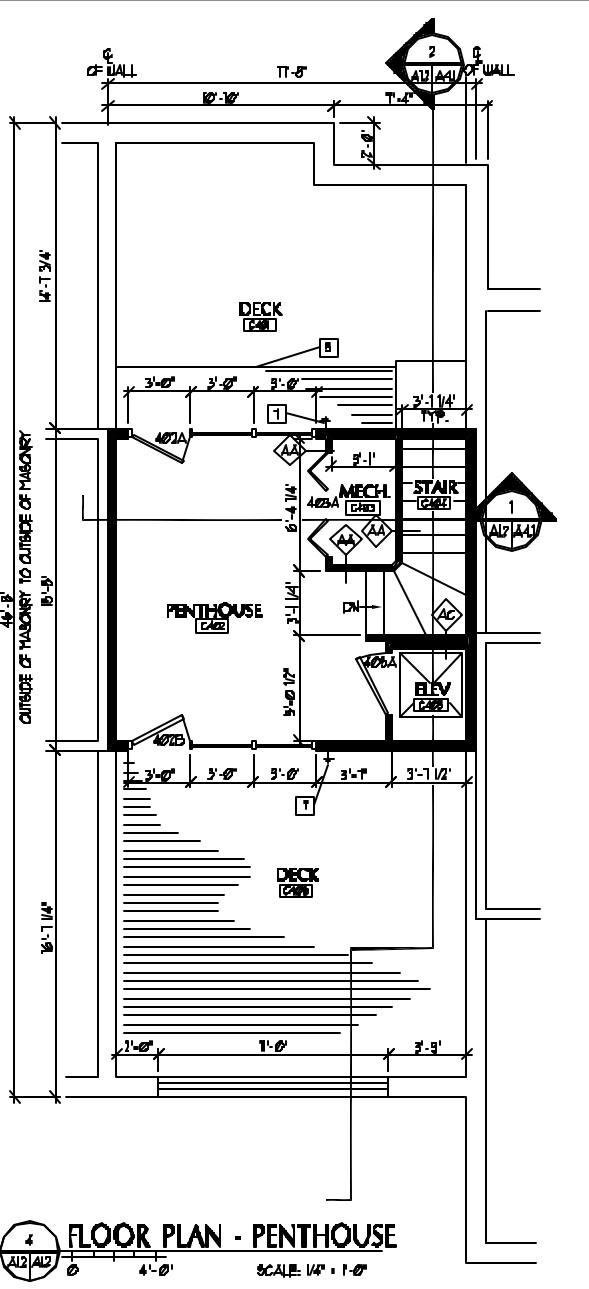
