

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

INSPECTION
PERMIT

PERMIT ISSUED

Permit Number: 060977
 JUL 2 6 2009

CITY OF PORTLAND

This is to certify that PEARL PROPERTIES LLC dba Reynolds
 has permission to exterior renovations - Failing brick wall, four steel and reinforcement
 AT 61 INDIA ST L 020 E021001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the City and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceeds before this building or part thereof is locked or closed-in. 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
 Health Dept. _____
 Appeal Board _____
 Other _____
 Department Name

[Signature]
 Director - Building Inspection Services

PENALTY FOR REMOVING THIS CARD



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>61 INDIA & 59 INDIA STREET</u>		
Total Square Footage of Proposed Structure <u>NO CHANGE IN SQUARE FT.</u>		Square Footage of Lot <u>8,030 SF</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>020 E021 001</u>	Owner: <u>JOE REYNOLDS</u>	Telephone: <u>838-7296</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>SAME AS ABOVE</u> <u>198 TUTTLE ROAD</u> <u>CUMBERLAND, ME 04021</u>	Cost Of Work: \$ <u>4,500.00</u> Fee: \$ <u>66.00</u> C of O Fee: \$ _____
Current Specific use: <u>1 RETAIL & 2 RESIDENCE & 1 OFFICE / SHOP (@ 59 India)</u>	Proposed Specific use: <u>SAME</u>	
Project description: <u>61 India: Demolish old timber truss in back (ruin) and remove failing brick walls on third floor (as noted);</u> <u>59 India: pour slab and reinforcements</u>		
Contractor's name, address & telephone: <u>SAME AS ABOVE</u>		
Who should we contact when the permit is ready: <u>JWR</u>		
Mailing address: _____ Phone: _____		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

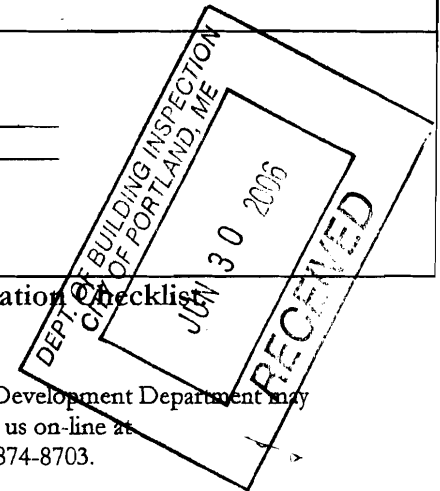
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: JWR

Date: 6/30/06

This is not a permit; you may not commence ANY work until the permit is issued.



City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0977		Issue Date: 07/15/06		CBL: 020 B021001	
Location of Construction: 61 INDIA ST		Owner Name: PEARL PROPERTIES LLC		Owner Address: 198 TUTTLE RD	
Business Name:		Contractor Name: Joe Reynolds		Contractor Address: 198 Tuttle Road Cumberland	
Lessee/Buyer's Name		Phone:		Permit Type: Alterations - Commercial	
Past Use: Commercial		Proposed Use: Commercial/ exterior renovations - Failing brick wall, Pour slab and reinforcements		Permit Fee: \$66.00	
Proposed Project Description: exterior renovations - Failing brick wall, Pour slab and reinforcements		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		Cost of Work: \$4,500.00	
<p><i>light use, retail office on 1st floor & two D.U. on 2nd & 3rd floors (total)</i></p>		INSPECTION: Use Group: <i>NO USES APPROVED REPAIRS ONLY 7/19/06</i>		CEO District: 1	
		Signature: <i>Greg Cass</i>		Signature: <i>Chris King</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		Signature: _____ Date: _____			
Permit Taken By: Idobson		Date Applied For: 06/30/2006		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <input type="checkbox"/> Denied <i>ok with conditions</i> Date: <i>7/14/06</i>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]
Signature of Applicant/Designee

7/24/06
Date

[Signature]
Signature of Inspections Official

7/24/06
Date

CBL: 020EQ

Building Permit #: 060977

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
The undersigned hereby applies for a permit to make electrical installations
in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
National Electrical Code and the following specifications:

Date 5-8-06
Permit # 064392
CBL# 20 E 021

LOCATION: 61 India Str METER MAKE & # _____
CMP ACCOUNT # _____ OWNER Joseph Reynolds
TENANT _____ PHONE # _____

				TOTAL EACH FEE		
OUTLETS		Receptacles		Switches	Smoke Detector	.20
FIXTURES		Incandescent		Fluorescent	Strips	.20
SERVICES		Overhead		Underground	TTL AMPS <800	15.00
	1	Overhead		Underground	>800	25.00
Temporary Service		Overhead		Underground	TTL AMPS	25.00
METERS	4	(number of)				1.00
MOTORS		(number of)				2.00
RESID/COM		Electric units				1.00
HEATING		oil/gas units		Interior	Exterior	5.00
APPLIANCES		Ranges		Cook Tops	Wall Ovens	2.00
		Insta-Hot		Water heaters	Fans	2.00
		Dryers		Disposals	Dishwasher	2.00
		Compactors		Spa	Washing Machine	2.00
		Others (denote)				2.00
MISC. (number of)		Air Cond/win				3.00
		Air Cond/cent			Pools	10.00
		HVAC		EMS	Thermostat	5.00
		Signs				10.00
		Alarms/res				5.00
		Alarms/com				15.00
		Heavy Duty(CRKT)				2.00
		Circus/Carnv				25.00
		Alterations				5.00
		Fire Repairs				15.00
		E Lights				1.00
		E Generators				20.00
PANELS		Service	4	Remote	Main	4.00
TRANSFORMER		0-25 Kva				5.00
		25-200 Kva				8.00
		Over 200 Kva				10.00
				TOTAL AMOUNT DUE		
				MINIMUM FEE/COMMERCIAL 45.00		
				MINIMUM FEE		35.00

