIES PROVIDING SERVICE TO THE SITE.
- ALL WATER MAINS SERVICES AND ASSOCIATED APPURTENANCES SHALL BE IN CONFORMANCE WITH PORTLAND WATER DISTRICT STANDARDS.
- ALL NATURAL GAS MAINS, SERVICES AND ASSOCIATED APPURTENANCES SHALL BE IN CONFORMANCE WITH UNTIL STANDARDS.
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
- THE FACILITY IS SERVICED BY CITY SEWER, WATER, GAS, UNDERGROUND ELECTRIC, STORM DRAINAGE, TELEPHONE AND CABLE.
- A PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND PUBLIC SERVICES DEPARTMENT AND DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PARKS AND INSPECTION SERVICES DIVISION IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION (814-8300 EXT. 8839). SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA, A PRE-CONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE AUTHORITY.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR DEVIATIONS FROM THE APPROVED SITE PLAN, INCLUDING WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE AT ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- NEWBURY STREET LIGHTING SHALL CONFORM TO THE CITY OF PORTLAND EASTERN WATERFRONT MEDIUM SCALE LIGHTING FIXTURES. HANCOCK STREET LIGHTING SHALL CONFORM TO THE CITY OF PORTLAND EASTERN WATERFRONT SMALL SCALE LIGHTING FIXTURES. PAINT: POLYESTER POWDER COAT PAINT, BLACK. SHOP DRAWINGS SHALL BE SUBMITTED TO CITY ENGINEER FOR REVIEW PRIOR TO INSTALLATION. CONTRACTOR TO PROVIDE A METER FOR ALL STREET LIGHTS FOR FUTURE CITY OWNERSHIP.
- BIKE RACKS SHALL BE MODEL "BIKE HITCH" FROM DERO ([www.dero.com](http://www.dero.com)), IN-GROUND MOUNT, COLOR BLACK.
- SITE LIGHT FIXTURES SHALL BE HOLOPHANE LED FIXTURES (SEE LIGHTING PLAN).
- PLAN DEPICTS A FEDESTRIAN EASEMENT TO BE CONVEYED TO THE CITY OF PORTLAND. APPLICANT SHALL RECORD THIS EASEMENT IN THE REGISTRY OF DEEDS AND PROVIDE A COPY TO THE CITY, INCLUDING PLAN BOOK AND PAGE NUMBERS, PRIOR TO THE RECEIPT OF A BUILDING PERMIT.
- A COPY OF THE HOMEOWNERS ASSOCIATION DOCUMENTS SHALL BE PROVIDED TO THE CITY PRIOR TO THE RECEIPT OF A CERTIFICATE OF OCCUPANCY.
- PLAN DEPICTS A PROPOSED LICENSE FROM THE CITY TO ALLOW THE CONSTRUCTION OF BUILDING FOUNDATIONS AND AWNINGS. APPLICANT SHALL PROVIDE A LEGAL DESCRIPTION OF THIS LICENSE AREA PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- RESPONSIBILITY OF MAINTENANCE OF EXISTING RETAINING WALLS HAS NOT BEEN DETERMINED.



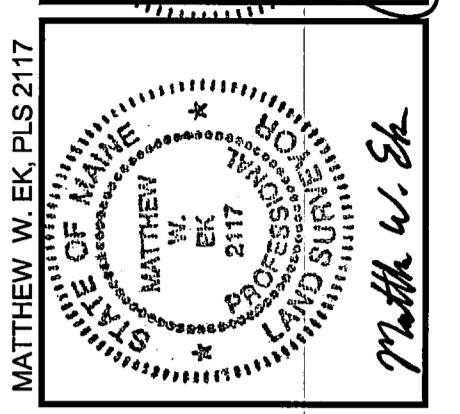
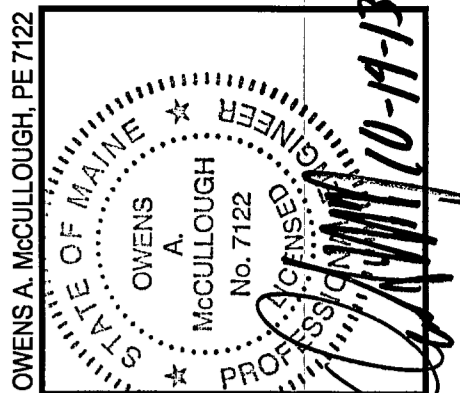
**STATE OF MAINE**

CUMBERLAND COUNTY SS REGISTRY OF DEEDS  
 RECEIVED \_\_\_\_\_ 20\_\_\_\_  
 AT \_\_\_\_\_ M \_\_\_\_\_ AND RECORDED IN  
 PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

ATTEST \_\_\_\_\_ REGISTRAR

**APPROVAL - CITY OF PORTLAND PLANNING BOARD**

DATE \_\_\_\_\_  
 CHAIRPERSON \_\_\_\_\_



REV.	BY:	DATE:	STATUS:
1	WTC	10-15-13	CITY SUBMITTAL 6
2	WTC	10-03-13	CITY SUBMITTAL 5
3	WTC	09-17-13	CITY SUBMITTAL 4
4	WTC	08-03-13	CITY SUBMITTAL 3
5	WTC	07-29-13	SUBMIT SITE PLAN APPLICATION TO CITY

**SEBAGO TECHNICS**  
 WWW.SEBAGOTECHNICS.COM  
 75 Park Road, Scarborough, ME 04108  
 South Portland, ME 04106  
 Tel: 207-200-2100  
 Fax: 207-783-9568

PROJECT NO. 13251  
 FIELD BOOK DESIGN CHKO DRAWN MAL

**SUBDIVISION PLAN OF SEAPORT LOfts**  
 NEWBURY / HANCOCK STREET  
 PORTLAND, MAINE  
 FOR: 113 NEWBURY STREET, LLC  
 36 FAX STREET, SUITE 107B  
 BOSTON, MA 02114-1620

