

- IBC**
 310.1 Residential Group R-3 (duplex more than 3-stories above grade so NOT IRC)
 312.1 Utility and Miscellaneous Group U (private garage)
- 406.1.3 Vehicle parking area must be sloped
 406.1.4 Separation of garage:
 5/8" Type X GWB ceiling
 1/2" GWB Walls
 Solid wood or honeycomb steel doors into living space
 406.1.5 Garage door openers by UL 325
 420.2 Walls separating units and uses: fire partitions by 709
 420.3 Floors separating units and uses: horizontal assemblies by 712
- 503 R-3 VB UL area 3 stories 40' high
 U VB 5,500sf 1 story 40' high
 504.2 NFPA 13R Sprink.+20' 60' building height max
 +1 story 4 stories max
- 504.3 Towers, spires and steeples can be 20' taller when of combustible materials. They may NOT be habitable, but MAY be for circulation.
 508.4 Table does not apply. Defers to 406.1.4
 601 No rating requirements
 602 X<5' 1-hour rating for side exterior walls
- 705.2 Wall projections are limited in length
 705.5 Fire resistance rating shall apply to exterior wall from BOTH sides (for separation dist <10')
- 705.8 0' - <3' Any protection level Not permitted
 3' - <5' Any protection level 25% openings (by footnote d)
 5' - <10' Any protection level Unlimited (by footnote f)
- 707 - Fire barriers
 708.2.1 Shaft enclosure NOT required when within a dwelling unit, connecting four stories or less.
 Shaft enclosure would be required for elevator as designed
 709.3 In VB construction with sprinkler: fire partition can be 1/2 hour rated only for NFPA 13 Sprinkler system (NFPA 13R is allowed and likely to be chosen)
 Fire partitions separating units will need to be 1-hour rated
 709.4 Partitions can stop at ceiling if fire-blocked & fire-stopped (717.2 & 717.3)
 712.3 In VB construction with sprinkler: horizontal assembly can be 1/2 hour rated only for NFPA 13 Sprinkler system (NFPA 13R is allowed and likely to be chosen)
 Horizontal assemblies separating units will need to be 1-hour rated
 712.4 Structure supporting horz. assemblies need not be rated in VB & separating dwelling units
- 903.2.8 Sprinkler system required
 903.3.1.3 NFPA 13D allowed in duplexes
 905.3 Standpipe not required in R-3
 907.2.11.2 Smoke Detector locations as shown on plan
- 1003.3.3 Handrails are permitted to protrude 4 1/2" from the wall
 1004.1.1 Residential Occupancy Load
 200 gross 3878sf 20 occupants
- 1005.1 Min horz. egress width 0.2"/occupant 5.2"
 Min stair egress width 0.3"/occupant 7.8"
- 1005.2 Door encroachment doesn't apply in individual dwelling units
 1006.1 Egress lighting not required within units
 1008.1.1 Minimum door width of 32" clear or 36" leaf
 Minimum width does not apply to interior doors in dwelling units
 Min door height: 6'-8"
 1009.1 Min stair width: 36"
 1009.2 Stair headroom: 80" min
 1009.4.2 Max riser height in common spaces: 7"
 Min tread depth in common spaces: 11"
 Max riser height in R-3 Units: 7.75"
 Min tread depth in R-3 Units: 10" (nosing allowed)
 1009.5 Min landing depth: 36"
 1009.12 Handrails within dwelling units shall comply with 1012 but only need to be on ONE side
- 1014.3 Common path of travel limit 75'
 1015.1 One exit is allowed per unit when sprinkled and occupant load is less than 20
 1016.1 Max exit access travel distance: 250'
 1018.1 Corridor Rating for sprinkled R: 0.5 hour fire partition
 1018.2 Min corridor width occupancy <50: 36"
 1018.4 Max dead-end corridor: 20'
 1021.1 One exit is allowed per unit when sprinkled and occupant load is less than 20
 1021.2 One exit allowed for entire building by this table
 1022.1.3 Stairs serving and within a dwelling unit need not be enclosed (see 708.2.1)
 1023.2 Min passageway width occupancy <50: 36"
 1023.3 Exit passageway rating: 1 hour fire barrier
- 1109.6 Commentary states that this section does NOT govern private residence elevators
 1109.7 Lifts (and LULA) are allowed within a dwelling unit
- 1509.2 Penthouse is considered portion of story below
 1509.2.1.18' max penthouse height
 1509.2.2 Area limited to 1/3 of roof below
 1509.2.3 Use limited to mechanical equipment and top of vertical shafts

