

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BUILDING INSPECTION

PERMIT

Permit Number: 070051

This is to certify that Elizabeth Graves
BROWN HADLEY M JR / Street LeClair

has permission to Change first floor to office, relocate & remove walls from 2nd to 3rd floor

AT 97 NEWBURY ST

020 B017001

PERMIT ISSUED

FEB - 9 2007

provided that the person or persons who receive this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland relating to the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or services closed-in. 4
 YOUR NOTICE REQUIRED

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Jay Kelley, P.F.D. 1/18/07

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

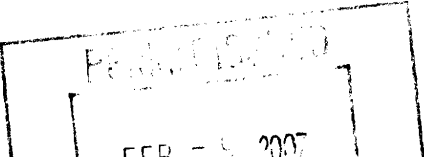
City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0051	Issue Date:	CBL: 020 B017001
-----------------------	-------------	---------------------

Location of Construction: 97 NEWBURY ST	Owner Name: <i>Elizabeth Grand</i> BROWN HADLEY M JR	Owner Address: 97 NEWBURY ST	Phone:
Business Name:	Contractor Name: Scott LeClair	Contractor Address: 53 Boyton Road Buckston	Phone: 2078313237
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Dwellings	Zone: <i>B2b</i>

Past Use: Residential 2 unit	Proposed Use: Commercial/ Residential - Change first floor to office, Relocate & rebuild stairs from 2nd & 3rd floor	Permit Fee: \$295.00	Cost of Work: \$20,000.00	CEO District: 1
Proposed Project Description: Change first floor to office, Relocate & rebuild stairs from 2nd & 3rd floor		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>B/R-3</i> Type: <i>SB</i> <i>IBC 2003</i>	
		Signature: <i>JK PF D 1/18/07</i>	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: ldobson	Date Applied For: 01/12/2007	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>1/17/07</i> <i>ASW</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ASW</i>
				

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0051	Date Applied For: 01/12/2007	CBL: 020 B017001
------------------------------	--	----------------------------

Location of Construction: 97 NEWBURY ST	Owner Name: Elizabeth Graves	Owner Address: 97 NEWBURY ST	Phone:
Business Name:	Contractor Name: Scott LeClair	Contractor Address: 53 Boyton Road Buckston	Phone (207) 831-3237
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Dwellings	

Proposed Use: Commercial/ Residential - Change first floor to office, Relocate & rebuild stairs from 2nd & 3rd floor	Proposed Project Description: Change first floor to office, Relocate & rebuild stairs from 2nd & 3rd floor
--	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 01/17/2007

Note: With change of use from residential to office, needs to show two parking spaces and one for the remaining dwelling unit for a total of three. Site plan shows this. **Ok to Issue:**

- 1) With the issuance of this permit and the certificate of occupancy the use of the building will be office space on the first floor, a dwelling unit on the second floor and the third floor is vacant. A separate permit will have to be taken out when the use of the third floor is established.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 02/09/2007

Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) As discussed, 5/8" Type X drywall will be installed on all 1st floor ceiling surfaces.
- 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 4) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 5) The basement is NOT approved as habitable space.

Dept: Fire **Status:** Approved **Reviewer:** Jay Kelley **Approval Date:** 01/18/2007

Note: **Ok to Issue:**

- 1) maintain all life safety issues within this building
- 2) Build stairs to code

Comments:

1/16/2007-amachado: Left message for Betsy Graves. Need right, title & interest. Need to know her figure for office space, Parking plan notes, there seems to be a tree in the way.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 97 Newbury ST 04101		
Total Square Footage of Proposed Structure existing 225' x 46' (10357)		Square Footage of Lot 24507
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 20 B 17	Owner: ELIZABETH GRAVES	Telephone: 207 831-3237
Lessee/Buyer's Name (If Applicable) NA	Applicant name, address & telephone: Elizabeth Graves 97 Newbury St	Cost Of Work: \$ 20K Fee: \$ 220 ⁰⁰ / ₁₀₀ C of O Fee: \$ 75
Current Specific use: Residential - 2 UNIT If vacant, what was the previous use? NA Proposed Specific use: 1 st FLOOR - OFFICE 2 nd FLOOR - Residential		
Project description: Relocate and Rebuild Stairs from 2 nd to 3 rd Floor		
Contractor's name, address & telephone: Scott LeClair 53 Boynton Rd, Buckston 04293 Tel: 590 5039 Who should we contact when the permit is ready: ELIZABETH GRAVES (Buky) Mailing address: 18 Lewis St Apt 2 Portland Me. 04102 Phone: 831 3237		

Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: 1/11/07
-------------------------	---------------

This is not a permit; you may not commence ANY work until the permit is issued.