CONTRACTORS NAME Eric Bouchard MASTER LIC. # MS6008230
ADDRESS 11 McCannery dr. Bidd. LIMITED LIC. # _____
TELEPHONE 286-3038
SIGNATURE OF CONTRACTOR [Signature] #5740

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0977	Date Applied For: 06/30/2006	CBL: 020 E021001
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Business Name:	Contractor Name: Joe Reynolds	Contractor Address: 198 Tuttle Road Cumberland	Phone (207) 838-7296
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial/ exterior renovations - Failing brick wall, Pour slab and reinforcements	Proposed Project Description: exterior renovations - Failing brick wall, Pour slab and reinforcements
-------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 07/11/2006

Note: 7/11/06 left voice mail with Deb A. as to whether she wanted to see this permit **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall remain a retail and office on the 1st floor and a total of two residential dwelling units on the 2nd and 3rd floors. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 07/19/2006

Note: **Ok to Issue:**

- 1) Limited demo as approved by Deb Andrews and Repairs Only, no intended uses or or changes in use have been approved by this permit.
- 2) Project Engineer must provide final inspection and certify, in writing that the work was completed in accordance with the approved plans.

Dept: Fire **Status:** Not Applicable **Reviewer:** Cptn Greg Cass **Approval Date:** 07/13/2006

Note: **Ok to Issue:**

Comments:

7/12/2006-mes: Deb Andrews left me a voice mail that Joe Reynolds reviewed this request with her for a partial demolition and has verbally signed off on this project.

PLUMBING APPLICATION

Department of Health and Human Services
Division of Environmental Health

PROPERTY ADDRESS	
Town or Plantation	Footland
Street Subdivision Lot #	61 T...
PROPERTY OWNERS NAME	
Last: Reynolds	First: Joe
Applicant Name:	David MacWilliam
Mailing Address of Owner/Applicant (If Different)	117 Killings St
Owner/Applicant Statement	
I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.	
Signature of Owner/Applicant	Date
<i>David MacWilliam</i>	

Date Permit Issued: 4/12/06	\$ 6200	<input type="checkbox"/> If Double Fee Charged
Local Plumbing Inspector Signature: <i>Thomas Markey</i>	L.P.I. # 0749	
20 E 021		

Caution: Inspection Required	
I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.	
Local Plumbing Inspector Signature	Date Approved

PERMIT INFORMATION

This Application is for	Type of Structure To Be Served:	Plumbing To Be Installed By:
1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	1. <input type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input checked="" type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER - SPECIFY _____	1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <i>4984</i>

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR HOOK-UP: to an existing subsurface wastewater disposal system. PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Hosebibb / Sillcock		Bathtub (and Shower)
		Floor Drain		Shower (Separate)
		Urinal		Sink
		Drinking Fountain		Wash Basin
		Indirect Waste		Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.		Clothes Washer
		Grease / Oil Separator		Dish Washer
		Roof Drain		Garbage Disposal
		Bidet		Laundry Tub
		Other: _____		Water Heater
		Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1
			5	Total Fixtures
				Fixture Fee
				Transfer Fee
				Hook-Up & Relocation Fee
				Permit Fee (Total)

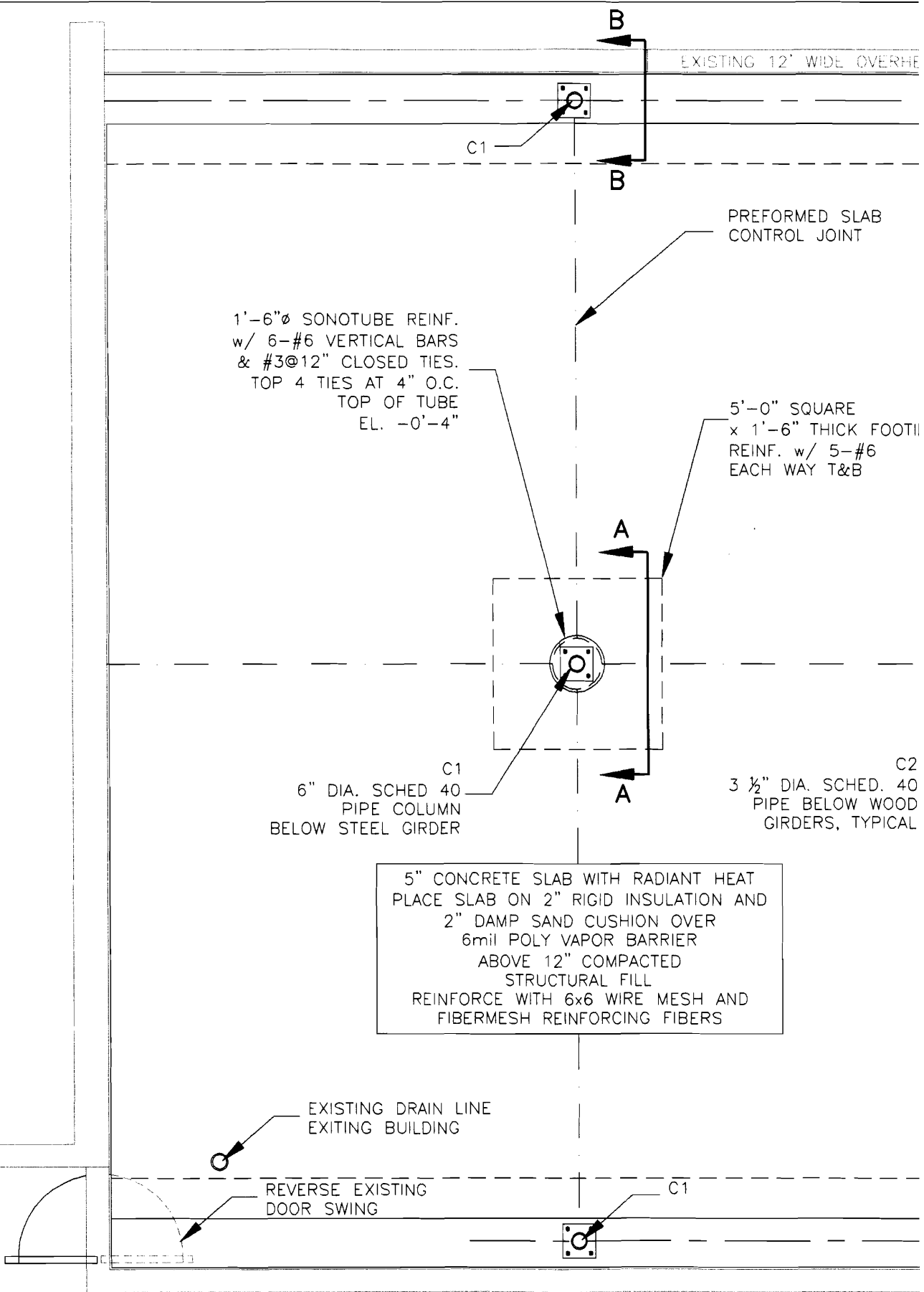
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