RECORD OWNER: VILLAGE CAFE, INC.  
 61 DELWIN DRIVE  
 N. YARMOUTH, ME 04097

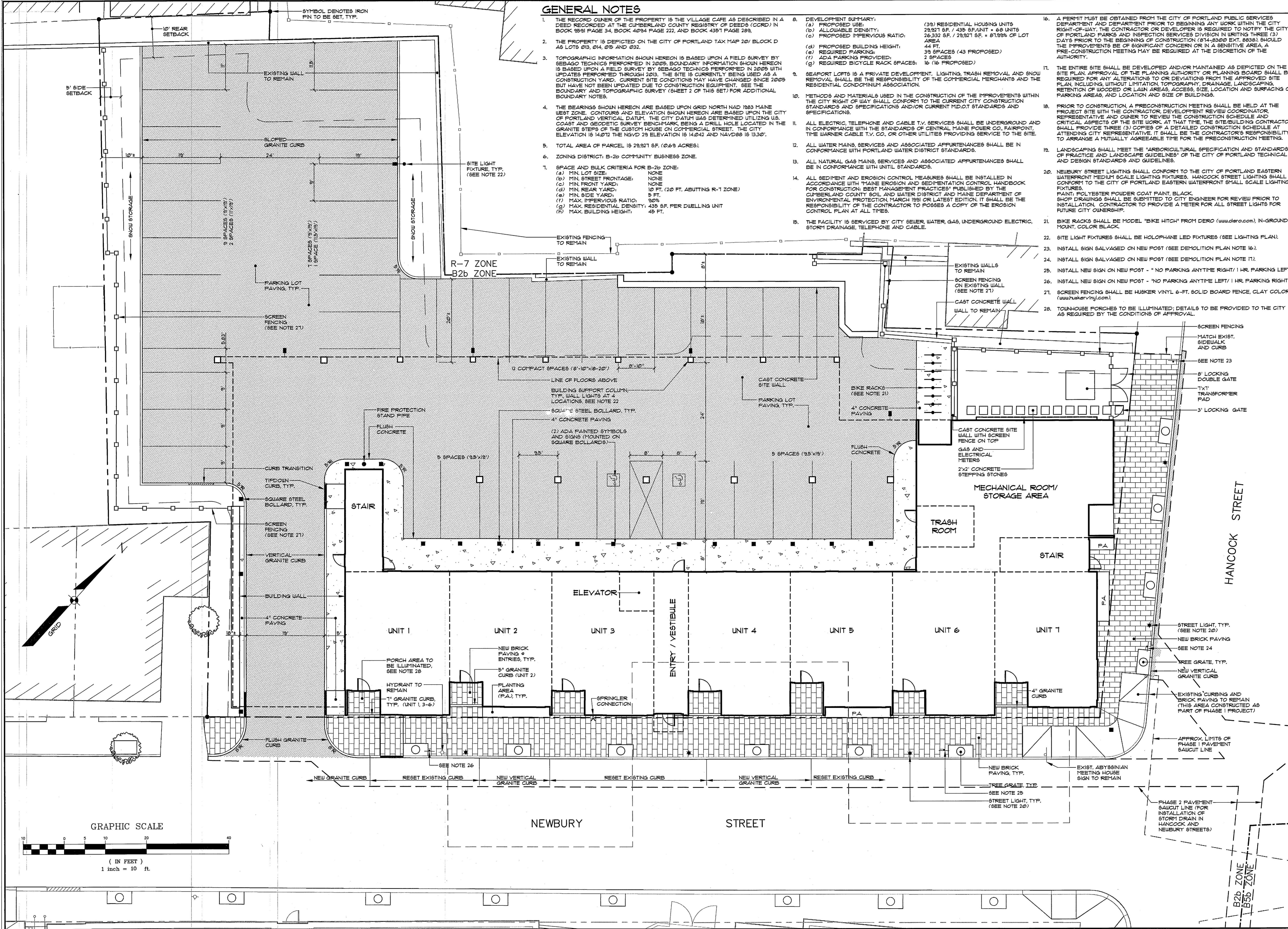
DATE: 07-26-13  
 SCALE: 1" = 20'

**SHEET 4 OF 14**



**GENERAL NOTES**

- THE RECORDED OWNER OF THE PROPERTY IS THE VILLAGE CAFE AS DESCRIBED IN A DEED RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD) IN BOOK 9591 PAGE 34, BOOK 4094 PAGE 222, AND BOOK 4391 PAGE 293.
- THE PROPERTY IS DEPICTED ON THE CITY OF PORTLAND TAX MAP 20/ BLOCK D AS LOTS 013, 014, 015 AND 032.
- TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON A FIELD SURVEY BY SEBAGO TECHNICS PERFORMED IN 2025. BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON A FIELD SURVEY BY SEBAGO TECHNICS PERFORMED IN 2025 WITH UPDATES PERFORMED THROUGH 2019. THE SITE IS CURRENTLY BEING USED AS A CONSTRUCTION YARD. CURRENT SITE CONDITIONS MAY HAVE CHANGED SINCE 2025 BUT HAVE NOT BEEN UPDATED DUE TO CONSTRUCTION EQUIPMENT. SEE THE BOUNDARY AND TOPOGRAPHIC SURVEY (SHEET 2 OF THIS SET) FOR ADDITIONAL BOUNDARY NOTES.
- THE BEARINGS SHOWN HEREON ARE BASED UPON GRID NORTH NAD 1983 MAINE WEST ZONE. CONTOURS AND ELEVATION SHOWN HEREON ARE BASED UPON THE CITY OF PORTLAND VERTICAL DATUM. THE CITY DATUM WAS DETERMINED UTILIZING U.S. COAST AND GEODETIC SURVEY BENCHMARK, BEING A DRILL HOLE LOCATED IN THE GRANITE STEPS OF THE CUSTOM HOUSE ON COMMERCIAL STREET. THE CITY ELEVATION IS 142.12 THE NGVD 29 ELEVATION IS 142.42 AND NAVD83 IS 133.07.
- TOTAL AREA OF PARCEL IS 29,921 SF. (0.69 ACRES).
- ZONING DISTRICT: B-2b COMMUNITY BUSINESS ZONE.
- SPACE AND BULK CRITERIA FOR B-2b ZONE:
  - (a) MIN. LOT SIZE: NONE
  - (b) MIN. STREET FRONTAGE: NONE
  - (c) MIN. FRONT YARD: NONE
  - (d) MIN. REAR YARD: 10 FT. (20 FT. ABUTTING R-1 ZONE)
  - (e) MIN. SIDE YARD: 5 FT.
  - (f) MAX. IMPERVIOUS RATIO: 30%
  - (g) MAX. RESIDENTIAL DENSITY: 435 S.F. PER DWELLING UNIT
  - (h) MAX. BUILDING HEIGHT: 45 FT.
- DEVELOPMENT SUMMARY:
  - (a) PROPOSED USE: (39) RESIDENTIAL HOUSING UNITS
  - (b) ALLOWABLE DENSITY: 29,921 SF. / 435 S.F./UNIT = 68 UNITS
  - (c) PROPOSED IMPERVIOUS RATIO: 29,921 SF. / 29,921 SF. = 81.98% OF LOT AREA
  - (d) PROPOSED BUILDING HEIGHT: 44 FT.
  - (e) REQUIRED PARKING: 39 SPACES (43 PROPOSED)
  - (f) ADA PARKING PROVIDED: 2 SPACES
  - (g) REQUIRED BICYCLE RACK SPACES: 16 (16 PROPOSED)
- SEAPORT LOFTS IS A PRIVATE DEVELOPMENT. LIGHTING, TRASH REMOVAL AND SNOW REMOVAL SHALL BE THE RESPONSIBILITY OF THE COMMERCIAL MERCHANTS AND THE RESIDENTIAL CONDOMINIUM ASSOCIATION.
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- ALL NATURAL GAS MAINS, SERVICES AND ASSOCIATED AFFURTENANCES SHALL BE IN CONFORMANCE WITH UNILIT STANDARDS.
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- SITE LIGHT FIXTURES SHALL BE HOLOPHANE LED FIXTURES (SEE LIGHTING PLAN).
- INSTALL SIGN SALVAGED ON NEW POST (SEE DEMOLITION PLAN NOTE 17).
- INSTALL NEW SIGN ON NEW POST - "NO PARKING ANYTIME RIGHT / 1 HR. PARKING LEFT".
- INSTALL NEW SIGN ON NEW POST - "NO PARKING ANYTIME LEFT / 1 HR. PARKING RIGHT".
- SCREEN FENCING SHALL BE HUSKER VINYL 6-FT. SOLID BOARD FENCE, CLAY COLOR ([www.husker-vinyl.com](http://www.husker-vinyl.com)).
- TOWNHOUSE PORCHES TO BE ILLUMINATED; DETAILS TO BE PROVIDED TO THE CITY AS REQUIRED BY THE CONDITIONS OF APPROVAL.