From: "Betsy Graves" <betsy.graves@envirologix.com>
To: "Tammy Munson" <TMM@portlandmaine.gov>
Date: 2/2/2007 2:34:24 PM
Subject: RE: 97 Newbury

Hi Tammy

1/ 2X12" for the stringers

2/ top and bottom openings will be at least 82" x 36"

3/ No winders

4/ The ceiling between the office and the unit is plaster + acoustic tiles (drop ceiling) - I'm not sure what the actual fire rating would be.

Hope that answers your questions. Thank you for your help!

Cheers
Betsy

-----Original Message-----

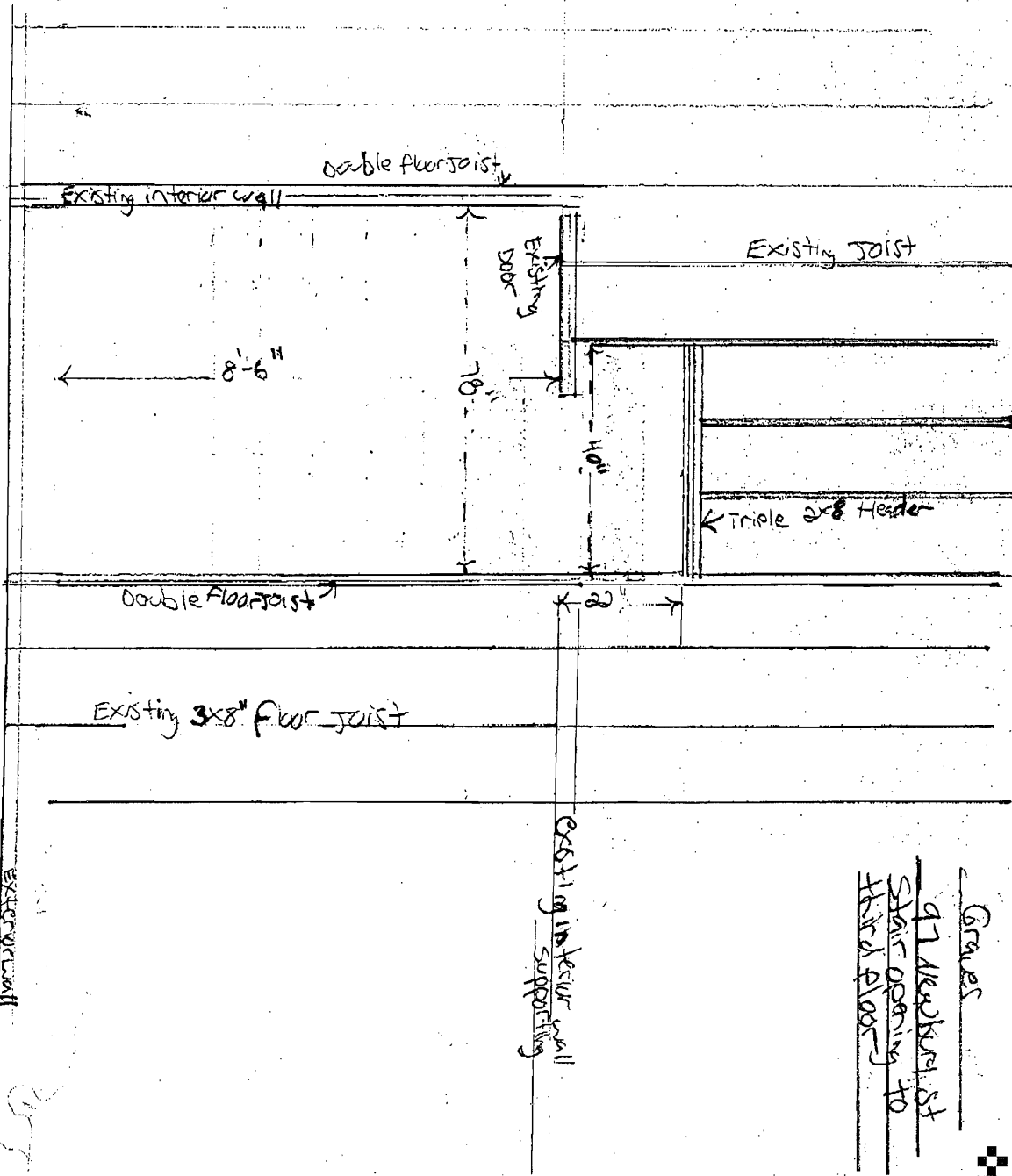
From: Tammy Munson [mailto:TMM@portlandmaine.gov]
Sent: Friday, February 02, 2007 1:52 PM
To: betsy.graves@envirologix.com
Subject: 97 Newbury

Hi Betsy, I am currently reviewing your permit. I need some building info:

1. Framing details on stairs.
 2. Framing detail of opening.
 3. Are there winders?
 4. What is the fire rating of the floor/ceiling assembly between the office and the unit?
- Please call w/questions.