TRANSFER FEE [\$6.00]

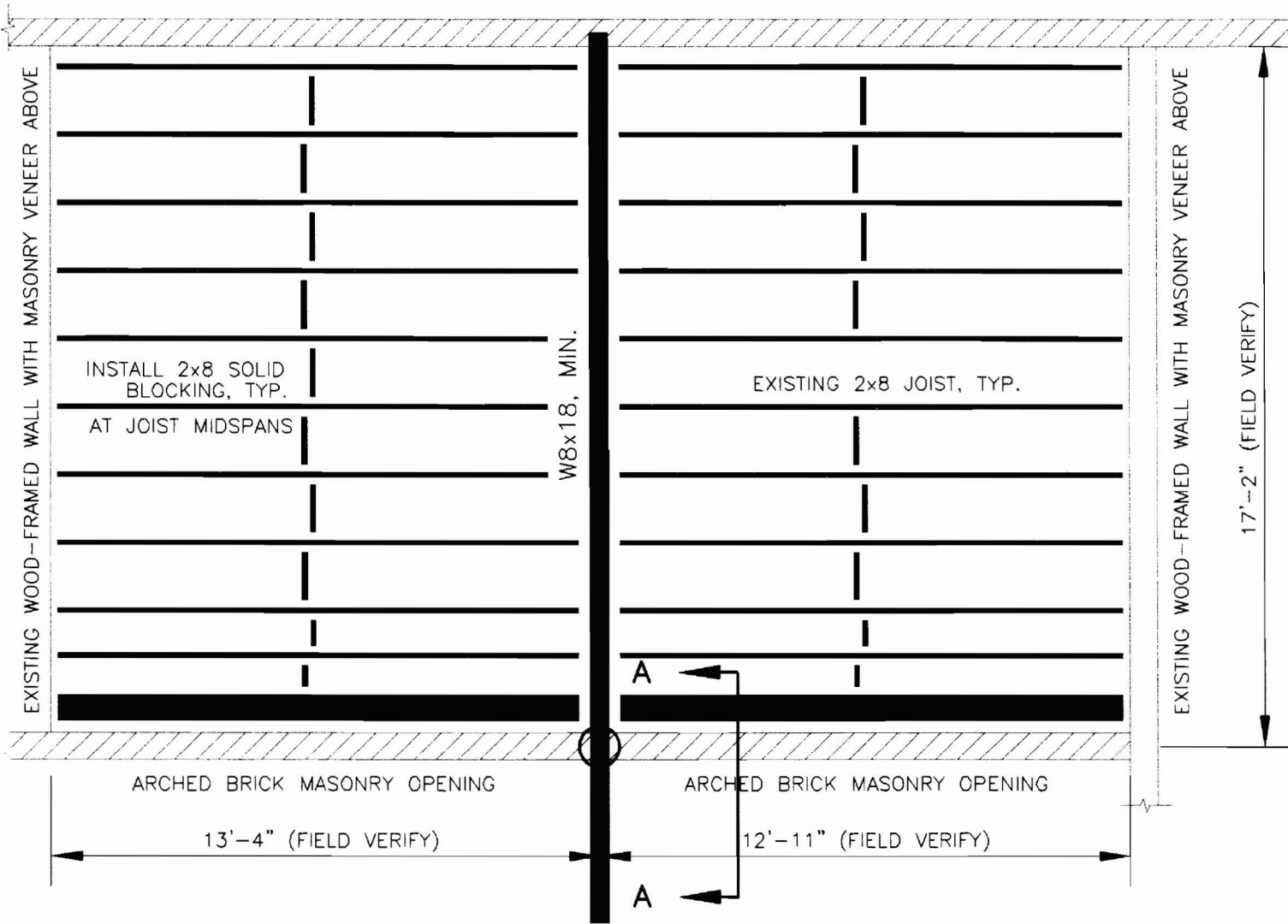


WORKSHOP REPAIRS FOUNDATION AND SLAB PLAN

SCALE: 1/4" = 1'-0"