STATE OF MAINE  
 SEBAGO TECHNICS, INC.  
 No. 7123  
 McCULLOUGH

REV.	BY:	DATE:	STATUS:
E	WTC	10-15-13	CITY SUBMITTAL 6
D	WTC	10-03-13	CITY SUBMITTAL 5
C	WTC	09-17-13	CITY SUBMITTAL 4
B	WTC	09-03-13	CITY SUBMITTAL 3
A	WTC	07-29-13	SUBMIT SITE PLAN APPLICATION TO CITY

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN  
 13251 MAL  
 WTC WTC WTC

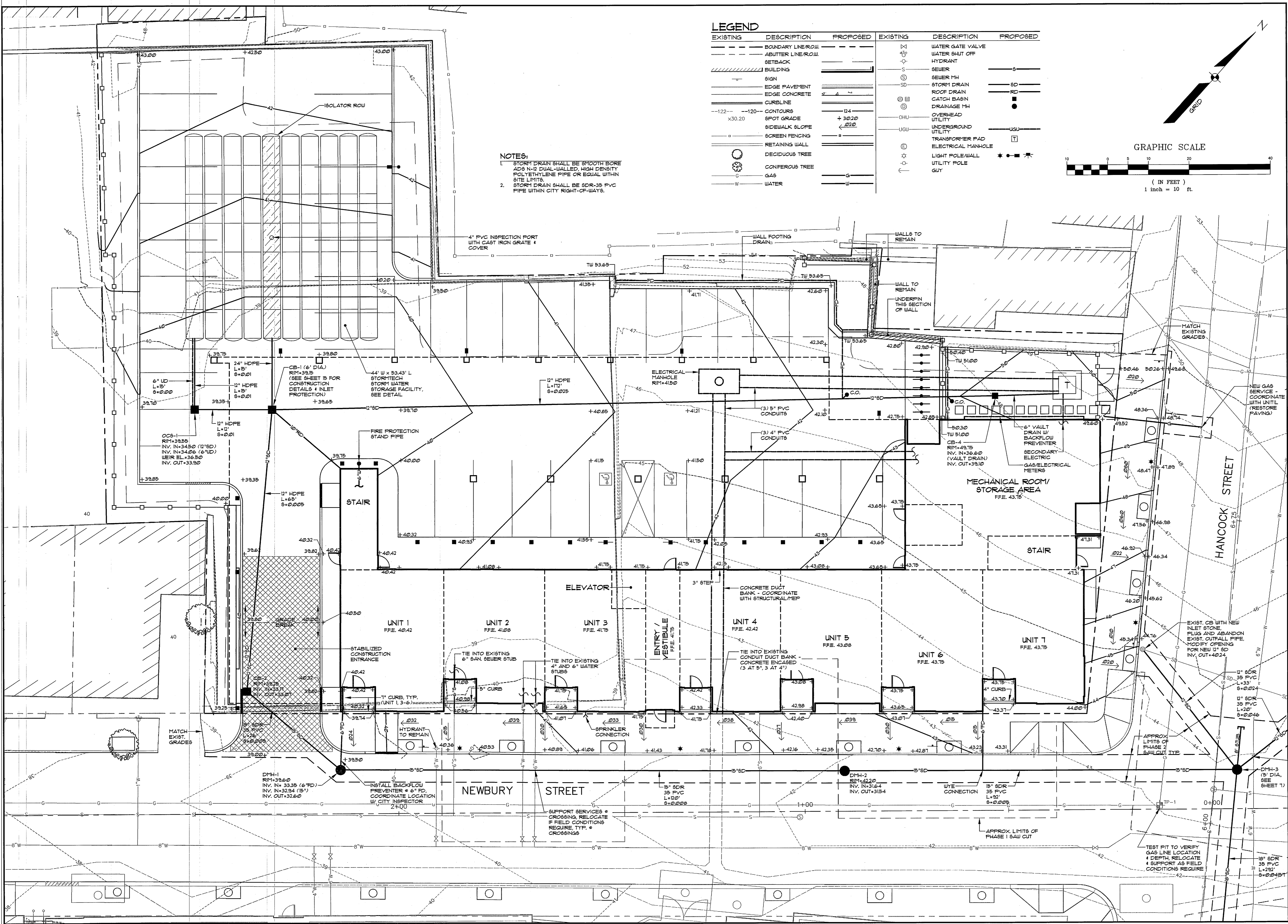
**SEBAGO**  
 T E C H N I C S  
 WWW.SEAGOTECHNICS.COM  
 75 John Paul Street, Suite B  
 South Portland, ME 04106  
 Lewiston, ME 04240  
 Tel: 207-200-2100  
 Tel: 207-783-6568

**SITE PLAN**  
 OF  
**SEAPORT LOFTS**  
 NEWBURY/HANCOCK STREET  
 PORTLAND, MAINE  
 FOR:  
**113 NEWBURY STREET, LLC**  
 35 PAX STREET, SUITE 107B  
 BOSTON, MA 02116-4520

DATE: 07-26-13  
 SCALE: 1" = 10'