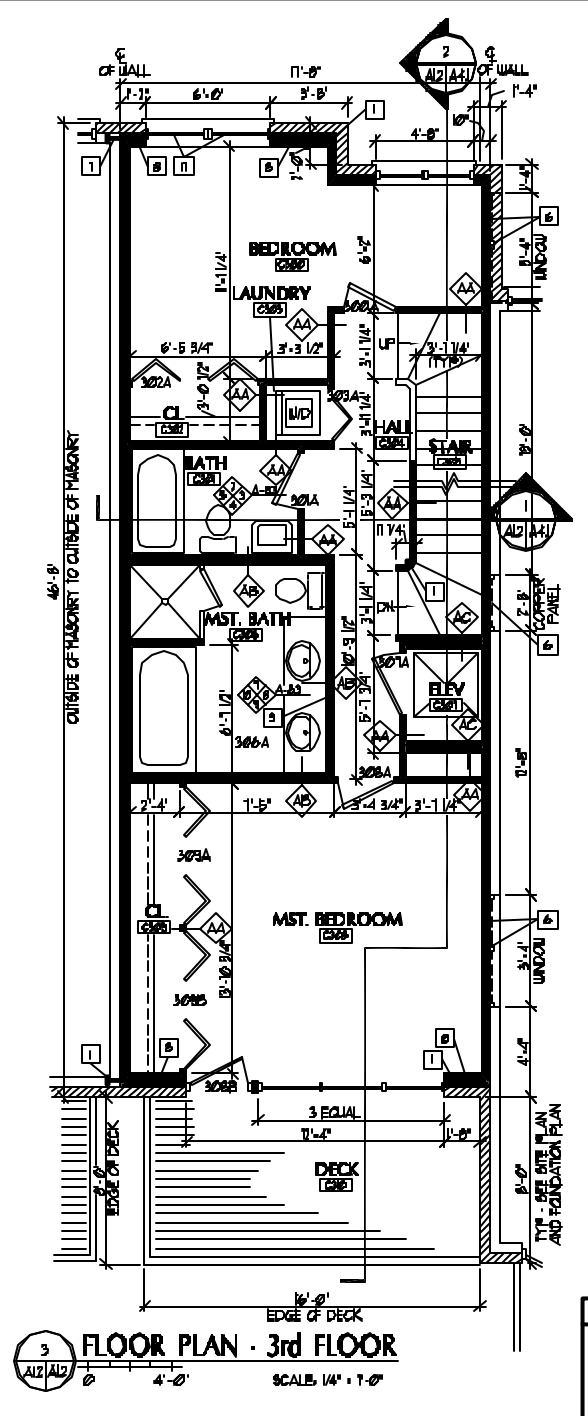
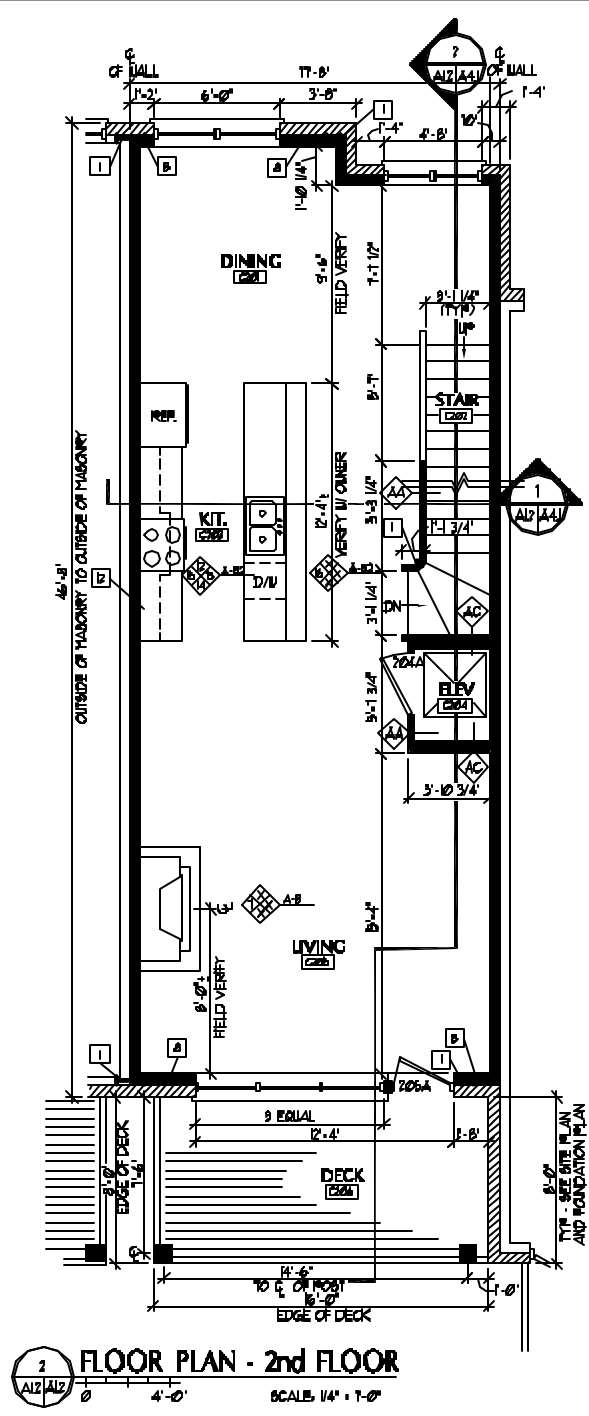