IECC - Climate Zone 6

402.1.1 Fenestration U-Factor	0.35
Ceiling R-Value	49
Wall R-Value	20
Slab R-Value	10

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 5.3 Private Residence Elevators: Applies to elevators in private residences and private elevators accessing residences.
 5.3.1.10 Max net elevator platform area 15sf
 5.3.1.10.3 Max elevator rise: 50'

NFPA 101
 3.3.32.5 New Building
 6.1.8.1 Residential Occupancy
 6.1.8.1.1 Two-Family Dwelling Unit
 6.2.2.3 Ordinary Hazard of Contents
 7.3.1 Occupancy load:
 200 gross 3878sf 20 occupants

ADA ADA does NOT apply
Fair Housing Fair housing does NOT apply (due to less than 4 units)

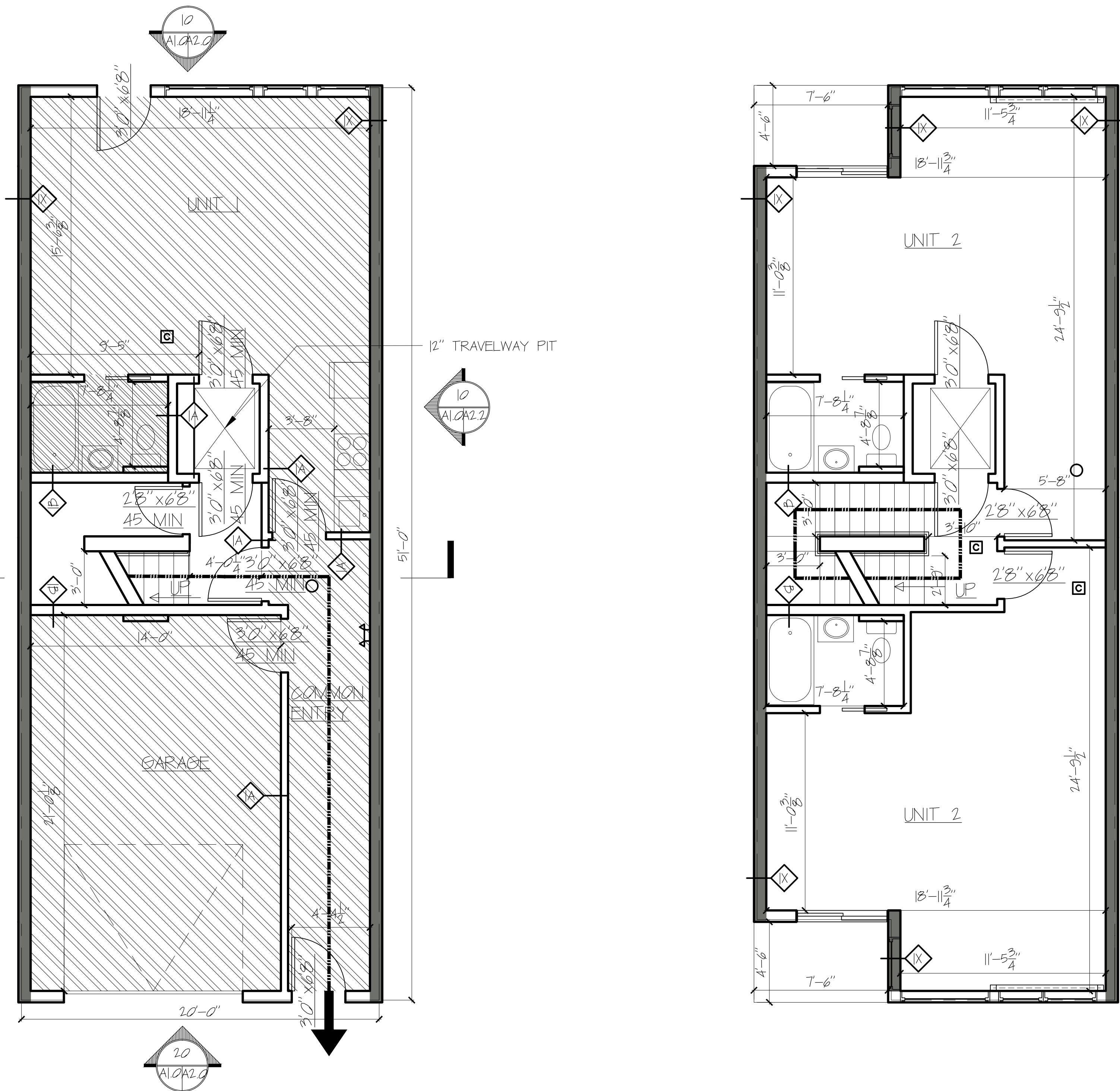
Building Code Brief Summary

Area Table

First Floor	949sf
Second Floor	881sf
Third Floor	881sf
Fourth Floor	881sf
Penthouse	286sf
TOTAL	3878sf

