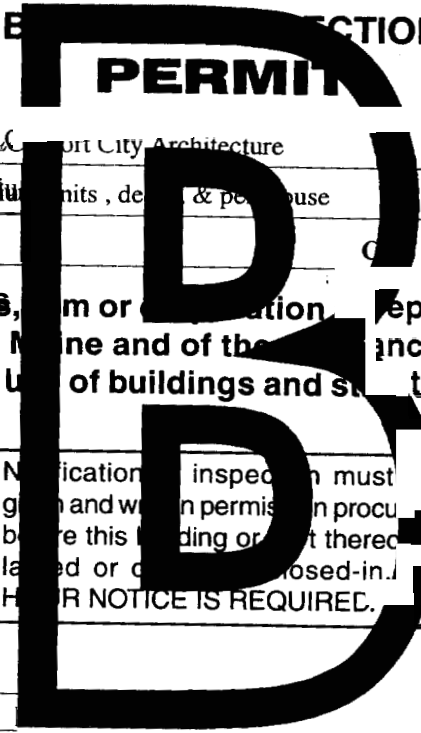


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

DEPARTMENT OF BUILDING INSPECTION



PERMIT ISSUED

Permit Number: 050931

SEP 19 2005

CITY OF PORTLAND

at 44 FEDERAL STREET LLC Portland City Architecture
7-four (4) story Condominium units, deck & pool house

ST 020 D011001

the person or persons, firm or corporation, accepting this permit shall comply with all provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating construction, maintenance and use of buildings and structures, and of the application on file in effect.

Works for street line requires

Notification of inspection must be given and work in permit in progress before this building or part thereof is occupied or closed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

QUI DAPPROV LS
Waq Lass

9/16/05 [Signature]
Director - Building & Inspection Services

Department Name

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0981	Issue Date: PERMIT ISSUED SEP 19 2005	Permit Type: R-7
Owner Address: 4646 NORTH HERMITAGE	Contractor Address: 65 Newbury Street Portland	Zone: R-7

Location of Construction: 44 FEDERAL ST	Owner Name: 44 FEDERAL STREET LLC
Business Name:	Contractor Name: Port City Architecture
Lessee/Buyer's Name	Phone:

Past Use: Parking Lot	Proposed Use: 7 -four (4) story Condominium units , decks, & penthouse
--------------------------	---------------------------------------------------------------------------

Proposed Project Description: 7 -four (4) story Condominium units , decks, & penthouse

Permit Fee: \$14,721.00	Cost of Work: \$1,575,000.00	CEO District: 1
FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>with conditions</i>	INSPECTION: Use Group: <i>R3</i> Type: <i>5B</i> <i>9/16/05</i> Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Idobson	Date Applied For: 07/12/2005
-----------------------------	---------------------------------

Zoning Approval		
Special Zone or Reviews <input type="checkbox"/> Shoreland <i>NTA</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 1A</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>#2005-0019</i> Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>ok with conditions</i> Date: <i>9/2/05</i>	Zoning Appeal Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

(1 of 2)

11/18/05 Factory Terms updated all set to go.
Will fax us a survey letter before council
placement. AR/T. M. M.

4/29/05 Received survey letter
okay to pour foundation) MM

12/5/05 Ruben OK. AR

12/13/06 Backfill. AR

2/1/06 OK to place concrete for grade for decks. AR

2/2/06 Factory for decks. AR
OK

6/15/06 Pb + Framing OK for units # E + F ~~OK~~

Except for ~~rise~~ rise in both units, AR

7/13/06 with Mr. Nugent, Jay Kelley, A. Rowe

Questions re: ~~the~~ HVAC system -
Proper fire rating between units. Design
engineer is to contact WSN.

12/28/06 - Not ready. Elect. fixtures not done. SMOKE in
Garage. No numbers on unit. Dumpster
Needs to be moved. 1st step on stairs

* CK Rail. Mt.
ht.

* 8 1/4" steps vary to 7 1/2"

C. H.

(2 of 2)
3/14/07 - Final Inspection
Elect. fixtures not all installed
A. Protected fixture in shower stall.
B. MC cable in Garage ?
C. Grate's over windows
d. Elevator door need lock.
e. Penetration in Garage need fire protection,

05/04/07 CLEAR - in for #42 E okay
~~AAA~~

06/08/07 - CK'D front entry concrete steps.
will grind / Bevel second unit
from left. to be closer to 7/4.
2/4 now Cl. H.

Location of Construction: 44 FEDERAL ST	Owner Name: 44 FEDERAL STREET LLC	Owner Address: 4646 NORTH HERMITAGE	Phone:
Business Name:	Contractor Name: Port City Architecture	Contractor Address: 65 Newbury Street Portland	Phone (207) 761-9000
Lessee/Buyer's Name	Phone:	Permit Type: Multi Family	

- 3) iii. The applicant shall revise the plan to call out an on-site reserve area for a potential future retaining wall along the southern edge of the site.
- 4) i. The applicant shall submit a letter from the Portland Water District to Planning Authority demonstrating adequate Water Capacity.
- 5) ii. The on-site landscape plan shall be subject to final review and approval by the City Arborist.
- 6) iv. The site plan shall be revised so as to address concerns expressed by the City's consulting traffic engineer as presented in a March 14, 2005 email, subject to final review and approval by the Planning Authority.
- 7) i. The applicant shall work with the City Arborist on the final species selection, counts, locations, and planting details of street trees fronting the site. Whereas 14 street trees are required of the project under §14-499(f), the applicant shall pay \$200 into the street tree fund for use in the vicinity of the site for each tree less than 14 provided.
- 8) iii. The applicant shall work closely with the City Arborist through the post-approval and construction phases of the project to ensure that every reasonable effort is made to protect the survival of an existing mulberry tree on the abutting Pilipos lot to the East.

Comments:

8/16/2005-mjn: See Email Attached to permit ...plan issues

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Jeff Deaver
Signature of Applicant/Designee

9/19/05
Date

[Signature]
Signature of Inspections Official

9/19/05
Date

CBL: 0200011 Building Permit #: 050931

Applicant: Ron Gan
Address: 44 Federal St

Date: 7/21/05
C-B-L: 20-D-11

CHECK-LIST AGAINST ZONING ORDINANCE

Date - vacant lot

Permit # 05-0931

Zone Location - R-7 Zone overlay Approved by City Council

Interior or corner lot -

Proposed Use/Work - to construct 7 attached ^{condominium} dwelling units with exterior patios

Sewage Disposal - City Sewer

Lot Street Frontage - None Reg - 100' + shown

Front Yard - None Reg

Rear Yard - Not Abutting a bldg

Side Yard - shall not exceed the combined setbacks of R-7 respective zones to existing Bldgs (0' + 10') - 10' min between bldgs
Projections - rear patios 18' & 20' shown

Width of Lot - N/A

Height - 50' MAX - 43' shown

Lot Area - No min Reg - 11528 sq ft per assessors

Lot Coverage/Impervious Surface - 100% permitted OK

Area per Family - 725 sq ft of Land Area per D.U. or $725 \times 7 = 5075$ sq Land Area

Off-street Parking - 1 per D.U. or 7 pkg spaces - each unit has separate garage 7 shown OK

Loading Bays - N/A

Site Plan -

2005-0019

Shoreland Zoning/ Stream Protection - N/A

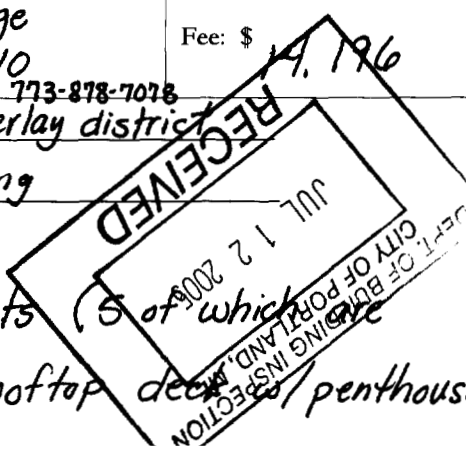
Flood Plains - Panel A - Zone C

OK min 400 sq ft of habitable floor area per D.U. - All shown are well over 400 sq ft



Commercial Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 44 Federal Street		
Total Square Footage of Proposed Structure 18,687 s.f.	Square Footage of Lot 11,655 s.f.	
Tax Assessor's Chart, Block & Lot Chart# 20	Block# D	Lot# 11
Owner: Mr. Ron Gan		Telephone: 773)878-7078
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: Mr. Ron Gan 4646 N. Hermitage Chicago, IL 60640 773-878-7078	Cost Of Work: \$ 1.575 million Fee: \$ 19,196
Current Specific use: parking lot ; zoned R-7 overlay district		
Proposed Specific use: 7 unit condominium building		
Project description: 7, townhome style, condominium units (5 of which are identical) ea. w/ 4 stories, decks, rooftop decks/penthouse.		
Contractor's name, address & telephone: Mr. Jeff Decareau 332-6084		
Who should we contact when the permit is ready: Mark Chaloupecky / Port City Architecture		
Mailing address: 65 Newbury St. Portland, ME 04101		Phone: 207-761-9000

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874 8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:  Date: **7-11-05**

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

FROM DESIGNER: Becker Structural Engineers
 DATE: July 6, 2005
 Job Name: FEDERAL ST TOWNHOMES
 Address of Construction: 44 FEDERAL ST. PORTLAND, ME 04101

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year 2003 IBC Use Group Classification(s) RESIDENTIAL (R-3)
 Type of Construction LIGHT FRAME WOOD (5B)
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC Y (13R)
 Is the Structure mixed use? NO if yes, separated or non separated (see Section 302.3)
 Supervisory alarm system? NO Geotechnical/Soils report required? (See Section 1802.2) Y

STRUCTURAL DESIGN CALCULATIONS
COMPLETED submitted for all structural members
 (1007.1, 1008.1.1)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS
 (1803)

Uniformly distributed floor live loads (7603.1.1, 1607)

Floor Area Use	Loads Shown
<u>RESIDENTIAL</u>	<u>40 PSF</u>
_____	_____
_____	_____
_____	_____
_____	_____

NO Live load reduction (1608.1.1, 1607.2, 1607.10)
20 Roof live loads (1603.1.2, 1607.11)
 Roof snow loads (7603.7.3, 1608)
60 Ground snow load, P_g (1608.2)
40 If $P_g > 60$ psf, flat roof snow load, P_f (1608.3)
1.0 If $P_g > 10$ psf, snow exposure factor, C_e (Table 1609.2.1)
1.0 If $P_g > 10$ psf, snow load importance factor, I_s (Table 1604.6)
1.1 Roof thermal factor, C_t (Table 1608.6.2)
40 Sloped roof snowload, P_s (1608.4)

Wind loads (1603.1.4, 1609)

1609.6 Design option utilized (1603.1.1, 1609.6)
100 Basic wind speed (1609.3)
1.0 Building category and wind importance factor, I_w (Table 1604.6, 1609.5)
C Wind exposure category (1609.4)
± 0.18 Internal pressure coefficient (ASCE 7)
ASCE 7 Component and cladding pressures (1609.1.1, 1609.6.2.2)
15.7 Main force wind pressures (7603.1.1, 1609.6.2.1)

OPD. MOM FRAME
3.5/6.5 Seismic design category (1612.3)
STRONG WOOD WOODS Basic seismic force-resisting system (Table 1617.2.2)

EQ. MOM. LAT FORCE Response modification coefficient, R , and collection amplification factor, C_d (Table 1617.2.3) 3/4
24K Analysis procedure (1616.8, 1617.5)
 Design base shear (1617.4, 1617.5.1)

Flood loads (1603.1.5, 1612)
NA Floodhazard area (1612.3)
NA Elevation of structure

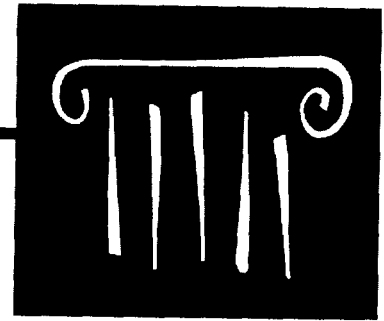
Other loads
NA Concentrated loads (1607A)

NA Partition loads (1607.5)
NA Impact loads (1607.8)
NA Misc. loads (Table 1607.8, 1607.8.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

Earthquake design data (1609.1.8, 1614-1620)

EQ. MOM. LAT FORCE Design option utilized (1614.1)
1 Seismic use group ("Category") (Table 1604.5, 1614.2)
.5259, .2298 Spectral response coefficients, S_{as} & S_{ov} (1615.1)
E Site class (1615.1.5)

Transmittal



**PORT ■ CITY
ARCHITECTURE**

To:

Planning and Development Department

Mr. Michael J. Nugent
Inspection Services Manager
389 Congress Street
Portland, Maine 04101

DATE: 09-13-05

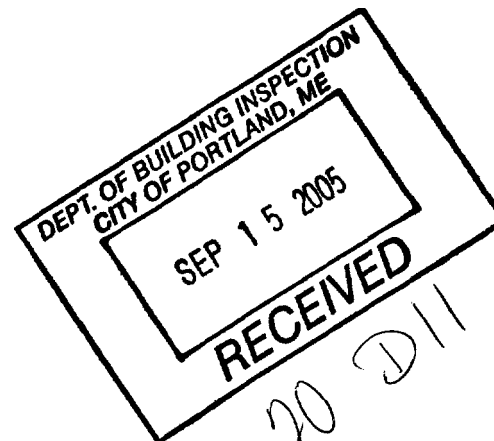
VIA.

- FAX
- UPS / FEDEX
- USPS
- x *HAND
- E-MAIL
- COURIER

PROJECT: FEDERAL STREET CONDOS

NUMBER OF PAGES:

COPIES	DATE	DESCRIPTION	ACTION
1	09-13-05	Construction Documents – “For Construction”	
1	09-13-05	CONSTRUCTION PROJECT MANUAL	
1	09-13-05	CD CONTAINING ALL DRAWING AND SPEC FILES (PDF)	



20 D11

050931
x PDF

PORT CITY ARCHITECTURE

65 Newbury Street, Portland, ME 04101-4218 • 207.761.9000 • Fax 207.761.2010 • www.pottcityarch.com

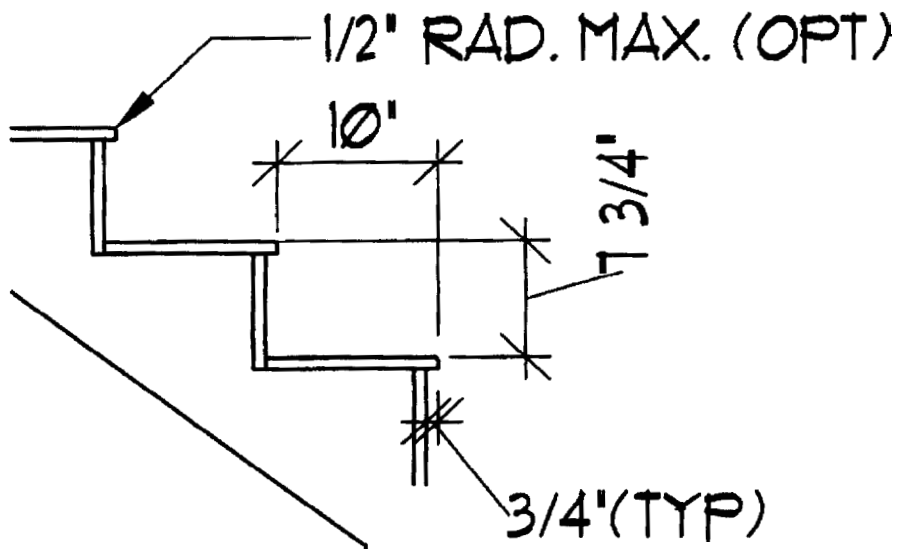
Mike Nugent - 44 Federal Street

From: Mike Nugent
To: Mark Chaloupecky
Subject: 44 Federal Street

I already provided comment on the Special Inspections and The Fire separation assembly/party walls.

