

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

## BUILDING PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number: 090802

RECEIVED  
AUG 12 2009  
CITY OF PORTLAND

This is to certify that CHAPIN REALTY LLC /Ledgerwood Cor  
has permission to Current Vacant Space, Change use to Office Space with a Ten Fit-up.  
AT 147 FORE ST 020 C010001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Jackson  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Signature]* 8/11/09  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

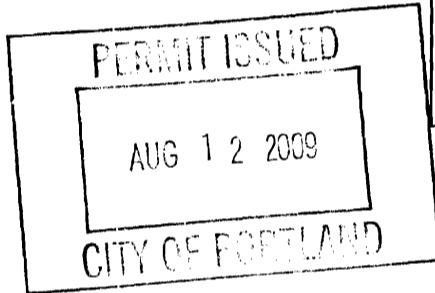
**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0802	Issue Date: 8/11/09	CBL: 020 C010001
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Location of Construction: 147 FORE ST	Owner Name: CHAPIN REALTY LLC	Owner Address: 10 MORGAN DR	Phone: 978-887-3640
Business Name:	Contractor Name: Ledgewood Construction	Contractor Address: 27 Maine St. So. Portland	Phone: 2077671866
Lessee/Buyer's Name	Phone:	Permit Type: <i>Change of Use Alterations - Commercial</i>	Zone: B-5b

Past Use: Commercial - "Residence Inn Marriott"	Proposed Use: Commercial - "Residence Inn Marriott" - Current Vacant Space, Change of use to Office Space with a Tenant Fit-up.	Permit Fee: \$245.00	Cost of Work: \$15,000.00	CEO District:
Proposed Project Description: Current Vacant Space, Change of use to Office Space with a Tenant Fit-up.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>* see Conditions</i>	INSPECTION: Use Group: <i>B</i> Type: <i>11B</i> <i>IBC 2007</i>	
		Signature: <i>(KG)</i>	Signature: <i>(Signature)</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: lmd	Date Applied For: 07/24/2009	<b>Zoning Approval</b>		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/conditions</i> Date: <i>8/11/09</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>(Signature)</i> Date: _____



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**to schedule your inspections as agreed upon**

**Permits expire in 6 months, if the project is not started or ceases for 6 months.**

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

  X   **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**


  X   **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**

**NOTE: There is a \$75.00 fee per inspection at this point.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

  
\_\_\_\_\_  
Signature of Applicant/Designee

12 Aug 09  
Date

  
\_\_\_\_\_  
Signature of Inspections Official

08/12/09  
Date

**City of Portland, Maine - Building or Use Permit**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0802	<b>Date Applied For:</b> 07/24/2009	<b>CBL:</b> 020 C010001
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<b>Location of Construction:</b> 147 FORE ST	<b>Owner Name:</b> CHAPIN REALTY LLC	<b>Owner Address:</b> 10 MORGAN DR	<b>Phone:</b> 978-887-3640
<b>Business Name:</b>	<b>Contractor Name:</b> Ledgewood Construction	<b>Contractor Address:</b> 27 Maine St. So. Portland	<b>Phone:</b> (207) 767-1866
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Commercial	

<b>Proposed Use:</b> Commercial - "Residence Inn Marriott" - Current Vacant Space, Change of use to Office Space with a Tenant Fit-up.	<b>Proposed Project Description:</b> Current Vacant Space, Change of use to Office Space with a Tenant Fit-up.
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 08/04/2009  
**Note:** No off street parking is required in the B-5 zone.      **Ok to Issue:**   
 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.  
 2) Separate permits shall be required for any new signage.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Chris Hanson      **Approval Date:** 08/11/2009  
**Note:**      **Ok to Issue:**   
 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.  
 2) Separate Permits shall be required for any new signage.  
 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Keith Gautreau      **Approval Date:** 08/07/2009  
**Note:**      **Ok to Issue:**   
 1) Walls in structure are to be labeled according to fire resistance rating.  
 IE;      1 hr. / 2 hr. / smokeproof.  
 2) All fire alarm records required by NFPA 72 should be stored in an approved cabinet located at the FACP and keyed alike, labeled "FIRE ALARM RECORDS".  
 3) System acceptance and commissioning must be co-ordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.  
 4) All construction shall comply with NFPA 101  
 5) The sprinkler system shall be installed in accordance with NFPA 13.  
 6) The fire alarm system shall comply with NFPA 72 and Fire Department Technical Standard. A compliance letter is required.  
 7) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.  
 8) Fire extinguishers required. Installation per NFPA 10  
 9) Emergency lights are required to be tested at the electrical panel.  
 10) Sprinkler protection shall be maintained.  
 Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.  
 11) Fire Alarm system shall be maintained.  
 If system is to be off line over 4 hours a fire watch shall be in place.  
 Dispatch notification required 874-8576.

<b>Location of Construction:</b> 147 FORE ST	<b>Owner Name:</b> CHAPIN REALTY LLC	<b>Owner Address:</b> 10 MORGAN DR	<b>Phone:</b> 978-887-3640
<b>Business Name:</b>	<b>Contractor Name:</b> Ledgewood Construction	<b>Contractor Address:</b> 27 Maine St. So. Portland	<b>Phone</b> (207) 767-1866
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Commercial	

12 Emergency lights and exit signs are required

**Dept:** Planning      **Status:** Approved      **Reviewer:** Barbara Barhydt      **Approval Date:** 08/04/2009  
**Note:**      **Ok to Issue:**

**Comments:**

7/31/2009-amachado: Emailed Barbara & Bill. The permit to build the Residence Inn said 2000 sf of retail space on the first floor. The proposed fit up is for a real estate office. Is that OK?

