

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BU TION

PERMIT

Permit Number: 108864

This is to certify that 85 INDIA STREET LLC AUG 20 2010
has permission to To change the use to - 1st floor: office and retail and 2nd floor: offices - 3rd floor 1 dwelling unit
AT 85 INDIA ST L 020 D010001
City of Portland

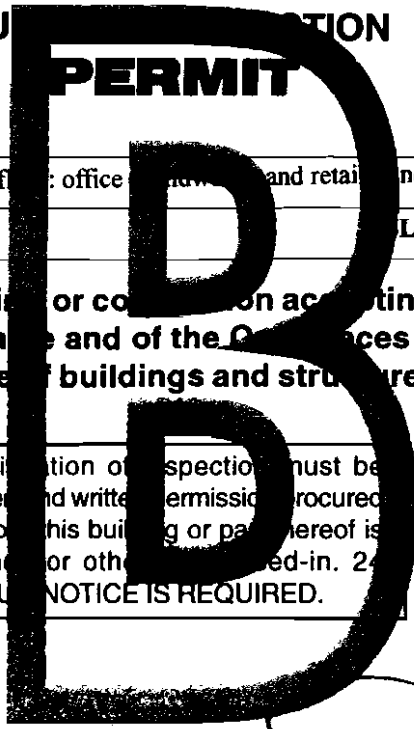
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is done-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. [Signature]
Health Dept. [Signature]
Appeal Board _____
Other _____
Department Name _____



[Signature]
Director Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



CITY OF PORTLAND
Department of Building Inspection

Original Receipt

7.20 2010

Received from Dasha LLC

Location of Work 83.85 India

Cost of Construction \$ _____ Building Fee: 30

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: 75

Total: 105

Building (12) _____ Plumbing (15) _____ Electrical (12) _____ Site Plan (12) _____

Other _____

CBL: 20 D 10

Check #: CC MC Total Collected \$ 105

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0864	Issue Date:	CBL: 020 D010001
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Location of Construction: 85 INDIA ST	Owner Name: 85 INDIA STREET LLC	Owner Address: 85 INDIA ST	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B-2b

Past Use: Commercial Office on 1st Office with 2 du above.	Proposed Use: To change the use to- First floor: office (Wildwood medicine) and retail uses - 2nd floor: offices - 3rd floor: 1 dwelling unit	Permit Fee: \$105.00	Cost of Work: \$105.00	CEO District: 1
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FIRE DEPT: Approved Denied
w/conditions
8/2/10

INSPECTION:
Use Group: B Type: 3B
IBC 2003

Signature: [Signature] Signature: [Signature]

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Proposed Project Description:
To change the use to - 1st floor: office (Wildwood) and retail - 2nd floor: offices - 3rd floor 1 dwelling unit

Permit Taken By: Idobson	Date Applied For: 07/20/2010	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: 7/30/10 [Signature]	Date:	Date:

PERMIT ISSUED

AUG 20 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0864	Date Applied For: 07/20/2010	CBL: 020 D010001
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Location of Construction: 85 INDIA ST	Owner Name: 85 INDIA STREET LLC	Owner Address: 85 INDIA ST	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: To change the use to- First floor: office (Wildwood medicine) and retail uses - 2nd floor: offices - 3rd floor: 1 dwelling unit	Proposed Project Description: To change the use to - 1st floor: office (Wildwood) and retail - 2nd floor: offices - 3rd floor 1 dwelling unit
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 07/30/2010

Note: Space is located in B-2b zone. Don't have to show parking for change of use if under 10,000 sf (this is change of use of 2500 sf.) for non residential use. **Ok to Issue:** ✓

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 08/20/2010

Note: **Ok to Issue:** ✓

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Ben Wallace Jr. **Approval Date:** 08/02/2010

Note: Third floor shall remain unoccupied. No second means of egress. **Ok to Issue:** ✓

- 1) Second floor rear exit shall discharge directly to city street with out obstruction.
- 2) Third floor shall remain unoccupied. No second means of egress.
- 3) A knox box is required.
- 4) A fire alarm system is required. A seperate fire alarm permit has already been approved.
- 5) Structure shall comply with NFPA 101 for existing mercantile use front half of first floor and existing business use of rear half of first and all of second floor.