**SHEET 5 OF 14**

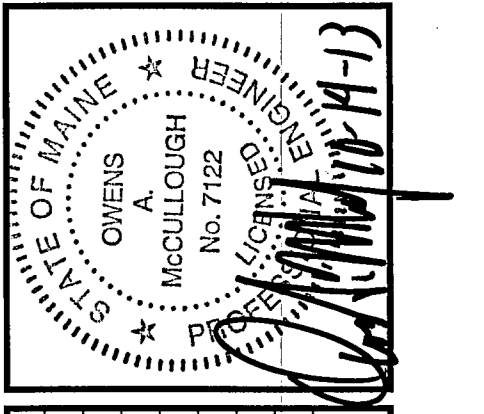
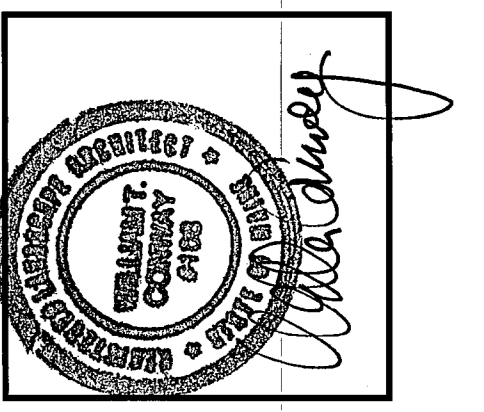
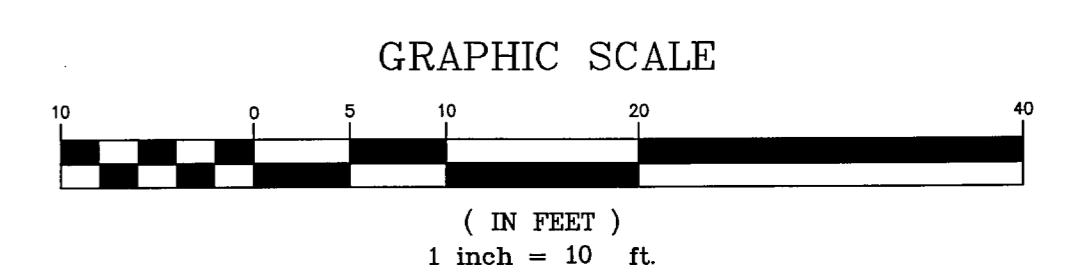




**LEGEND**

EXISTING	DESCRIPTION	PROPOSED	EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/ROW	---	⊗	WATER GATE VALVE	---
---	ABUTTER LINE/ROW	---	⊕	WATER SHUT OFF	---
---	SETBACK	---	⊙	HYDRANT	---
▨	BUILDING	▨	S	SEWER	---
---	SIGN	---	SD	SEWER MH	---
---	EDGE PAVEMENT	---	SD	STORM DRAIN	---
---	EDGE CONCRETE	---	RD	ROOF DRAIN	---
---	CURBLINE	---	CB	CATCH BASIN	---
---	CONTOURS	---	DM	DRAINAGE MH	---
---	SPOT GRADE	---	OHU	OVERHEAD UTILITY	---
---	SIDEWALK SLOPE	---	UGU	UNDERGROUND UTILITY	---
---	SCREEN FENCING	---	UGU	TRANSFORMER PAD	---
---	RETAINING WALL	---	EM	ELECTRICAL MANHOLE	---
⊙	DECIDUOUS TREE	---	LP	LIGHT POLE/WALL	---
⊙	CONIFEROUS TREE	---	UP	UTILITY POLE	---
G	GAS	---	G	GUY	---
W	WATER	---	W	---	---

**NOTES:**  
 1. STORM DRAIN SHALL BE SMOOTH BORE ADS-N-2 DUAL-WALLED, HIGH DENSITY POLYETHYLENE PIPE OR EQUAL WITHIN SITE LIMITS.  
 2. STORM DRAIN SHALL BE SDR-35 PVC PIPE WITHIN CITY RIGHT-OF-WAYS.



REV.	DATE	BY	DESCRIPTION
E	10-15-13	WTC	CITY SUBMITTAL 6
D	10-03-13	WTC	CITY SUBMITTAL 5
C	09-17-13	WTC	CITY SUBMITTAL 4
B	09-03-13	WTC	CITY SUBMITTAL 3
A	07-29-13	WTC	SUBMIT SITE PLAN APPLICATION TO CITY

REV. BY: DATE: STATUS:  
 THIS PLAN SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION FROM SEBAGO TECHNICAL SERVICES, INC. ANY ALTERATIONS, ADDITIONS OR OMISSIONS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICAL SERVICES, INC.

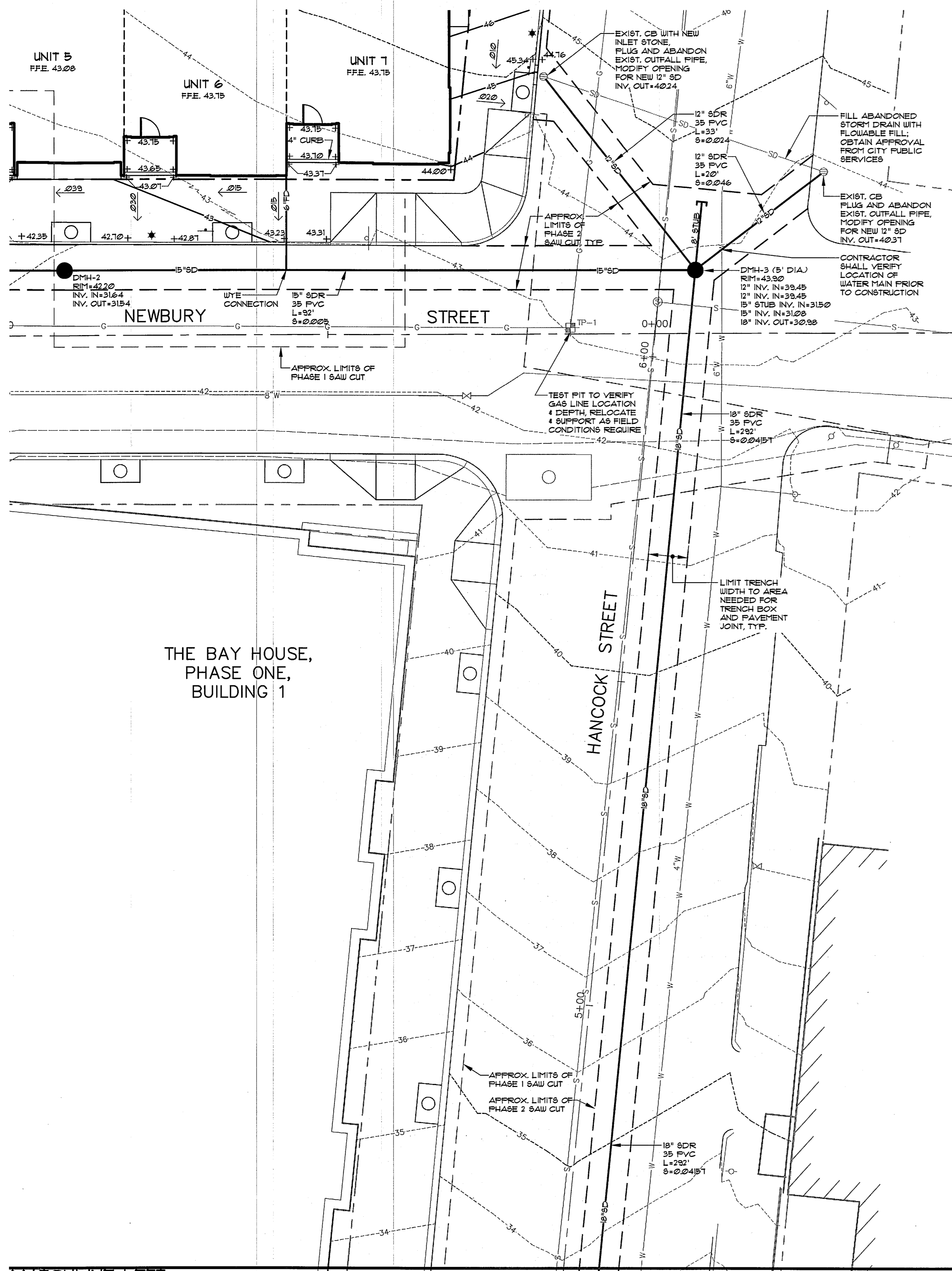
**SEBAGO**  
 ENGINEERS & ARCHITECTS  
 75 John Robinson Rd., Suite B  
 South Portland, ME 04106  
 Tel: 207-200-2100