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 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

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<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Commercial	

<b>Proposed Use:</b> Commercial - "Residence Inn Marriott" - Current Vacant Space, Change of use to Office Space with a Tenant Fit-up.	<b>Proposed Project Description:</b> Current Vacant Space, Change of use to Office Space with a Tenant Fit-up.
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 08/04/2009  
**Note:** No off street parking is required in the B-5 zone.      **Ok to Issue:**   
 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.  
 2) Separate permits shall be required for any new signage.

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**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Keith Gautreau      **Approval Date:** 08/07/2009  
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 7) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.  
 8) Fire extinguishers required. Installation per NFPA 10  
 9) Emergency lights are required to be tested at the electrical panel.  
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12 Emergency lights and exit signs are required			
<b>Dept:</b> Planning	<b>Status:</b> Approved	<b>Reviewer:</b> Barbara Barhydt	<b>Approval Date:</b> 08/04/2009
<b>Note:</b>	<b>Ok to Issue:</b> <input checked="" type="checkbox"/>		

**Comments:**  
7/31/2009-amachado: Emailed Barbara & Bill. The permit to build the Residence Inn said 2000 sf of retail space on the first floor. The proposed fit up is for a real estate office. Is that OK?



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>145 Fore Street 147 Fore</u>		
Total Square Footage of Proposed Structure/Area <u>1976</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>20            C            10</u>	Applicant * <b>must be owner, Lessee or Buyer</b> * Name <u>Chapin Realty LLC</u> Address <u>10 Morgan Drive, Suite 1A</u> City, State & Zip <u>Lebanon NH 03766</u>	Telephone: <u>978 8873640</u>
Lessee/DBA (If Applicable) <u>Harborview Properties</u>	Owner (if different from Applicant) Name <u>same</u> Address City, State & Zip	Cost Of Work: \$ <u>15,000</u> C of O Fee: \$ <u>75.00</u> Total Fee: \$ <u>445.00</u>
Current legal use (i.e. single family) <u>vacant shell space in residence town</u> If vacant, what was the previous use? <u>new building</u> Proposed Specific use: <u>office - real estate office</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Fit out of tenant space in residence town</u>		<u>(100 SWO 100 Related)</u>
Contractor's name: <u>Ledgewood Construction</u> Address: <u>27 Main Street</u> City, State & Zip: <u>S. Portland, ME 04106</u> Telephone: <u>767-1866</u> Who should we contact when the permit is ready: <u>Kevin McCasH</u> Telephone: <u>415-7993</u> Mailing address: <u>same.</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 7/22/09

**This is not a permit; you may not commence ANY work until the permit is issue**



**Ann Machado - Residence Inn - Marriott**

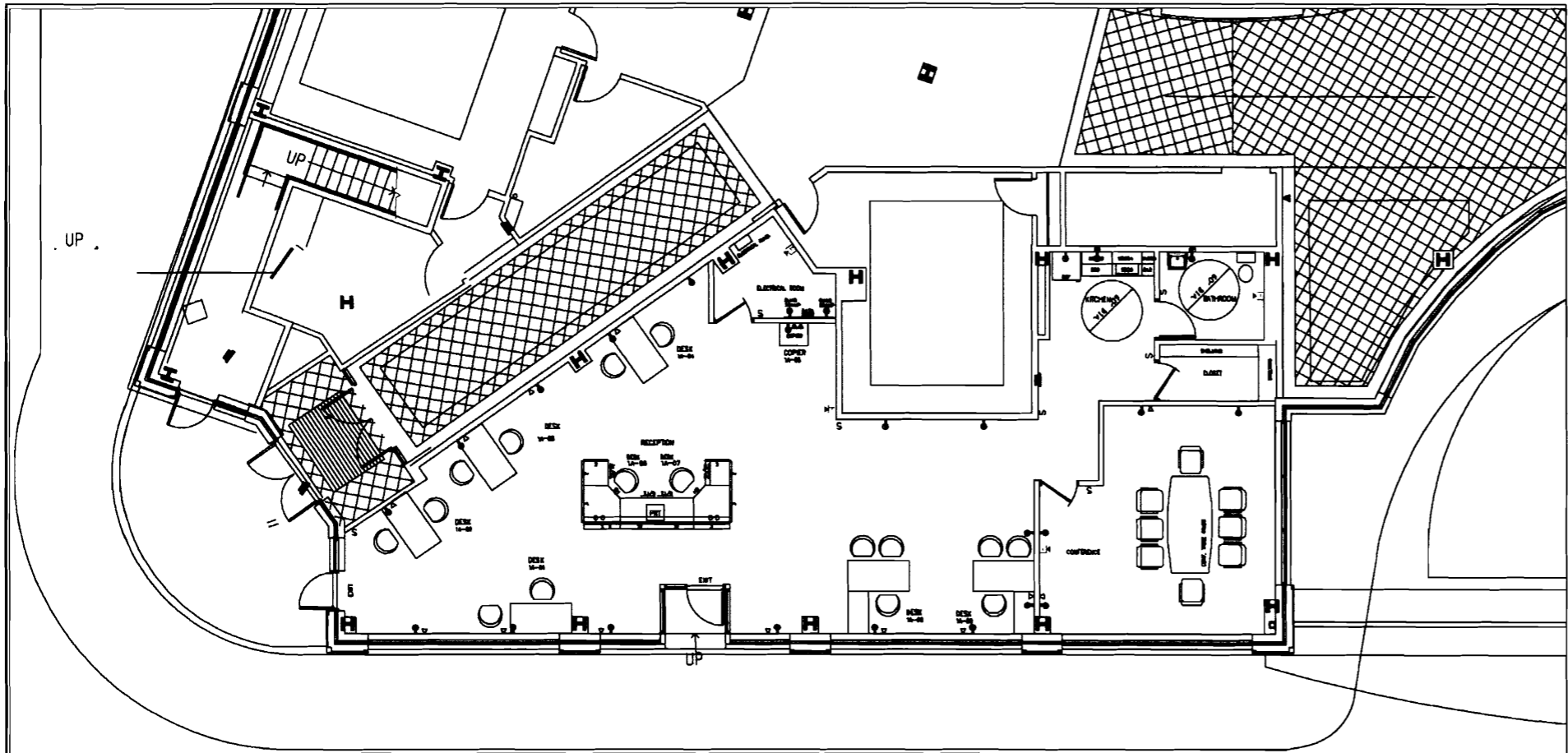
**From:** Ann Machado  
**To:** Barbara Barhydt; William Needelman  
**Date:** 7/31/2009 10:43 AM  
**Subject:** Residence Inn - Marriott  
**CC:** Ann Machado

