

Group One Partners, Incorporated

21 West Third Street Boston, Massachusetts 02127 Phone 617.268.7000 Fax 617.268.0209 www.grouponeinc.com



March 4, 2011

Mr. Fred LaMontagne
City of Portland
380 Congress Street
Portland, ME 04101

*To Jimmy
for his
marriott*

Dear Mr. LaMontagne:

We are in receipt of your letter to Judy Judkins at the Residence Inn on Fore Street with regards to the carbon monoxide incident that has occurred at the property.

In response to item number four, the existing installation of the boiler flue and fresh air intake is installed in accordance with Code with a separation of sixteen feet exceeding the Code that requires ten.

It has been determined by the mechanical contractor, Titan, that one of the boilers (no. 4) was not running properly and discharging a high level of carbon monoxide. The current wind pattern caused the fouled discharge air to infiltrate the fresh air intake.

To remedy the current situation, the malfunctioning boiler has been shut down and the boiler flue has been extended another six feet to avoid a reoccurrence of this issue. The flue now extends above the parapet line which should further ensure that this does not happen again.

We can be available on Monday as requested if necessary.

Sincerely,

Mary Faria, AIA
Principal



Cc: Judy Judkins, Residence Inn
Paul Sullivan, PE, RW Sullivan Engineering

20-C-10

LEGEND OF SYMBOLS

(1)	COLUMN LINE NUMBER
(2)	DETAIL OR WALL SECTION NUMBER
(3)	APPEARANCE NUMBER WHERE DETAIL APPEARS
(4)	BUILDING SECTION DESIGNATION
(5)	DETAIL NUMBER
(6)	BUILDING ELEVATION DESIGNATION
(7)	DETAIL NUMBER WHERE ELEVATION APPEARS
(8)	WALL TYPE NUMBER SEE DRWG. A1.1
(9)	DOOR NUMBER SEE DRWG. A1.1
(10)	ROOF NUMBER
(11)	ROOF NUMBER

NOTES

- PROVIDE JAMB LINE SCREWS AROUND ALL PERMANENT UNITS - JAMB SCREWS OF ROOF DECK SHALL BE SPACED AT 24" ON CENTER.
- SCREWS SHALL BE STAINLESS STEEL TYPE, FINISHED WITH AN ANTI-CORROSION TREATMENT.
- PERMANENT UNITS SHALL BE INSTALLED WITH ALL GAPS, VENTS, DRAINAGE JACKS, ETC. TO ACCORDANCE WITH ALL APPLICABLE CODES AND OTHER ITEMS THAT MAY APPLY TO THE PROJECT.
- ALL ROOF DECKS SHALL BE CONSTRUCTED WITH A MINIMUM OF 2" THICKNESS AND SHALL BE FINISHED WITH A SMOOTH, LEVEL SURFACE.
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ISSUED FOR CONSTRUCTION - 11/05/07