SIDE WALL OF BUILDING



CARRIAGE SHED

PROPOSED REPAIRS -- PARTIAL SECOND FLOOR PLAN

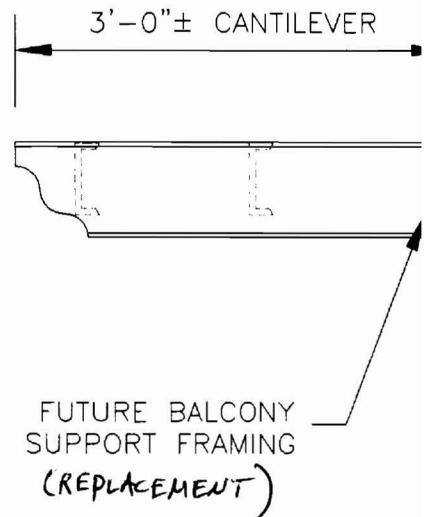
SCALE: 1/4" = 1'-0"

NOTES:

1. PROVIDE 3-PART TNE MEC COATING SYSTEM FOR STEEL PRIOR TO INSTALLATION. SYSTEM TO CONSIST OF THE FOLLOWING:
 PRIMER: SERIES 90-97 TNE ME-ZINC (2.5-3.5 mils)
 INTERMED: SERIES 66 HI-BUILD EPOXOLINE (2.0-3.0 mils)
 TOPCOAT: SERIES 73 ENDURA-SHIELD (2.0-3.0 mils)
 (OWNER TO SELECT COLOR OF TOPCOAT)

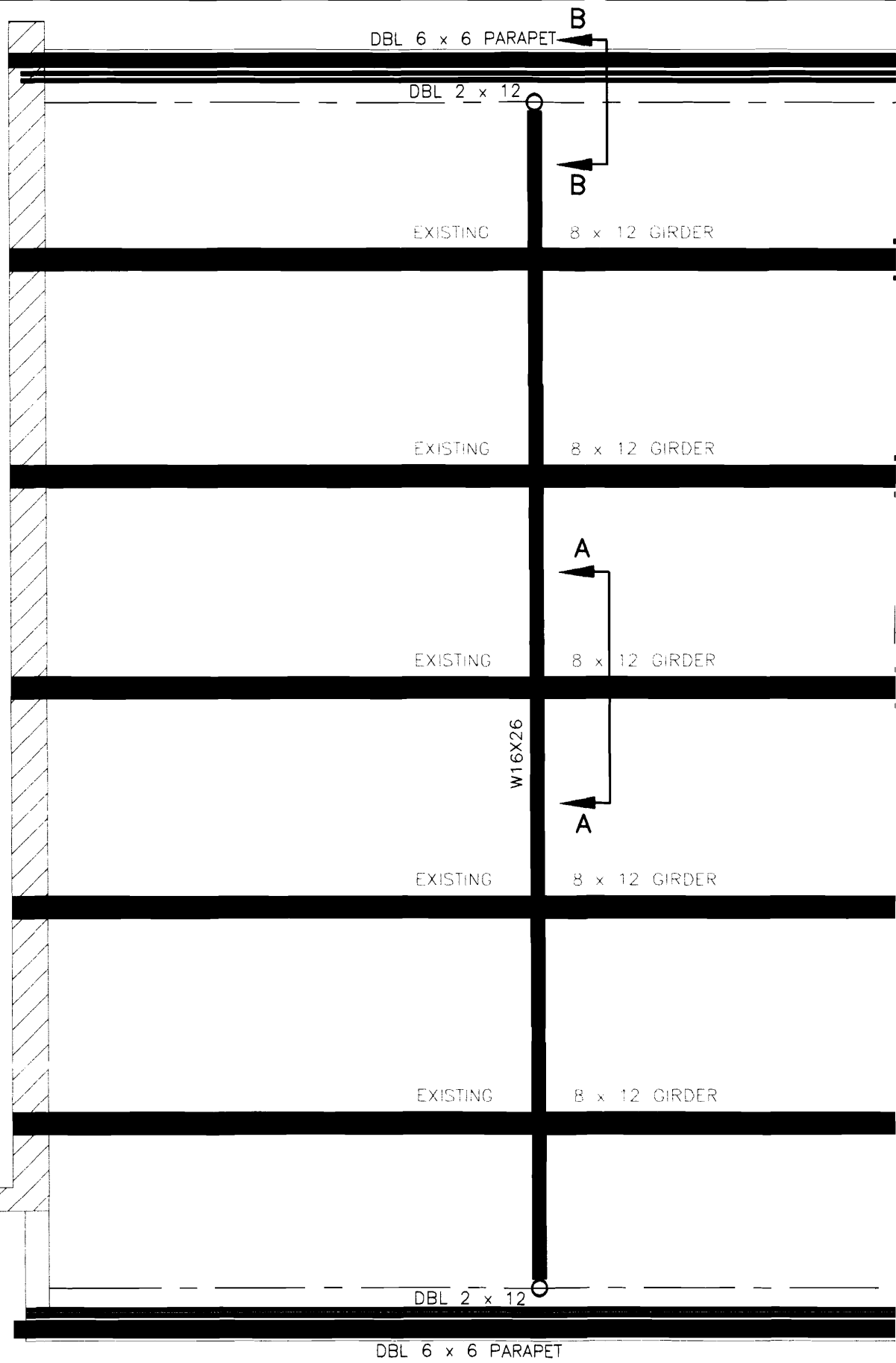
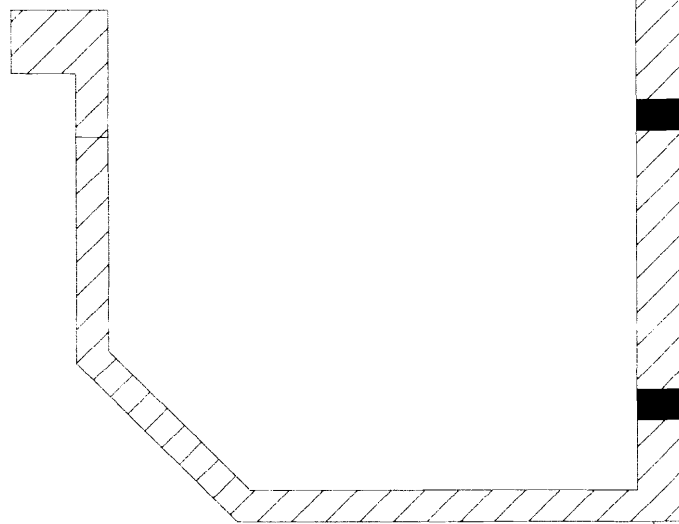
LUMBER AND JOIST HANG