PERMIT ISSUED

AUG 20 2010

City of Portland

Comments:

7/22/2010-mes: No floor plans submitted (only alarm plan) No parking plan submitted - I can not tell what use is being change to what - contacting owner

7/23/2010-mes: Spoke to one of the owners Sasha and explained that we need better floor plans and a parking plan - the first floor needs to show the dividing wall and explain how it is to be constructed. Parking is off-site next door - needs to show leases and how many - because I don't have scaleable plans, I can not figure out what is required for parking.

Location of Construction: 85 INDIA ST	Owner Name: 85 INDIA STREET LLC	Owner Address: 85 INDIA ST	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

7/27/2010-amachado: Received floor plans that had more information. The wall separating the two spaces on the first floor is already there. Recieved copy of lease for parking for 3 spaces next door.

PERMIT ISSUED

AUG 20 2010

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

**Please call 874-8703 or 874-8693 (ONLY)
or email: buildinginspections@portlandmaine.gov**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Final inspection required at completion of work.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

AUG 20 2010

City of Portland



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>83-85 India St</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>20</u> Block# <u>D</u> Lot# <u>10</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name _____ Address _____ City, State & Zip _____	Telephone: _____
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Sasha Rose/Daniel Katz</u> Address <u>Dasha, LLC</u> City, State & Zip <u>83 India St</u> <u>Portland ME 04101</u>	Cost Of Work: \$ _____ C of O Fee: \$ <u>75</u> Total Fee: \$ <u>105</u>
Current legal use (i.e. single family) <u>Offices 1st & 2nd 3rd Floor Dwelling</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>change of use - 1st + 2nd floors ONLY Pro to Retail 1st floor</u> <u>- 3rd floor to remain dwelling Dwelling to offices</u>	Number of Residential Units _____	
Contractor's name: _____		
Address: _____		
City, State & Zip _____		Telephone: <u>504-7098</u>
Who should we contact when the permit is ready: <u>Sasha Rose/Daniel Katz</u>		Telephone: <u>504-7095</u>
Mailing address: <u>P.O. box 7412 Portland ME 04112</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

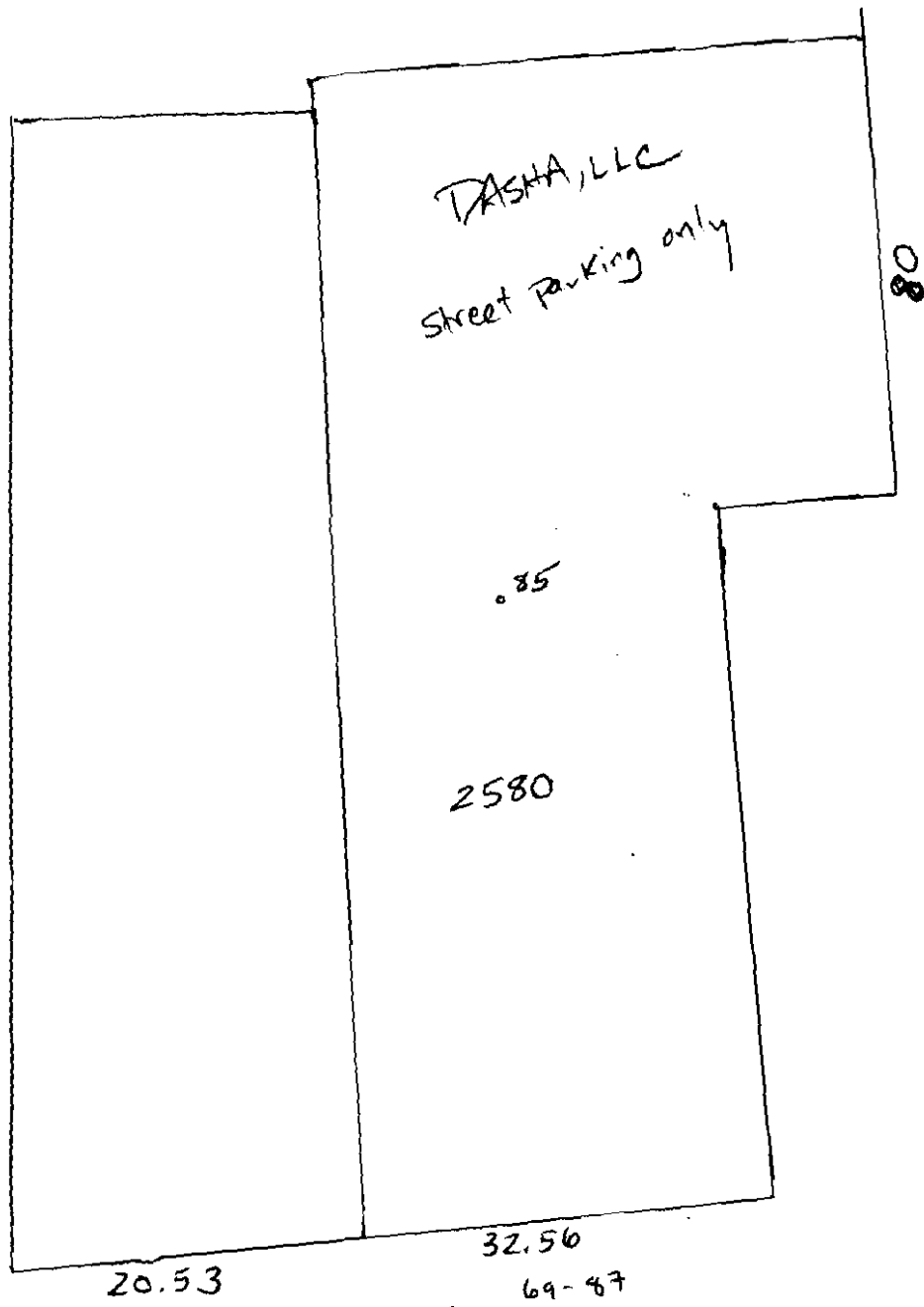
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]