The following are my remaining questions/comments:

- 1) Will there be a supervisory fire alarm system installed in accordance with NFPA 72?
- 2) The electrical plans do not show smoke detector locations on the floor plans.
- 3) Please carefully double check the headroom for the stairway on 2/A5.2. (it's measured from a line diagonal to and at the edge of the nosings) no less than 80 inches from any point straight up)
- 4) Nosing are not shown on the stairs, but are required for the R3 10 inch tread.
- 5) Please provide a riser dimension, I assume it's 7.75 like on the winder detail.
- 6) Doors from garages to Dwellings not fire rated and must be.
- 7) There is no mention of the required rating of all walls and the ceiling in the garages.
- 8) Which windows will be egress and what is the net dimension of the opening of one of the sashes in it's normal "up" position.
- 9) The Greatest and Least Winder treads exceed .375 inches, this is not allowed.(Section 1009.3)
- 10) Need Smoke Development and Flame Spread info for interior finishes pursuant to Chapter 8.
- 11) What is the fire class of the roof covering and Please Review and respond to Section 1504.6 physical properties of the roof covering.
- 12) Need Mechanical and plumbing plans.
- 13) Please provide information that established conformity with the 2003 International energy conservation code.



3 **STAIR NOSING DETAIL**

A4 | A4

SCALE: 1" = 1'-0"

August 26, 2005

Mr. Mike Nugent
Manager of Inspection Services
City of Portland, Maine
Portland City Hall
389 Congress Street
Portland, Maine 04101



Re: 44 Federal Street **Condominiums**
44 Federal Street
Portland, ME 04101

Dear Mr. Nugent,

The following are our responses to your plan review for the above referenced project, as discussed by telephone on 8-26-05:

1. The Stair Nosing Detail (3 of sheet A4), has been modified to include the $\frac{3}{4}$ " nosing (see attached).
2. On Sheet T1, the following note will be added:

Code Compliance Note:

Prior to construction of the building, an engineering report will be performed by a qualified professional, to insure the building meets or exceeds the requirements of the 2004 International Energy Conservation Code Supplement. This report may utilize "RESCheck" or similar computer software to demonstrate compliance. Either a "Prescriptive Approach" or a Trade-off Approach" may be used. This report must be sent to, and approved by, the local building official for the **C i** of Portland.

Please let me know if this meets your approval as worded, or if you have any further requirements.

A copy of this letter will be forwarded to Mr. **Ron** Gan (owner). If you have any further questions, please do not hesitate to call me at 761-9000. Thank you very much for all your help.

Sincerely,



Mark Chaloupecky
Port City Architecture

COPY

8 July 2004

Mr. Mark Chaloupecky
Port City Architecture
65 Newbury Street
Portland, ME 04101

EXISTING RETAINING WALL
PROPOSED CONDOMINIUMS
FEDERAL STREET
PORTLAND, ME

Dear Mark,

On Tuesday, 6 July 2004, we visited the site of the proposed condominiums to review the condition of the existing retaining wall. We understand that a new structure, 4 stories tall, with an overall height not to exceed 50 feet, would likely be in close proximity to the existing retaining wall. We would anticipate that the new building would be conventionally framed, with a shallow concrete foundation imposing a surcharge pressure on the wall. No existing documentation is available for the existing retaining structure.

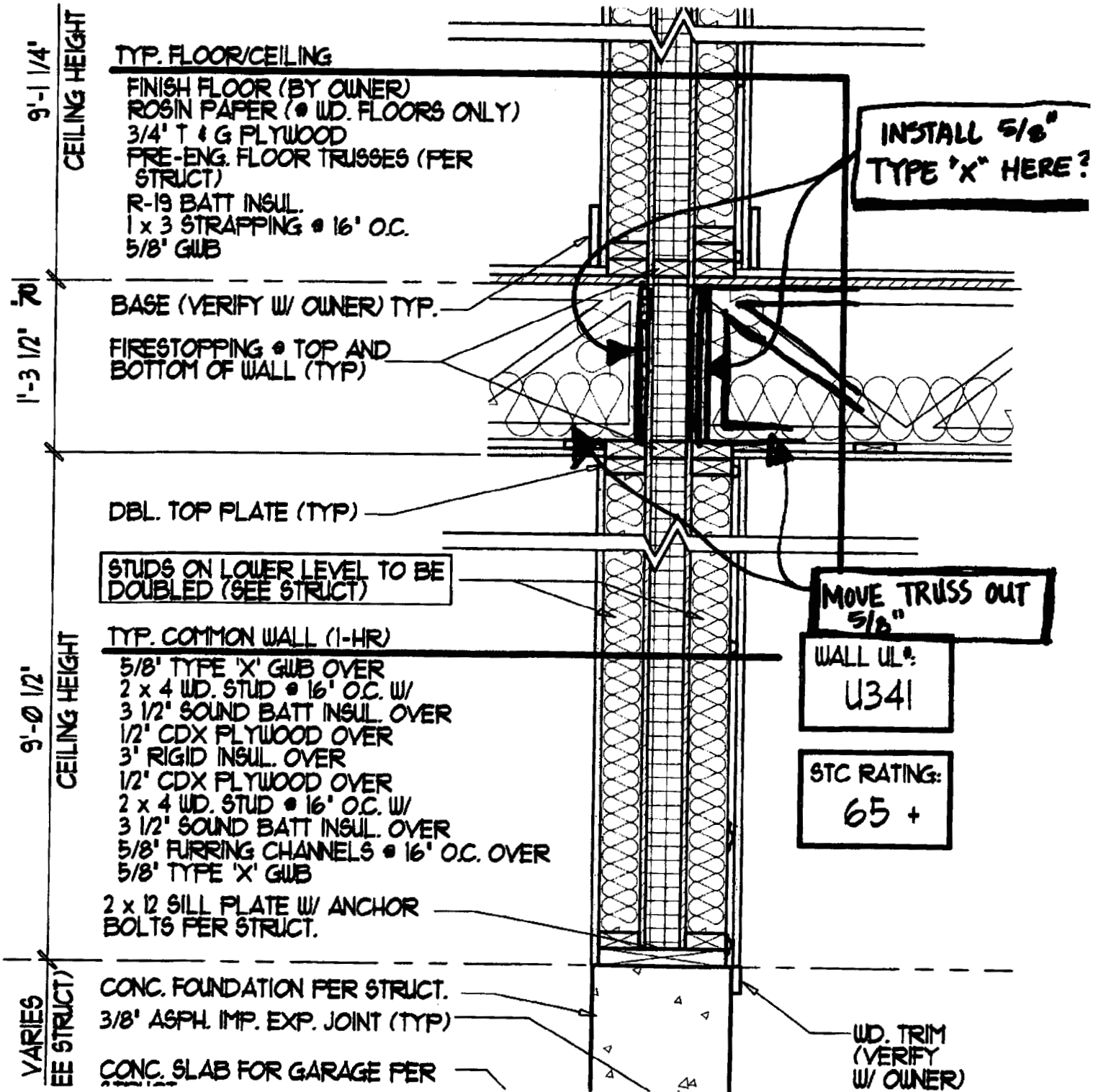
Based on our observations, our preliminary recommendation would be to provide soil anchors through the existing wall into the retained earth to restrain the top of the wall. The anchors would be located near the top of the wall, and would likely be spaced 4 to 6 feet on center. We would also anticipate removing the stacked granite wall near the east end of the site and replacing this section with a cast-in-place concrete or modular block retaining structure. Also, the existing rubble/slurry wall at the eastern most end of the site would most likely be capped with concrete. Soil anchors would likely be incorporated at the capped portion of wall.

The above recommendations are preliminary in nature and have been made without analysis. A further investigation and in-depth analysis will be required to complete a design for the retaining wall restraint. We have not attempted to quantify the existing capacity of the wall, and no material testing has been performed.

if you have any questions regarding this matter, please do not hesitate to contact me.

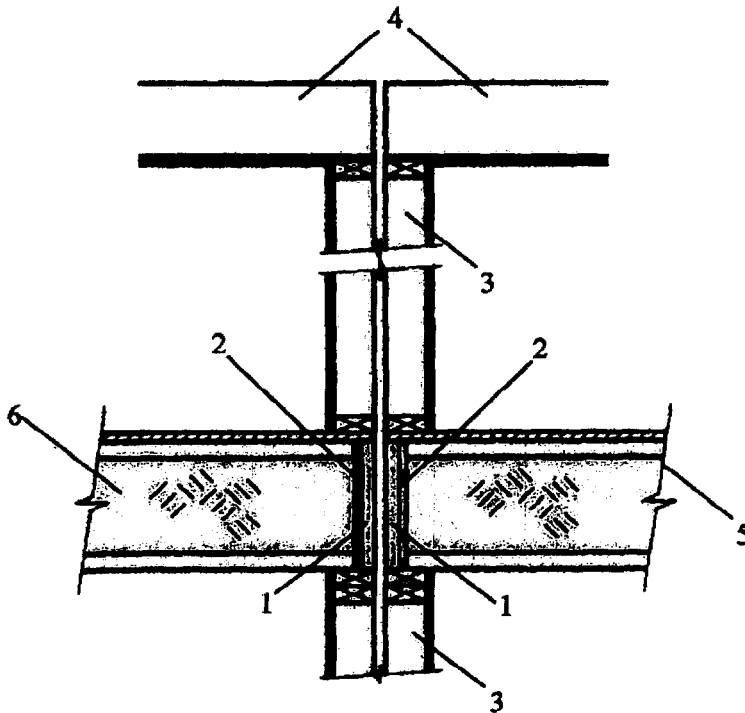
Sincerely,
BECKER STRUCTURAL ENGINEERS, Inc.

Ethan A. Rhile, P. E.



* In lieu of rating the Floor / Ceiling System, can we install 5/8" Type "X" gyp. bd. in the location shown, to maintain the 1-hour rating between condominium units. (It would be a contractor's option).

1 Hour Rim Board Assembly

Design No. 3: Fire Resistance Rating – 60 Minutes

Test Date: 5/22/02
 Test Number: 3024852
 Witness By: Intertek Testing Services
 Official Report Number: 3024852
 Endurance Rating: 1 Hour, CAN/ULC
 S101 M89, ASTM E 119

L-Joist Perpendicular to Rim Board

Application:

Multi-story load on rim joist applied individually to each wall, such that the load is not transferred when support on one side is lost.

Description:

1. Rim board continuous 1" or 1-1/8" LP Solid Start OSB or 1-1/4" LP Gang-Lam LVL rim board.
2. Gypsum wallboard protection: 5/8" Type X gypsum wallboard applied to each rim board on the occupancy side and fastened with 1-1/2" Type W screws 12' on center
3. One hour rated wall construction.
4. Roof/ceiling or floor/ceiling assembly
5. Un-rated floor/ceiling assembly
6. LPI joist.

PropStreetName [redacted] PropNbr [redacted] Zone [redacted]
Appl Type Amendment Review Type Committee Review Enactment Da

Ronald Gan
[redacted]
4646 N. Hermitage Avenue
Chicago IL 60640
773-878-7078 773-878-7255
44 Federal Street

request Zone Change
B2B to R-7

file on Site Plan

JUL 26 2011

BECKER

8 July 2004

Mr. Mark Chaloupecky
Port City Architecture
65 Newbury Street
Portland, ME 04101

EXISTING RETAINING ~~WALL~~
PROPOSED CONDOMINIUMS
FEDERAL STREET
PORTLAND, ME

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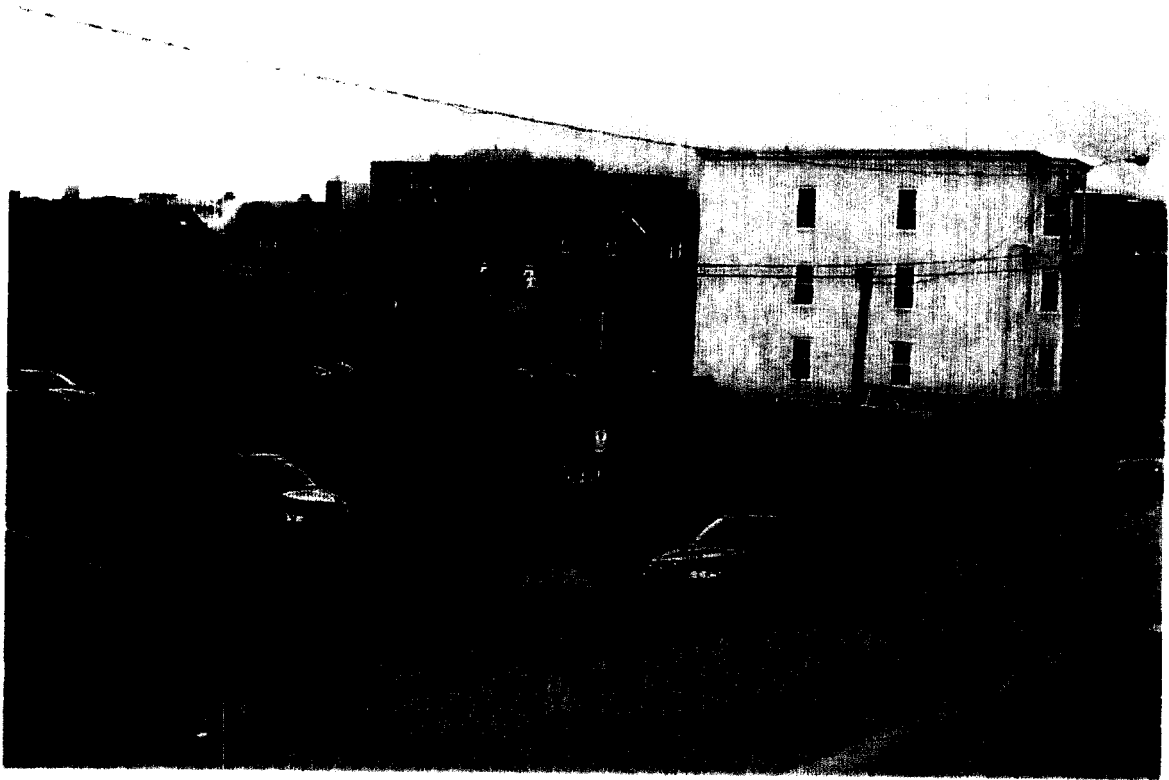
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If you have any questions regarding this matter, please do not hesitate to contact me.

Sincerely,
BECKER STRUCTURAL ENGINEERS, Inc.



Ethan A. Rhile, P. E.



WEST END OF SITE



EAST END OF SITE



SITE AT STREET LEVEL LOOKING WEST



EXISTING SITE LOOKING SOUTHEAST



EXISTING SIDEWALK PAVING

This paving will be replaced with new brick paving and new granite curbing per all City Design Standards.



EXISTING RETAINING WALL

This area containing the granite block walls will be repaired, fenced off with a wrought iron fence and landscaped with appropriate ground cover to retain the soil.



EXISTING RETAINING WALL



EXISTING RETAINING WALL



WROUGHT IRON FENCING AT CEMETARY

The wrought iron fencing on our site will look similar to this fencing. We chose a wrought iron fence both for visibility reasons and for contextual reasons.