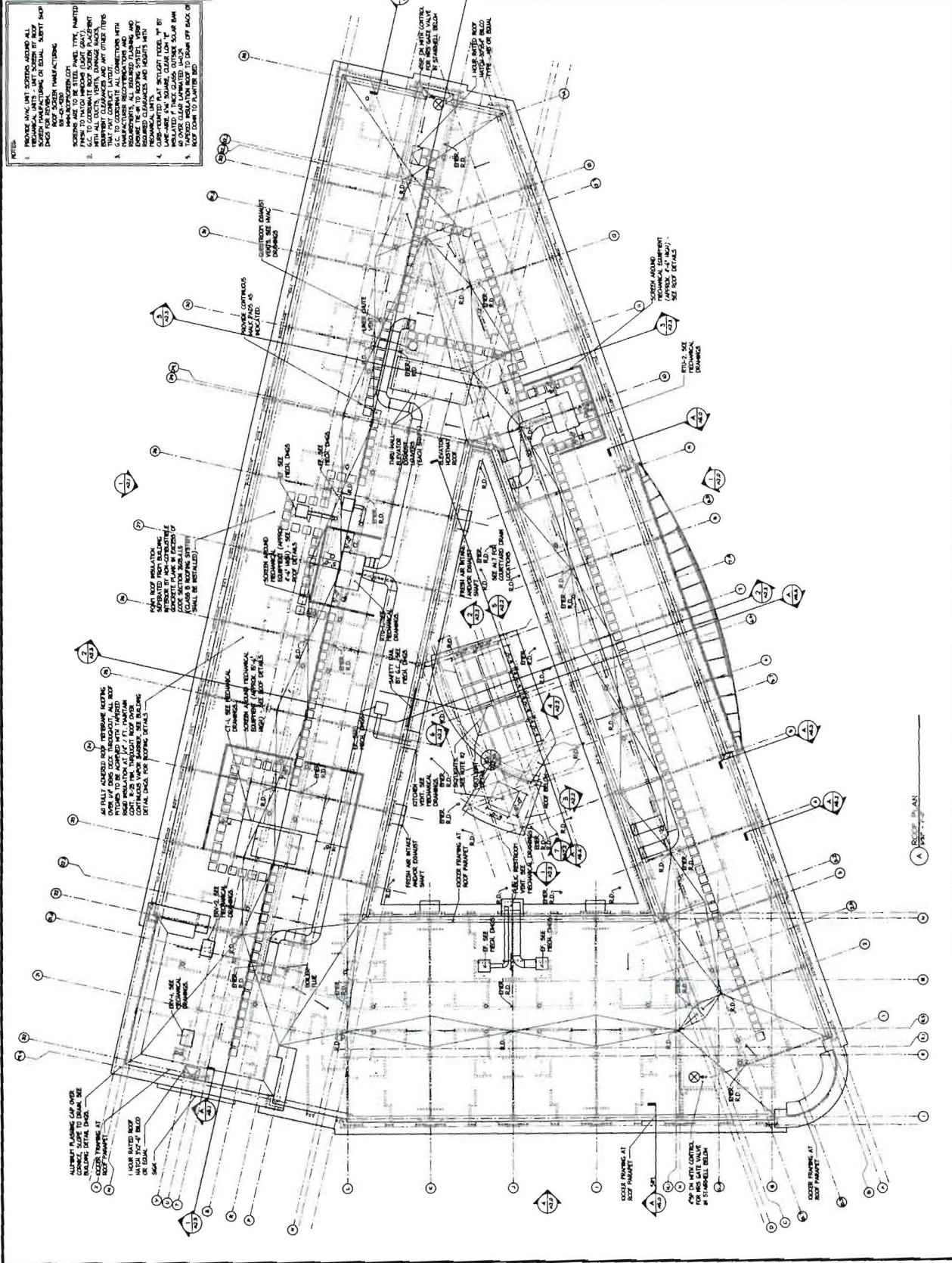
NO.	REVISION	DATE
1	SCALE: 1/8" = 1'-0"	DATE
2	DATE	CHECKED BY: JR

PROJECT
RESIDENCE INN BY MARRIOTT
PORTLAND, ME

TITLE
JOB# 802
ROOF PLAN

GROUP ONE
1000
TEL: (800) 228-7000 FAX: (800) 228-2000

DRAWING NO.
A1.3



A 1/8" = 1'-0"

ISSUED FOR
CONSTRUCTION - 11/05/07

NO.	REVISION	DATE

SCALE 3/32" = 1' 0"