Date: 7/20/10

This is not a permit; you may not commence ANY work until the permit is issue

FEDERAL ST



TASHA, LLC
Street parking only

80

.85

2580

20.53

32.56

69-87

68-84

INDIA ST

WARRANTY DEED

MAINE REAL ESTATE TAX PAID

KNOW ALL MEN BY THESE PRESENTS, that **85 INDIA STREET, LLC**, a Maine limited liability company with a place of business in Portland, Maine, for consideration paid, grant to **DASHA, LLC**, a Maine limited liability company with a place of business in Portland, Maine with a mailing address of 21 Rosedale Street, Portland, Maine 04103, with **WARRANTY COVENANTS**, the land in Portland, County of Cumberland and State of Maine, bounded and described as follows:

A certain lot or parcel of land together with any buildings and improvements thereon, situated in the City of Portland, County of Cumberland and State of Maine being more particularly described as follows:

Beginning at a point on the northeasterly sideline of India Street, opposite the center of the division wall of a block of two brick houses standing on the corner of Federal Street and India Street in the City of Portland, County of Cumberland and State of Maine, which point is twenty and fifty-three one-hundredths (20.53) feet southeasterly from the intersection of the southeasterly sideline of Federal Street with the northeasterly sideline of India Street; thence northeasterly through the center of said division wall and by an extension of that line a distance of seventy-nine and ninety-three one-hundredths (79.93) feet to a point at a fence; thence southeasterly by the line of said fence a distance of thirty-two and three one-hundredths (32.03) feet to a point marked by a stake; thence southwesterly by a line forming an included angle of eight-seven degrees, four minutes (87° 04') with the last described bound, a distance eighty (80) feet to a point and the southeasterly sideline of said India Street; thence northwesterly by the northeasterly sideline of said India Street a distance of thirty-two and fifty-six one hundredths (32.56) feet to the point of beginning.

Being the same premises conveyed to Grantor herein by Warranty Deed from Francis M. Jackson dated March 19, 2010, and recorded in the Cumberland County Registry of Deeds in Book 27657, Page 258.

IN WITNESS WHEREOF, the said Thomas F. Jewell as Manager of 85 India Street, LLC has set his hand this 7th day of June, 2010.

TE Campbell
Witness

85 INDIA STREET, LLC
BY: Thomas F. Jewell
Thomas F. Jewell
Its: Manager

STATE OF MAINE
COUNTY OF CUMBERLAND

June 7th, 2010

Then personally appeared before me, Thomas F. Jewell in his capacity as Manager of 85 India Street, LLC, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said company.

Before me,

Received
Recorded Register of Deeds
Jun 08 2010 03:37:57P
Cumberland County
Pamela E. Lovley

TE Campbell
Attorney-at Law/Notary Public
ALEXANDRA E CAMPBELL



Corporate Offices
 312 St. John Street • Portland, ME 04102
 Second Floor
 Tel. 207-828-5981 • Fax 207-761-0977

July 23, 2010

Daniel Katz

PO Box 7412

Portland, ME 04112

RE: Parking Spaces

Dear Daniel:

Enclosed please find (4) stickers for parking at the India St Lot. I understand that you want 3 spaces at \$75.00 per space per month. I have included the extra sticker for your 2 cars.