PROJECT NO.: 13251  
 FIELD BOOK: DESIGN  
 DRAWN: WTC  
 CHECK: WTC  
 MAL

**GRADING AND UTILITY PLAN**  
 OF:  
 SEAPORT LOFTS  
 NEWBURY / HANCOCK STREET  
 PORTLAND, MAINE  
 FOR:  
 113 NEWBURY STREET, LLC  
 35 FAX STREET, SUITE 107B  
 BOSTON, MA 02118-4320

DATE: 07-26-13  
 SCALE: 1" = 10'

TAB: GU1  
 SHEET 6 OF 14

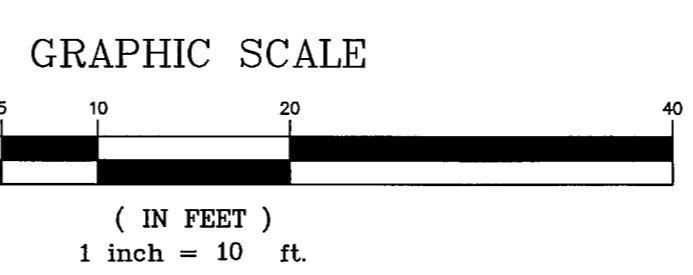
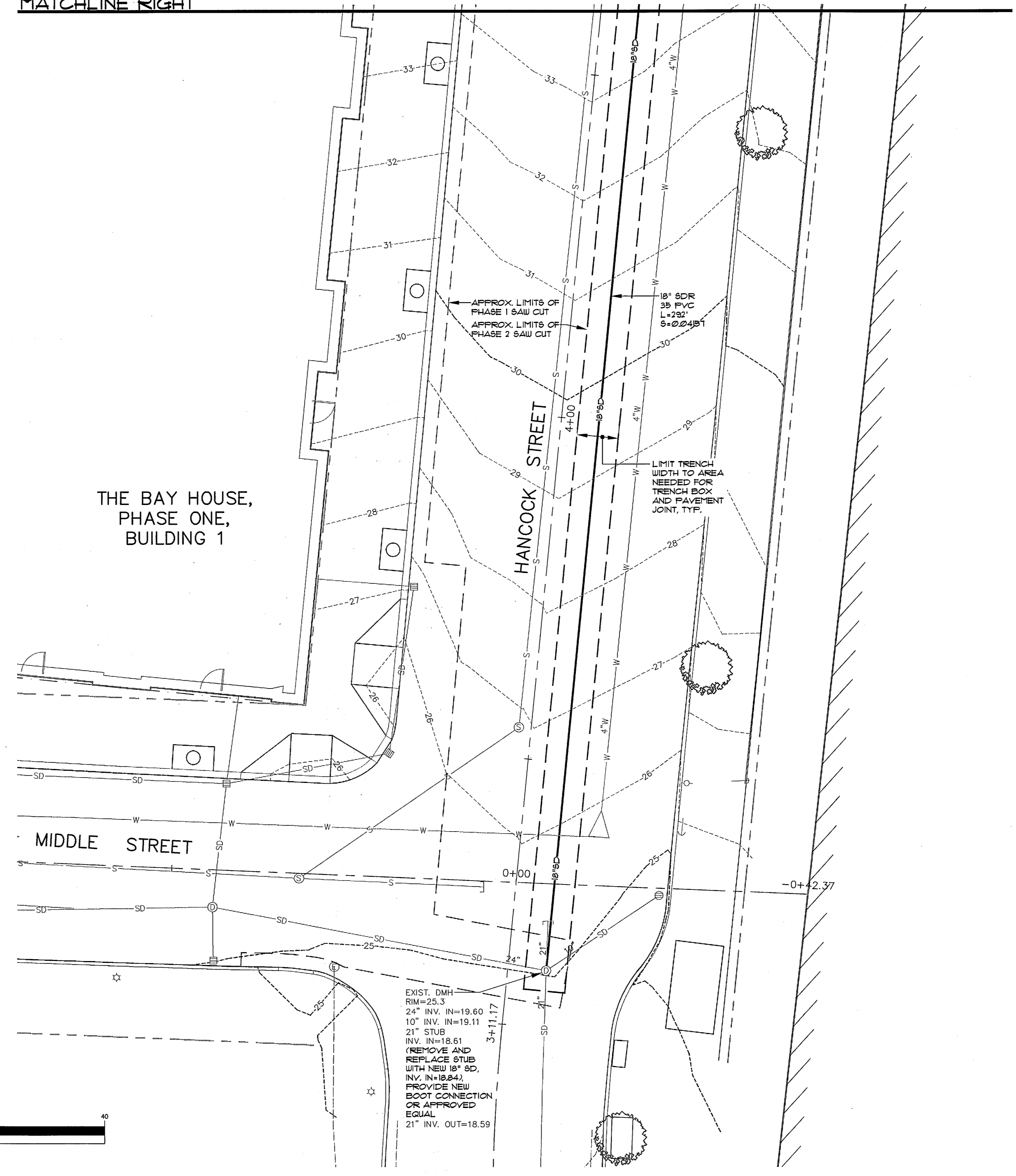


**NOTES:**  
 1. STORM DRAIN SHALL BE SMOOTH BORE ADS N-15 DUAL-WALLED, HIGH DENSITY POLYETHYLENE PIPE OR EQUAL WITHIN SITE LIMITS.  
 2. STORM DRAIN SHALL BE SDR-35 PVC PIPE WITHIN CITY RIGHT-OF-WAYS.