PARKING ON FEDERAL STREET - WEEKEND



PARKING ON FEDERAL STREET - WEEKDAY



PARKING ON FEDERAL STREET - WEEKEND



PARKING ON FEDERAL STREET - WEEKDAY



PARKING ON HANCOCK STREET - WEEKEND



PARKING ON HANCOCK STREET - WEEKDAY



SOUTH PARKING LOT - WEEKEND



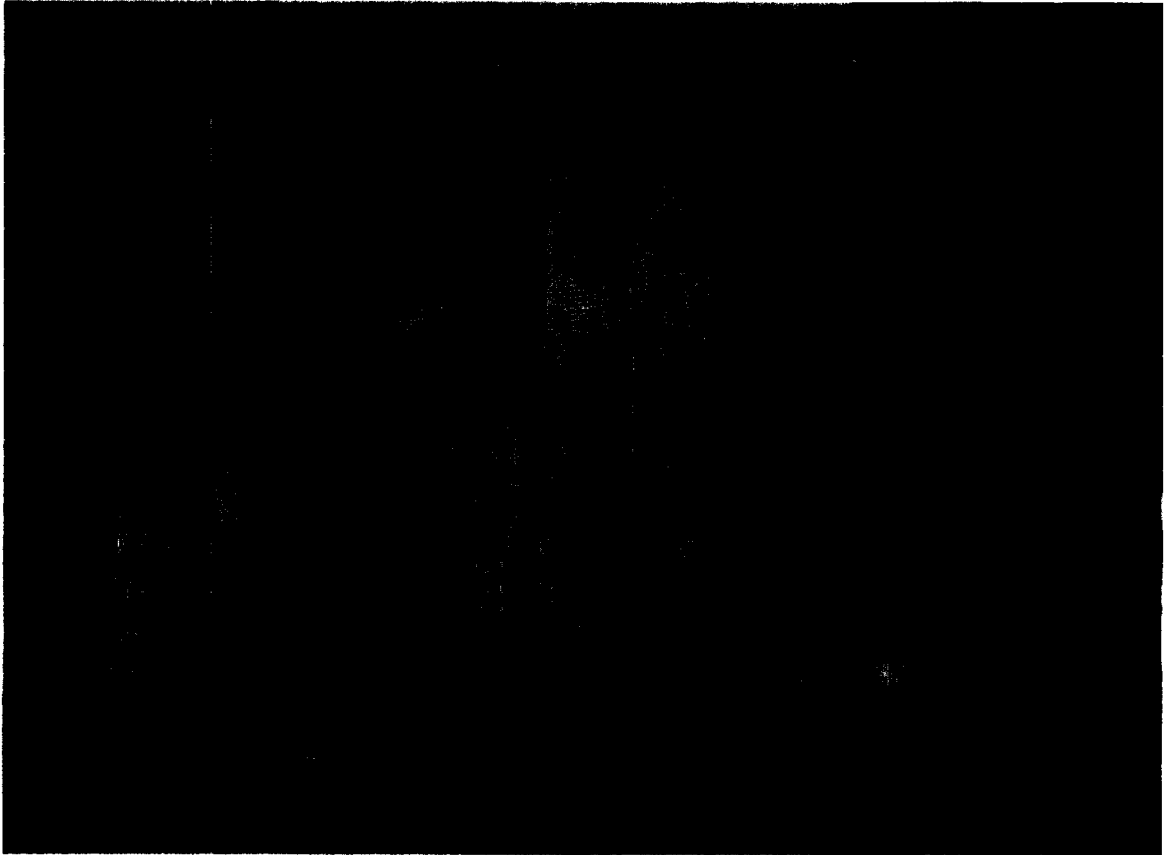
SOUTH PARKING LOT - WEEKDAY



SOUTH PARKING LOT - WEEKEND



SOUTH PARKING LOT - WEEKDAY



PROPERTY TO THE EAST ALONG FEDERAL STREET



PROPERTIES TO THE WEST ALONG FEDERAL STREET

Statement of Special Inspections

**44 Federal Street
Portland, ME
July 11, 2005**

Owner:
The Homestar Group
4646 North Hermitage
Chicago, Illinois 60640

Prepared by:
Becker Structural Engineers, Inc.
75 York Street
Portland, ME 04101
207. 879. 1838

Statement of Special Inspections - Exhibit A

Project: 44 Federal Street
Location: 44 Federal Street, Portland, ME
Owner: The HomeStar Group

This Statement of Special Inspections encompass the following discipline:

- Structural
- Mechanical/Electrical/Plumbing
- Architectural
- Other: _____

Design Professional in Responsible Charge: Paul B. Becker, P.E.
Firm Name: Becker Structural Engineers, Portland, ME

(Note: Statement of Special Inspections for other disciplines may be included under a separate cover)

This Statement of Special Inspections is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Structural Special Inspection Coordinator (SSIC) and the identity of other approved agencies to be retained for conducting these inspections and tests.

The Structural Special Inspection Coordinator shall keep records of all inspections and shall furnish inspection reports to the Building Code Official (BCO) and the Structural Registered Design Professional in Responsible Charge (SRDP). Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Structural Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Structural Registered Design Professional in Responsible Charge at an interval determined by the SSIC and the BCO.

A Final Report of Special Inspections documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted to the BCO prior to issuance of a Certificate of Use and Occupancy.


Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: Upon request of Building Official _____ or per attached schedule.

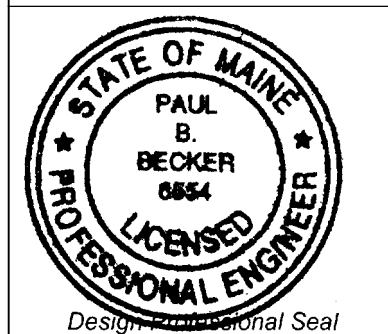
Prepared by:

Paul B. Becker, P.E.

(type or print name of the Structural Registered Design Professional in Responsible Charge)


Signature

7-11-05
Date



Owner's Authorization:

Building Code Official's Acceptance:

Signature Date

Signature Date

Statement of Special Inspections (Continued) - Exhibit A

List of Agents

Project: *44 Federal Street*

Location: *44 Federal Street, Portland, ME*

Owner: *The Homestar Group*

This *Statement of Special Inspections* encompass the following discipline:

- Structural Mechanical/Electrical/Plumbing
 Architectural Other: _____

(Note: *Statement of Special Inspections* for other disciplines may be included under a separate cover)

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- | | |
|------------------------------------------------------------|----------------------------------------------------------------|
| <input checked="" type="checkbox"/> Soils and Foundations | <input type="checkbox"/> Spray Fire Resistant Material |
| <input checked="" type="checkbox"/> Cast-in-Place Concrete | <input type="checkbox"/> Cold-Formed Steel Framing |
| <input type="checkbox"/> Precast Concrete | <input type="checkbox"/> Exterior Insulation and Finish System |
| <input type="checkbox"/> Masonry | <input type="checkbox"/> Mechanical & Electrical Systems |
| <input checked="" type="checkbox"/> Structural Steel | <input type="checkbox"/> Architectural Systems |
| <input checked="" type="checkbox"/> Wood Construction | <input type="checkbox"/> Special Cases |

Special Inspection Agencies	Firm	Address. Telephone. e-mail
1. Structural Special Inspection Coordinator (SSIC)	<i>Becker Structural Engineers (BSE)</i>	<i>75 York Street Portland, ME 04107 (207) 879-1838 info@beckerstructural.com</i>
2. Special Inspector (SI 1)	<i>Becker Structural Engineers (BSE)</i>	<i>75 York Street Portland, ME 04107 (207) 879-1838 info@beckerstructural.com</i>
3. Special Inspector (SI 2)		
4. Testing Agency (TA 1)	<i>to be determined</i>	
5. Testing Agency (TA 2)	<i>to be determined</i>	
6. Other (01)		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Statement of Special Inspections (Continued) - Exhibit A

Final Report of Special Inspections(SSIC/SI I)

[To be completed by the Structural Special Inspections Coordinator (SSIC/SI 1). Note that all Agent's Final Reports must be received prior to issuance.]

Project: *44 Federal Street*

Location: *44 Federal Street, Portland, ME*

Owner: *The Homestar Group*

Owner's Address: *Mr. Ron Gan*
4646 North Hermitage, Chicago, Illinois 60640

Architect of Record: *Andy Hyland@Port City Architecture*
 (name) (firm)

Structural Registered Design

Professional in Responsible Charge: *Paul B. Becker* *Becker Structural Engineers*
 (name) (firm)

To the best of my information, knowledge and belief, the Special Inspections required for this project, and itemized in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved other than the following:

Comments:

(Attach continuation sheets if required to complete the description of corrections.)

Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
 Structural Special Inspection Coordinator

Paul B. Becker
 (Type or print name)

Becker Structural Engineers, Inc.
 (Firm Name)



 Signature Date

Statement of Special Inspections (Continued) - Exhibit A

Special Inspector's/Agent's Final Report

Project: *44 Federal Street*

Special Inspector
or Agent: *to be determined*

Designation: *TL1* *(firm)*

To the best of my information, knowledge and belief, the Special Inspections or testing required for this project, and designated for this Inspector/Agent in the Statement of Special Inspections submitted for permit, have been performed and all discovered discrepancies have been reported and resolved other than the following:

Comments:

(Attach continuation sheets if required to complete the description of corrections.)

Respectfully submitted,
Special Inspector or Agent:

(Type or print name)

Signature

Date



Schedule of Special Inspections – Exhibit B SOILS & FOUNDATION CONSTRUCTION

Project: 44 Federal Street, Portland, ME
Date Prepared: 07/11/2005

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	REV
1. Verify existing soil conditions, fill placement and load bearing requirements							
a. Prior to placement of prepared fill, determine that the site has been prepared in accordance with the approved soils report.	Y	P	IBC 1704.7.1	SI2	PE/GE or EIT		
b. During placement and compaction of fill material, verify material being used and maximum lift thickness comply with the approved soils report.	Y	P	IBC 1704.7.2	SI2	PE/GE or EIT		
c. Test in-place dry density of compacted fill complies with the approved soils report.	Y	P	IBC 1704.7.2	TA1	NICET-ST or NICET-GET		
2. Pile foundations:							
a. Observe and record procedures for static load testing of piles.	N	C	IBC 1704.8	SI2	PE/GE or EIT		
b. Observe and record procedures for dynamic load testing of piles.	N	C		SI2	PE/GE or EIT		
c. Record installation of each pile and results of load test. Include cutoff and tip elevations of each pile relative to permanent reference.	N	C		TA1	NICET-GET		
d. Test welded splices of steel piles.	N	C	AWS D1.1	TA1	AWS-CWI		
3. Pier foundations: Verify installation of pier foundations for buildings assigned to Seismic Design Category C, D, E or F:	N	C	IBC 1704.9	SI2	PE/GE or EIT		
a. Verify pier diameter and length	N	C		SI2	PE/GE or EIT		
b. Verify pier embedment (socket) into bedrock	N	P		SI2	PE/GE or EIT		
c. Verify suitability of end bearing strata	N	P		SI2	PE/GE or EIT		

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Schedule of Special Inspections – Exhibit B

CONCRETE CONSTRUCTION

Project: 44 Federal Street, Portland, ME
 Date Prepared: 07/11/2005

VERIFICATION AND INSPECTION	Y/N	EXTENT: PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	REV
1. Inspection of reinforcing steel, including prestressing tendons, and placement	Y	P	ACI 318: 3.5, 7.1-7.7 Welding of Reinf Not	SII TA1	PE/SE or EIT AWS-CWI		
3. Inspect bolts to be installed in concrete prior to and during placement of concrete where allowable loads have	Y	C	IBC 1912.5	SII	PE/SE or EIT		
4. Verifying use of required design mix	Y	P	ACI 318: 4, 5.2-5.4	SII	PE/SE or EIT		
5. At time fresh concrete is sampled to fabricate specimens for strength test, perform slump and air content test and temperature	Y	C	ASTM C 172 ASTM C 31 ACI 318: 5.6, 5.8	TA1	ACI-CFTT or ACI-STT		
6. Inspection of concrete and shotcrete placement for proper application techniques	Y	C	ACI 318: 5.9, 5.10	SII	PE/SE or EIT		
7. Inspection for maintenance of specified curing temperature and techniques	Y	P	ACI 318: 5.11-5.13	SII	PE/SE or EIT		
8. Inspection of Prestressed Concrete							
a. Application of prestressing force.	N	C	ACI 318: 18.7a	SII	PE/SE or EIT		
b. Grouting of bonded prestressing tendons in seismic force resisting system	N	C	ACI 318: 18.18.4	UI1	PE/SE or EIT		
9. Erection of precast concrete members	N	P	ACI 318: Ch 16	SII	PE/SE or EIT		
10. Verification of in-situ concrete strength, prior to stressing of tendons in post-tensioned concrete and prior to removal of shores and forms beams and structural slabs	N	Ø	ACI 318: 6.2	TA1	ACI-STT		

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Schedule of Special Inspections – Exhibit B

STEEL CONSTRUCTION

Project: **UAK Leaf Inn, Fortiana, VIIE**
 Date Prepared: **01/26/2005**

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	REV
1. Material verification of high-strength bolts, nuts and washers:							
a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Y	S	Applicable ASTM material specifications; AISC 335, Section A3.4; AISC LRFD, Section A3.3	SII	PE/SE or EIT		
b. Manufacturer's certificate of compliance required.		S		SII	PE/SE or EIT		
2. Inspection of high-strength bolting							
a. Bearing-type connections:	Y	P	AISC LRFD Section M2.5 IBC Sect 1704.3.3	TL	AWS/AISC-SSI		
b. Slip-critical connections:	Y	C or P (method dependent)		TL	AWS/AISC-SSI		
3. Material verification of structural steel (IBC Sect 1708.4):							
a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Y	S	ASTM A 6 or ASTM A 568 IBC Sect 1708.4	SII	PE/SE or EIT		
b. Manufacturers' certified mill test reports:	Y	S	ASTM A 6 or ASTM A 568 IBC Sect 1708.4	SII	PE/SE or EIT		
4. Material verification of weld filler materials:							
a. Identification markings to conform to AWS specification in the approved construction documents.		S	AISC, ASD, Section A3.6; AISC LRFD, Section A3.5	SII	PE/SE or EIT		
b. Manufacturer's certificate of compliance required.	Y	S		SII	PE/SE or EIT		

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Schedule of Special Inspections – Exhibit B

STEEL CONSTRUCTION

Project: Oak Leaf Inn, Portland, ME
 Date Prepared: 01/26/2005

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	REV
5. Submit current AWS D1.1 welder certificate for all field welders who will be welding on this project.	Y	S	AWS D1.1	SII	PE/SE or EIT		
6. Inspection of welding (IBC 1704.3.1): a. Structural steel:							
b. Reinforcing steel (IBC Sect 1903.5.2):							
1) Verification of weldability of reinforcing steel other than ASTM A706.	N		Welding of Reinforcement not permitted	N/A			
2) Reinforcing steel-resisting flexural and axial forces in intermediate and special moment frames, and boundary elements of special reinforced concrete shear walls and shear reinforcement.	N	C	AWS D1.4 ACI 318: 3.5.2	TAI	AWS-CWI		
3) Shear reinforcement.	N	C		TAI	AWS-CWI		
4) Other reinforcing steel.	N	P		TAI	AWS-CWI		
7. Inspection of steel frame joint details for compliance (IBC Sect 1704.3.2) with approved construction documents:							
a. Details such as bracing and stiffening.	Y	P		SII	PE/SE or EIT		
b. Member locations.	Y	P		SII	PE/SE or EIT		
c. Application of joint details at each connection.	Y	P		SII	PE/SE or EIT		

Site
 Spr

Schedule of Special Inspection Services – Exhibit B FABRICATION AND IMPLEMENTATION PROCEDURES – STRUCTURAL STEEL