Please remit \$225.00 to Dominc Reali Realty, LLC

312 St John St

Portland, ME 04102

Please include a description of each car and the license plate #. We will begin the billings as of Aug. 1 2010, I will bill you monthly after that.

Any questions or problems please call.

Sincerely,

Marikay McGinty
 Marikay McGinty, CFO

Amato's

mmcginty@amatos.com

207-828-5981 ext 110

83-85 India

- street parking
 - spaces rented from adjacent Amato's lot (within 100')

RECEIVED

JUL 27 2010

Dept. of Building Inspections
 City of Portland Maine

- PORTLAND
 India Street
 St. John Street
 Washington Avenue
- SOUTH PORTLAND
 Broadway
- GORHAM
 Main Street
- BRUNSWICK
 Pleasant Street
- SCARBOROUGH
 Oak Hill
- SACO
 Main Street
- NORTH WINDHAM
 Route 302
- BIDDEFORD
 Route 111
- WESTBROOK
 Main Street
- BATH
 Center Street
- CATERING &
 SPECIALTY FOODS
 St. John Street

"It's Real Italian"



Dept. of Building Inspections
City of Portland Maine

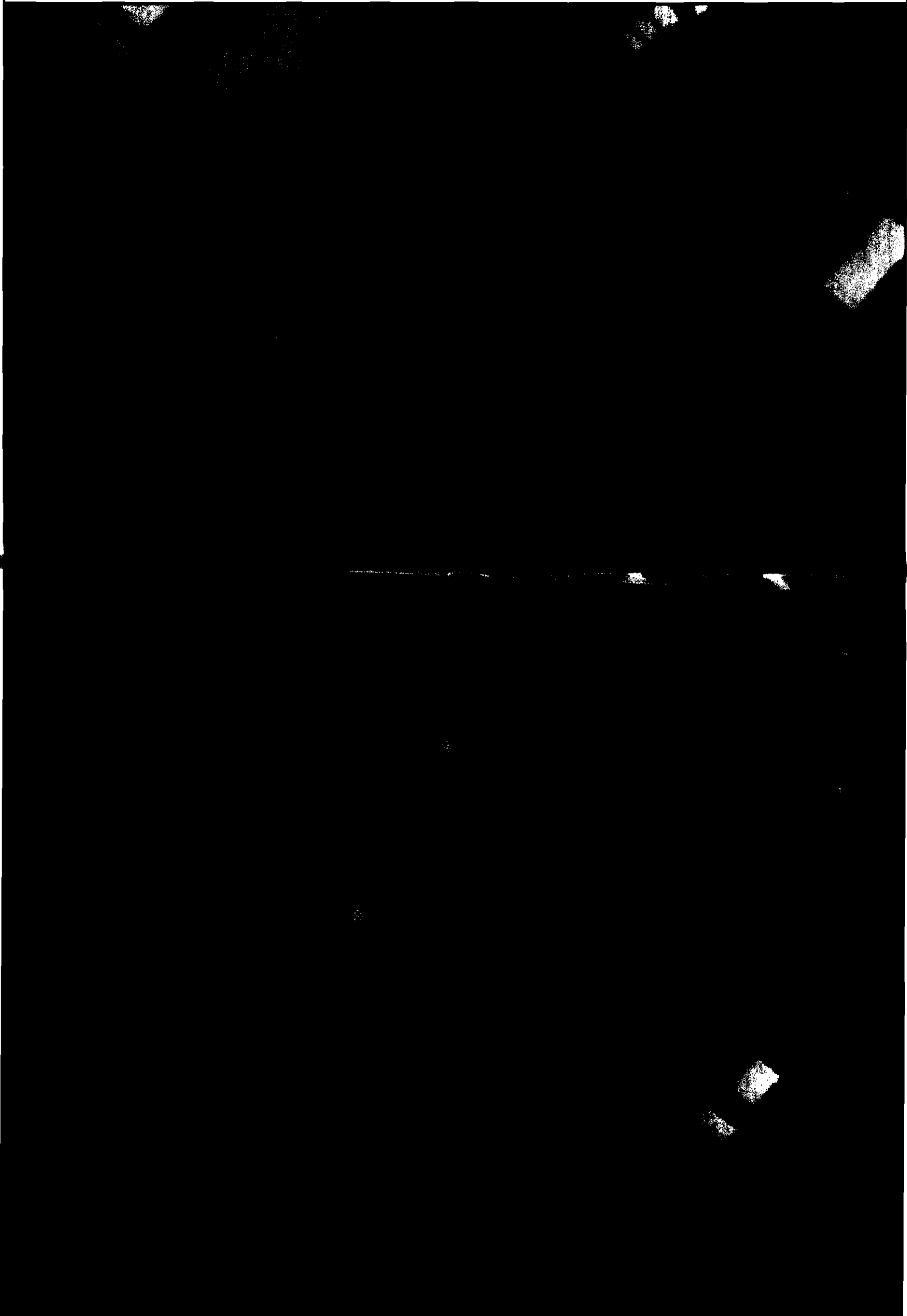
JUL 27 2010

RECEIVED

1 inch = 11 feet



Map Produced by the City of
Portland's ArcGIS Server
Web Application.



Office space 1051.5
 +1624
 2675.5

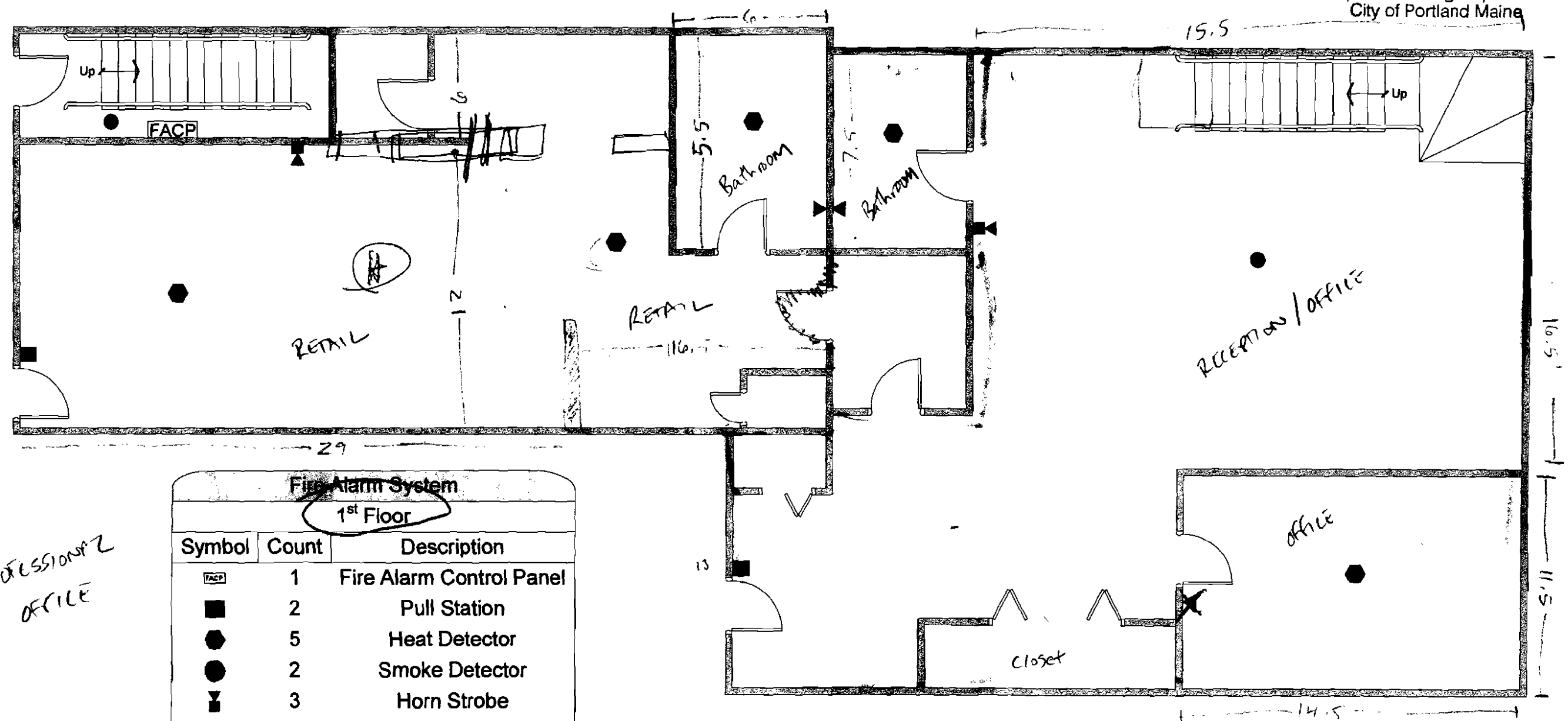
DASHA, LLC
 85 India Street, Portland, Maine 04101