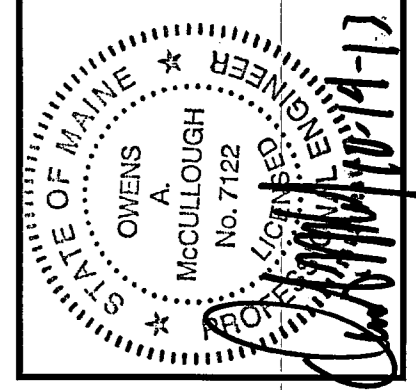
**LEGEND**

EXISTING	DESCRIPTION	PROPOSED	EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/ROW	---	W	WATER GATE VALVE	W
---	ABUTTER LINE/ROW	---	W	WATER SHUT OFF	W
---	SETBACK	---	W	HYDRANT	W
---	BUILDING	---	W	SEWER	W
---	SIGN	---	W	SEWER MH	W
---	EDGE PAVEMENT	---	W	STORM DRAIN	W
---	EDGE CONCRETE	---	W	ROOF DRAIN	W
---	CURBLINE	---	W	CATCH BASIN	W
---	CONTOURS	---	W	DRAINAGE MH	W
---	SPOT GRADE	---	W	OVERHEAD UTILITY	W
---	SIDEWALK SLOPE	---	W	UNDERGROUND UTILITY	W
---	SCREEN FENCING	---	W	TRANSFORMER PAD	W
---	RETAINING WALL	---	W	ELECTRICAL MANHOLE	W
---	DECIDUOUS TREE	---	W	LIGHT POLE/WALL	W
---	CONIFEROUS TREE	---	W	UTILITY POLE	W
---	GAS	---	W	GUY	W
---	WATER	---	W		W

MATCHLINE RIGHT



MATCHLINE LEFT



REV:	BY:	DATE:	STATUS:
A	WTC	07-28-13	SUBMIT SITE PLAN APPLICATION TO CITY
B	WTC	09-03-13	CITY SUBMITTAL 3
C	WTC	09-17-13	CITY SUBMITTAL 4
D	WTC	10-08-13	CITY SUBMITTAL 5
E	WTC	10-15-13	CITY SUBMITTAL 6

**SEBAGO TECHNICALS**  
 WWW.SEBAGOTECHNICALS.COM  
 74 S. Park Road, Portland, ME 04106  
 Tel: 207-200-2100 Fax: 207-783-6668

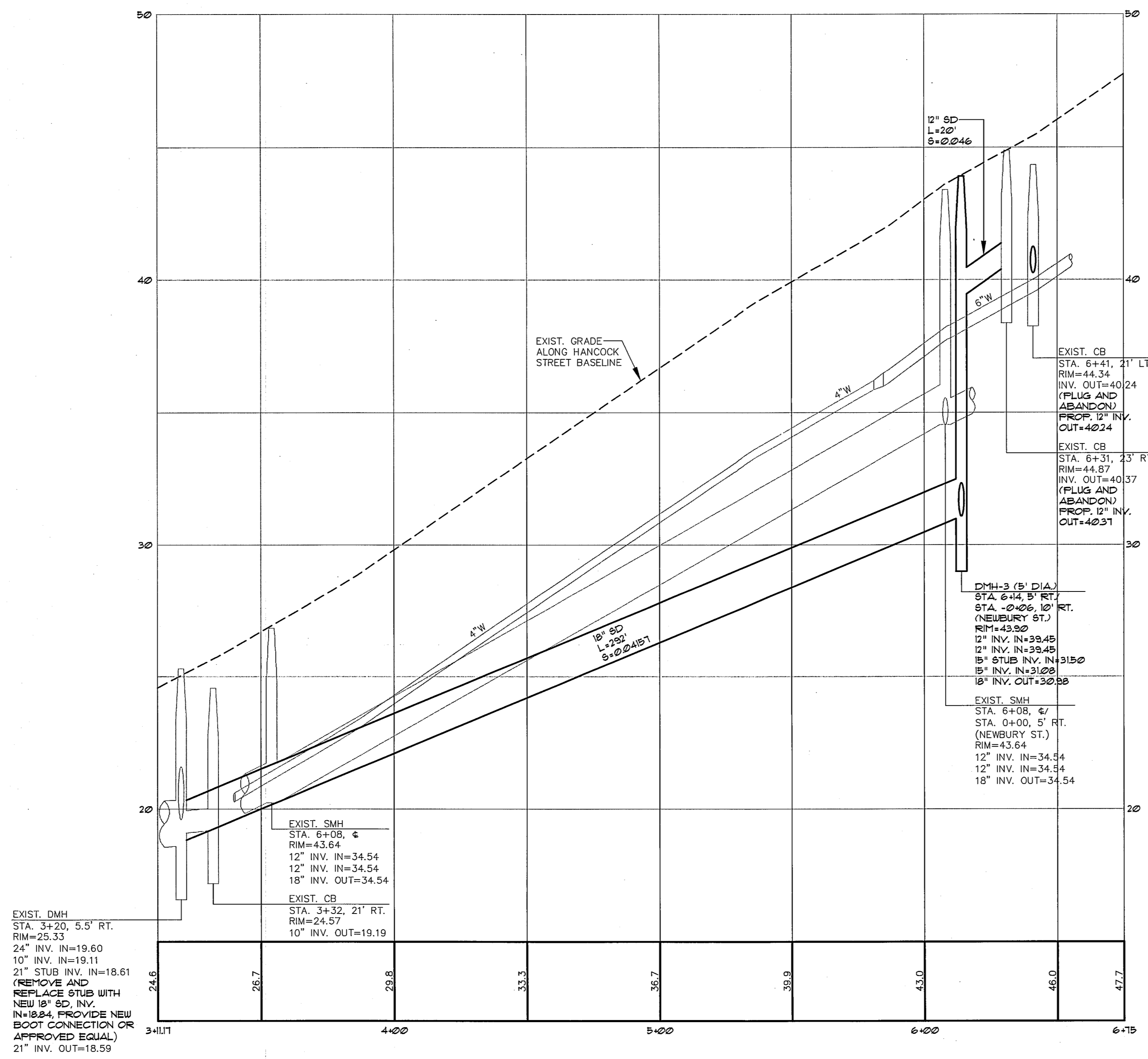
PROJECT NO. 13251  
 FIELD BOOK DESIGN CHKD DRAWN  
 WTC WTC MAL

OFF-SITE DRAINAGE PLAN  
 OF:  
**SEAPORT LOFTS**  
 NEWBURY/HANCOCK STREET  
 PORTLAND, MAINE  
 FOR:  
**113 NEWBURY STREET, LLC**  
 55 NEWBURY STREET, SUITE 107/5  
 BOSTON, MA 02118-4920