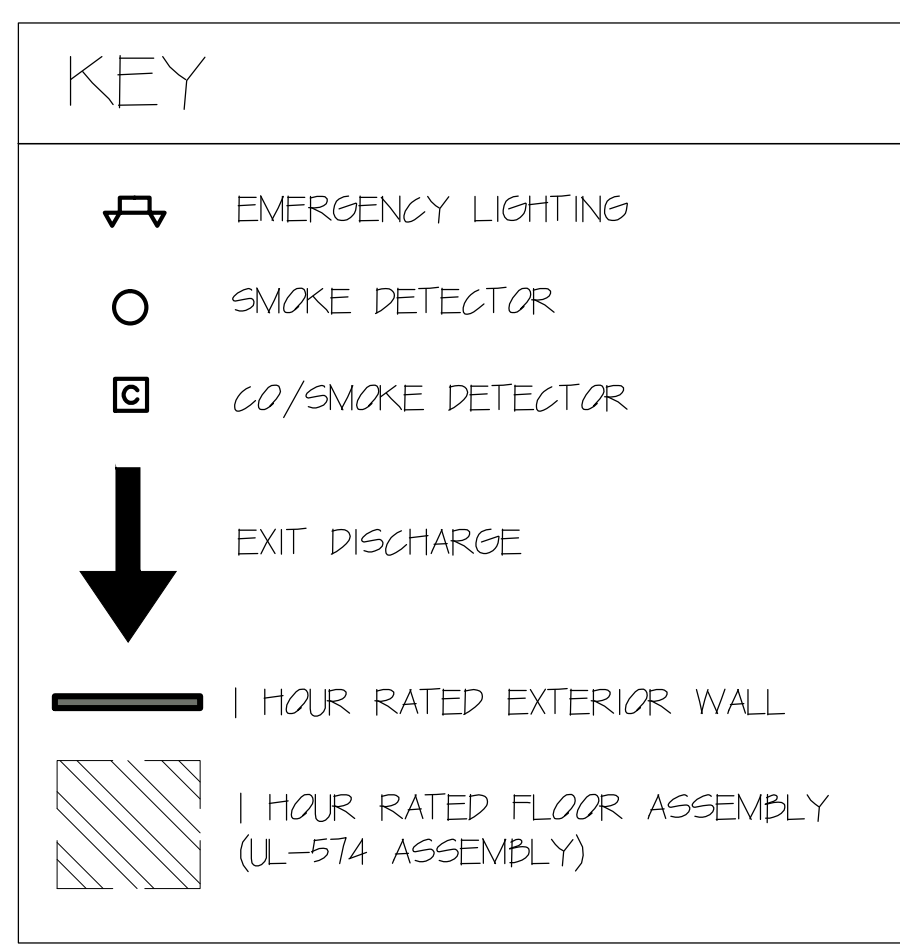
Garage area	294sf
Studio Unit	387sf
Townhouse Unit	2929sf

Use	IBC	NFPA
R-3 (four story duplex)	Residential, Duplex	
U (Garage)		
Sprinkler System	NFPA 13R	NFPA 13R
Occupancy Load	20 people	20 people
Construction Type	VB	Any construction type
Number of exits	1	1



20 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

10 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



TYPICAL RATED FLOOR ASSEMBLY
 (1 HOUR RATED UL ASSEMBLY L574)
 3/4" PLYWOOD SUB FLOORING
 1 1/8" LVL FLOOR JOIST
 FURRING
 5/8" GWP (2) LAYERS

- SEE SECTION
- WALL TYPE IB
 5/8" GWP
 2X6 WOOD FRAMING
 3/4" PLYWOOD
 5/8" GWP
- WALL TYPE IA
 5/8" GWP
 2X4 WOOD FRAMING
 5/8" GWP
- WALL TYPE B
 5/8" GWP
 2X6 WOOD FRAMING
 5/8" GWP

APPLICANT INFORMATION:
 SUNNY TIME SOLAR LLC
 PO BOX 15372
 PORTLAND, ME 04112

Bild Architecture
 PO Box 8235
 Portland, ME 04104
 207.408.0168
 evan@bildarchitecture.com

bild ARCHITECTURE

REGISTERED ARCHITECT
 EVAN A. CARROLL
 No. 3687
 STATE OF MAINE
 1/1/15

PROJECT NO. 14035
 PROJECT NAME 48 HANCOCK STREET
 PORTLAND, MAINE

REVISIONS

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PERMITTING DOCUMENTS

DRAWN BY EAC
 SHEET TITLE PLANS

ISSUE DATE 1/1/15
 SHEET SCALE 1/4" = 1'-0"

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1.0