©Becker Structural Engineers, Inc. 2005

Project: 44 Federal Street, Portland, ME
Date Prepared: 07/11/2005

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	REV
<p>1. A FABRICATOR'S PROCEDURES, REVIEW OF FABRICATOR'S written procedural and quality control manuals and periodic auditing of fabrication practices by an approved special inspection agency. At the completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents.</p> <p>-OR-</p> <p>2. AISC or SSFNE Certification</p>	Y	S	Fabricator shall submit one of the two qualifications	SI0	PE/SE or EIT		
<p>FOR EACH VERIFICATION OF FABRICATION, THE APPROVED FABRICATOR shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents.</p>	Y	S	IBC 1704.2.2	SI1	PE/SE or EIT		

**Schedule of Special Inspection Services – Exhibit B
FABRICATION AND IMPLEMENTATION PROCEDURES – WOOD TRUSSES**

©Becker Structural Engineers, Inc. 2005

Project: 44 Federal Street, Portland, ME
Date Prepared: 07/11/2005

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS/AGENT	AGENT QUALIFICATION	DATE	REV
1. Fabrications Procedures: Review of fabricator's written procedural and quality control manuals and periodic auditing of fabrication practices by an approved special inspection agency. At the completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents. -OR- 2. TP1 Inspection Program: Fabricator shall participate in the TP1 Quality Assurance Inspection Program, and maintain a copy of the Quality Assurance Procedures Manual, QAP-90. Submit copy of certificate. All	Y	S	Fabricator shall submit one of the two qualifications	SII PE/SE or EIT		
3. At completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building code official stating that the work was performed in accordance with the approved construction documents.	Y	S	IBC 1704.2.2	SII PE/SE or EIT		

Fabricator Qualifications have been reviewed in accordance with section 1704.2 of the IBC Code

Special Inspector _____ Date _____

Schedule of Special Inspections – Exhibit B

WOOD CONSTRUCTION

©Becker Structural Engineers, Inc. 2005

Project: 44 Federal Street, Fort Lauderdale, FL
 Date Prepared: 07/11/2005

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	REV
1. Fabrication of high-load diaphragms							
a. Verify wood structural panel sheathing for grade and thickness	Y	P	IBC 1704.6	SII	PE/SE or EIT		
b. Verify the nominal size of framing members at adjoining panel edges	Y	P	IBC 1704.6	SII	PE/SE or EIT		
b. Verify the nail or staple diameter and length	Y	P	IBC 1704.6	SII	PE/SE or EIT		
b. Verify the number of fastener lines	Y	P	IBC 1704.6	SII	PE/SE or EIT		
b. Verify the spacing between fasteners in each line and at edge margins	Y	P	IBC 1704.6	SII	PE/SE or EIT		
2. Load tests for joint fasteners. Provide evidence of manufacturer's load test in accordance with ASTM D1761 including the vertical load bearing capacity, torsional moment capacity, and deflection characteristics when there	Y	S	IBC 1715 [submit ICBO reports]	SII	PE/SE or EIT		

Schedule of Special Inspections – Exhibit B

WALL PANEL, & VENEER CONSTRUCTION

©Becker Structural Engineers, Inc. 2005

Project: 44 Federal Street, Fortuna, ME
 Date Prepared: 07/11/2005

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	REV
I. Verify exterior and interior architectural wall panels and the anchoring of veneers for building assigned to Seismic Design Category E or F.	N	N/A	Seismic Design Category: B				

Wall panels and Veneers have been reviewed in accordance with section 1704.10 of the IBC Code

Special Inspector _____

Date _____

Schedule of Special Inspections – Exhibit C

SEISMIC RESISTANCE - STRUCTURAL

©Becker Structural Engineers, Inc. 2005

Project: 44 Federal Street, Portland, ME
Date Prepared: 07/11/2005

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	REV
1. Special inspections for seismic resistance. Special inspection as specified in this section is required for the following: a. The seismic-force-resisting systems in structures as-specified in Seismic Design Category C, D, F, or F	Y	P	Seismic Design Category: D IBC 1707.1	SII	PE/SE or EIT		
2. Structural steel: Continuous special inspection for structural welding in accordance with AISC 341.	Y	P	IBC 1702.2	TA1	AWS-CWI		
3. Structural wood: a. Continuous special inspection during field gluing operations of elements of the seismic-force-resisting system. b. Periodic special inspections for nailing, bolting, anchoring and other fastening of components within the seismic-force-resisting system, including drag struts, braces and hold-downs	Y	C	IBC 1702.3	SII	PE/SE or EIT		
4. Cold-formed steel framing: Periodic special inspections during welding operations of elements of the seismic-force-resisting system. Periodic special inspections for screw attachment, bolting, anchoring and other fastening of components within the seismic-force-resisting system, including struts, braces, and hold-downs	Y	>	IBC 1702.3	SII	>E/SE or EIT		
4. Cold-formed steel framing: Periodic special inspections during welding operations of elements of the seismic-force-resisting system. Periodic special inspections for screw attachment, bolting, anchoring and other fastening of components within the seismic-force-resisting system, including struts, braces, and hold-downs	N	N	CFSF for this project not part of the primary seismic-force resisting system				
4. Seismic isolation system. Provide periodic special inspection during the fabrication and installation of isolator units and energy dissipation devices if used as part of the seismic isolation system	N	N	IBC 1707.8 Seismic isolators not used				

4

Schedule of Special Inspections – Exhibit C SEISMIC RESISTANCE - ELECTRICAL

©Becker Structural Engineers, Inc. 2005

P Project: 44 Federal Street, Portland, ME
Date Prepared: 07/11/2005

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	REV
1. Electrical components			Seismic Design Category: D				
a. Periodic special inspection during the anchorage of electrical equipment for emergency or standby power systems in structures assigned to Seismic Design Category C, D, E or F			IBC 1707.7				
b. Periodic special inspection during the installation of anchorage of other electrical equipment in structures assigned to Seismic Design Category E or F			IBC 1707.7				
2. Component inspection. Special inspection is required for the installation of the following components:							
a. Electrical motors, transformers, switchgear unit substations and motor control centers.			IBC 1707.7.1.2				
b. Reciprocating and rotating-type machinery			IBC 1707.7.1.3				
3. Component and attachment testing. The component manufacturer shall test or analyze the component and the component mounting system or anchorage for the design forces in Chapter 16 for those components having a Component Importance Factor of 1.0 or 1.5 in accordance with Chapter 16. The manufacturer shall submit a certificate of compliance for review and acceptance by the registered design professional responsible for the design, and for approval by the building official.			IBC 1707.7.2				
4. Component manufacturer certification. Each manufacturer of equipment to be placed in a building assigned to Seismic Design Categories E and F, in accordance with Chapter 16, where the equipment has a Component Importance Factor of 1.0 or 1.5 in accordance with Chapter 16, shall maintain an approved quality control program. Evidence of the quality control program shall be permanently identified on each piece of equipment by a label			IBC 1707.7.3				

Statement of Special Inspections for Electrical Seismic Resistance to be completed by the Electrical Engineer of Record for this project.

Electrical Seismic Resistance has been reviewed in accordance with section 1707 of the IBC Code

Schedule of Special Inspections – Exhibit C SEISMIC RESISTANCE - MECHANICAL

©Becker Structural Engineers, Inc. 2005

Project: 44 Federal Street, Portland, ME
Date Prepared: 07/11/2005

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	REV
1. Mechanical components			Seismic Design Category: D				
a. Periodic special inspection during the installation of HVAC ductwork that will contain hazardous materials in structures assigned to Seismic Design Category C, D, E or F			IBC 1707.7				
b. Periodic special inspection during installation of piping systems intended to carry flammable, combustible, or highly toxic contents and their associated mechanical units in structures assigned to Seismic Design Category C, D, E or F			IBC 1707.7				
2. Component inspection. Special inspection is required for the installation of the following components:							
a. Equipment using combustible energy sources			IBC 1707.7.1.1				
b. Reciprocating and rotating-type machinery			IBC 1707.7.1.3				
c. Piping distribution systems 3 inches (76 mm) and larger			IBC 1701.7.1.4				
d. Tanks, heat exchangers and pressure vessels			IBC 1701.7.1.5				
3. Component and attachment testing. The component manufacturer shall test or analyze the component and the component mounting system or anchorage for the design forces in Chapter 16 for those components having a Component Importance Factor of 1.0 or 1.5 in accordance with Chapter 16. The manufacturer shall submit a certificate of compliance for review and acceptance by the registered design professional responsible for the design, and for approval by the building official.			IBC 1707.7.2				
4. Component manufacturer certification. Each manufacturer of equipment to be placed in a building assigned to Seismic Design Categories E and F, in accordance with Chapter 16, where the equipment has a Component Importance Factor of 1.0 or 1.5 in accordance with Chapter 16, shall maintain an approved quality control program. Evidence of the quality control program shall be permanently identified on each			IBC 1707.7.3				

Statement of Special Inspections for Mechanical Seismic Resistance to be completed by the Mechanical Engineer of Record for this project.

Mechanical Seismic Resistance has been reviewed in accordance with section 1707 of the IBC Code

Contract Number

Date

QUALITY ASSURANCE FOR SEISMIC RESISTANCE CHECK LIST [IBC 1705]

Project: 44 Federal Street, Portland, ME

Date Prepared: 07/11/2005

SEISMIC DESIGN CATEGORY:	
QUALITY ASSURANCE PLAN REQUIREMENTS	
(A Quality Assurance Plan, enacted through the Special Inspections requirements for this project, are in place for the following systems)	
☑ FOR SEISMIC DESIGN CATEGORY C OR HIGHER:	
Structural: <input checked="" type="checkbox"/> <input type="checkbox"/> Other:	SER
Mechanical/Piping: <input checked="" type="checkbox"/> Heating, ventilating and air-conditioning (HVAC) ductwork containing hazardous materials and anchorage of such ductwork <input type="checkbox"/> Hazardous Material: <input type="checkbox"/> Hazardous Material: <input checked="" type="checkbox"/> Piping systems and mechanical units containing flammable, combustible or highly toxic materials <input type="checkbox"/> Material: <input type="checkbox"/> Material:	MER
Electrical: <input checked="" type="checkbox"/> Anchorage of electrical equipment used for emergency or standby power systems <input type="checkbox"/> Equipment: <input type="checkbox"/> Equipment: <input type="checkbox"/> Equipment:	EER
☐ ADDITIONAL SYSTEMS FOR SEISMIC DESIGN CATEGORY D OR HIGHER:	
Architectural: <input checked="" type="checkbox"/> Exterior wall panels and their anchorage <input checked="" type="checkbox"/> Precast Concrete <input checked="" type="checkbox"/> Brick <input type="checkbox"/> Stone: <input type="checkbox"/> Other: <input type="checkbox"/> Suspended ceiling systems and their anchorage <input type="checkbox"/> Access floors and their anchorage <input type="checkbox"/> Steel storage racks and their anchorage <input type="checkbox"/> Retail Storage Racks <input type="checkbox"/> High Density Files <input type="checkbox"/> Other: <input checked="" type="checkbox"/> Life-safety component required to function after an earthquake: <input type="checkbox"/> Engineered Egress Stairs <input checked="" type="checkbox"/> Fire Protection Sprinkler System <input type="checkbox"/> Other: <input type="checkbox"/> Other: <input type="checkbox"/> Other:	AR
☑ _____	
Electrical: <input checked="" type="checkbox"/> Electrical equipment	EER

Signature Date
Mechanical Engineer of Record (MER):

Signature Date
Electrical Engineer of Record (EER):

Signature Date
Building Code Official's Acceptance:

Signature Date

Quality Assurance Plan – Exhibit C

QUALITY ASSURANCE FOR WIND REQUIREMENTS CHECK LIST [IBC 17061]

Project: 44 Federal Street, Portland, ME

Date Prepared: 07/11/2005

Wind Exposure: C

REQUIRED	NOT REQUIRED	NOT APPLICABLE	QUALITY ASSURANCE PLAN REQUIREMENTS (A Quality Assurance Plan is required where indicated below)
<input type="checkbox"/>	<input checked="" type="checkbox"/>		In wind exposure Categories A and B, where the 3-second-gust basic wind speed is 120 miles per
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	In wind exposure Categories C and D, where the 3-second-gust basic wind speed is 110mph (49 m/sec) or greater

Prepared by:

Building Code Official's Acceptance:

Signature

Date

Signature

Date

Schedule of Special Inspections - Exhibit B

Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided if requested.

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the Agency **Number** on the Schedule.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
------	-------------------------------------------------------

International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician - Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician - Levels I, II, III & IV

Exterior Design Institute (EDI) Certification

EDI-EIFS	EIFS Third Party Inspector
----------	----------------------------

Other

Contractor's Statement of Responsibility – Exhibit D

Each contractor responsible for the construction or fabrication of a system or component designated in the Quality Assurance Plan must submit a Statement of Responsibility. Make additional copies of this form as required.

Project: *44 Federal Street, Portland, ME 04101*

Contractor's Name:

Address:

License No. :

Description of designated building systems and components included in the Statement of Responsibility:

Contractor's Acknowledgment of Special Requirements

I hereby acknowledge that I have received, read, and understand the Quality Assurance Plan and Special Inspection program.

I hereby acknowledge that control will be exercised to obtain conformance with the construction documents approved by the Building Official.

Signature

Date

Contractor's Provisions for Quality Control

Procedures for exercising control within the contractor's organization, the method and frequency of reporting and the distribution of reports is attached to this Statement.

Identification and qualifications of the person(s) exercising such control and their position(s) in the organization are attached to this Statement.

Fabricator's Certificate of Compliance – Exhibit B

Each approved fabricator that is exempt from Special Inspection of shop fabrication and implementation procedures per section 1704.2 of the International Building Code must submit a *fabricator's Certificate of Compliance* at the completion of fabrication.

Project: **44 Federal Street, Portland, ME 04101**

Fabricator's Name:

Address:

Certification or Approval Agency:

Certification Number:

Date of Last Audit or Approval:

Description of structural members and assemblies that have been fabricated:

I hereby certify that items described above were fabricated in strict accordance with the approved construction documents.