Bill & Barbara -

We have a permit for a tenant fit up for the space on the first floor of the Residence Inn for a real estate office. Offices are a permitted use in the B-5b zone, but the description on the permit to build the Residence Inn said "2000 sf of ground floor retail space". Does this ground space have to be retail or can it be a real estate office?

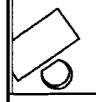
Thanks,

Ann

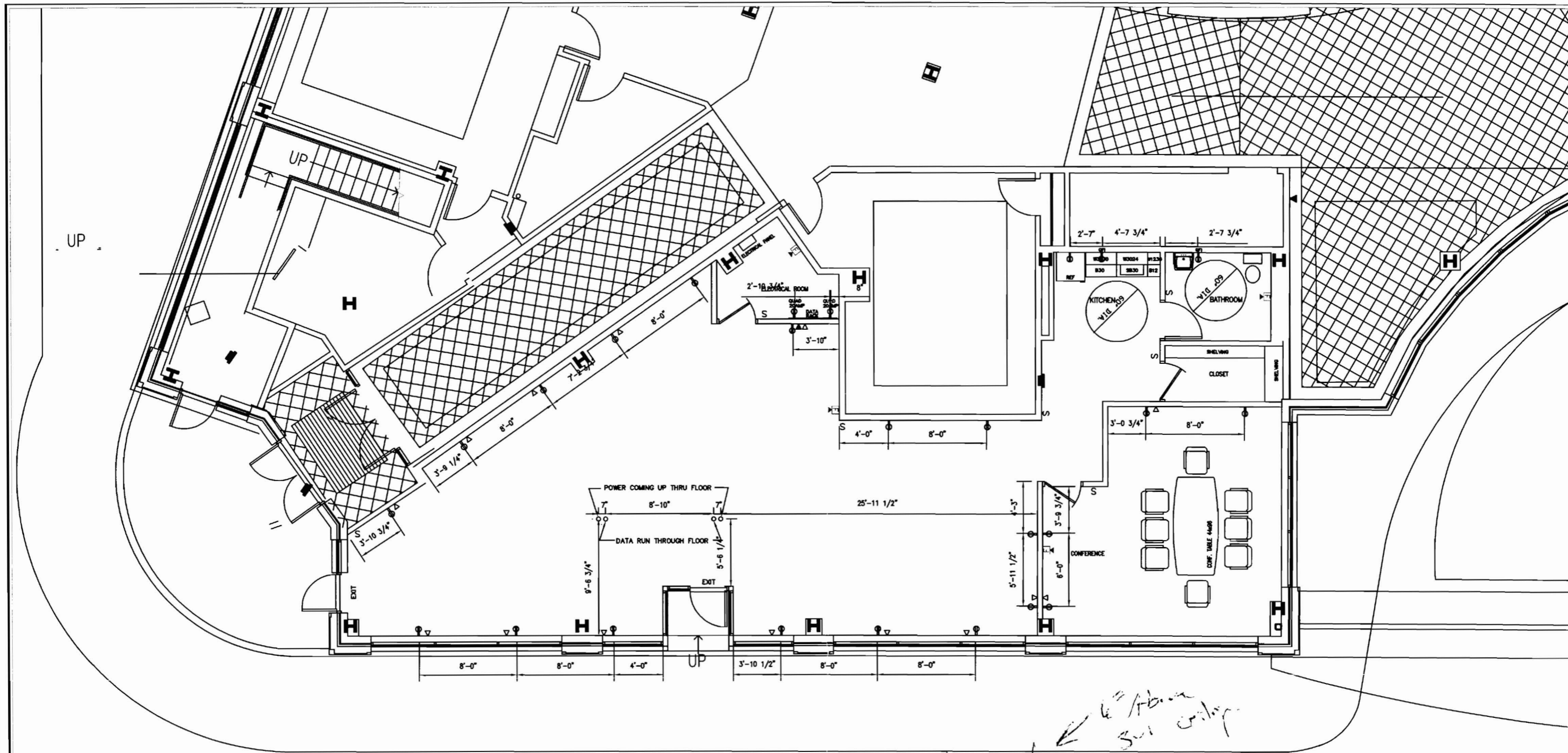


**LEGEND**

- ⌘ EMERGENCY LIGHTING
- RECEPTICLE
- ▶ PHONE
- ▷ DATA
- ⊞ LIGHT SWITCH



LANCMAID ASSOCIATES		Sheet	Rev
FACILITY PLANNING, RELOCATION & DESIGN		1/8"=1'-0"	07/11/08
Langmaid Assoc. 88 Littlepage Rd, Yarmouth, Me Tel 207-948-6842, 207-451-8479		Client	Harborview Prop/Portland, Me Dept
PROJECT	HARBORVIEW PROPERTIES	DATE	05-27-08
LOCATION	PORTLAND, MAINE	DESIGNER	V. LANGMAID
<b>ELECTRICAL PLAN</b>		REV	4
		DATE	07-11-08