Thanks, Tammy

831-3257



Feb. 06 2007 06:31AM P1

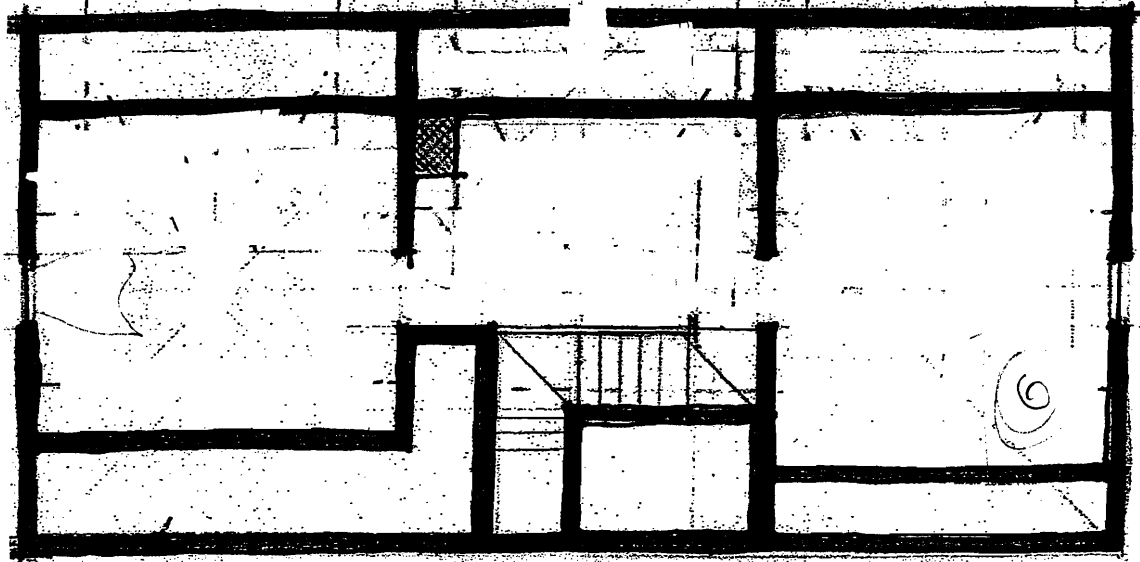
FAX NO. : 2079296963

COM : SCOTTS HOME IMPROVEMENT

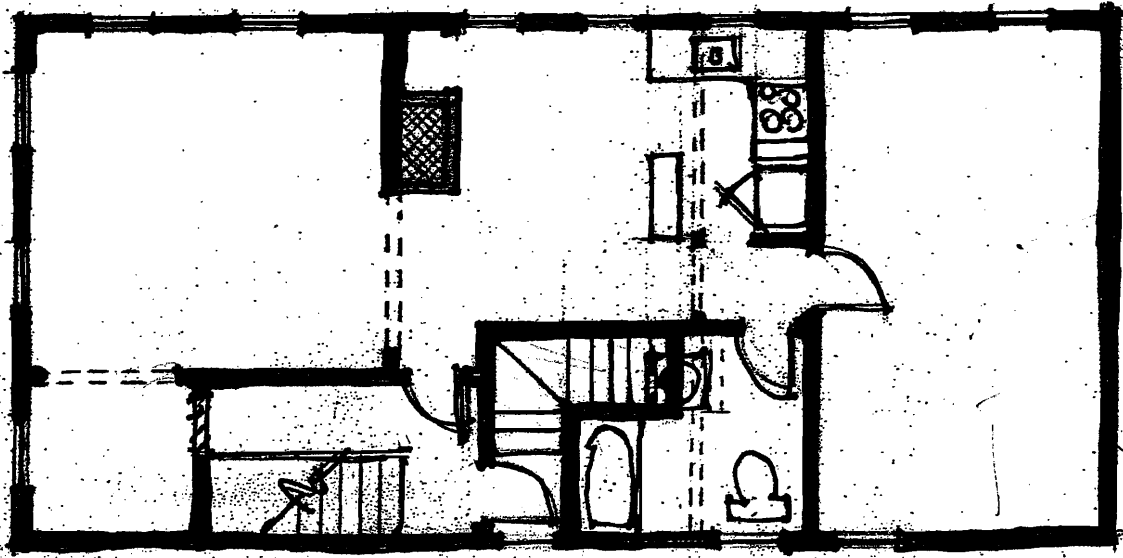


12/15 97 Newbury St.