Signature

Date

Title

Attach copies of fabricator's certification or building code evaluation service report and fabricator's quality control manual

End of Statement of Special Inspections

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0931	Date Applied For: 07/12/2005	CBL: 020 D011001
------------------------------	----------------------------------------	----------------------------

Location of Construction: 44 FEDERAL ST	Owner Name: 44 FEDERAL STREET LLC	Owner Address: 4646 NORTH HERMITAGE	Phone:
Business Name:	Contractor Name: Port City Architecture	Contractor Address: 65 Newbury Street Portland	Phone (207) 761-9000
Lessee/Buyer's Name	Phone:	Permit Type: Multi Family	

Proposed Use: 7 -four (4) story Condominium units , decks, & penthouse	Proposed Project Description: 7 -four (4) story Condominium units , decks, & penthouse
----------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 07/21/2003

Note: 7/20/05 received the stamped approved site plan **Ok to Issue:**

- 1) This property shall remain a seven (7) residential family attached condominium dwelling structure. Any change of use shall require a separate permit application for review and approval.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 09/16/2005

Note: **Ok to Issue:**

- 1) Plans and specs demonstrating compliance with the 2003/4 International Energy Conservation Code must be submitted and approved prior to construction.
- 2) All roof systems must have adequate ventilation as required by section 1203.2, this plan must be submitted and approved prior to construction.
- 3) Product information including installation guidelines and loads must be submitted for the Deck Guards prior to installation.
- 4) A Glazing Schedule indication safety or tempered glazing locations and Product info on the sky-lights must be provided prior to commencement of construction.
- 5) All penetrations in fire separation assemblies must be protected in accordance with Chapter 7 of the IBC
- 6) No unprotected openings are allowed on the east elevation. Unit G

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 07/25/2005

Note: **Ok to Issue:**

- 1) All BUILDing construction to comply with NFPA 101
- 2) Fire alarm system to comply with NFPA 72
- 3) Sprinkler system to comply with NFPA 13

Dept: Fire **Status:** Approved **Reviewer:** Lt. MacDougal **Approval Date:** 02/10/2005

Note: **Ok to Issue:**

Dept: Planning **Status:** Approved with Conditions **Reviewer:** Ethan Macomber **Approval Date:** 03/22/2005

Note: Okay to issue building permit **Ok to Issue:**

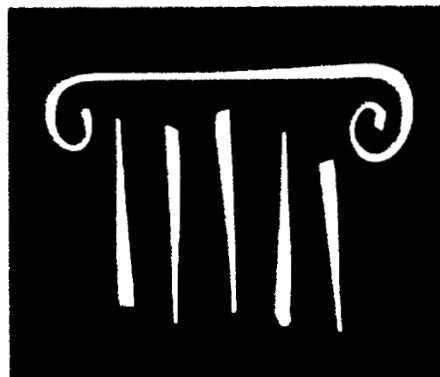
- 1) ii. The applicant shall prepare and present condominium documents subject to final review and approval by corporation counsel.
- 2) v. The applicant shall revise the plan so as to address engineering concerns expressed by the City's consulting civil engineer in a March 18, 2005 memo and shall increase the recommended buffer zone described in said memo from 5 to 8 feet.

Application for Site Plan Review by the Planning Board

City of Portland, Maine

Submitted by: Port City Architecture and Mr. Ron Gan

February 7, 2005



**PORT ■ CITY
ARCHITECTURE**

Application Index

1. PROJECT SUMMARY

- City of Portland Site Plan Application Form

2. PROJECT LOCATION

- Zoning Map
- Assessor's Information and Legal Description
- Tax Map
- Photographs of the Site

3. OWNER INFORMATION

- Purchase and Sale Agreement
- Letter of Financial Capacity

4. SITE ANALYSIS

- Geotechnical Report
- Ability to Provide Letter from Portland Water District
- Ability to Provide Letter from Portland Public Works
- Site Fencing Cut Sheets
- Survey
- Site Development Plan (Sheet **SD1**)
- Landscaping Plan (Sheet **L1**)
- Site Engineering Plans (Sheets **C1** through **C4**)

5. BUILDING DEVELOPMENT PLANS

- Floor Plans (Sheets **A1** and **A2**)
- Elevations (Sheet **A3**)
- Exterior Lighting Cut Sheets

Project Summary

Mr. Ron Gan has retained the professional services of Port City Architecture, Back Bay Boundary Inc., and Deluca-Hoffman Associates Inc., to prepare the necessary documents and plans for the construction of a multiple-single family, 8-unit condominium project. The proposed dwellings are located at 44 Federal Street, Portland, Maine. The project's design professionals have appreciated the assistance of Mr. Ethan Boxer-Macomber in assembling this design package.

This project has gone through the process of a zone change with the Planning Board and received approval from City Council. The site was originally zoned B2b and has been rezoned to the R7 overlay zone. The new zone facilitates an eight (8) unit building with one designated parking space per unit. The R7 zone also does not require setbacks but rather a minimum of 10' between adjacent structures.

Currently the site **is** almost entirely comprised of an asphalt parking lot with approximately 24 spaces. Mr. Gan is proposing to construct eight (**8**) townhome-style units with approximately 2,500 s.f. of living space per unit. **All** of the units are connected and they will be sprinkled and separated with firewalls as required by code. Each unit will have three floors with a rooftop penthouse. The ground floors are to be used as a one-vehicle garage with areas for additional storage. The second floor of each unit is to be the main living area with the top floors designated for bedroom areas. Each unit will have porches / patios on the south end to capitalize on views of the harbor. Each unit will also have a rooftop penthouse connected to the third floor of the unit to take further advantage of the harbor views.

Based on our experience, it **is** the professional opinion of Port City Architecture that the construction costs for this project will be in the neighborhood of **\$110** per s.f. This will give a total project cost of approximately \$2.3 million. It **is** anticipated that construction will start in late spring of 2005 and take approximately nine (9) months to complete.

Owner Information

Property Owner: **Mr. Ron Gan**

Owners Address: **The Homestar Group
4646 N. Hermitage
Chicago, IL 60640**

Phone Number: **(773) 878-7078**

Purchase and Sale Agreement: **See attached**

Project Location

Property Address: **44 Federal Street
Portland, Maine 04101**

Assessor's Map Number: **Map 20, Block D**

Lot Number: **#11**

Flood Insurance Rate Zone: **Zone C, Community/Panel No. 230051 14C (07-17-1986)**

Site Analysis

EXISTING CONDITIONS:

This site at 44 Federal Street in Portland, Maine, encompasses 11,655 s.f. with approximately 149.68 feet of street frontage along Federal Street. There is currently one driveway entering/ exiting the site. The site consists of a parking lot with 20 leased spaces and 5 spaces for the City of Portland. The parking lot was constructed in 1960 (approx.) and comprises almost the entirety of the site and is therefore makes the site almost entirely impervious surface. The lot is bounded to the south by concrete retaining walls and the property line for this site is just inside of these walls. A few wood post guardrails exist on the site, along with chain-link fencing, just inside the retaining walls. A current survey by Back Bay Boundary Inc., is included in this submittal.

No wetlands were found on the site. Based on the Flood Insurance Rate Map, the Property is in Zone C, and is not in a special flood hazard area. Abutting land uses include a cemetery across Federal Street to the north, and parking lots to the south. On both sides of the site (to the east and west along Federal Street), zoning is B2b with residential uses on both sides. Photographs of the site and the abutting sites are included in this package.

Mr. Ron Gan currently has a contract to purchase the property from Mr. Dominic Reali, who currently owns the parcel. Deeds and information relative to the applicant's interest in the site have been included in this submittal.

PROJECT DESCRIPTION:

Mr. Ron Gan is proposing to construct eight (8) townhome-style units with approximately 2,500 s.f. per unit. All of the units are to be connected and they will be sprinkled and separated with firewalls as required by code. Each unit is comprised of three floors. The ground floors are to be used as a one-vehicle garage with areas for additional storage. The second floor of each unit is to be the main living area with the top floors designated as the sleeping areas. Attached to the third floor of each unit is a rooftop penthouse to take full advantage of the views of the harbor. In addition, all of the units will have decks off the living and master bedroom areas to further capitalize on the harbor views.

Each unit is required to have one (1) off-street parking space per code, and that is provided with a garage on the ground floor of each unit. Access to each garage is entirely off Federal Street. Each unit will have its own overhead garage door. However, the units will be constructed with the doors of every two units to be side by side. This will allow the project to have only four driveways in lieu of eight. This will simplify the overall look of the building and allow for a more pedestrian scale streetscape. Excess parking for multi-vehicle families and for guests will be accommodated in the fashion that is currently utilized by a majority of the abutting properties, in that it will be found on Federal Street, and very minimally on Hancock Street. Due to the nature of these high-end units, we expect our demographic to be older, more well-established couples and singles. Many of which will only have one vehicle. We do not expect multiple-vehicle families to have a significant impact on the parking situation. Currently there are five on-street parking spaces along our

street frontage. Due to the increase of driveway access onto Federal Street, after the project is completed, we anticipate losing 4 spaces. We do not expect the loss of 4 parking spaces to be a significant difference, as parking in this area appears to be adequate. Photographs of the parking situation have been included in this submittal.

SITE GRADING AND STORMWATER RUNOFF:

The site currently slopes from east to west with an approximate slope of 4%. The majority of the site drainage flows to the southwest corner and down through natural seepage and weep holes through the existing retaining walls. A portion of the site drainage flows to the west and behind the buildings to the west. Because of the existing impervious asphalt, the majority of the stormwater is not being held on-site, nor is it properly collected and piped to the appropriate storm sewers. We are proposing to correct the current drainage problems. Our site drainage from our rear yards will sheet drain to a catch basin as shown on the included Site Engineering Drawings. It will then be piped under the buildings to the existing combined Stormwater/ Sewer system under Federal Street. The stormwater from the roofs of the buildings will also be collected and piped to the same system. The drainage from the Federal Street side of the buildings will sheet drain directly out to Federal Street as it does presently. Refer to the Site Engineering drawings for all specifics.

EROSION

Erosion control will be achieved through the use of fill fence, silt bags, or DEP approved erosion mix banking. The details of their installation and use are shown on the Site Engineering drawings.

LANDSCAPING:

Landscaping has been designed, in as much as possible, with the City of Portland Technical Standards. We are anticipating an increase in pervious surface of approximately 30%. The rear yards will be entirely pervious surface, with perimeter and interior required landscaping included in the construction process. Any additional landscaping will be per the discretion of the owners of each unit. A "wrought-iron" style fence will surround the rear yards. This style was chosen for security reasons as well as contextual reasons. Each individual yard will be separated with a short (42" high) white picket or chain-link fence. This will allow a sense of individuality while allowing for any desired pets. Each of these fences will have a gate and access to the drainage infrastructure will be possible through the gates. While most of the perimeter and interior landscaping is located in the rear yards, the applicant was concerned that too many trees would destroy the views to the harbor. As a result, the applicant is proposing to install landscaping trees on the roof decks of each unit to make up the difference.

The front yards have been designed with esplanades between driveways. Required plantings are contained within these esplanades. Additional plantings will also be installed between the entrances to each unit. Refer to the Landscaping Plan included with this submittal for details. The final selections of the specific plant types will be determined at a time when availability and size selections from a local nursery are known. Final selections will be sent to the City of Portland for approval as soon as they are selected.

SITE UTILITIES:

Currently, there are existing overhead utilities along Federal Street with a drop and a meter for our site just west of the current driveway. Our preliminary plan is to eliminate the existing overhead utilities by running them from a new pole mounted transformer underground to the new building, then back up to the pole on the opposite side of the site. Both the owner and Port City Architecture have met with CMP representatives at the site to discuss the plan for the site.

Included with this submittal are letters for the Portland Water District and Portland Public Works to verify the adequacy of water and sewer for the site. Refer to the Site Engineering Drawings for details.

EXTERIOR LIGHTING

The exterior lighting for this project is anticipated to be minimal. There will be lighting to illuminate the front porches and entrances. Lighting for the garage doors is also **expected**. Safety lighting along walkways and driveways will be left up to the discretion of the new owners of each unit. Lighting shall be installed in compliance with the International Technical Standards, Section XV Site Lighting. The lighting shall be adequate for the safety of the occupants of the site but shall not cause glare nor direct light onto adjacent properties. Cut sheets of the proposed lighting fixtures are included in this submittal. Locations of fixtures are shown on the Exterior Lighting Schedule (Sheet A3, Section 5).

SPECIAL CONDITIONS:

This project has a number of challenges due to the unique circumstances of the site. Currently there is a large tree to the east of the site. While this tree's base is not on our property, the canopy of the tree extends onto the site. Mr. Jeff Tarling, City Arborist, has been to the site and examined the tree. The applicant will adhere to Mr. Tarling's recommendations on how to trim, cut back, and protect the tree to the fullest extent possible.

This site is also surrounded to the south by a concrete retaining wall. The applicant retained the services of Becker Structural to visually examine the wall. Upon preliminary observations, the wall appears structurally sound. For most of this development, the new structures are not in close proximity to the wall. For the part of the new structure that could affect the existing wall, the applicant will retain the services of a licensed Structural Engineer to ensure this project will not have any detrimental effects on any existing retaining walls.

Building Development Plans

Mr. Gan is proposing to construct eight (**8**) townhome-style units with approximately 2,500 s.f. of living space per unit. All of the units are connected and they will be sprinkled and separated with firewalls as required by code. Each unit will have three floors with a rooftop penthouse. The ground floors are to be used as a one-vehicle garage with an All-Purpose room and areas for additional storage. The second floor of each unit is to be the main living space including a Living Area with a fireplace, Kitchen, and formal Dining area. The top floor of each unit will be utilized as the sleeping areas with two bedrooms, two baths, and a laundry area. Above the third floor is a Penthouse and rooftop decks to take full advantage of the harbor views. Decks off the main Living Area and Master Bedroom will take further advantage of the views. Each of the units is served by its own stair and its own personal elevator.

The building's facades have been designed within the context of the existing Italianate apartment buildings in the neighborhood. They also reflect the industrial warehouse nature of the India Street and Old Port areas. While the design elements of multi-story bay windows, flat roofs, and large cornices reflect the historic context, they are reinterpreted in a new and unique fashion. Traditional materials of brick are combined with non-traditional materials (metal accents and EIFS) to redefine historical patterns. Large divided-light windows assist in adding to this character as well as providing plenty of natural light for these units. The south wall of each unit is, in fact, almost entirely insulated glazing to take advantage of the extraordinary views of the harbor.

CITY OF PORTLAND, MAINE
PLANNING BOARD

Zoning Administrator

Orlando E. Delogu, Chair
Lee Lowry III, Vice Chair
John Anton
Kevin Beal
Michael Patterson
David Silk
Janice E. Tevanian

KSHOP AGENDA

The Portland Planning Board will hold a Workshop on Tuesday, July 27th, 2004, 3:30 p.m., Room 209, 2nd Floor, City Hall. The tentative agenda includes the following:

- i. Ballpark Drive Subdivision; Vicinity of Washington Avenue; Mary Margaret Haverty, Applicant.
- ii. Graves ~~111~~ Contract Zone; Vicinity of 802 Ocean Avenue; Doyle Enterprise, Applicant.
- iii. R-7 Zone Change; Vicinity of ~~44~~ Federal Street; Ronald Gan, Applicant.

Workshop meetings are informational - no vote or final action is taken. Public comment will be taken at this meeting.

CITY OF PORTLAND, MAINE

PLANNING BOARD

Orlando E. Delogu, Chair
Lee Lowry III, Vice Chair
John Anton
Kevin Beal
Michael Patterson
David Silk
Janice E. Tevanian

PUBLIC HEARING AGENDA

Tuesday evening July 27th, 2004, 7:30 p.m., Room 209, 2nd floor, City Hall, 389 Congress Street, Portland, Maine.

1. ROLL CALL AND DECLARATION OF QUORUM
2. COMMUNICATIONS AND REPORTS
3. ANNOUNCEMENT OF DECISIONS AT THE PREVIOUS MEETING HELD ON JULY 20th, 2004.

1. Diamond Cove Contract Zone Amendment Regarding Use of Golf Carts; Vicinity of Ft. McKinley – Diamond Cove, Great Diamond Island; Great Diamond Island Homeowners Association, Applicant.

The Planning Board voted unanimously 5-0 (Beal, Tevanian absent) to recommend to the City Council the DCHA proposed amendment (as modified by 8 amendments to the main motion) and voted unanimously 5-0 (Beal, Tevanian absent) to recommend revisions to paragraph 13 (breach paragraph) to the City Council.

4. UNFINISHED BUSINESS

- i. Office Building; Vicinity of 2063 Congress Street; Mortgage Network Company, Applicant.

The Planning Board will consider a plan by Mortgage Network, Inc. to develop an approximately 11,000sq. ft. office building and associated site improvements at 2063 Congress Street. The subject site is at the intersection of Congress and Johnson Streets.

5. NEW BUSINESS

- ii. Pine Tree Shopping Center; Vicinity of 1030 Brighton Avenue; Packard Development, Applicant.