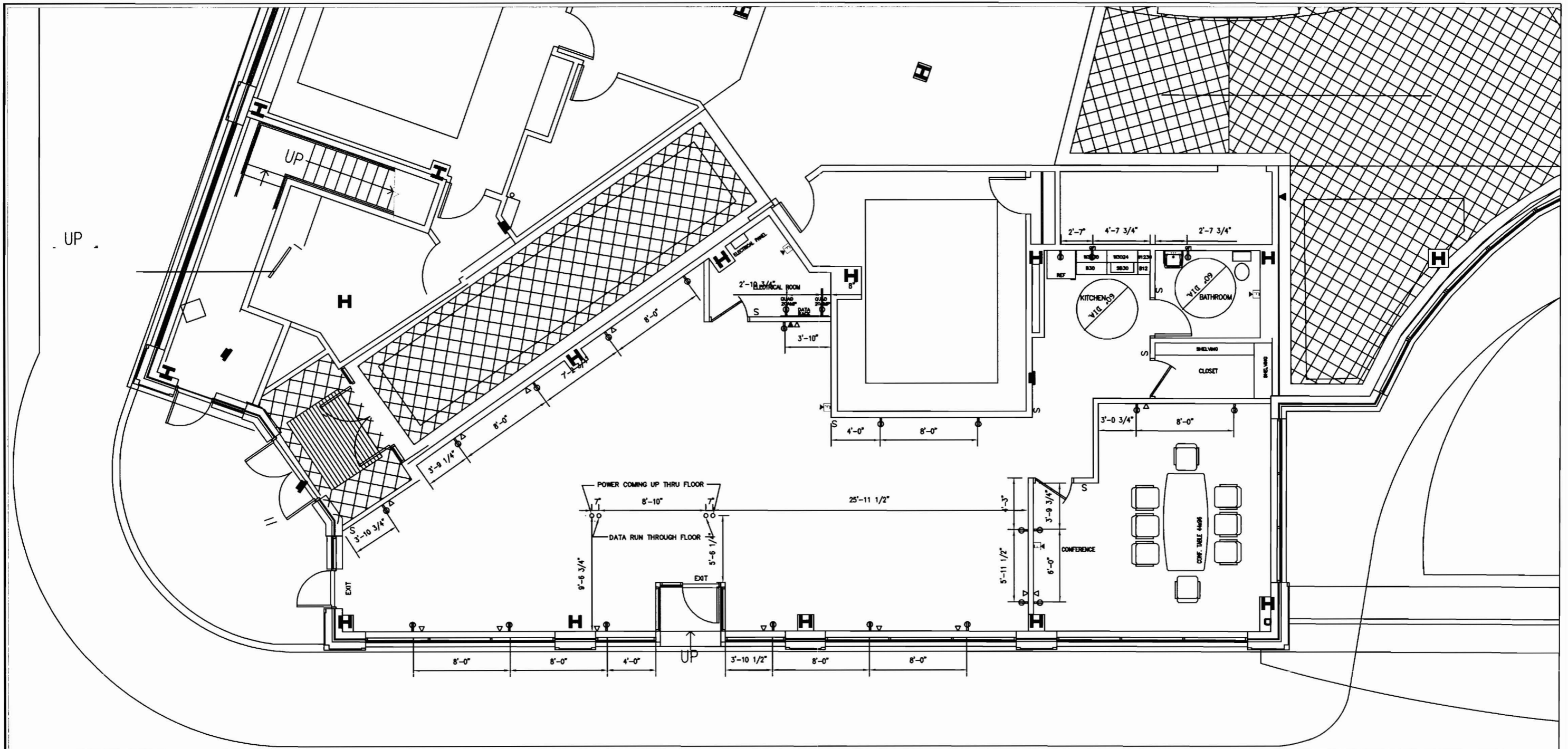


*Handwritten notes:*  
 6' Above  
 Sun ceiling  
 2/11  
 1/12

**LEGEND**

⊠	EMERGENCY LIGHTING	▶	PHONE
⊙	RECEPTICLE	▷	DATA
s	LIGHT SWITCH		

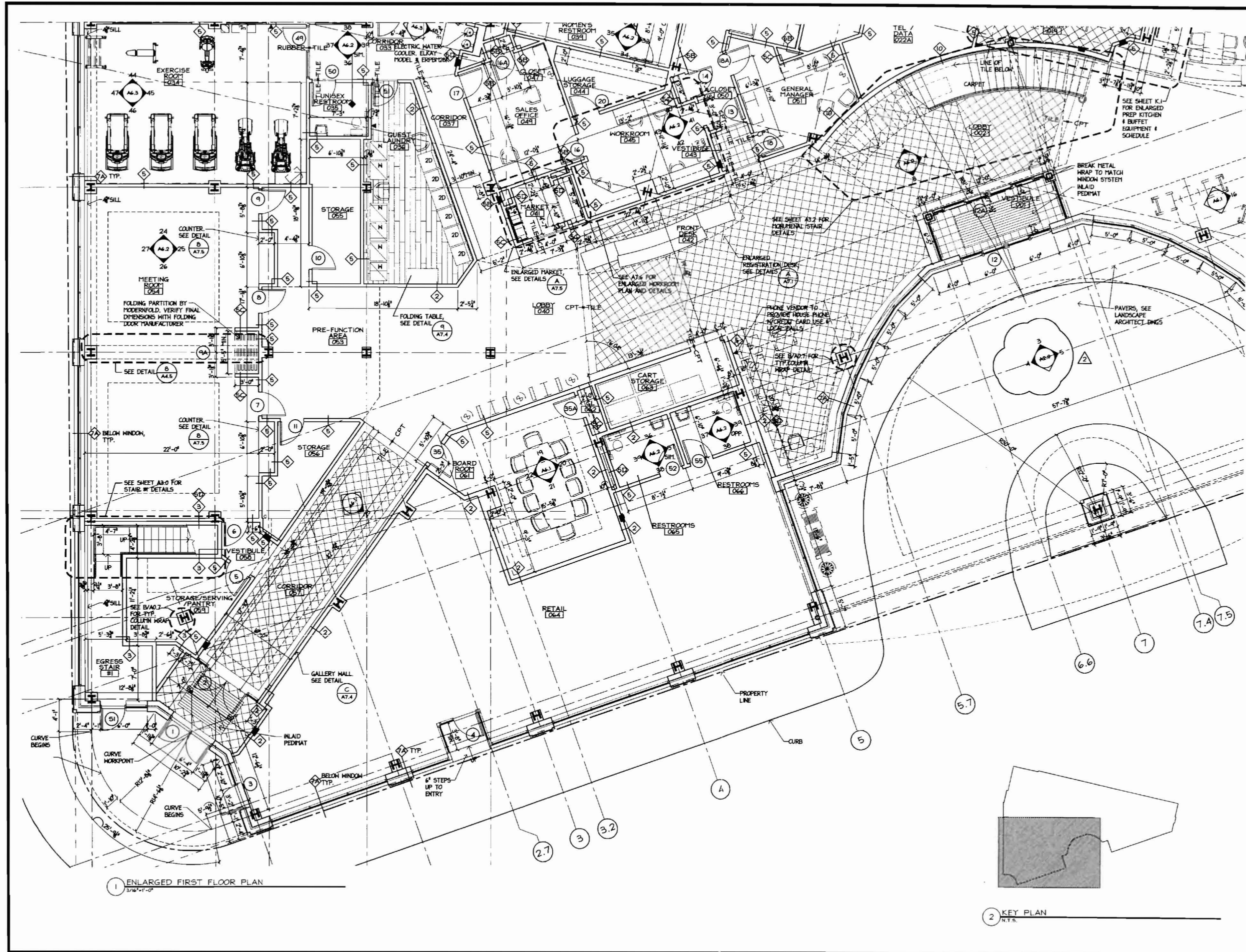
LANGMAID ASSOCIATES FACILITY PLANNING, RELOCATION & DESIGN		SCALE 1/8"=1'-0" (1:96)	CAD FILENAME . DWG C:/AUTOCAD DRAWINGS/ Harborview Prop/Portland, Me.dwg
Langmaid Assoc. 99 Littlejohn Rd, Yarmouth, Me Tel 207-846-4642, 207-451-8479		TITLE <b>HARBORVIEW PROPERTIES PORTLAND, MAINE</b> sheet 1 of 1	
REVISIONS	DATE	DRAWN BY	DATE
	05-27-09	V.LANGMAID	05-27-09



**LEGEND**

- ☐ EMERGENCY LIGHTING
- RECEPTICLE
- ▶ PHONE
- ▷ DATA
- s LIGHT SWITCH

LANGMAID ASSOCIATES FACILITY PLANNING, RELOCATION & DESIGN		SCALE 1/8"=1'-0" (1:96)	CAD FILENAME . DWG C:/AUTOCAD DRAWINGS/ Harborview Prop/Portland, Me.dwg
BASE INFO: Langmaid Assoc. 99 Littlejohn Rd, Yarmouth, Me Tel 207-846-4642, 207-451-8479			
TITLE HARBORVIEW PROPERTIES PORTLAND, MAINE		ELECTRICAL PLAN B sheet 1 of 1	REV 4 REV DATE
REQUESTOR: HARBORVIEW PROP.	DATE: 05-27-09	DRAWN: V.LANGMAID	PLOT DATE: 05-27-09



- GENERAL NOTES:**
1. ALL DOORS TO BE 1'-0" TO CENTERLINE OF DOOR UNLESS OTHERWISE NOTED