6/28/10

All walls existing,
RECEIVED

JUL 27 2010

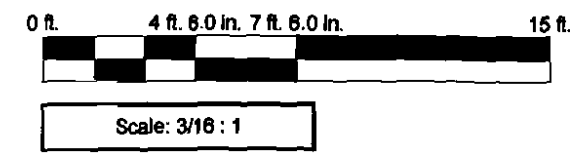
Dept. of Building Inspections
 City of Portland Maine



RETAIL/PROFESSIONAL
 OFFICE

retail space
 18' x 45.5' = 819
 11.5' x 5' = 57.5
 876.5

Fire Alarm System		
1st Floor		
Symbol	Count	Description
	1	Fire Alarm Control Panel
	2	Pull Station
	5	Heat Detector
	2	Smoke Detector
	3	Horn Strobe
	3	Strobe



26
 18' x 32.5' = 585
 13' x 14' = 182
 15' x 5' = 75
 office 1051.5

Protection One Robin Russell, Certified Engineering Technician, NICET Cert. # 110826
 10 Manuel Drive, Portland, Maine 04103 (207) 347-5327 6/28/10

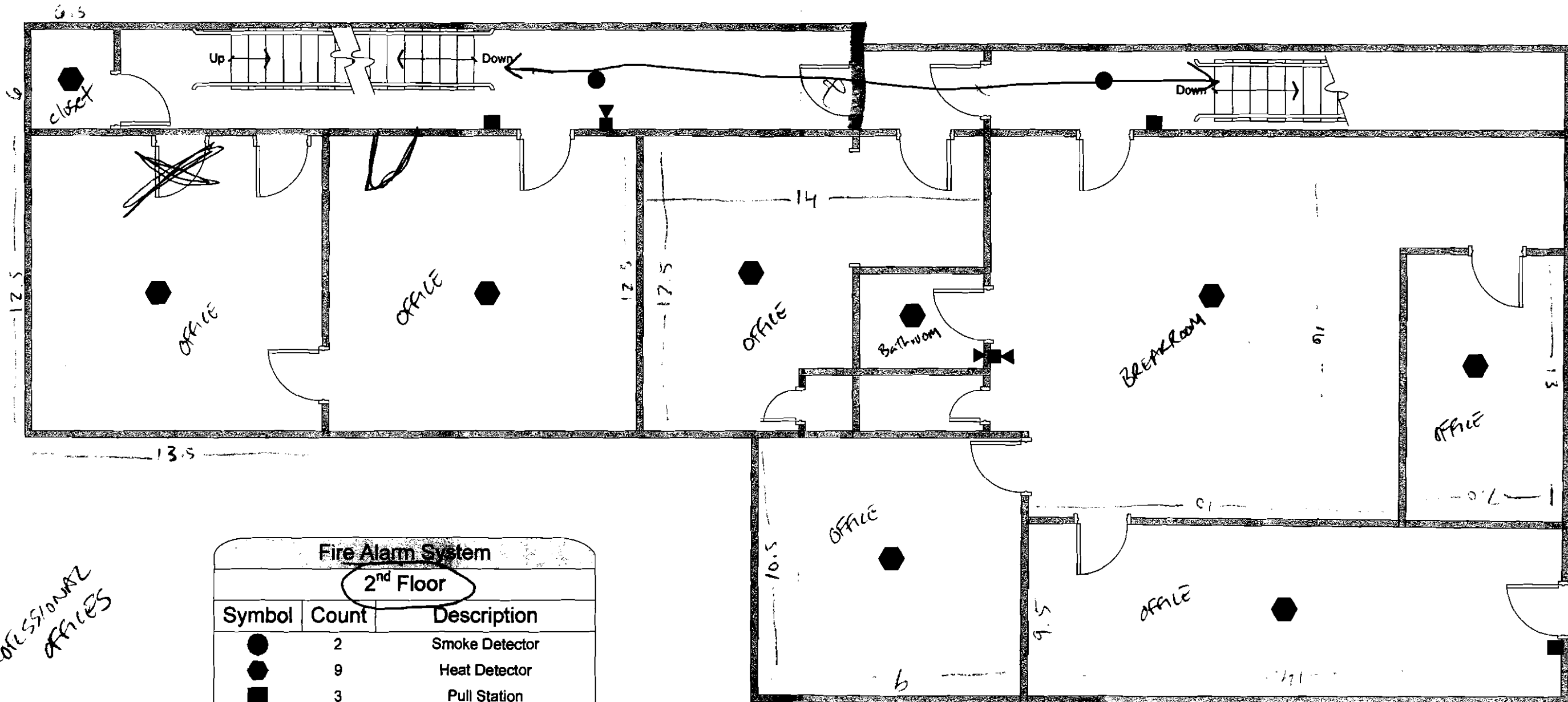
DASHA, LLC
85 India Street, Portland, Maine 04101