The Portland Planning Board will consider a proposal by Packard Development to demolish the eastern portion of the Pinetree Shopping Center from the Dollar Store to the end of Shaw's. The remaining portion of the shopping center, Applebee's and Century Tire will not be demolished.

5. ADJOURNMENT

NOTE: It is possible that the Board will not reach all of the items prior to adjournment. Any items not reached will be rescheduled to appear on the subsequent agenda with items appearing early on the agenda as unfinished business.



FEDERAL STREET CONDOMINIUMS

For:
Mr. Ron Gan

44 Federal Street
Portland, ME 04101



July 12,2004

Mr. Alex Jaegerman
Director of Planning
City of Portland
389 Congress Street
Portland, Maine 04101

Subject Project: Federal Street Condominiums
44 Federal Street
Portland, Maine 04101

Dear Mr. Jaegerman,

Mr. Ron Gan has retained the professional services of Port City Architecture and Back Bay Boundary, Inc. to prepare the necessary documents and plans for the construction of a **multi-family**, 12-unit condominium project. The proposed dwellings are located at 44 Federal Street, Portland, Maine. The project's design professionals have appreciated the assistance of Mr. Ethan Boxer-Macomber in assembling this design package. Included in this package is the response letter to his comments.

EXISTING CONDITIONS

Description of the Proposed Development Site

The project site is located on Map 20, Block D, Lot 11 as shown on the City of Portland's Assessors Map. The site encompasses 11,655 s.f. with approximately 149.68 feet of street frontage along Federal Street. There is currently one driveway entering/exiting the site. The site consists of a parking lot with 20 leased spaces and 5 spaces for the City of Portland. The existing parking lot was built in 1960 (approx.) and comprises almost the entirety of the site and is therefore almost completely an impervious asphalt surface. The lot is bounded to the south by concrete retaining walls and the property line for this site is just inside of these walls. Site photos and a current survey by Back Bay Boundary, Inc. have been provided in this submittal.

Abutting land uses include a cemetery across Federal Street to the north, and parking lots to the south. On both sides of the site (to the east and west along Federal Street), zoning is B-2-b with residential uses on both sides.

Mr. Ron Gan currently has a contract to purchase the property from Mr. Dominic Reali who currently owns the parcel. Deeds and information relative to the applicant's interest in the site have been previously submitted to Mr. Boxer-Macomber.



SITE 1A AND SUPERFICIAL CONDITIONS

The site currently slopes from east to west with an approximate slope of 4%. The majority of the site drainage flows to the southwest corner and down through natural seepage and weep holes through the existing retaining walls. A portion of the site drainage flows to the west and behind the buildings to the west. Most of the current site is impervious asphalt with a few wood post guardrails. There is also chain-link fencing along the south edge of the site, just inside the concrete retaining walls.

No wetlands or special soils were found on the site. Based on the Flood Insurance Rate Map, the property is in Zone C, Community/Panel No. 230051 14C, which bears an effective date of 07-17-1986, and is not in a special flood hazard area.

PROJECT DESCRIPTION

Mr. Ron Gan is proposing to construct three (3) buildings (two of which will be connected by a party wall) of approximately 7,700 s.f. per building. Each of the buildings will have four (4) floors with a smaller one-bedroom and a double garage on the ground floor, and a two-bedroom unit on each of the top three floors. Each of the ground floor units will be approximately 1400 s.f. and each of the upper floor units will be approximately 1930s.f.. Each unit will have a porch/patio on the south end of the buildings to capitalize on the views of the harbor.

The enclosed double garage will be for the use of the top two floors (one space per unit). Since each unit is required to have a designated parking space per code, the remaining six (6) spaces are in a parking lot to the rear of the buildings. Access to the site is entirely from Federal Street, with each garage and the exterior parking lot having direct access to Federal Street. Currently there are five on-street spaces along our street frontage. Due to the increase of driveway access onto Federal Street, after the project is completed, there will be three (3) on-street spaces along our street frontage with a net loss of only two (2) spaces. Excess parking for multi-vehicle families and for guests will be accommodated in the fashion that is currently utilized by a majority of the abutting properties, in that it will be found on Federal Street, and very minimally on Hancock Street. Due to the nature of these high-end units, we expect our demographic to be older, more well-established couples and singles. Many of which will only have one vehicle. We do not expect multiple-vehicle owners to have a significant impact on the parking situation. Site photographs showing existing parking conditions, both on weekdays and weekends are included in the submittals.

The existing concrete retaining walls on the south edge of the site will also be repaired and stabilized as directed by the Structural Engineer. Attached is a letter from Becker Structural Engineers, Inc, describing the initial study on the walls.

Snow storage will be accommodated on site per the technical standards of the City of Portland. A snow storage area in excess of 5 feet wide is proposed inside the curbing on both sides of the parking lot and is shown on the accompanying Landscaping Plan.



I **ARCHITECTURE**

The proposed four (4) story buildings house four (4) units each, all of which are designed to be condominiums. The ground level units are designed as one-bedroom units. The upper units are designed as two bedroom units, or as one bedroom with an office or guest room. Each building is served by an enclosed stair and an elevator. A set of floor plans is included with this submittal.

The building's facades have been designed within the context of the existing Italianate apartment buildings in the neighborhood. They also reflect the industrial warehouse nature of the India Street and Old Port areas. While the design elements of multi-story bay windows, flat roofs, and large cornices reflect the historic context, they are reinterpreted in a new and unique fashion. Traditional materials of brick and stone are combined with non-traditional materials (metal accents and EIFS) to redefine historical patterns. Large divided-light windows assist in adding to this character as well as providing plenty of natural light for these units. The south wall of each unit is, in fact, almost entirely insulated glazing to take advantage of the extraordinary views of the harbor.

ZONING

The property is currently zoned B-2-b. We are proposing to change it to the residential R-7 overlay. We believe that given the relatively small area of the site, the close proximity of the residential structures on either side of the site, and the access to the views of the harbor, this site would be much better served by an R-7 zone. It would greatly improve the existing parking lot site, as well as the surrounding area.

UTILITIES

Currently, there are existing overhead utilities along Federal Street with a drop and a meter for our site just west of the current driveway. Our preliminary plan is to eliminate the existing overhead utilities by running them from a new pole mounted transformer underground to our building.

RUNOFF

Presently most of the storm water runoff drains to the southwest corner of the site. Because of the impervious asphalt, the majority of the storm water is not being held on-site, nor is it properly collected and piped to the appropriate storm sewers. The current storm water is draining through natural seepage and the weep holes in the existing concrete retaining walls and onto the site to the south. A small portion of the existing storm water is being drained directly to the west and through the rear of the adjacent lot. We are proposing to correct both of these problems. Our site drainage from our parking and impervious surfaces will sheet drain to a catch basin as shown on the attached site plan (for catch basin detailing, see attached detail sheet). The storm water will then be piped to the sewer on Federal Street and joined with existing storm water collection.



EROSION CONTROL

Erosion control will be achieved with the use of silt fences, silt bags, or DEP approved erosion mix banking. The details of their installation and use are shown on the attached plans.

EXTERIOR LIGHTING

Exterior lighting shall be installed in compliance with the City Technical Standards Section XV Site Lighting Standards. The lighting shall be adequate for the safety of the occupants of the site but shall not cause glare nor direct spillover onto adjacent properties.

LANDSCAPING

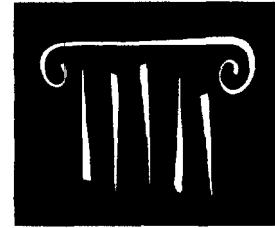
Landscaping has been designed, in as much as possible, with the City of Portland Technical Standards. The Landscaping Plan is included in this submittal. The final selections of the specific plant types will be determined at a time when availability and size selections from a local nursery are known. Final selections will be sent to the City of Portland for approval as soon as they are selected.

PLANS

A set of plans for the proposed project, including floor plans, and elevations, are included within this package.

Sincerely,

Andrew C. Hyland, AIA
Principal Architect
Port City Architecture



**PORT ■ CITY
ARCHITECTURE**

July 8, 2004

Mr. Ethan Boxer-Macomber
City Planner
Planning and Development Dept.
Portland City Hall
389 Congress Street
Portland, ME 04101

Re: **44 Federal Street zone change**
Application ID #556, CBL #20-D-11

Dear Mr. Boxer-Macomber,

The following are our responses to your letter on the above referenced project, dated June 28, 2004. Attached to this letter are all the submittals for the Planning Board workshop as requested.

1. Site Plan

A. General Narrative

A general narrative describing the project and addressing the zone change has been included in the submittals.

B. Expanded Context on Plans

The neighborhood context has been added to the site plan and the project rendering. Property lines and existing structures have been shown. The proposed curb, sidewalk, and ramps along Federal Street have also been shown.

C. Dimensions

All appropriate dimensions have been shown on the site plan and on the floor plans.

D. Off-street Parking

Per Section 14-1426(b) of the Portland City Code, we have provided one parking space per unit. On the first floor of each building, we have provided two enclosed parking spaces and they will be assigned to the third and fourth floor units. The first and second floor units will have one assigned space at the rear of the buildings in the parking lot.

Currently this site has 20 leased spaces and 5 spaces for the City of Portland. The lots to the south (which are owned by the same owner) have approximately 60 leased spaces. There is also parking on both sides of Federal Street, and along our property line there is currently five on-street parking spaces. When this project is completed, there will be room for three on-street

parking spaces. You can refer to the site photographs to determine the parking situation in this area. Due to the nature of these units, we expect our demographic to be older, more well-established couples and singles. Many of which will only have one vehicle. We do not expect multiple vehicle owners to have a significant impact on the parking situation.

We do expect some minor inconveniences with deliveries. However, the majority of deliveries will be during the initial moving-in process. With only twelve units, we expect that after the initial occupancy, this problem will be at a minimum. One possible solution may be to designate an on-street parking space as "Delivery Only" until initial occupancy has ended.

E. Snow Storage/ Removal

On-site snow storage areas have been shown on the landscaping plan.

F. Retaining Walls

We are proposing to stabilize the existing concrete retaining walls with soil anchors and add appropriate ground cover above the granite block wall to assist in retaining the soil. See response to item #2a (below).

G. Floor Plans

Floor plans have been added to the submittals.

2. Engineering

A. Geotechnical/ Retaining Wall Study

The retaining walls in question are not owned by the applicant, however, a preliminary review of the existing retaining walls has been performed by Becker Structural Engineers. This review has been performed by visual assessment only. The observations indicate that the retaining walls appear to be structurally sound. It recommends stabilization of the existing concrete retaining wall with soil anchors, which may include tying the existing wall to our new foundation wall. The existing granite block wall may be repaired but left in place. See attached letter from Becker Structural Engineers.

As of this date, we do not have any maintenance agreements pursuant to this wall.

B. Grading and Drainage

A grading and stormwater plan has been added to the submittals.

C. Curb and Sidewalk

The new curbs and sidewalks have been shown on the site plans.

D. Utility Capacity and Connections

The letters from Public Works and the Portland Water District are being obtained. A Utility Plan will be added to the submittals.

3. Landscaping

A. Street Trees

Street tree installations have been shown on the Landscaping Plan. Along with the other required landscaping.

B. Tree Save Plan

The large tree at 36-38 Federal Street has been shown on the Landscaping Plan. We have **accurately depicted the tree on the site** plans. During construction we will protect the tree as much as possible. We are in the process of contacting Jeff Tarling, the City Arborist, to receive his recommendations on this matter.

C. Open Spaces

All open spaces, paved and landscape areas have been delineated on the Landscaping Plan. Pervious and impervious surface square footages have also been shown.

If you have any further questions, please do not hesitate to call me at 761-9000. Thank you very much for all your help.

Sincerely

A handwritten signature in black ink, appearing to read "Mark Chaloupecky". The signature is fluid and cursive, with a long horizontal flourish extending to the right.

Mark Chaloupecky
Port City Architecture

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2005-0019
Application I. D. Number

2/8/2005
Application Date

Ron Gan
Applicant
4646 N. Hermitage, Chicago, IL 60640
Applicant's Mailing Address

Federal Street Townhomes
Project Name/Description

Consultant/Agent
Applicant Ph: (773) 878-7078 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

44 - 44 Federal St, Portland, Maine
Address of Proposed Site
020 D011001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

18,430 s.f. Proposed Building square Feet or # of Units _____ Acreage of Site _____ R7 Zoning

Check Review Required:

- | | | | |
|-------------------------------------------------------------|--------------------------------------------------------------------|------------------------------------------------|--------------------------------------------------|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input checked="" type="checkbox"/> Subdivision # of lots <u>8</u> | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBNPB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla \$500.00 Subdivision _____ Engineer Review _____ Date 2/9/2005

Zoning Approval Status:

- Approved Approved w/Conditions See Attached

Reviewer Marge Schmuckal - Inspections
 Denied

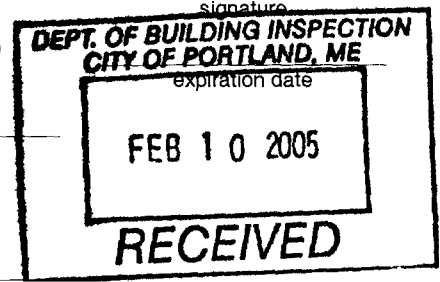
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|-------------------------------------------------------------|----------------------|----------------------------------------------------|-----------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ date | _____ amount | |
| <input type="checkbox"/> Building Permit Issue | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date | <input type="checkbox"/> Conditions (See Attached) | |
| <input type="checkbox"/> Final Inspection | _____ date | _____ signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date | _____ signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ date | _____ signature | |



Schedule of Special Inspections – Exhibit B

WALL PANEL & VENEER CONSTRUCTION

Project: 44 Federal Street, Portland, ME
 Date Prepared: 07/11/2005

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	REV
IBC Section 1704.10 1. Verify exterior and interior architectural wall panels and the anchoring of veneers for building assigned to Seismic Design Category E or F.	N	N/A	Seismic Design Category: D				

Wall panels and Veneers have been reviewed in accordance with section 1704.10 of the IBC Code

Special Inspector _____ Date _____

QUALITY ASSURANCE FOR SEISMIC RESISTANCE CHECK LIST [IBC 1705]