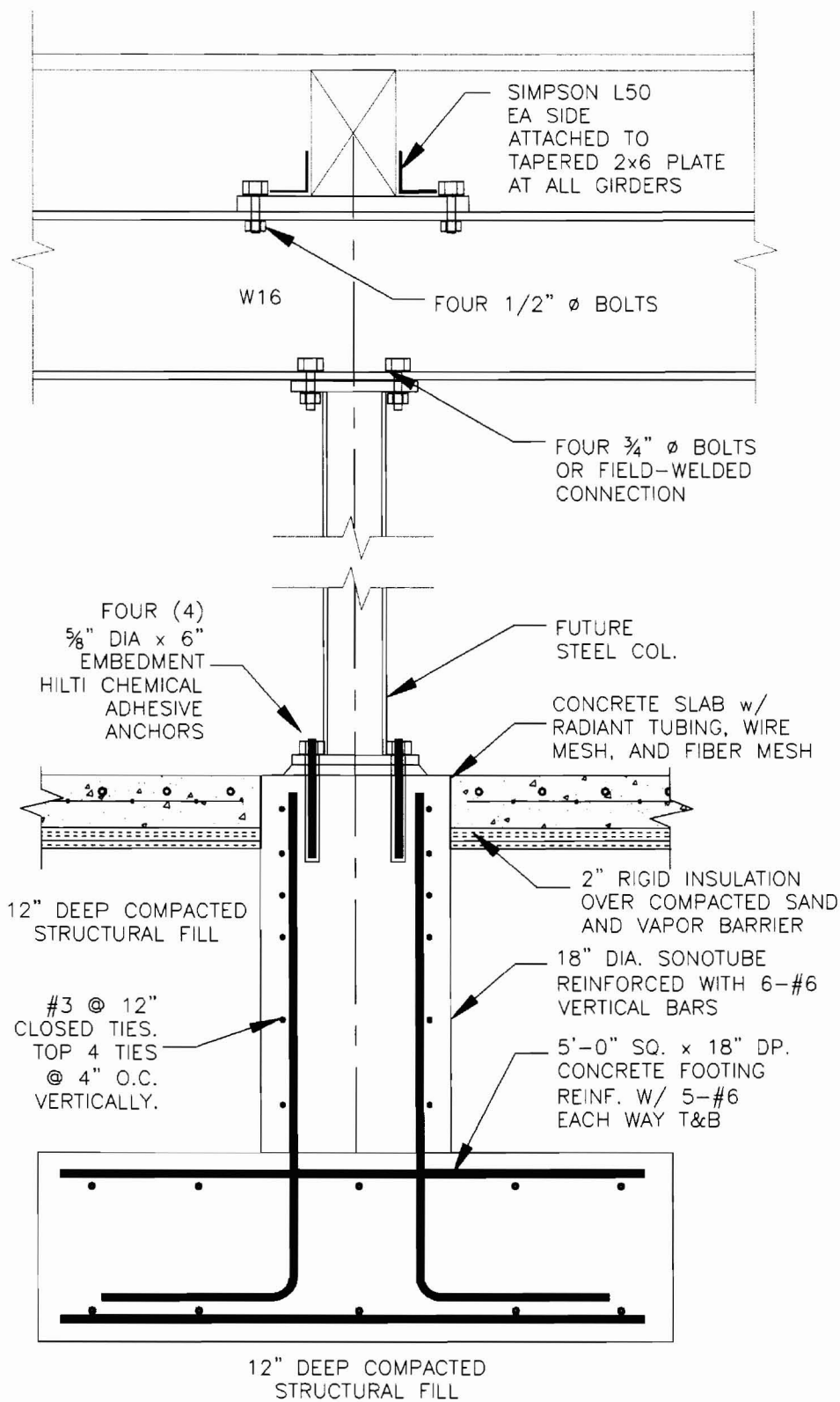
1. ALL COMPOSITE LUMBER USE ENGINEERED WOOD PRODUCTS. FRAMING LUMBER USED FOR OT SPRUCE-PINE-FIR NO. 2 OR BETT
2. ALL JOIST HANGERS, HURRICA SPECIFIED, MANUFACTURED BY S SIMPSON STRONG-TIE REQUIRE
3. SPECIAL ATTENTION SHOULD I
4. WHEN FASTENING INTO EXIST OR SCREWS DO NOT CRACK EXIS TEMPORARILY PIN JOIST HANG
5. NEW STRUCTURAL FRAMING II FINISH CARPENTRY, DRYWALL IN SHORING IS REMOVED.
6. ACCLIMATE FRAMING LUMBER FOR AT LEAST 48 HOURS BEFORE SPACER BLOCKS. STORE OUT OI
7. DO NOT NOTCH JOISTS IN THE REPAIR EXISTING, NOTCHED JOIS WITH NEW MATERIAL OF THE SAME GLUE AND SCREW NEW MATERIA PREDRILL HOLES INTO ADDED PII FOR EXISTING MATERIAL. REFER