6/27/2010

RECEIVED

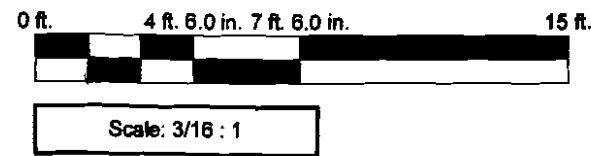
JUL 27 2010

Dept. of Building Inspections
 City of Portland Maine



Fire Alarm System		
2 nd Floor		
Symbol	Count	Description
●	2	Smoke Detector
◆	9	Heat Detector
■	3	Pull Station
▼	1	Horn Strobe
▼	1	Strobe

PROFESSIONAL OFFICES



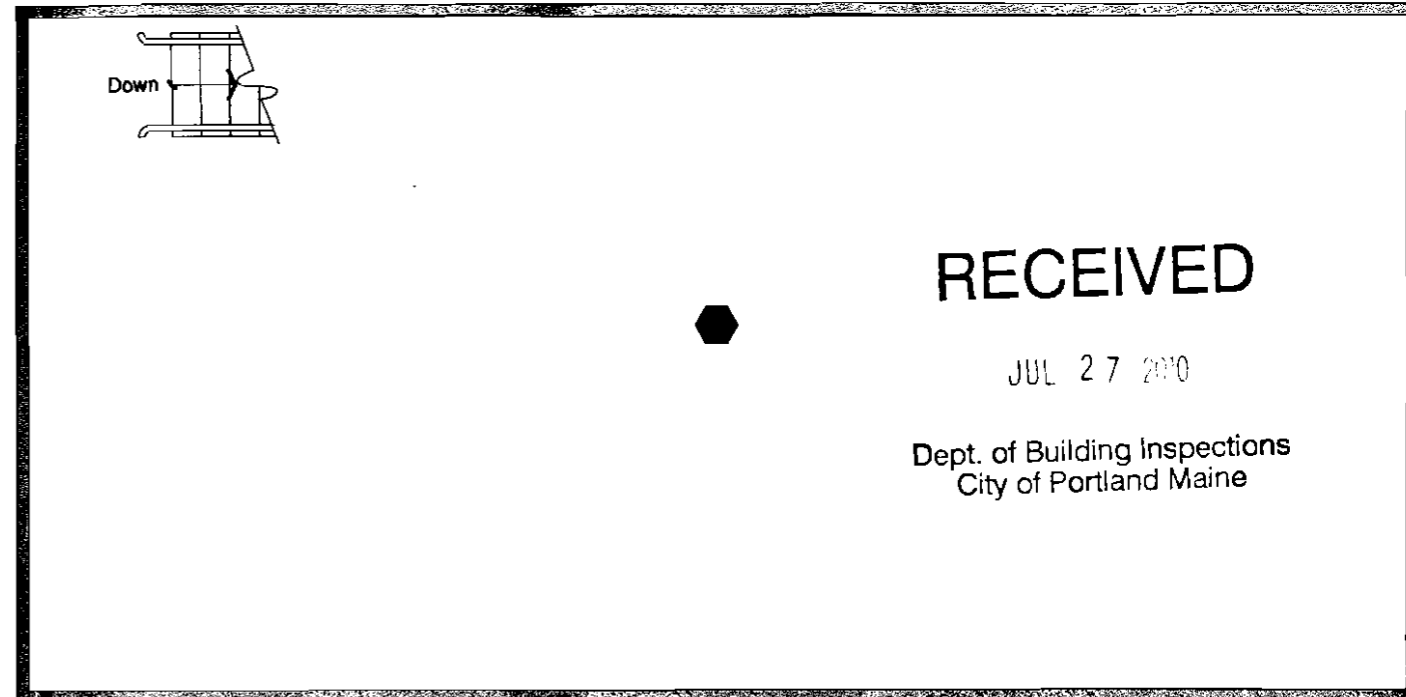
Robin Russell, Certified Engineering Technician, NICET Cert. # 110826
 10 Manuel Drive, Portland, Maine 04103 (207) 347-5327
 6/28/10