  2. PROVIDE POLY VAPOR BARRIER BEHIND GYPSUM BOARD ON POOL SIDE OF ALL INTERIOR WALLS & CEILING AT POOLSPA
  3. PROVIDE CEMENT BOARD BEHIND ALL WALL TILE
  4. POOL AND EQUIPMENT IS DESIGN BUILT WITH ALL RELATED CONNECTIONS. POOL DETAILS BY POOL SUBCONTRACTOR PROVIDE COMPLETE SHOP DRAWINGS TO BE SUBMITTED TO STATE DEPARTMENT OF PUBLIC HEALTH FOR APPROVAL PRIOR TO CONSTRUCTION. G.C. RESPONSIBLE FOR ALL COORDINATION OF ALL TRADES AND FOR ALL CONNECTIONS.
  5. SEE SHEET K10 FOR KITCHEN AND BUFFET EQUIPMENT SCHEDULE
  6. ALL COLLUMS TO BE WRAPPED WITH MIN. METAL STUD & GYPSUM BOARD AS POSSIBLE TO MAINTAIN MAX SPACE IN THE ROOM. ALIGN GYPSUM BOARD WITH ANY ADJACENT WALLS AS REQUIRED. SEE TYPICAL DETAILS FOR INTENT
  7. IF COLLUMS ARE WITHIN A RATED HALL THE INTEGRITY OF THE RATING MUST BE MAINTAINED. RUN THE REQUIRED GYPSUM BOARD FOR EACH SIDE OF THE HALL AROUND COLLUMS.
  8. ALL RATED SEPARATION WALLS MUST BE INSTALLED UP TO UNDER SIDE OF DECK
  9. ALL PERIMETER WALLS TO MECHANICAL, ELECTRICAL, POOL, MEETING ROOMS, KITCHEN, GUEST LAUNDRY, LAUNDRY ROOM, LOBBY AND BETWEEN HEARTH ROOM AND BACK OF HOUSE ARE REQUIRED TO BE FULL HEIGHT
  10. INSTALL POOL WINDOW FRAMES TO FACE OF GYPSUM BOARD POOL SIDE