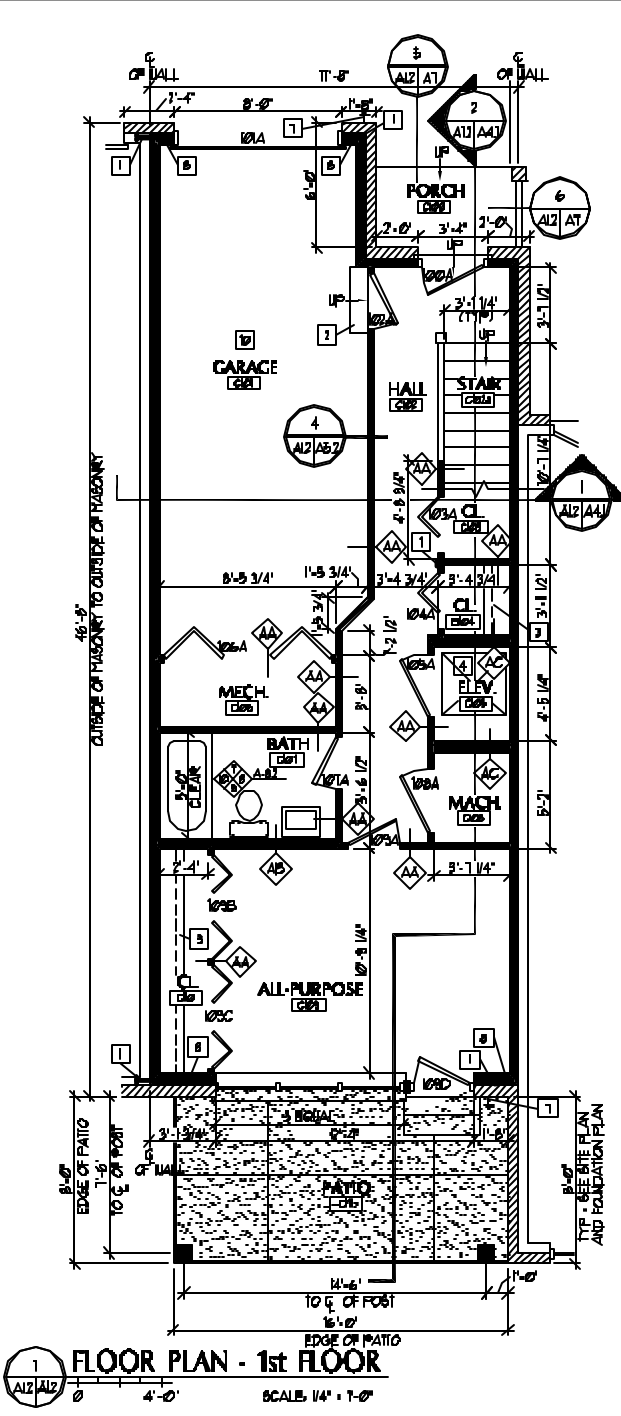


IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

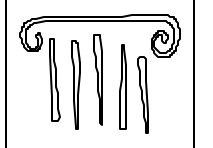


- FLOOR PLAN - GENERAL NOTES**
- ALL INTERIOR DIMENSIONS ARE STUD TO STUD, UNLESS OTHERWISE INDICATED.
 - DIMENSIONS MARKED CLEAR ARE TO BE A MINIMUM DISTANCE CLEAR BETWEEN FINISHES. CONTRACTOR TO FIELD VERIFY.
 - MAXIMUM RISER HEIGHT ON ALL STAIRS TO BE 7.34" AND MINIMUM TREAD DEPTH TO BE 10" UNLESS OTHERWISE INDICATED.
 - ALL GIBS TO BE A MAXIMUM OF 1/4" ABOVE FIN.F.H.
 - CONTRACTOR TO VERIFY DIMENSIONS OF ALL KITCHEN APPLIANCES.
 - GIBS IN ALL BATHROOMS, AND KITCHENS TO BE MIR. GIBS.
 - PROVIDE AND INSTALL FLOOR DRAINS IN ALL LAUNDRY AREAS.
 - MINIMUM TREAD DEPTH ON UNDER STAIRS TO BE 6". SEE 3/ AB2
 - ALL TILE AREAS TO HAVE CEMENTITIOUS BACKER BD.
 - BOUND BATT WALL TO BE INSTALLED IN THE INTERIOR WALLS OF ALL BEDROOMS, BATHROOMS, LAUNDRY ROOMS, AND MECH. ROOMS (VERIFY W/ OWNER).
 - REFER TO SITE GRADING PLAN (SHT. C-4) FOR EXTERIOR STAIR ELEVATIONS, & EXACT NUMBER OF STAIRS.
 - 5/8" TYPE "X" GYP. BD. TO BE INSTALLED ON ALL GARAGE CEILING.
 - VERIFY ALL COLUMN, PIER AND FOOTING LOCATIONS W/ STRUCTURAL.
 - MIN. CLEAR WIDTH (EXCLUDING HANDRAILS) OF ALL PORTIONS OF ALL STAIRS TO BE 3'-0".

- FLOOR PLAN - KEYED NOTES**
- COLUMN PER STRUCTURAL.
 - PROVIDE AND INSTALL PRECAST CONC. BEAMS W/ 1 3/4" MAX. RISER AND 10" MIN. TREAD.
 - PROVIDE AND INSTALL MD. CLOSET SHELF AND ROD.
 - PROVIDE AND INSTALL RESIDENTIAL LIFTING DRUM ELEVATOR EQ. TO DESIGN BY NATIONAL LIFT-O-YATOR (NLI) LIFT-O-YATOR CO. CONTRACTOR TO VERIFY EXACT DIMENSIONS OF ELEVATOR SHAFT AND MACHINE ROOM W/ EXACT MODEL SUPPLIED.
 - WALLS AROUND STAIRS TO BE 4" HIGH AS MEASURED FROM THE LEADING EDGE OF THE TREAD (TYP).
 - PROVIDE AND INSTALL ACRYLIC DRAIN BATH EQ. TO FOLD IN. EQ. BY KOHLER. VERIFY EXACT MODEL AND COLOR WITH OWNER.
 - PROVIDE AND INSTALL FROOF-PROOF HOSE BIBS.
 - UD. STUD WALL TO BE 2 x 8 @ 16" OC.
 - EXTENT OF UD. DECKING ON SLEEPERS, VERIFY W/ OWNER.
 - PROVIDE & INSTALL UD. BLOCKING AS NEEDED FOR GARAGE DOOR OPENING MOTOR, TRACK AND OTHER RELATED HARDWARE.
 - THE WINDOW TO BE AN EXPANS. WINDOW (COMPLY WITH 2009 IBC).
 - PROVIDE AND INSTALL A 3/4" UD. STUD FLOORING WALL ADJACENT TO THE 1-HR. FIRE SEPARATION WALL.
 - PLUMBING GAS FOR KITCHEN TO STUB UP THROUGH THE FLOOR (NOT WITHIN THE 1-HR. SEPARATION WALL).

NOTE: UNITS 'D' AND 'F' ARE MIRRORRED.

CONSTRUCTION SET - FOR CONSTRUCTION



PORT CITY ARCHITECTURE

85 NEWBURY STREET
PORTLAND, ME 04101
207.781.9000
fax 207.781.2010
info@portcityarch.com

CONSULTANTS:

44 FEDERAL STREET CONDOMINIUMS

44 FEDERAL STREET
Portland, Maine 04101

NO.	DATE	DESCRIPTION
3	8-15-08	CONSTRUCTION SET
2	7-11-08	PERMIT SET
1	6-9-08	REVIEW SET

DATE	DESCRIPTION

Drawn By: **MC**
Checked By: **ACH**

FLOOR PLAN UNIT C - G

A1.2