**WORKSHOP REPAIRS
ROOF FRAMING PLAN**

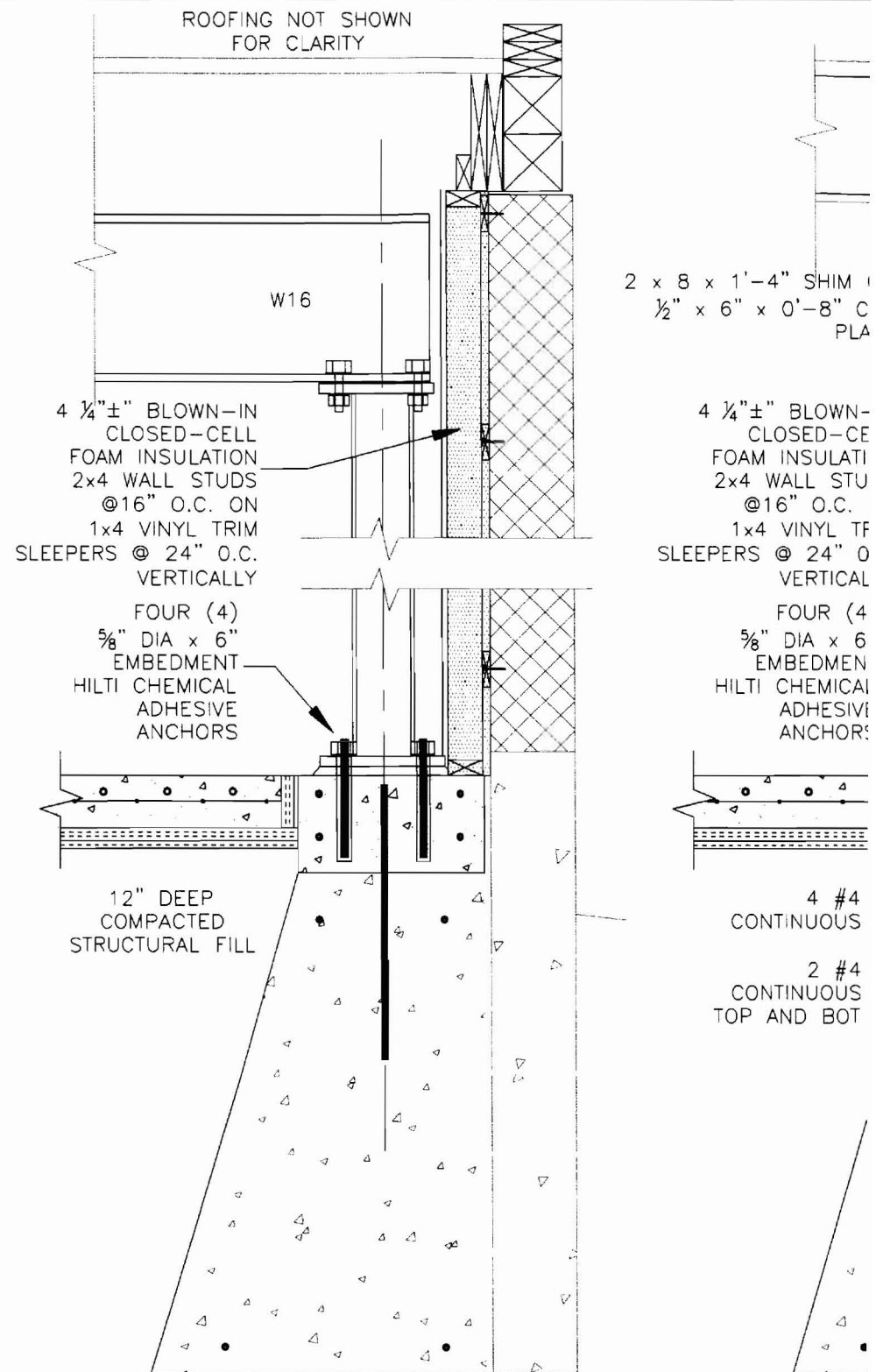
SCALE: 1/4" = 1'-0"





**WORKSHOP
CENTER PIER SECTION**

SCALE: 3/4" = 1'-0"



**WORKSHOP
EAST/WEST WALL SECTION**

SCALE: 3/4" = 1'-0"

**V
SOUTH**

STRUCTURAL GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS. FURTHERMORE, THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THE SAFETY OF ADJACENT PROPERTY AND THE PUBLIC.
2. NO PROVISIONS HAVE BEEN MADE FOR ANY TEMPORARY CONDITIONS THAT MAY ARISE DURING CONSTRUCTION PRIOR TO THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS, SHORING, AND TEMPORARY BRACING DURING THE PROJECT.
3. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS THAT MAY AFFECT THE WORK. BECAUSE THIS PROJECT INVOLVES RETROFITTING AND MODIFICATIONS OF EXISTING STRUCTURES, THE CONTRACTOR SHALL TAKE THE NECESSARY MEASURE TO FIELD VERIFY EXISTING CONDITIONS AS SHOWN ON THE DRAWINGS.
4. ANY MODIFICATION OR ALTERATION OF THESE CONSTRUCTION DOCUMENTS OR CHANGES IN CONSTRUCTION FROM THE INTENT OF THESE DOCUMENTS BY THE CONTRACTOR WITHOUT WRITTEN APPROVAL OF THE ENGINEER SHALL REMOVE ALL PROFESSIONAL AND LIABILITY RESPONSIBILITY ON THE PART OF THE ENGINEER. ALTERNATE CONNECTION DETAILS MAY BE USED IF SUBMITTED TO THE ENGINEER FOR REVIEW, AND ACCEPTANCE GRANTED.
5. DO NOT SCALE FROM THE DRAWINGS.