DESIGNED BY: MBR
CHECKED BY: JCL



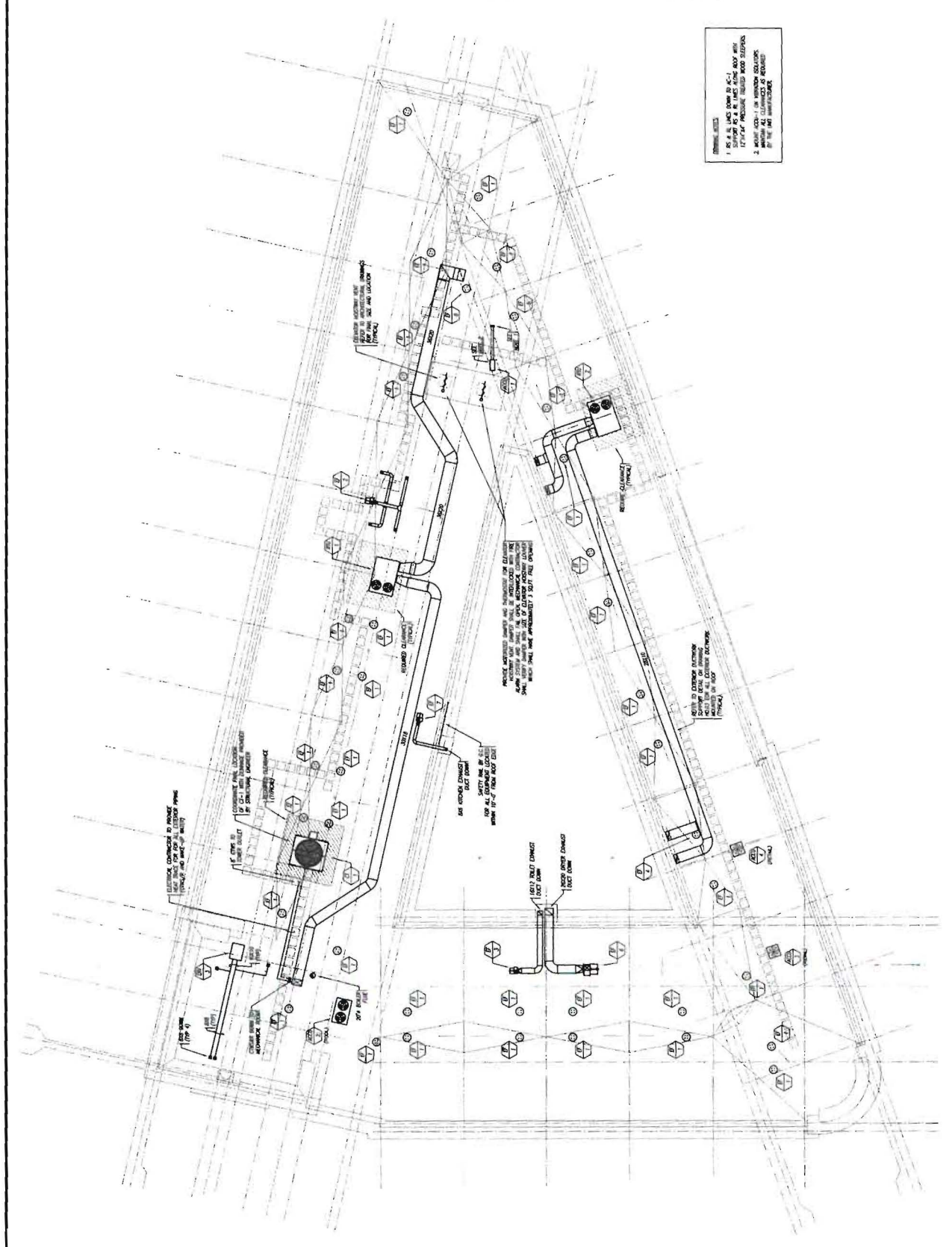
R.H. SMITH ARCHITECTS
1000 BOSTON STREET
BOSTON, MA 02207
TEL: (617) 268-7000 FAX: (617) 268-0200

PROJECT
**RESIDENCE INN
BY MARRIOTT**
PORTLAND, ME
JOB# 802

TITLE
**HVAC
ROOF PLAN**

GROUP ONE
21 W. THIRD STREET
BOSTON, MA 02207
TEL: (617) 268-7000 FAX: (617) 268-0200

DATE
H1.06



REVISIONS

1. REVISED FOR CONSTRUCTION - 11/05/07
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