40 x 28 = 1120
 36 x 14 = 504
 1624

DASHA, LLC
85 India Street, Portland, Maine 04101

6/28/2010

Fire Alarm System		
3 rd Floor & Attic		
Symbol	Count	Description
▼	1	Hom Strobe
■	1	Pull Station
⬡	6	Heat Detector
●	1	Smoke Detector
▽	1	Strobe



RECEIVED

JUL 27 2010

Dept. of Building Inspections
 City of Portland Maine

Attic Fire Alarm System Plan

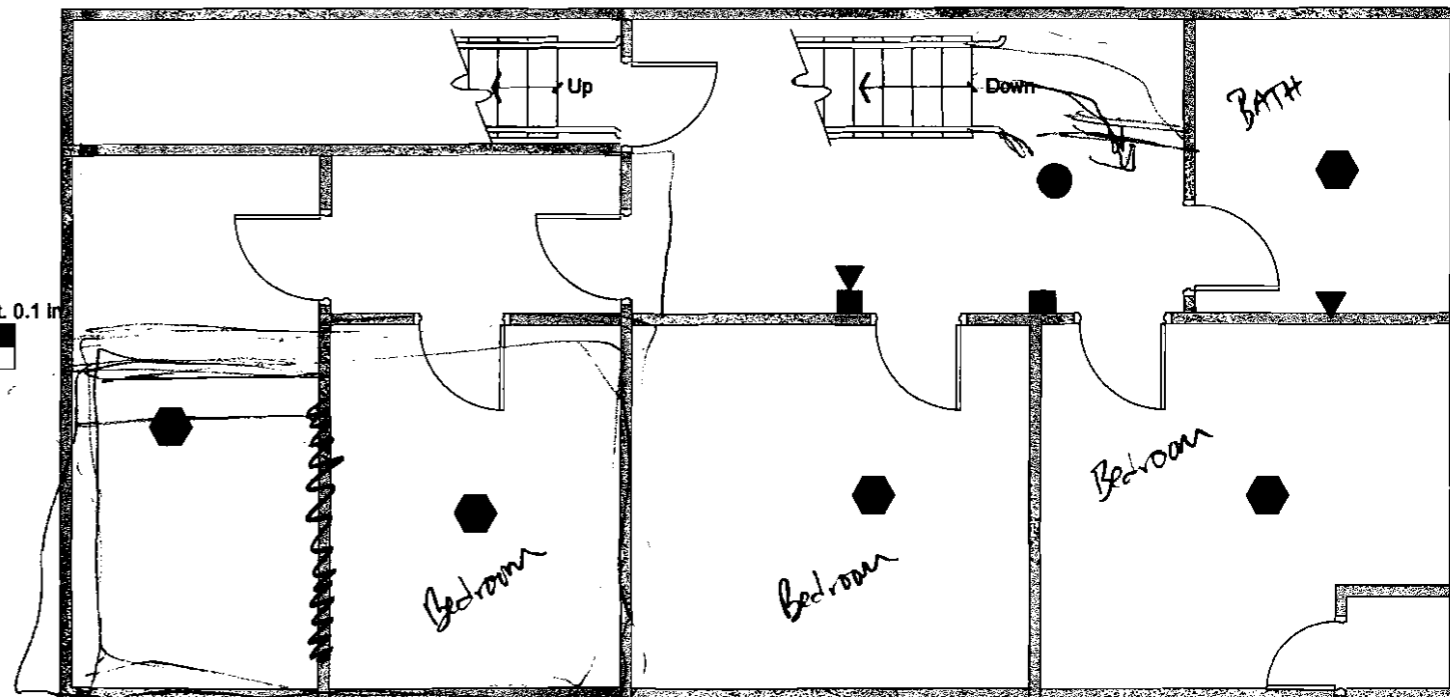
To REMAIN DWELLING

0 ft. 4 ft. 6.0 in. 7 ft. 6.1 in. 15 ft. 0.1 in.

Scale: 3/16" = 1'

- NO Kitchen at this time

** unoccupied **



3rd Floor Fire Alarm System Plan



Robn Russell, Certified Engineering Technician, NICET Cert. # 110826

10 Manuel Drive, Portland, Maine 04103 (207) 347-5327

6/28/10