DESIGN CRITERIA

1. INTERNATIONAL BUILDING CODE, 2003 EDITION; INCLUDING CONSIDERATION OF CHAPTER 34, EXISTING BUILDINGS.

ADDRESS: 61 INDIA STREET, PORTLAND, MAINE
CITY CHART - BLOCK - LOT NUMBER 020-E021-001
ZONE B-2B

SLAB LIVE LOAD: BUSINESS/WORKSHOP OCCUPANCY
190 POUNDS PER SQUARE FOOT

WIND LOAD: PER IBC SECTION 1609.0/ASCE 7-02 CHAPTER 6

BASIC WIND SPEED, (3 SEC GUST)	100 mph
IMPORTANCE FACTOR I_w	1.00
EXPOSURE CATEGORY	B
BUILDING CLASSIFICATION	II
BASIC WIND PRESSURE	20 psf
COMPONENT/CLADDING PRESSURE	30 psf

SEISMIC LOAD: PER IBC SECTION 1615.0;
EARTHQUAKE DESIGN DATA PER SECTION 1616.3:

SEISMIC IMPORTANCE FACTOR, I_e	1.0
SEISMIC USE GROUP	I
SHORT-PERIOD RESPONSE ACCELERATION	0.37
1-SECOND RESPONSE ACCELERATION	0.10
SEISMIC DESIGN CATEGORY	C
BASIC SEISMIC FORCE-RESISTING SYSTEM	SHEAR WALLS
RESPONSE MODIFICATION FACTOR	1.5
ANALYSIS PROCEDURE:	EQUIVALENT LATERAL FORCE

LUMBER AND JOIST HANGING

1. ALL COMPOSITE LUMBER USED ENGINEERED WOOD PRODUCTS. FRAMING LUMBER USED FOR OTHER SPRUCE-PINE-FIR NO. 2 OR BETTER.
2. ALL JOIST HANGERS, HURRICANE SPECIFIED, MANUFACTURED BY SIMPSON STRONG-TIE REQUIREMENTS.
3. SPECIAL ATTENTION SHOULD BE GIVEN TO THE CONNECTIONS.
4. NEW STRUCTURAL FRAMING IN EXISTING STRUCTURES SHALL BE

CAST-IN-PLACE CONCRETE

1. ALL CONCRETE WORK AND REINFORCEMENT SHALL BE IN ACCORDANCE TO THE LATEST ACI STANDARDS.
2. SLAB CONCRETE SHALL BE AIR ENTRAINED AND HAVE A 28-DAY COMPRESSIVE STRENGTH OF NOT LESS THAN 4000 PSI.
3. PLACE NO CONCRETE WITHOUT THE CITY OF PORTLAND PERMITS. ALL EMBEDDED ITEMS BY THE CITY OF PORTLAND SHALL BE INSTALLED PRIOR TO THE CONCRETE POUR.
4. FIRMLY SECURE ALL EMBEDDED ITEMS BY TIE WIRE TO PREVENT MOVEMENT. COORDINATE ALL DIMENSIONS AND LOCATIONS WITH MECHANICAL CONTRACTOR, HEAT TUBING, AND OTHER EMBEDDED ITEMS.
5. ALL CONCRETE MATERIALS, REINFORCEMENT, AND FORMS SHALL BE FREE OF DEBRIS.
6. CONSOLIDATE ALL CONCRETE PER ACI 301.
7. SLAB WIRE REINFORCING SHALL BE INSTALLED PRIOR TO THE CONCRETE POUR.

STRUCTURAL STEEL

1. UNLESS NOTED, STRUCTURAL STEEL SHALL BE NEW A36 STRUCTURAL STEEL SHAPES.
2. WELDED CONSTRUCTION SHALL BE IN ACCORDANCE WITH STRUCTURAL WELDING CODE FOR BRIDGE AND METHODS USED IN CONNECTIONS SHALL BE CLASS E70XX.