Project: 44 Federal Street, Portland, ME

Date Prepared: 07/11/2005

--

FOR SEISMIC DESIGN CATEGORY C OR HIGHER

<p>Structural:</p> <p><input checked="" type="checkbox"/> The seismic-force-resisting systems</p> <p style="margin-left: 20px;"><input type="checkbox"/> Steel Braced Frames and associated connections/anchorage</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> Steel Moment Frames and associated connections</p> <p style="margin-left: 20px;"><input type="checkbox"/> Shear walls: <input type="checkbox"/> CMU <input checked="" type="checkbox"/> Wood <input type="checkbox"/> Concrete</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> Diaphragms: <input checked="" type="checkbox"/> Floor <input type="checkbox"/> Roof</p> <p style="margin-left: 20px;"><input type="checkbox"/> other:</p>	SER
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<p>Mechanical/Piping:</p> <p><input checked="" type="checkbox"/> Heating, ventilating and air-conditioning (HVAC) ductwork containing hazardous materials and anchorage of such ductwork</p> <p style="margin-left: 20px;"><input type="checkbox"/> Hazardous Material:</p> <p style="margin-left: 20px;"><input type="checkbox"/> Hazardous Material:</p> <p><input checked="" type="checkbox"/> Piping systems and mechanical units containing flammable, combustible or highly toxic materials</p> <p style="margin-left: 20px;"><input type="checkbox"/> Material:</p> <p style="margin-left: 20px;"><input type="checkbox"/> Material:</p>	MER
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<p>Electrical:</p> <p><input type="checkbox"/> Anchorage of electrical equipment used for emergency or standby power systems</p> <p style="margin-left: 20px;"><input type="checkbox"/> Equipment:</p> <p style="margin-left: 20px;"><input type="checkbox"/> Equipment:</p> <p style="margin-left: 20px;"><input type="checkbox"/> Equipment:</p>	EER
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<p>Architectural:</p> <p><input checked="" type="checkbox"/> Exterior wall panels and their anchorage</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> Precast concrete</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> Brick</p> <p style="margin-left: 20px;"><input type="checkbox"/> Stone:</p> <p style="margin-left: 20px;"><input type="checkbox"/> Other:</p> <p><input type="checkbox"/> Suspended ceiling systems and their anchorage</p> <p><input type="checkbox"/> Access floors and their anchorage</p> <p><input type="checkbox"/> Steel storage racks and their anchorage</p> <p style="margin-left: 20px;"><input type="checkbox"/> Retail Storage Racks</p> <p style="margin-left: 20px;"><input type="checkbox"/> High Density Files</p> <p style="margin-left: 20px;"><input type="checkbox"/> other:</p> <p><input checked="" type="checkbox"/> Life-safety component required to function after an earthquake:</p> <p style="margin-left: 20px;"><input type="checkbox"/> Engineered Egress Stairs</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> Fire Protection Sprinkler System</p> <p style="margin-left: 20px;"><input type="checkbox"/> Other:</p> <p style="margin-left: 20px;"><input type="checkbox"/> Other:</p> <p style="margin-left: 20px;"><input type="checkbox"/> Other:</p>	AR
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ADDITIONAL SYSTEMS FOR SEISMIC DESIGN CATEGORY D OR HIGHER

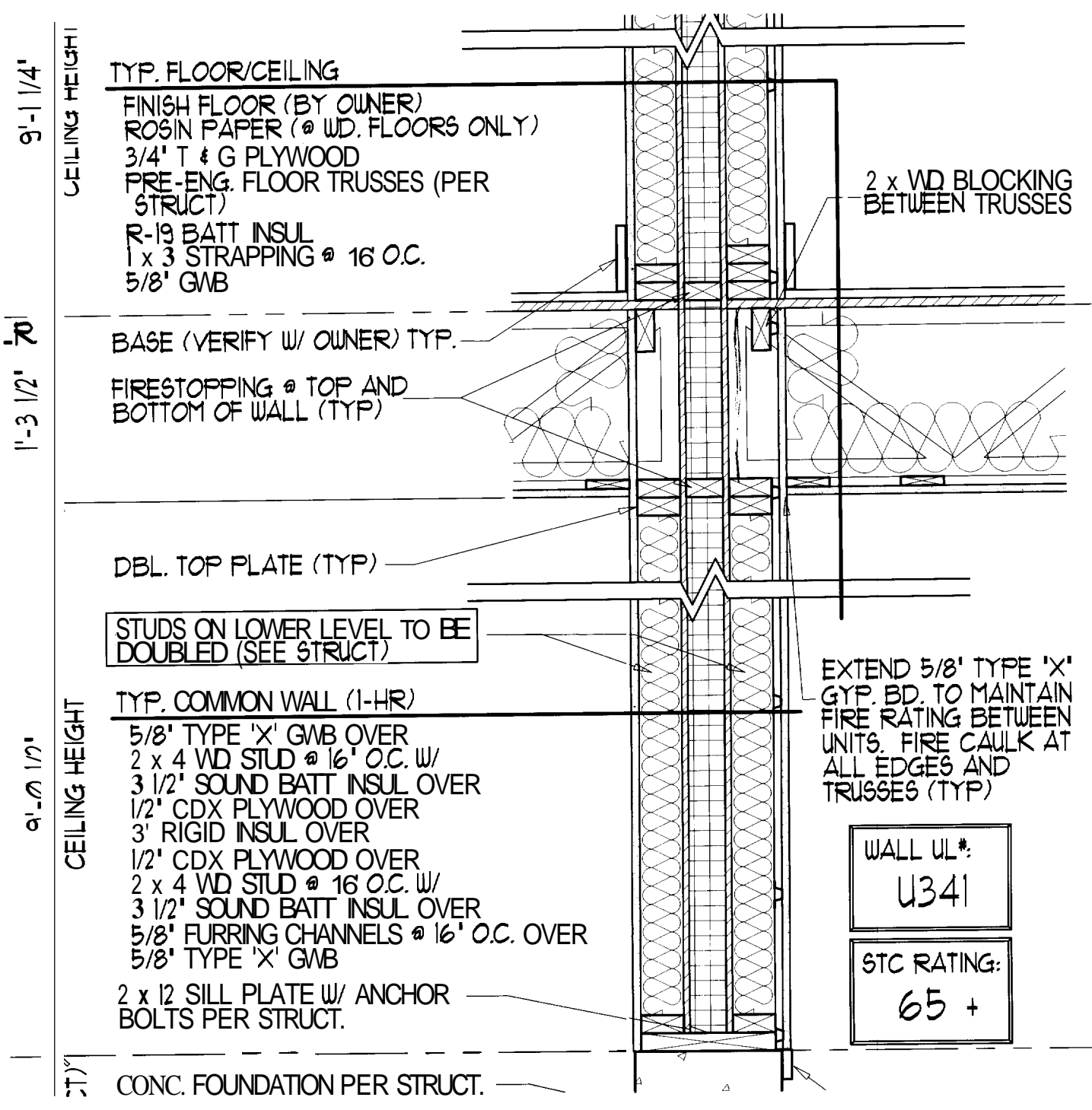
<p>Electrical:</p> <p><input checked="" type="checkbox"/> Electrical equipment</p>	EER
-------------------------------------------------------------------------------------------	-----

Signature 8/24/05
 Structural Engineer of Record (SER) Date

Registered Architect of Record (RAR): 8/24/05
 Signature Date
 Electrical Engineer of Record (EER):

Signature _____ Date _____
 Building Code Official's Acceptance:

Signature _____ Date _____



9'-1 1/4"

CEILING HEIGHT

TYP. FLOOR/CEILING
 FINISH FLOOR (BY OWNER)
 ROSIN PAPER (@ WD. FLOORS ONLY)
 3/4" T & G PLYWOOD
 PRE-ENG. FLOOR TRUSSES (PER STRUCT)
 R-19 BATT INSUL
 1 x 3 STRAPPING @ 16" O.C.
 5/8" GMB

2 x WD BLOCKING BETWEEN TRUSSES

11'-3 1/2"

BASE (VERIFY W/ OWNER) TYP.
 FIRESTOPPING @ TOP AND BOTTOM OF WALL (TYP)

DBL. TOP PLATE (TYP)

STUDS ON LOWER LEVEL TO BE DOUBLED (SEE STRUCT)

EXTEND 5/8" TYPE 'X' GYP. BD. TO MAINTAIN FIRE RATING BETWEEN UNITS. FIRE CAULK AT ALL EDGES AND TRUSSES (TYP)

9'-0 1/2"

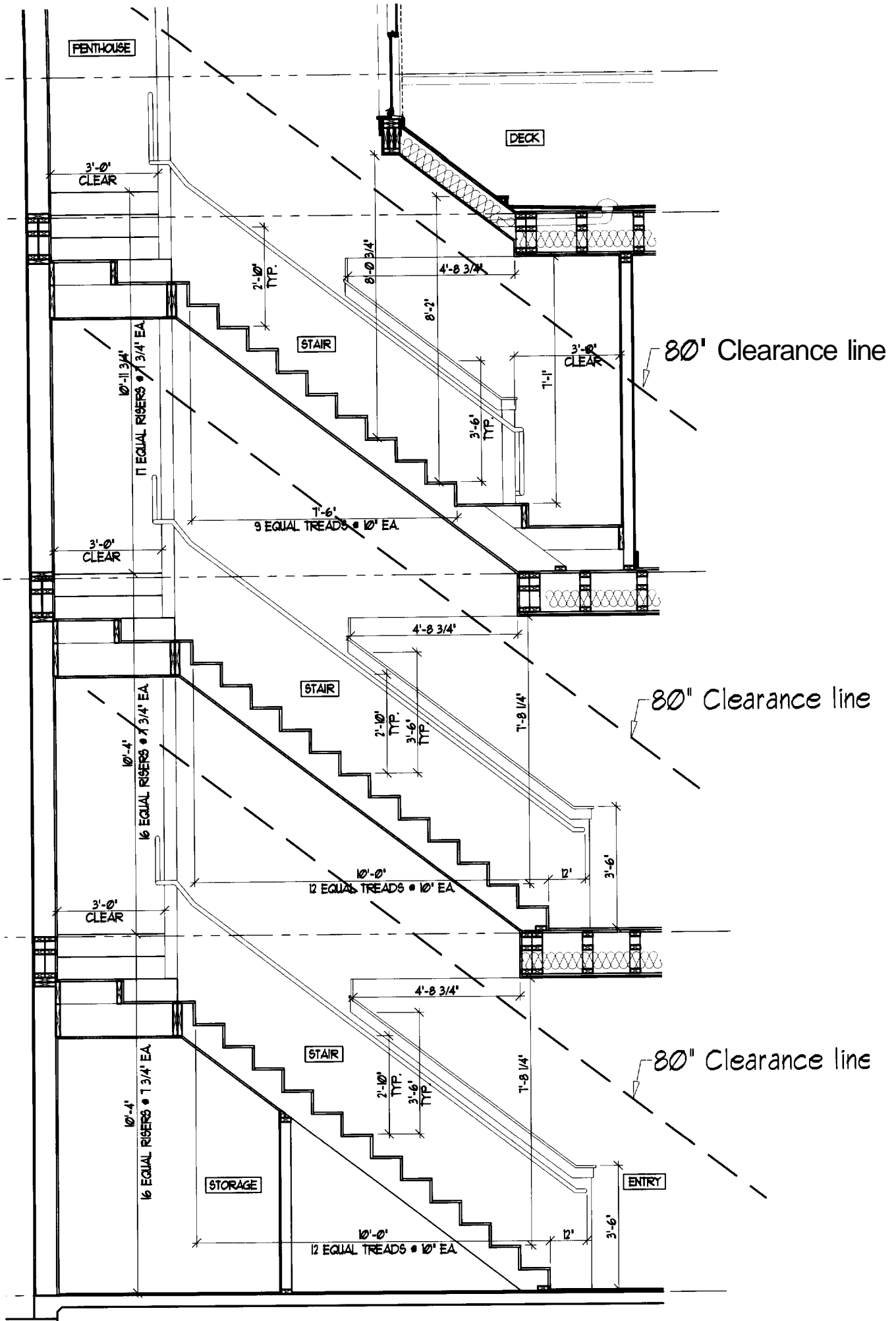
CEILING HEIGHT

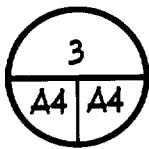
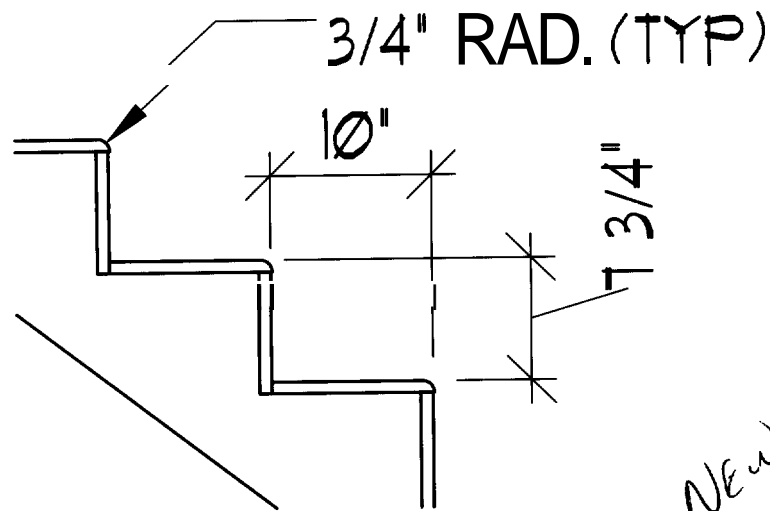
TYP. COMMON WALL (1-HR)
 5/8" TYPE 'X' GMB OVER
 2 x 4 WD STUD @ 16" O.C. W/
 3 1/2" SOUND BATT INSUL OVER
 1/2" CDX PLYWOOD OVER
 3" RIGID INSUL OVER
 1/2" CDX PLYWOOD OVER
 2 x 4 WD STUD @ 16" O.C. W/
 3 1/2" SOUND BATT INSUL OVER
 5/8" FURRING CHANNELS @ 16" O.C. OVER
 5/8" TYPE 'X' GMB
 2 x 12 SILL PLATE W/ ANCHOR BOLTS PER STRUCT.

WALL UL*:
 U341

STC RATING:
 65 +

CONC. FOUNDATION PER STRUCT.



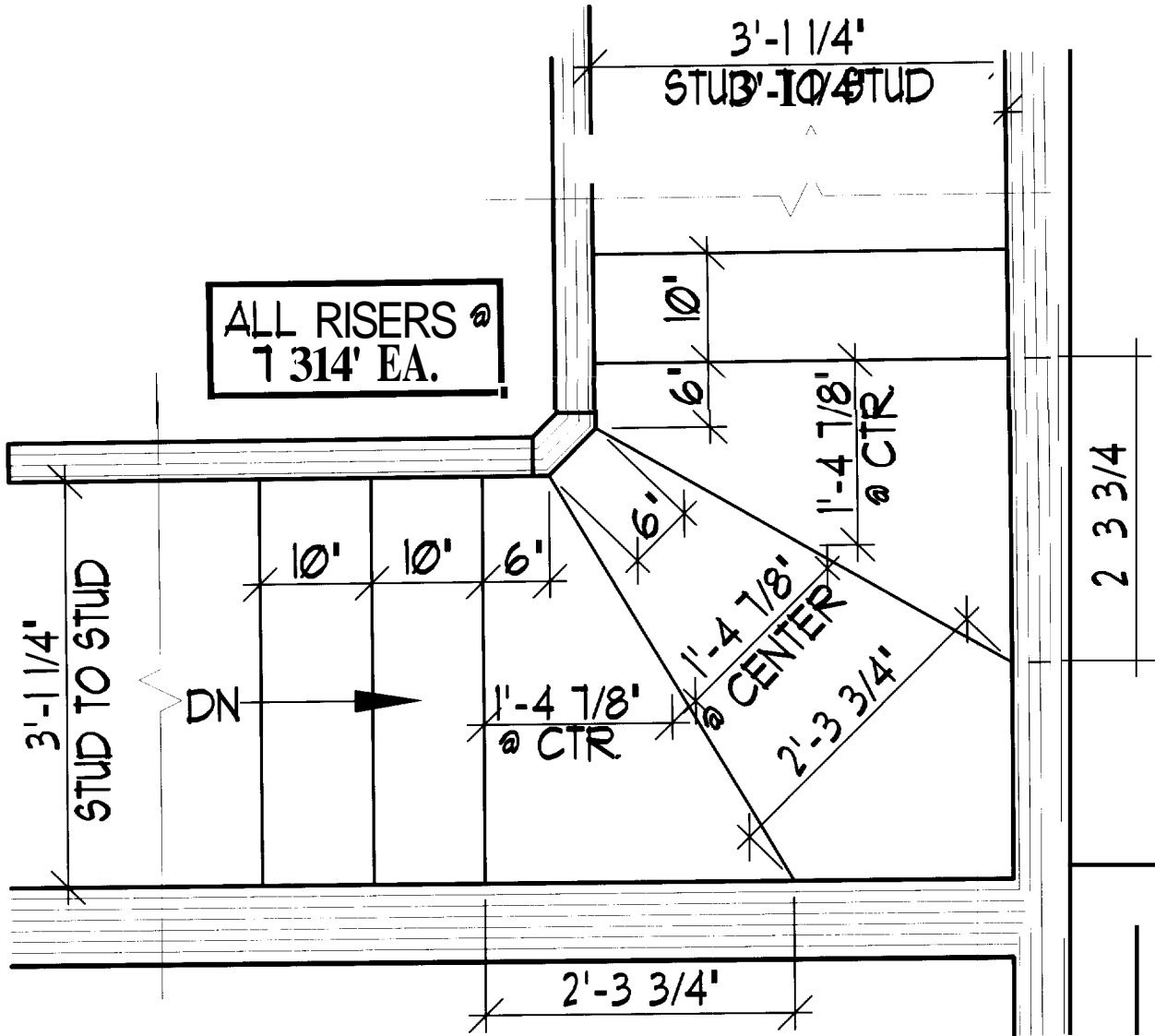


STAIR NOSING DETAIL

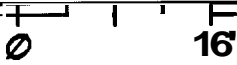
SCALE: 1' = 1'-0"

NEW
PLAN
WILL
SHOW
3/4" NOSING
CMB

Handwritten notes in the bottom right corner, including the word 'NEW', 'PLAN', 'WILL', 'SHOW', '3/4" NOSING', and a signature 'CMB'.