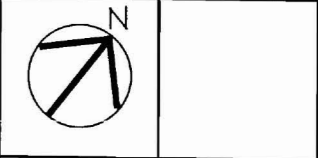
**LEGEND OF SYMBOLS**

- (XX) — COLLUM LINE MARKER
- (XXX) — DETAIL NUMBER
- (AXX) — DRWG. NUMBER WHERE DETAIL APPEARS
- X — INTERIOR ELEVATION DESIGNATION
- X (AXX) — DRWG. NUMBER WHERE INTERIOR ELEVATION APPEARS
- (XX) — HALL TYPE NUMBER SEE DRWG. A0.3
- (XX) — DOOR NUMBER SEE DRWG. A0.1
- (XXX) — ROOM NAME
- (XXX) — ROOM NUMBER

**ISSUED FOR CONSTRUCTION - 11/05/07**

NO.	REVISION	DATE
SCALE: As Noted	DRAWN BY: AVS	
DATE:	CHECKED BY: JR	

△ PERMIT REVIEW CORRECTIONS 1-16-08



PROJECT  
**RESIDENCE INN BY MARRIOTT**  
 PORTLAND, ME  
 JOB# 802

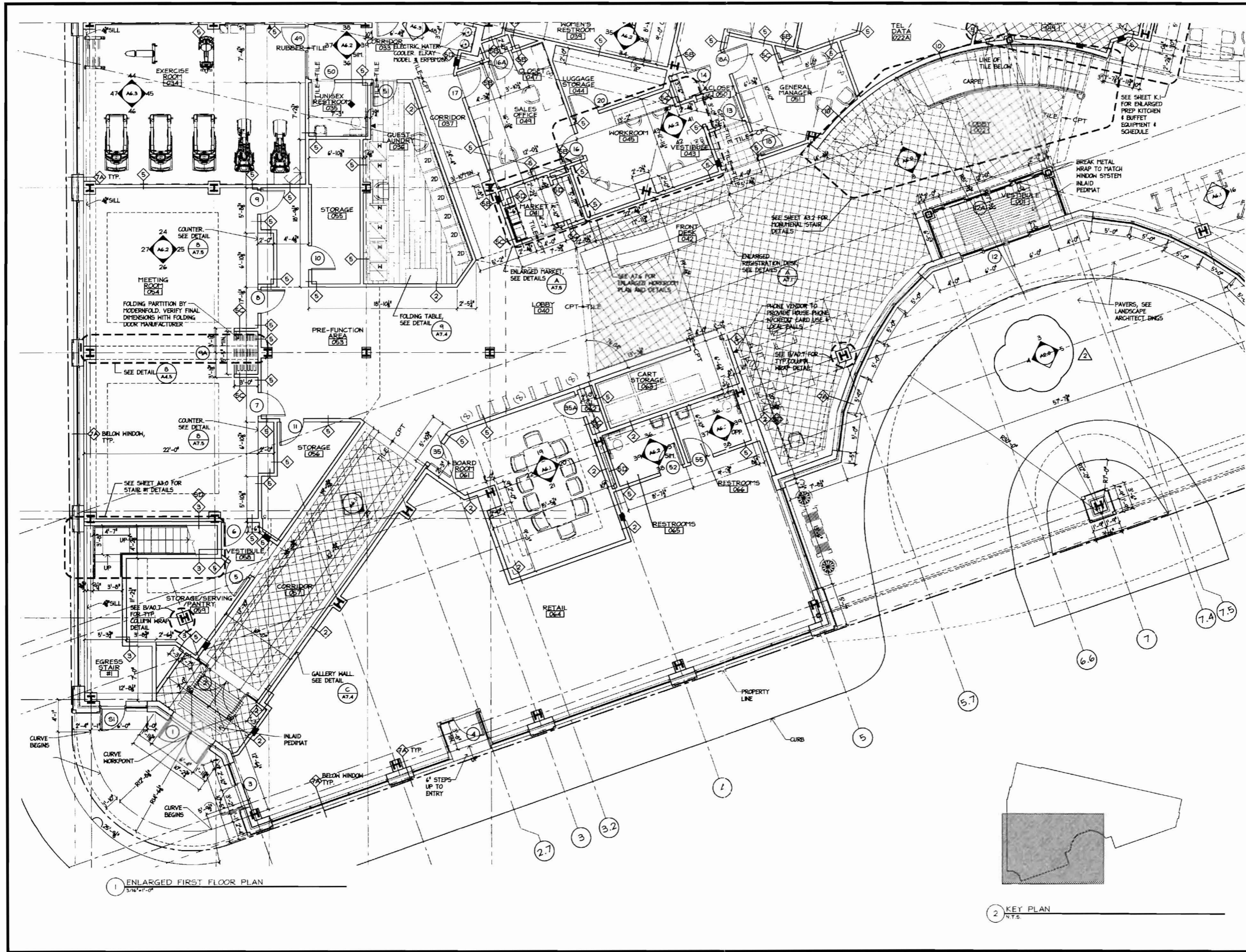
TITLE  
**FIRST FLOOR PUBLIC SPACE ENLARGED PLAN**