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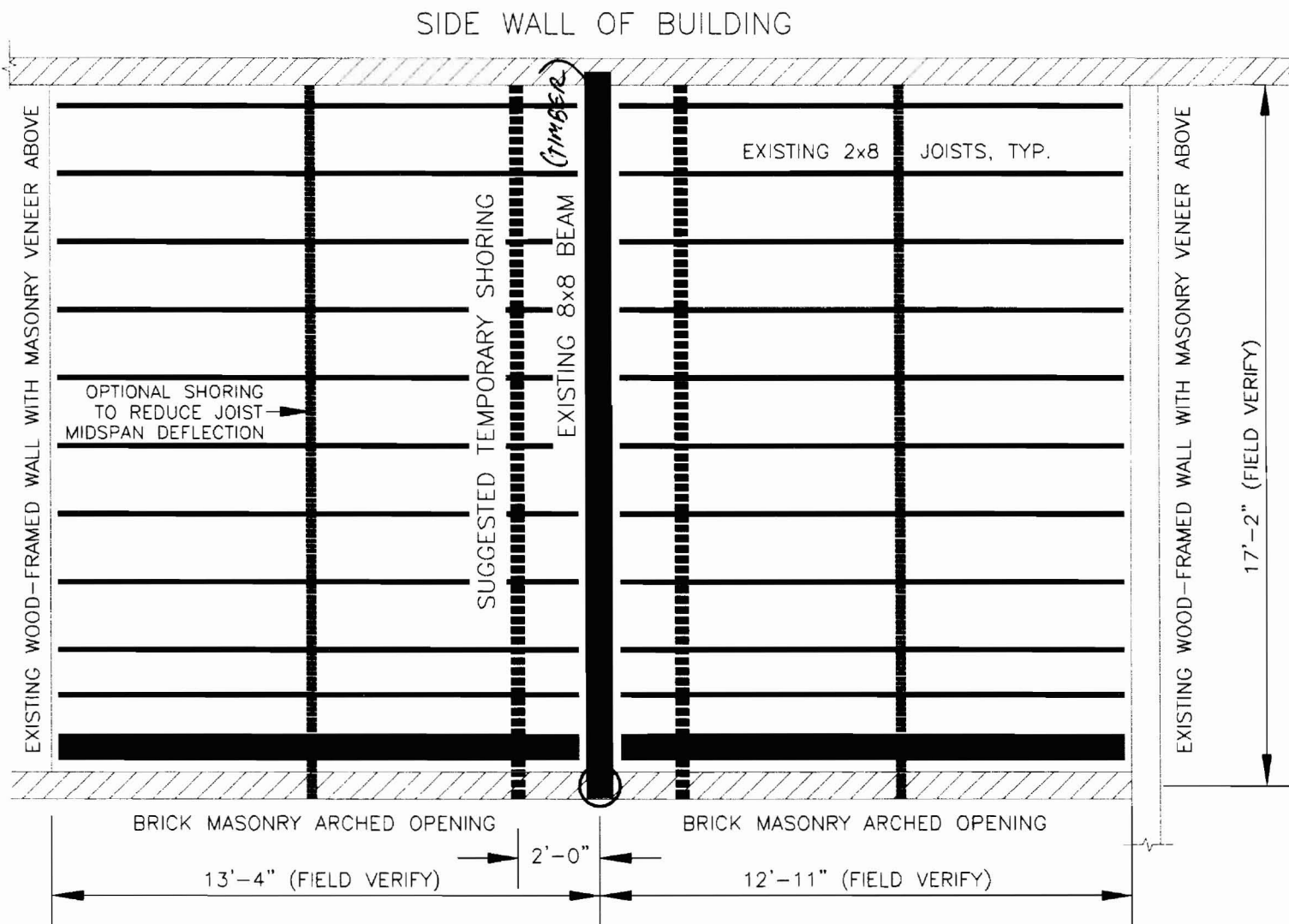
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CAST-IN-PLACE CONCRETE

1. ALL CONCRETE WORK AND REINFORCEMENT SHALL BE CONFORM TO THE LATEST ACI STANDARDS, INCLUDING THE LATEST ACI 301.
2. SLAB CONCRETE SHALL BE AIR ENTRAINED AND HAVE A 28-DAY COMPRESSIVE STRENGTH OF NOT LESS THAN 4000 PSI.
3. PLACE NO CONCRETE WITHOUT THE CITY OF PORTLAND EMBEDDED ITEMS BY THE CITY OF PORTLAND.
4. FIRMLY SECURE ALL EMBEDDED ITEMS BY TIE WIRE TO PREVENT MOVEMENT. COORDINATE ALL DIMENSIONS AND LOCATIONS WITH HEAT TUBING, AND OTHER EMBEDDED ITEMS.
5. ALL CONCRETE MATERIALS, REINFORCEMENT, AND DEBRIS SHALL BE CONFORM TO THE LATEST ACI STANDARDS, INCLUDING THE LATEST ACI 301.
6. CONSOLIDATE ALL CONCRETE WITH VIBRATORS.
7. SLAB WIRE REINFORCING SHALL BE CONFORM TO THE LATEST ACI STANDARDS, INCLUDING THE LATEST ACI 301.

STRUCTURAL STEEL

1. UNLESS NOTED, STRUCTURAL STEEL SHALL BE NEW A36 STRUCTURAL STEEL SHAPES.
2. WELDED CONSTRUCTION SHALL BE CONFORM TO THE LATEST ACI STANDARDS, INCLUDING THE LATEST ACI 301. WELDING METHODS USED IN CONNECTIONS SHALL BE CLASS E70XX.



KEY NOTES

- NOTE 1: ■■■■■■ INDICATES SUGGESTED TEMPORARY SHORING LOCATION ON FIRST AND SECOND FLOORS.
 NOTE 1: ■■■■■■ INDICATES OPTIONAL TEMPORARY SHORING LOCATION TO SLOWLY JACK UP EXISTING JOISTS.

STRUCTU

1. THE CONT REQUIREMEI RESPONSIBL
2. NO PROVI ARISE DURIN CONTRACTO OF ALL FOR
3. NOTIFY EI EXISTING CC INVOLVES RE CONTRACTO CONDITIONS
4. ANY MODI CHANGES IN CONTRACTO PROFESSION ALTERNATE ENGINEER FI
5. DO NOT S

DESIGN C

1. INTERNATI CHAPTER 34

ADDRESS: (CI ZI

LIVE LOAD: 40 POUND

WIND LOAD:

BASIC WIND IMPORTANK EXPOSURE BUILDING C BASIC WIND COMPONENT

SEISMIC LO: EARTHQU

SEISMIC IMP SEISMIC US SHORT-PEF 1-SECOND SEISMIC DE BASIC SEIS RESPONSE ANALYSIS F