WINDER STAIR DETAIL - TYP.



SCALE: 3/4" = 1'-0"

August 24, 2005



Mr. Mike Nugent
Manager of Inspection Services
City of Portland, Maine
Portland City Hall
389 Congress Street
Portland, Maine 04101

Re: 44 **Federal Street Condominiums**
44 Federal Street
Portland, ME 04101

Dear Mr. Nugent,

The following are our responses to your plan review for the above referenced project, emailed to our office on 8-16-05:

Building Permit Application Form:

1. The third Certification Form has been updated to show the R-3 Use Group and the Construction Type of 5-B. See attached.

Existing Concrete Retaining Wall:

1. Originally and at the time of Ethan's letter (Becker Structural), the new condominiums were being built extremely close to the existing retaining wall. Since Site Plan Review, the buildings have been moved per Becker Structural's recommendations as not to affect the existing retaining wall. The foundations have been designed so that in case of a complete failure of the existing concrete retaining wall, the new condominiums will not be affected. Please refer to Detail 13, Sheet S2.2 of the submitted plan set. A letter is being sent to you from Becker Structural to further attest to the conditions and required engineering.

Special Inspections:

1. Page 8 has been revised to reflect the Design Category "D", see attached.
2. Page 10 has been updated to include the required reviews from the Registered Architect of Record, and a Special Inspection of the Fire Sprinkler System (provided by the installer as per the Project Specifications). Pages 11 and 12 will be completed by the Electrical and Mechanical Engineers once they are chosen. Notes to insure inspections have been added to Sections 15 and 16 of the Project Specifications. Page C1 has been updated to include the signatures from the Architect of Record and the Structural Engineer.

Fire Separation / Party Walls:

1. The party walls between condominium units are designed for UL #341. We have updated the wall detail at the floor / ceiling level to provide for continuous fire protection between units. See attached detail.

Remaining Comments:

1. A Fire Alarm System complying with NFPA will not be installed. The owners (buyers) of the condominiums have an option to have a Fire Alarm System tied into an optional Security System. These systems are up to each individual buyer of the condominiums and are completely optional.
2. Smoke detector locations will be added to the Electrical Plans. Locations of smoke detectors will comply with Section (F)907.2.10.1.1 of IBC 2003.
3. The stairway head height clearances have been checked. A sketch showing the 8' 0" clearance (represented by the dashed line) is attached.
4. A ¾" nosing will be added to the stair profile per Section 1009.3 (Exception #5) of IBC 2003. Refer to added detail 3, Sheet A4 (also attached).
5. Riser dimensions are 7 ¾" and are shown on each set of stairs on Details 1 and 2, Sheet A5.2.
6. Per Section 406.1.4(1) of IBC 2003, a note will be added to the Door and Frame Schedule on Sheet A6, for a contractor's option to provide either a solid core or a 20-minute door between all Garages and Entries.
7. Per Section 406.1.4(1) of IBC 2003, 5/8" Type "X" gyp. board will be installed on the ceilings of all Garages. Also, 5/8" gyp. board will be on all walls (see Wall Types, Sheet A1). This exceeds the ½" gyp. board requirement per the above referenced section.
8. The double 3' x 6' windows in each bedroom are the designated egress windows. The sill height is approximately 24" above finish floor. Per George Wright at Adam Windows, the Eagle window specified for these openings has an opening (with the sash in the "up" position) of 7.01 s.f., an opening width of 31 9/16", and an opening height of 3' 2". A "Keyed Note" has been added to Sheets A1, A1.1, and A1.2, to call out the egress windows.
9. Section 1009.3.1 of IBC 2003, Exception #2, allows for consistently shaped winder stairs within the stairway. The winder stairs have been modified to have consistent tread widths at the inside, the center, and the outside of the treads. Refer to modified Detail 3, Sheet A5.2 (also attached).
10. Interior finishes are per the owner and have not completely been determined. Notes will be added to the Project Specifications in Division 9, to insure that interior finishes will have a flame spread less than 200 and a smoke development less than 450, to be in compliance with Class C finishes as per Section 803.1 of IBC 2003.
11. Per Table 1505.1 of IBC 2003, for the 5-B Construction Type, the building is required to have a Class C roofing assembly. Notes requiring a Class C assembly have been added to Section 07530 of the Project Specifications. In addition, cut sheet submittals are required prior to installation. Also, requirements have been added to Section 07530 of the Project Specifications for the membrane to meet the breaking strength requirements and exposure requirements in Sections 1504.6 and 1504.7 of IBC 2003. Notes have also been added to Section 07610 for the metal roof to comply with the

exposure requirements in Section **1504.6** of IBC **2003**.

12. The Mechanical, Electrical, and Plumbing systems are design-build. In the Project Specifications (Divisions 15 and 16), signed and sealed shop drawings are required to be submitted prior to issuance of a Mechanical, Electrical, or Plumbing permits.
13. Notes have been added to Section **15** of the Project Specifications that shop drawing submittals on Mechanical equipment demonstrate compliance with the 2003 International Energy Code.

We will incorporate all of these updates within the Construction Set of plans and Specifications. Please let me know if all is acceptable and we will forward to you copies of the final plan sets and specifications as required (if all items have been addressed).

A copy of this letter will be forwarded to Mr. Ron Gan (owner). If you have any further questions, please do not hesitate to call me at **761-9000**. Thank you very much for all your help.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mark Chaloupecky', with a long, sweeping horizontal flourish extending to the right.

Mark Chaloupecky
Port City Architecture

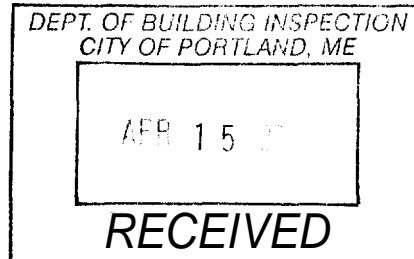
CITY OF PORTLAND, MAINE

PLANNING BOARD

Orlando E. Delogu, **Chair**
Lee Lowry III, **Vice Chair**
John Anton
Kevin Beal
Michael Patterson
David Silk
Janice E. Tevanian

March 23, 2005

Mr. Ronald Gan
4646 N. Hermitage Avenue
Chicago, Illinois 60640



RE: 44 Federal Street - Site Plan and Subdivision Application
App ID# 2005-0019, CBL #20-D-11

Dear Mr. Gan:

On March 22, 2005 the Portland Planning Board voted 7-0 to approve the above referenced Site Plan application. The approval was granted for the project based on findings and subject to conditions as follows:

1. That the plan is in conformance with the subdivision standards of the land use code.

Conditions of Approval:

- i. The applicant shall work with the City Arborist on the final species selection, counts, locations, and planting details of street trees fronting the site. Whereas 14 street trees are required of the project under §14-499(f), the applicant shall pay \$200 into the street tree fund for use in the vicinity of the site for each tree less than 14 provided.
- ii. The applicant shall prepare and present condominium documents subject to final review and approval by corporation counsel.
- iii. The applicant shall revise the plan to call out an on-site reserve area for a potential future retaining wall along the southern edge of the site.

On March 22, 2005 the Portland Planning Board also voted 7-0 to approve the above referenced Subdivision application. The approval was granted for the project based on findings and subject to conditions as follows:

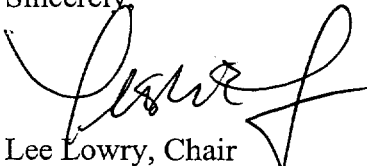
building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

3. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
4. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
5. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Department at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions related to the conditions of approval, the recording of the subdivision plat, or otherwise please contact Ethan Boxer-Macomber at 756-8083 or ebm@portlandmaine.gov.

Sincerely,



Lee Lowry, Chair
Portland Planning Board

cc: Lee D. Urban, Planning and Development Department Director



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04 101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Port City Architecture

RE: Certificate of Design

DATE: 7/11/05

These plans and/ or specifications covering construction work on:

7 unit condominium building @
44 Federal Street

Have been designed and drawn **up** by the undersigned, a Maine registered Architect/
Engineer according to the 2003 International Building Code and local amendments.



As per Maine State Law

\$50,000.00 or more in new construction, repair
expansion, addition, or modification for
Building or Structures, shall be prepared by a
registered design Professional.

Signature: [Handwritten Signature]

Title: Vice President

Firm: Port City Architecture

Address: 65 Newbury St.
Portland, ME 04101

FROM DESIGNER: Barker Structural Engineers

DATE: July 6, 2005

Job Name: Federal St Townhomes

Address of Construction: 44 Federal St, Portland, ME 04101

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year 2003 IRC Use Group Classification(s) RESIDENTIAL

Type of Construction Light Frame Wood

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Y (12K)

Is the Structure mixed use? If yes, separated or non separated (see Section 302.3) NO

Supervisory alarm system? Geotechnical/Soils report required? (See Section 1802.2) NO

STRUCTURAL DESIGN CALCULATIONS

Submitted for all structural members (100.1, 100.1.1)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS

(1003)

Uniformly distributed floor live loads (703.21, 1007)

Floor Area Use

Loads Shown

RESIDENTIAL

APRIF

Wind loads (1609.1.4, 1609)

Design option utilized (1609.1.7, 1609B)

Basic wind speed (1609.3)

Building category and wind importance factor, I_w (Table 1604.6, 1609B)

Wind exposure category (1609.4)

Internal pressure coefficient (ASCE 7)

Component and cladding pressures (1609.1.1; 1609.6.2.2)

Main force wind pressures (703.1.7, 1609.6.2.1)

Earthquake design data (1609.1.6, 1614, 1629)

Design option utilized (1614.1)

Seismic use group ("Category") (Table 1604.5, 1614.2)

Spectral response coefficient, S_{DS} & S_{D1} (1615.1)

Site class (1616.1.6)

Other loads

Concentrated loads (1607.4)

Partition loads (1607.5)

Impact loads (1607.8)

Misc. loads (Table 1607.6, 1607.8.1, 1607.7, 1607.12, 1607.13, 1510, 1611, 2404)

Response modification coefficient, R , and deflection amplification factor, C_d (Table 1617.2.2) $3/4$

Seismic design category (1616.5)

Shear walls (wood) and seismic-force-resisting system (Table 1617.2.2)

Design procedure (1616.6, 1617.5)

Analysis procedure (1617.4, 1617.5.1)

Roof live loads (1603.1.2, 1607.11)

Roof snow loads (753.7.3, 1609)

Ground snow load, P_g (1608.2)

Roof snow load, P_f (1608.3)

Roof snow load, P_s (1608.4)

Roof thermal factor, C_t (Table 1608.2.2)

Roof live loads (1603.1.2, 1607.11)

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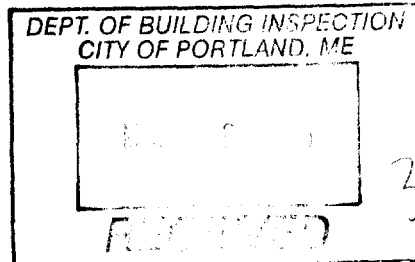
Roof thermal factor, C_t (Table 1608.2.2)

Roof live loads (1603.1.2, 1607.11)</

March 8, 2005



Mr. Ethan Boxer-Macomber
City Planner
Planning and Development Dept.
Portland City Hall
389 Congress Street
Portland, ME 04101



Re: **44 Federal Street site plan review**

Dear Mr. Boxer-Macomber,

This letter is the narrative companion for the attached drawings. These drawings have been revised per the Planning Board's recommendations in the latest Workshop meeting.

SURVEY

The Zoning Information has been updated to reflect the change to the R-7 overlay district.

SITE DEVELOPMENT PLAN

The proximity of the new buildings to the existing concrete retaining wall was of particular concern to the Planning Board. As discussed, this created several potential problems including access to the rear yards, actual construction of the new units, negative impact to the existing wall, and any potential impact to the new units should there be a complete failure in the existing concrete wall causing its collapse.

This project has undergone several changes in response. As shown on Sheet SD1, the project has been reduced from eight (8) units to seven (7) units. The (previous) Units 1 and 2 have been combined forming a larger Unit 1. This allows a change in outside building dimensions to approximately 30'-0" x 30'-0" therefore reducing its width by 5'-4" and reducing its length by 12'-0". This change allows access to the rear yards through the west side of the site as well as increasing the distance to the existing retaining wall. This will lessen the impact to the wall, and lessen the dependence on the wall for the project's stability. The (previous) Unit 3 has also been modified to increase the distance to the wall. It has been moved north, closer to the sidewalk, approximately four (4) feet and has been reduced in length from 48'-0" to 40'-0". Even though the Units have been pulled away from the wall, we are still anticipating some additional engineering to the foundations along the rear yards for Units 1 and 2. Currently, the owners are in the process of selecting a Structural Engineer for this purpose, as well as the remainder of the engineering for the project.

ENGINEERING PLANS

Final Site Engineering plans including grading and site utilities have been attached.

FLOOR PLANS

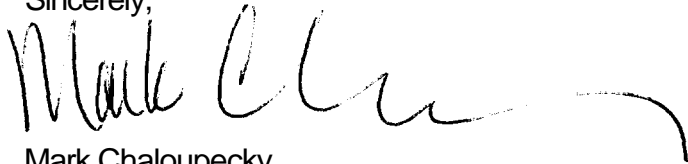
As shown on Sheets A1 and A1 - the floor plans are similar to the rest of the project. Unit 1 is approximately 3,000 s.f. and Unit 2 is approximately 2,285 s.f. Both units retain a one-car garage with accessory spaces and an elevator. The second floor consists of open living, dining, and kitchen areas, while the third floor contains the sleeping areas. Both units also retain a penthouse and roof deck.

ELEVATIONS

One of the concerns for Planning Board has been the lack of fenestration on the two side (East and West) Elevations. Locations for windows are limited along the sides due to the stairs, the elevator, the machine room, closets, and expected furniture locations. Large expanses of glass are also not desirable due to the proximity of the adjacent structures and the need for privacy. However, some windows have been added, along with copper panels and tiles to reflect the character of the building's architecture.

If you have any further questions, please do not hesitate to call me at 761-9000. Thank you very much for all your help.

Sincerely,

A handwritten signature in black ink, appearing to read "Mark Chaloupecky", with a long horizontal flourish extending to the right.

Mark Chaloupecky
Port City Architecture