GROUP ONE  
 21 W. THIRD STREET, BOSTON, MA 02127  
 TEL: (617)268-7000 FAX: (617)268-0208

DRAWING NO.  
**A1.4**

1 ENLARGED FIRST FLOOR PLAN  
 3/16" = 1'-0"

2 KEY PLAN  
 N.T.S.



- GENERAL NOTES:**
1. ALL DOORS TO BE 1'-0" TO CENTERLINE OF DOOR UNLESS OTHERWISE NOTED
  2. PROVIDE POLY VAPOR BARRIER BEHIND GYPSUM BOARD ON POOL SIDE OF ALL INTERIOR WALLS & CEILING AT POOL/SPA
  3. PROVIDE CEMENT BOARD BEHIND ALL WALL TILE
  4. POOL AND EQUIPMENT IS DESIGN BUILT WITH ALL RELATED CONNECTIONS. POOL DETAILS BY POOL SUBCONTRACTOR. PROVIDE COMPLETE SHOP DRAWINGS TO BE SUBMITTED TO STATE DEPARTMENT OF PUBLIC HEALTH FOR APPROVAL PRIOR TO CONSTRUCTION. E.G. RESPONSIBLE FOR ALL COORDINATION OF ALL TRADES AND FOR ALL CONNECTIONS.
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  6. ALL COLUMNS TO BE WRAPPED WITH MIN. METAL STUD & GYPSUM BOARD AS POSSIBLE TO MAINTAIN MAX SPACE IN THE ROOM. ALIGN GYPSUM BOARD WITH ANY ADJACENT WALLS AS REQUIRED. SEE TYPICAL DETAILS FOR INTENT
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  10. INSTALL POOL WINDOW FRAMES TO FACE OF GYPSUM BOARD POOL SIDE

**LEGEND OF SYMBOLS**

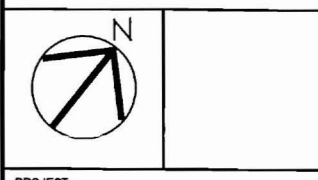
- (XX) COLUMN LINE MARKER
- (XXX AX.X) DETAIL NUMBER DRWG. NUMBER WHERE DETAIL APPEARS
- X INTERIOR ELEVATION DESIGNATION
- X AX.X DRWG. NUMBER WHERE INTERIOR ELEVATION APPEARS
- (XX) MALL TYPE NUMBER SEE DRWG. A0.3
- (XX) DOOR NUMBER SEE DRWG. A0.1
- XX ROOM NAME
- XXX ROOM NUMBER

ISSUED FOR  
CONSTRUCTION - 11/05/07

NO.	REVISION	DATE

SCALE: As Noted DRAWN BY: AVS  
DATE: CHECKED BY: JR

2 PERMIT REVIEW CORRECTIONS 1-16-08



PROJECT  
**RESIDENCE INN BY MARRIOTT**  
PORTLAND, ME  
JOB# 802

TITLE  
**FIRST FLOOR PUBLIC SPACE ENLARGED PLAN**

GROUP ONE  
21 W. THIRD STREET, BOSTON, MA 02127  
TEL: (617)268-7000 FAX: (617)268-0200

DRAWING NO.  
**A1.4**

1 ENLARGED FIRST FLOOR PLAN  
3/16"=1'-0"

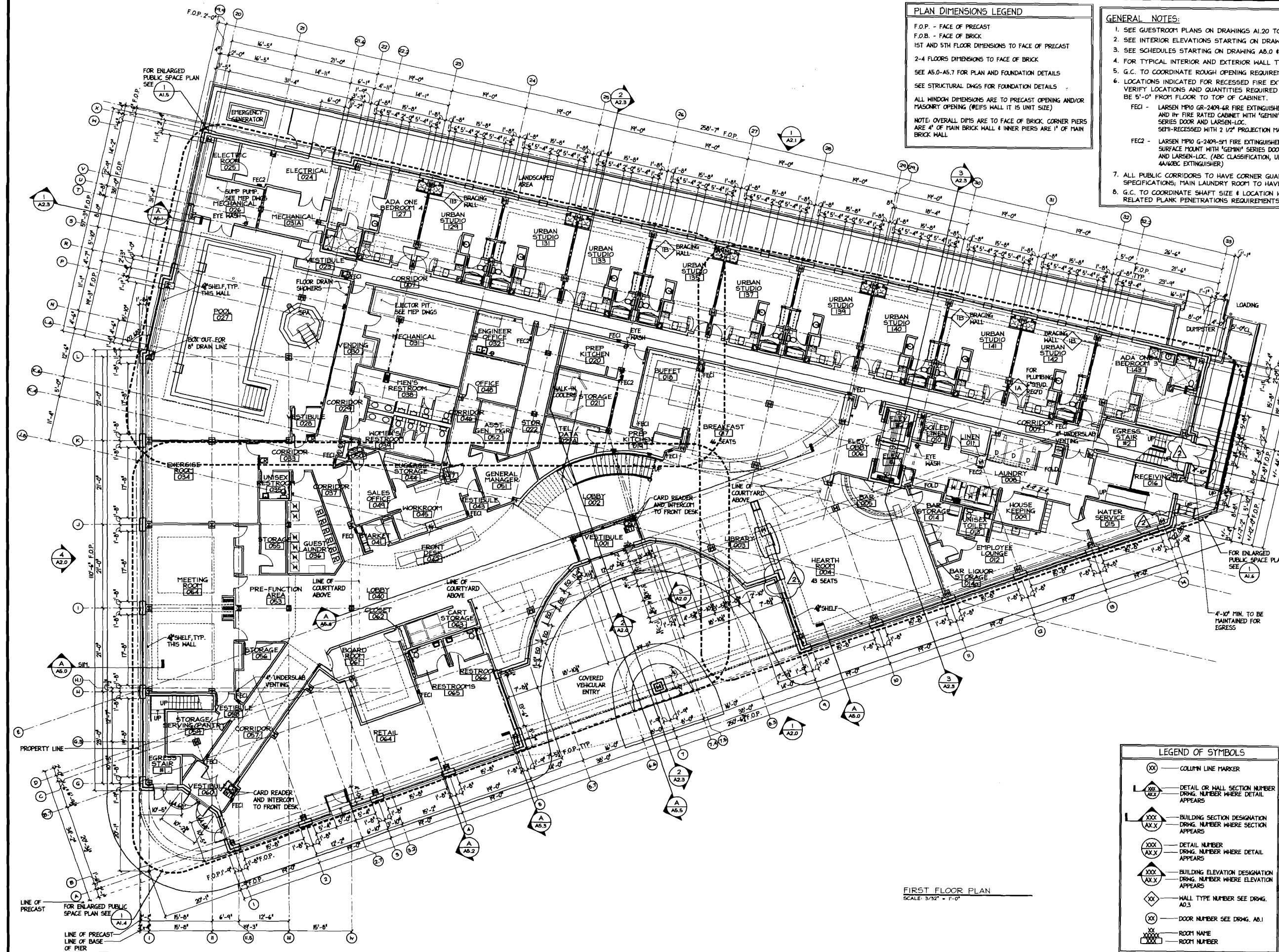
2 KEY PLAN  
N.T.S.