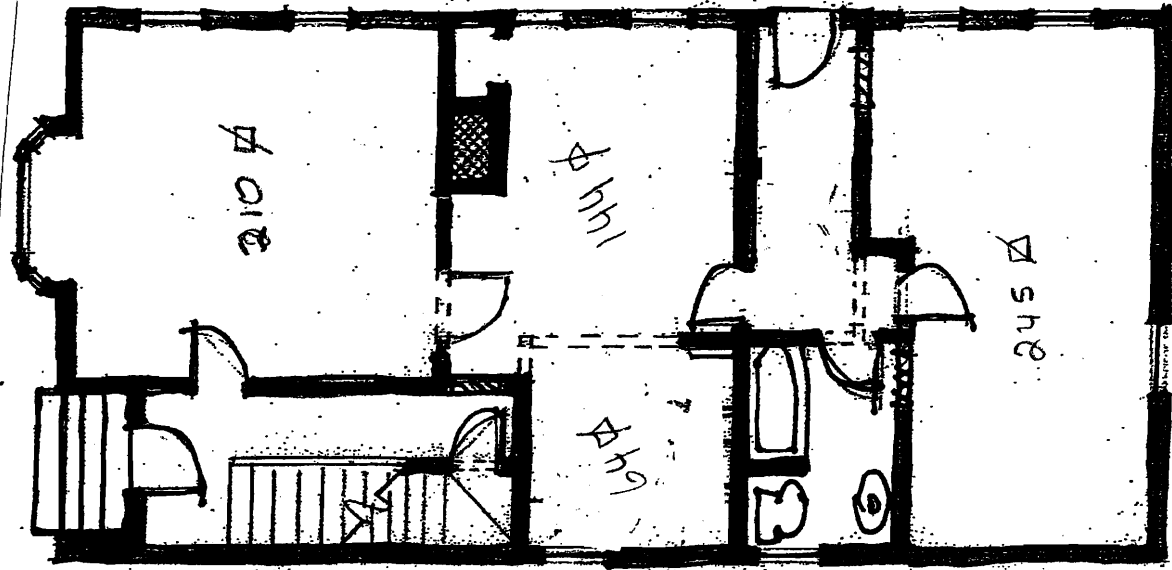
3rd FLOOR



2nd FLOOR



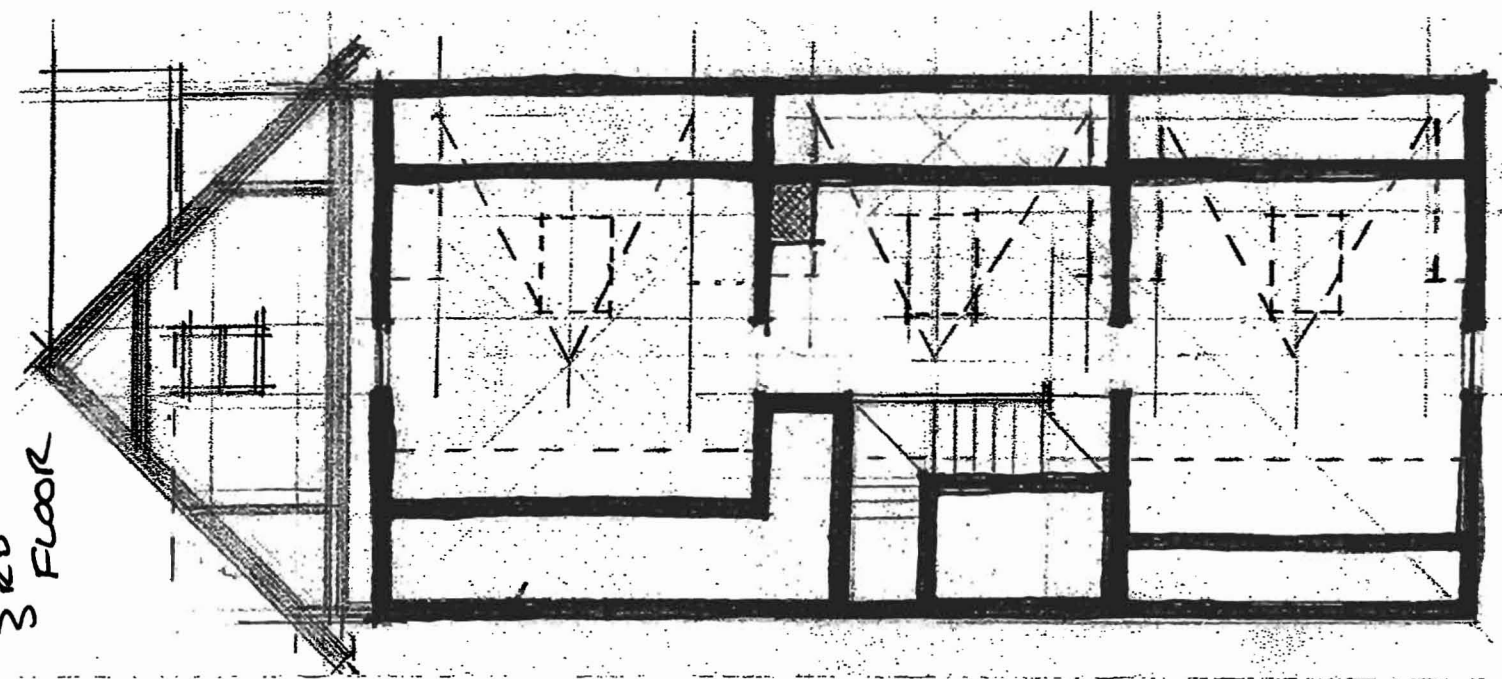
1st FLOOR



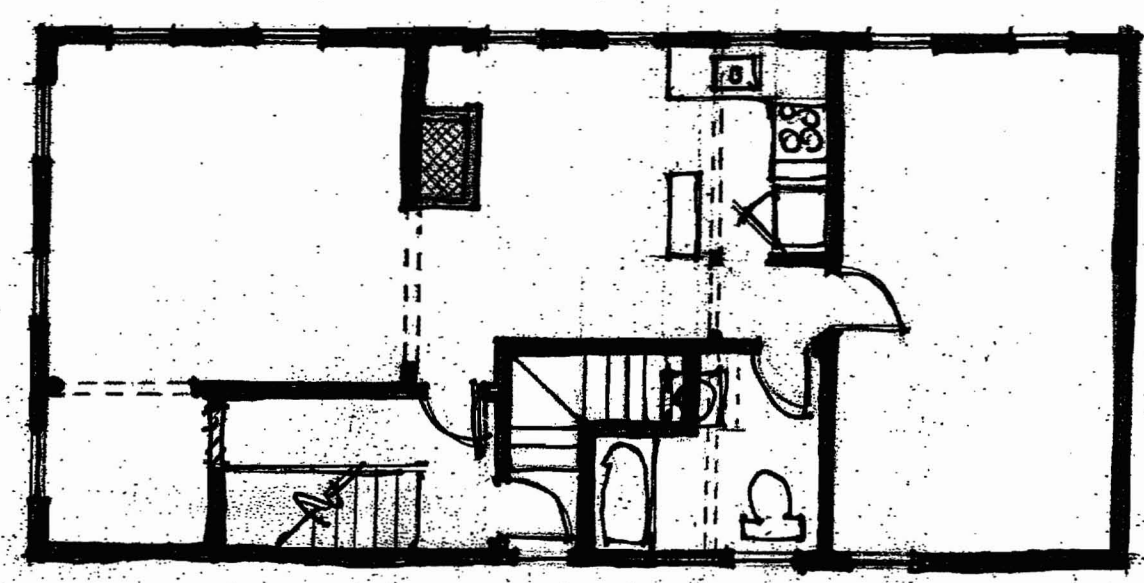
243x2 = 686

TOTAL = 663

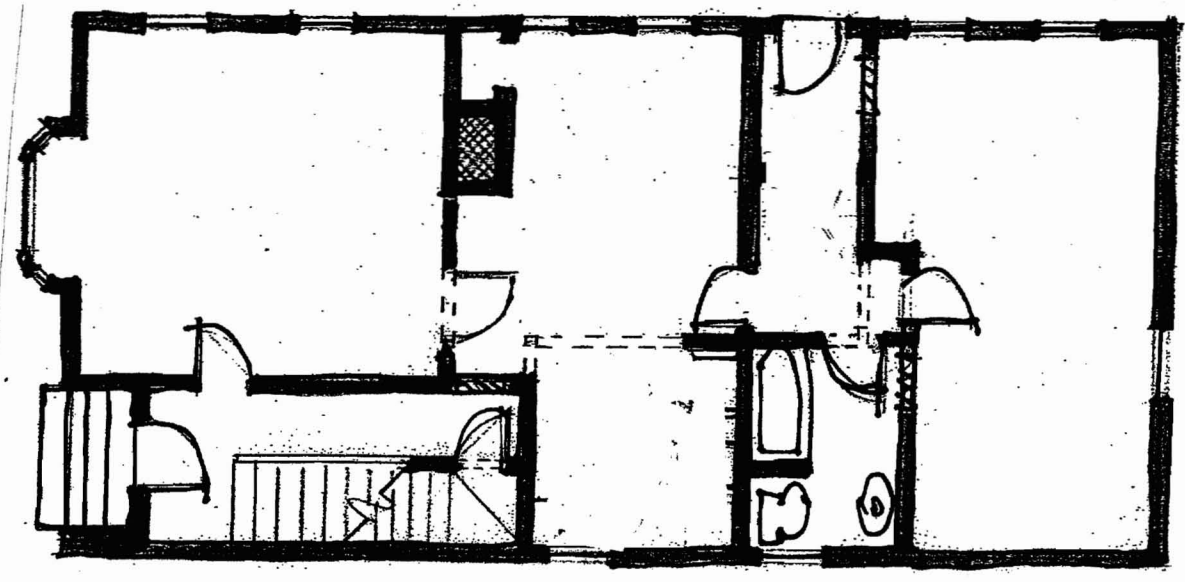
3RD
FLOOR



2ND
FLOOR



1ST
FLOOR



From: Tammy Munson
To: betsy.graves@envirologix.com
Date: 2/2/2007 1:51:51 PM
Subject: 97 Newbury

Hi Betsy, I am currently reviewing your permit. I need some building info:

1. Framing details on stairs.
 2. Framing detail of opening.
 3. Are there winders?
 4. What is the fire rating of the floor/ceiling assembly between the office and the unit?
- Please call w/questions.

Thanks, Tammy

CHANGE OF USE AND BUILDING PERMIT APPLICATION

FOR: **97 Newbury St, PORTLAND ME. 04101**

DATE: **Jan 11, 2007**

BLOCK # : **20-B-17**

ZONE: **B2B/R6**

PROJECT SUMMARY:

The current permitted use of this property is as a residential 2 unit. This application requests a change of use to allow the first floor to be used as office space. 3 off street parking places will be created.

This permit also requests that the stairway from the 2nd to the 3rd floor (which is currently almost impassable) be moved and rebuilt to code.

The third floor will not be used at this time.