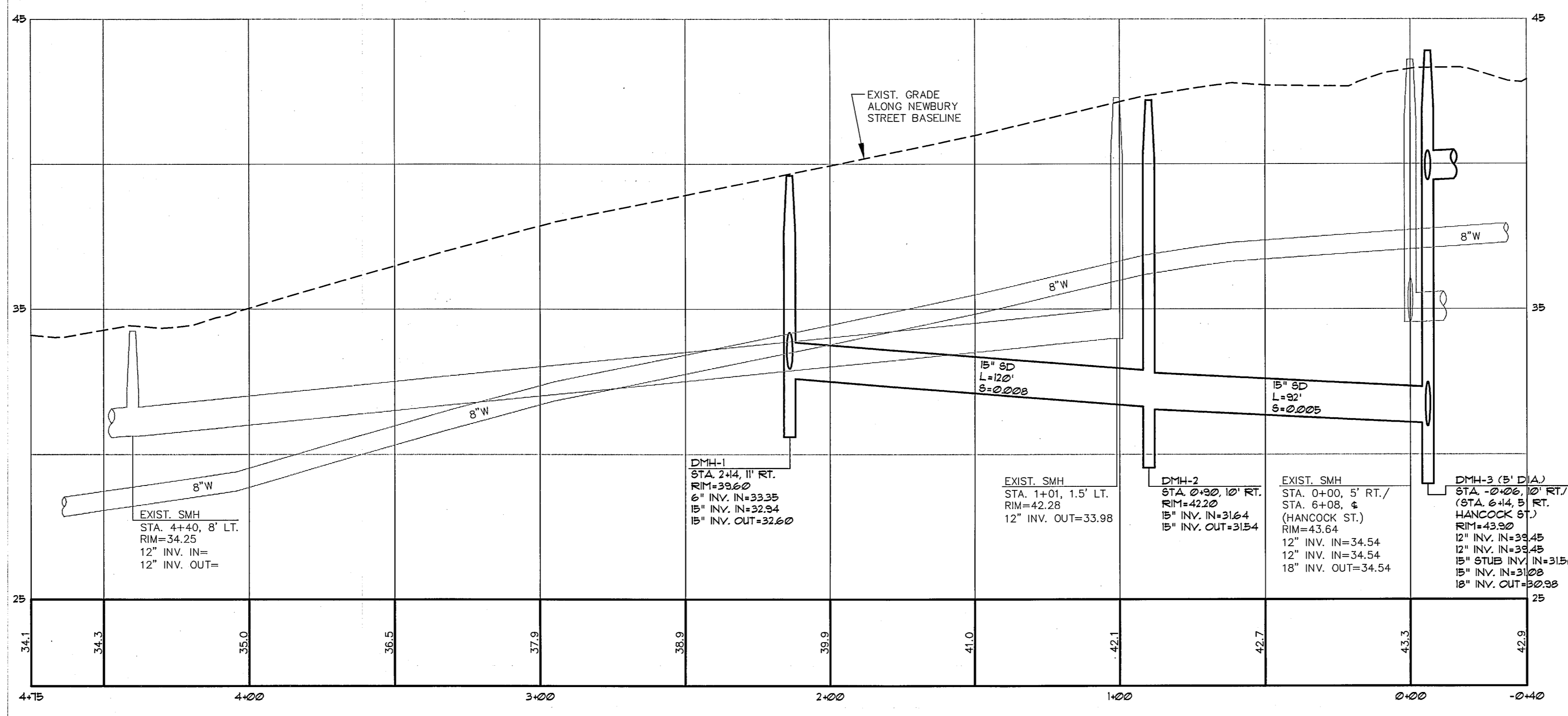
DATE	SCALE
07-28-13	1" = 10'

SHEET 7 OF 14

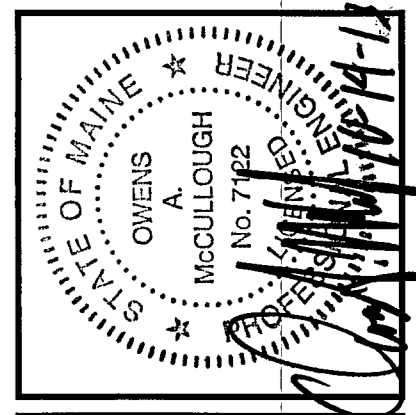




**PROFILE: HANCOCK STREET**  
 STA. 3+11.7 TO STA. 6+75  
 SCALE: 1"=30' HORIZ.  
 1"=3' VERT.



**PROFILE: NEWBURY STREET**  
 STA. -0+40 TO STA. 4+75  
 SCALE: 1"=30' HORIZ.  
 1"=3' VERT.



WTC	10-15-13	CITY SUBMITTAL 6
WTC	10-03-13	CITY SUBMITTAL 5
WTC	09-17-13	CITY SUBMITTAL 4
WTC	09-03-13	CITY SUBMITTAL 3
WTC	07-29-13	SUBMIT SITE PLAN APPLICATION TO CITY
REV:	BY:	DATE:
A		
B		
C		
D		
E		

STATUS: **11-14-13**

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**SEBAGO TECHNICS**  
 WWW.SEBAGOTECHNICS.COM  
 75 Ash St., Suite B  
 South Portland, ME 04106  
 Tel: 207-200-2100 Fax: 207-883-6666