**PLAN DIMENSIONS LEGEND**

F.O.P. - FACE OF PRECAST  
 F.O.B. - FACE OF BRICK  
 1ST AND 5TH FLOOR DIMENSIONS TO FACE OF PRECAST  
 2-4 FLOORS DIMENSIONS TO FACE OF BRICK  
 SEE A5.0-A5.7 FOR PLAN AND FOUNDATION DETAILS  
 SEE STRUCTURAL DWGS FOR FOUNDATION DETAILS  
 ALL WINDOW DIMENSIONS ARE TO PRECAST OPENING AND/OR MASONRY OPENING (EIFS WALL IT IS UNIT SIZE)  
 NOTE: OVERALL DIMS ARE TO FACE OF BRICK. CORNER PIERS ARE 4" OF MAIN BRICK HALL & INNER PIERS ARE 1" OF MAIN BRICK HALL

- GENERAL NOTES:**
- SEE GUESTROOM PLANS ON DRAWINGS A1.20 TO A1.34.
  - SEE INTERIOR ELEVATIONS STARTING ON DRAWING A6.0.
  - SEE SCHEDULES STARTING ON DRAWING A8.0 & A9.0
  - FOR TYPICAL INTERIOR AND EXTERIOR WALL TYPES SEE A0.6
  - G.C. TO COORDINATE ROUGH OPENING REQUIREMENTS FOR ALL SHAFT ENCLOSURES FOR FRAMING.
  - LOCATIONS INDICATED FOR RECESSED FIRE EXTINGUISHER CABINETS (F.E.) ARE APPROXIMATE; VERIFY LOCATIONS AND QUANTITIES REQUIRED WITH LOCAL JURISDICTION. HEIGHT OF F.E. TO BE 5'-0" FROM FLOOR TO TOP OF CABINET.  
 FE1 - LARSEN MPIO GR-2409-6R FIRE EXTINGUISHER AND 11" FIRE RATED CABINET WITH 'GEMINI' SERIES DOOR AND LARSEN-LOC. SEMI-RECESSED WITH 2 1/2" PROJECTION MAX.  
 FE2 - LARSEN MPIO G-2409-51 FIRE EXTINGUISHER SURFACE MOUNT WITH 'GEMINI' SERIES DOOR AND LARSEN-LOC. (ABC CLASSIFICATION, UL 44/608C EXTINGUISHER)
  - ALL PUBLIC CORRIDORS TO HAVE CORNER GUARDS AT PROTRUDING CORNERS PER SPECIFICATIONS; MAIN LAUNDRY ROOF TO HAVE STAINLESS STEEL CORNER GUARDS.
  - G.C. TO COORDINATE SHAFT SIZE & LOCATION WITH MECHANICAL DRAWINGS AND ALL RELATED PLANK PENETRATIONS REQUIREMENTS

CR] CARD READER - SEE MECH. DWGS.  
 FOR ELEC. CONNECTION  
 & HOUSE PHONE

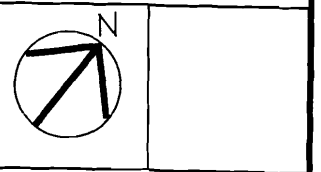


**ISSUED FOR CONSTRUCTION - 11/05/07**

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TITLE  
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GROUP ONE  
 21 W. THIRD STREET, BOSTON MA 02127  
 TEL. (617)268-7000 FAX (617)268-0208

DRAWING NO.  
**A1.0**

- LEGEND OF SYMBOLS**
- ⊙ — COLUMN LINE MARKER
  - ⊙/⊙ — DETAIL OR HALL SECTION NUMBER DRWG. NUMBER WHERE DETAIL APPEARS
  - ⊙/XX — BUILDING SECTION DESIGNATION DRWG. NUMBER WHERE SECTION APPEARS
  - ⊙/XX — DETAIL NUMBER DRWG. NUMBER WHERE DETAIL APPEARS
  - ⊙/XX — BUILDING ELEVATION DESIGNATION DRWG. NUMBER WHERE ELEVATION APPEARS
  - ⊙ — HALL TYPE NUMBER SEE DRWG. A0.3
  - ⊙ — DOOR NUMBER SEE DRWG. A0.1
  - ⊙ — ROOM NAME
  - ⊙ — ROOM NUMBER

FIRST FLOOR PLAN  
 SCALE: 3/32" = 1'-0"