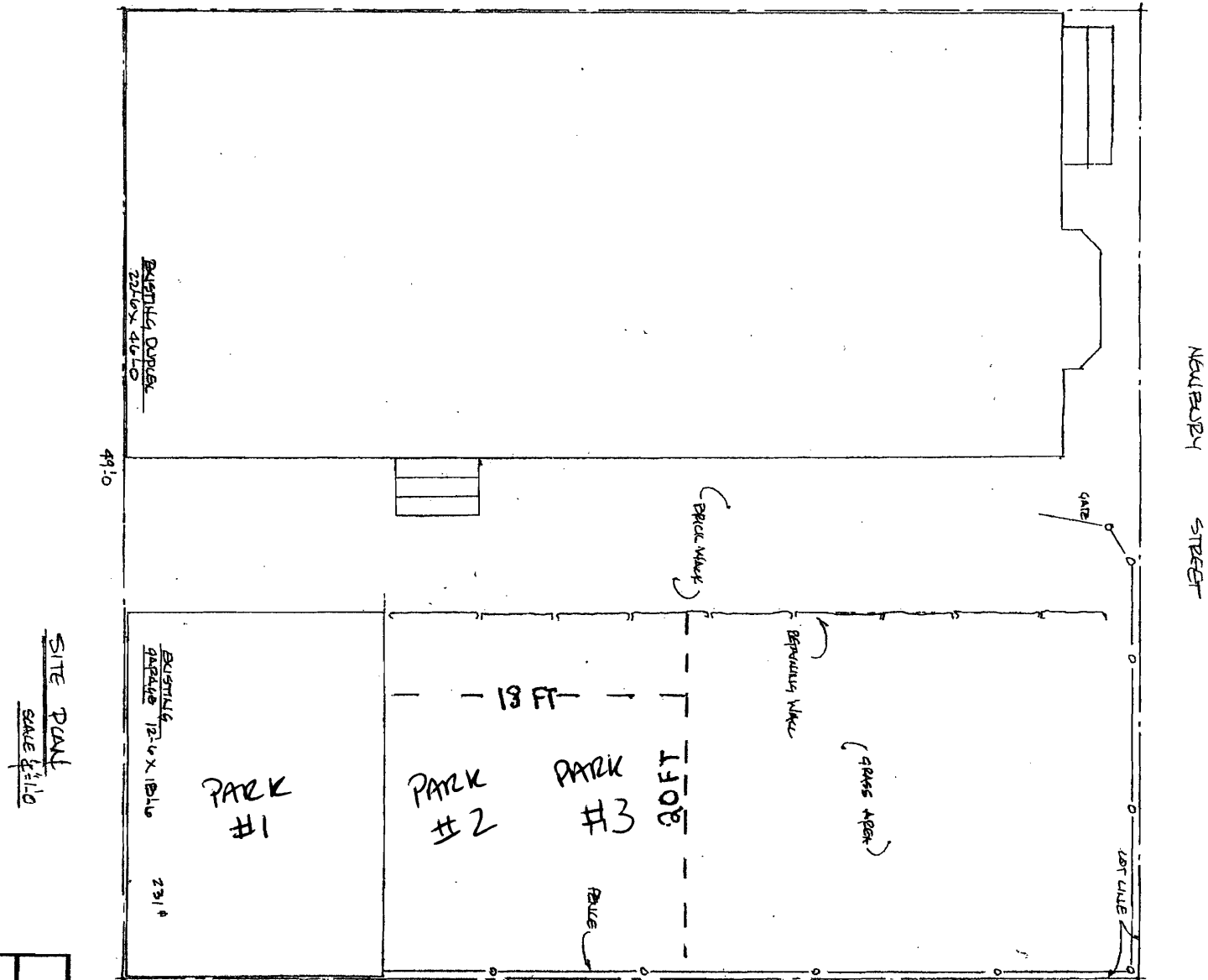
Submitted by Elizabeth Graves

Tel: (207) 831-3237

Email: betsy_graves@hotmail.com

OK, JTL 11/2/07
 need to have licensed count,

John Low
 (publicworks)



SITE PLAN
 SCALE 1/4"=1'-0"

DATE	9-11-06
PROJECT	97 NEWBURY STREET, DUREX REPAIRING MAINE
SCALE	1/4"=1'-0"
SCALE	1/4"=1'-0"
DATE	4-1-10
SCALE	PK
PROJECT	Richard H. Campbell, Inc. 30 Freedom Park Bangor, Maine 04401 Tel: (207) 848-0871 Fax: (207) 848-0844 Construction Management Project: []

BRICK - existing SW
 HANCOCK STREET
 TREE
 19'±
 BIT.
 19'±
 QUANITE CURB
 INSTALL (2) granite radius stones
 curb curb 19'±, BIT. concrete DLW APPROX.
 Est Sq FT 550

From: Ann Machado
To: Betsy Graves
Date: 1/17/2007 12:22:10 PM
Subject: RE: 97 Newbury St- garage

Betsy - Thanks for the information about the garage. I will move the permit forward to the fire inspector.

You cannot rent the downstairs until you get a Certificate of Occupancy for the change of use for the first floor. Before that happens, both the fire and building inspectors must inspect the property to make sure that it is up to code and then maybe they can issue the Certificate of Occupancy before all the work is complete on the second & third floor.

Ann

>>> "Betsy Graves" <betsy.graves@envirologix.com> 1/17/2007 10:34:18 AM >>>
Hi Ann

The original garage door is on the Hancock St side of the garage (ie drive straight in from Hancock St). It was removed and boarded over by the previous owner. I plan to remove the boards and install a garage door.

The curb cut I just had put in is 19.5 ft. It extends along Hancock St from the corner of my property to the tree, including the garage.

(Public works put a curb in front of the garage when they last did Hancock st and so are covering the cost of the road work to do the curb cut- I think I have all that terminology correct :) anyway they're paying for something)

Provided the above answers your questions, how soon am I able to rent the downstairs? Do I need to wait for the building part of the permit to be approved even though that is not part of the office space?

THANK YOU SO MUCH for you're help !!!!!!!!!

Sorry I didn't get to talk to you in person !!!

Cheers

Betsy

-----Original Message-----

From: Ann Machado [<mailto:AMACHADO@portlandmaine.gov>]
Sent: Wednesday, January 17, 2007 9:54 AM
To: betsy.graves@envirologix.com
Subject: Re: 97 Newbury St

Betsy -

Thanks for the email. I have the deed showing right, title and interest so you are all set there.

The square footage calculation for office space is incorrect. The ordinance says " floor area exclusive of cellar not used for buldk storage." Not including the common area to the second floor, I came up with 818 square feet. If you divide that by 334, it comes out to 2.45 parking spaces which means two spaces for the office area on the first floor and one space for the existing dwelling unit for a total of three spaces.