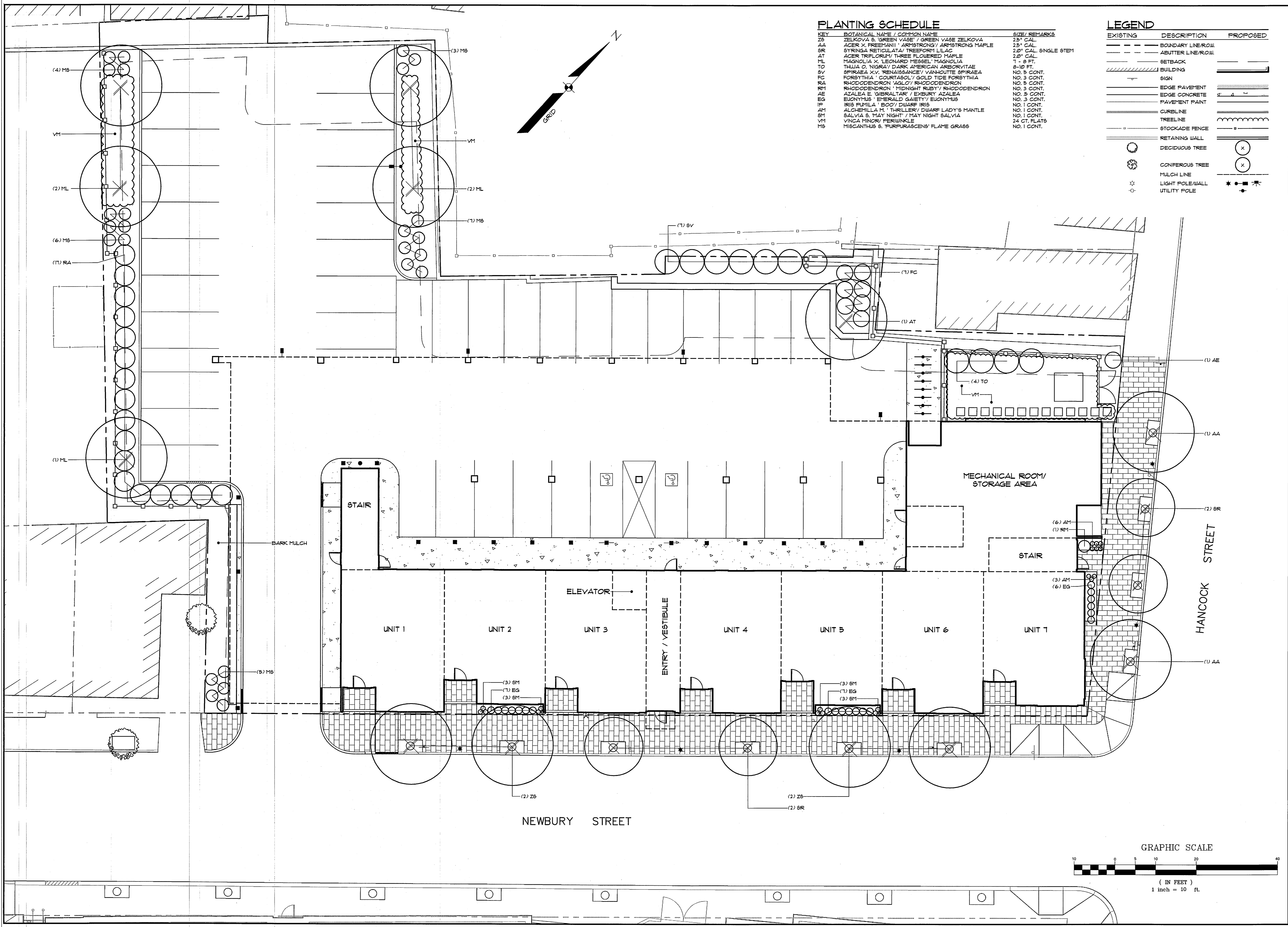
PROJECT NO. | FIELD BOOK | DESIGN | CHKD | DRAWN | MAL

13251 | | | | WTC | WTC

**PROFILE: HANCOCK ST. AND NEWBURY ST.**  
 OF:  
**SEAPORT LOFTS**  
 NEWBURY / HANCOCK STREET  
 PORTLAND, MAINE  
 FOR:  
**113 NEWBURY STREET, LLC**  
 38 FAY STREET, SUITE 107B  
 BOSTON, MA 02116-4520

DATE	SCALE
07-26-13	AS SHOWN

**SHEET 8 OF 14**

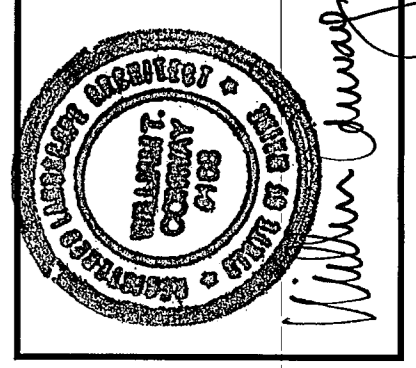


### PLANTING SCHEDULE

KEY	BOTANICAL NAME / COMMON NAME	SIZE / REMARKS
ZS	ZELKOVA S. 'GREEN VASE' / GREEN VASE ZELKOVA	2.5' CAL.
AA	ACER X. FREEMANII / ARMSTRONG / ARMSTRONG MAPLE	2.5' CAL.
SR	SYRINGA RETICULATA / TREEFORM LILAC	2.0' CAL. SINGLE STEM
AT	ACER TRIPLOIDUM / THREE FLOURED MAPLE	2.0' CAL.
ML	MAGNOLIA X. LEONARD MESSELI / MAGNOLIA	1 - 8 FT.
TO	THUJA O. NIGRA / DARK AMERICAN ARBORVITAE	8-10 FT.
SV	SPIRAEA X.V. RENAISSANCE / VANHOUTTE SPIRAEA	NO. 5 CONT.
FC	FORSYTHIA 'COURTASOL' / GOLD TIDE FORSYTHIA	NO. 3 CONT.
RA	RHODODENDRON AGLO / RHODODENDRON	NO. 5 CONT.
RM	RHODODENDRON 'MIDNIGHT RUBY' / RHODODENDRON	NO. 3 CONT.
AE	AZALEA E. GIBALTAR / EXBURT AZALEA	NO. 5 CONT.
EG	EUCYNTBUS 'EMERALD GAJET' / EUCYNTBUS	NO. 3 CONT.
IP	IRIS PUMILA 'BOO' / DWARF IRIS	NO. 1 CONT.
AM	ALCHEMILLA M. 'THRILLER' / DWARF LADY'S MANTLE	NO. 1 CONT.
SH	SALVIA S. 'MAY NIGHT' / MAY NIGHT SALVIA	NO. 1 CONT.
VM	VINCA MINOR / PERIWINKLE	24 CT. FLATS
MS	MISCANTHUS S. 'PURPURASCENS' / FLAME GRASS	NO. 1 CONT.

### LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/ROW	---
---	ABUTTER LINE/ROW	---
---	SETBACK	---
---	BUILDING	---
---	SIGN	---
---	EDGE PAVEMENT	---
---	EDGE CONCRETE	---
---	PAVEMENT PAINT	---
---	CURBLINE	---
---	TREELINE	---
---	STOCKADE FENCE	---
---	RETAINING WALL	---
○	DECIDUOUS TREE	○
○	CONIFEROUS TREE	○
---	MULCH LINE	---
---	LIGHT POLE/WALL	---
○	UTILITY POLE	○



REV.	BY:	DATE:	STATUS:
E	WTC	10-15-13	CITY SUBMITTAL 6
D	WTC	10-08-13	CITY SUBMITTAL 5
C	WTC	09-17-13	CITY SUBMITTAL 4
B	WTC	09-09-13	CITY SUBMITTAL 3
A	WTC	07-29-13	SUBMIT SITE PLAN APPLICATION TO CITY

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USERS SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

**SEBAGO**  
TECHNICS

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Tel: 207-783-8666

PROJECT NO. 13251L  
FIELD BOOK  
DESIGN  
CHKD  
DRAWN

WTC	WTC	WTC	MAL
-----	-----	-----	-----

LANDSCAPE PLAN  
OF:  
**SEAPORT LOFTS**  
NEWBURY / HANCOCK STREET  
PORTLAND, MAINE

FOR:  
**113 NEWBURY STREET, LLC**  
36 FAY STREET, SUITE 107B  
BOSTON, MA 02118-4320

DATE	SCALE
07-26-13	1" = 10'

SHEET 9 OF 14