I'm all set with your parking access and the existing tree. My one remaining question about parking is if one space is in the exisitng garage, is there access to it from the street? Is there a curb there and is there a door in the garage that faces the street?

Let me know about access to the garage and then your permit is all set and I will move it forward.

Ann Machado

>>> "Betsy Graves" <betsy.graves@envirologix.com> 1/17/2007 8:25:53 AM

>>>

Hi Ann

I have a meeting first thing this morning, but I'll try calling you later.
Meanwhile....

1/ Deed - see if attached helps

2/ Square footage - I attached my calculations. I did not include common areas. If you need to include the bathroom, I can come up with a similar square footage by drawing in (and subtracting) a big cupboard that is around the chimney. I believe you said storage areas could be excluded.

3/ The tree - John Low at Public Works has been helping me with this. We both wanted to save the tree, so the driveway angles across the sidewalk (see the dotted line) from the tree to the far edge of the parking

spaces.

They got it done last weekend before the snow, so I can send you a picture if you want, or you can talk to John Low.

Hope that helps

Betsy Graves
QA Manager
EnviroLogix Inc.
500 Riverside Industrial Parkway
Portland, Maine 04103
(207) 797-0300 ext. 424

betsy.graves@envirologix.com

WARRANTY DEED

Know All Men By These Presents That I, Hadley M. Brown, Jr.

of 274 Sherwood Street, Portland,
County of Cumberland and State of Maine,

for consideration paid, grant to Elizabeth S. Graves

of 18 Lewis Street Apt 2, Portland,
County of Cumberland and State of Maine

with **WARRANTY COVENANTS:**

A certain lot or parcel of land together with any buildings thereon situated in
Portland County of Cumberland
and State of Maine, more particularly described in Exhibit A attached hereto and
incorporated herein by reference.

In Witness Whereof, I have hereunto set my hand(s) this 28th day of
December, 2006.

Witness

[Handwritten Signature]

[Handwritten Signature]
Hadley M. Brown, Jr.

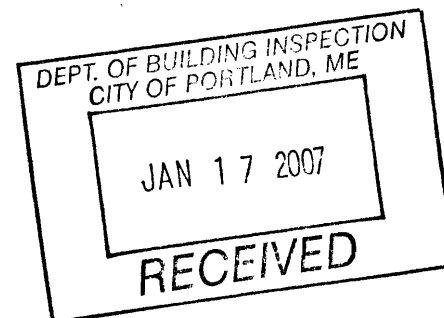
State of Maine
County of Cumberland ss.

On this 28th day of December, 2006, personally appeared before me the
above named Hadley M. Brown, Jr.
and acknowledged the foregoing to be his/her/their free act and deed.

[Handwritten Signature]
Notary Public, Attorney at Law

Return to: Elizabeth S. Graves

CLAUDE B. MORRIS



File No: 06031910

Exhibit A - Deed

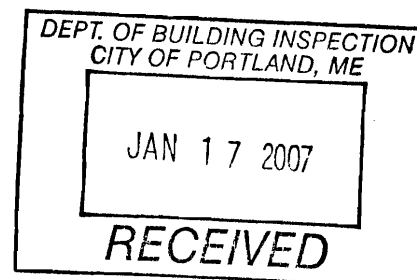
A certain lot or parcel of land, with the buildings thereon, situated on the Northerly corner side of Hancock and Newbury Streets in Portland, County of Cumberland and State of Maine, and bounded and described as follows:

Being the premises situated on the Northerly corner of Hancock and Newbury Street, measuring fifty (50) feet, more or less in width on said Newbury Street, formerly Summer Street, between Hancock and land formerly of William Cobb and extending northwardly between these limits forty-nine (49) feet from said Newbury Street to land formerly of John Dela.

The said premises are numbered 97 on said Newbury Street according to Assessors' plan of the city of Portland and are the same premises which were conveyed to Rachele Germani and Agostino Germani (Now Deceased) as joint tenants by deed of Carmella Maietta dated March 24, 1964, and recorded in the Cumberland County Registry of Deeds in Book 2812, Page 24.

Reference is hereby made to a deed from Rachele Germani dated November 2, 1976 to Hadley M. Brown, Jr. and recorded in the Cumberland County Registry of Deeds in Book 3934, Page 215.

Reviewed/Initialed (H M B JR)



PORTLAND FIRE DEPARTMENT BUILDING PERMIT CHECKLIST

FOR: **97 Newbury St, PORTLAND ME. 04101**
BLOCK #: **20-B-17**

DATE: **Jan 11, 2007**
ZONE: **B2B/R6**

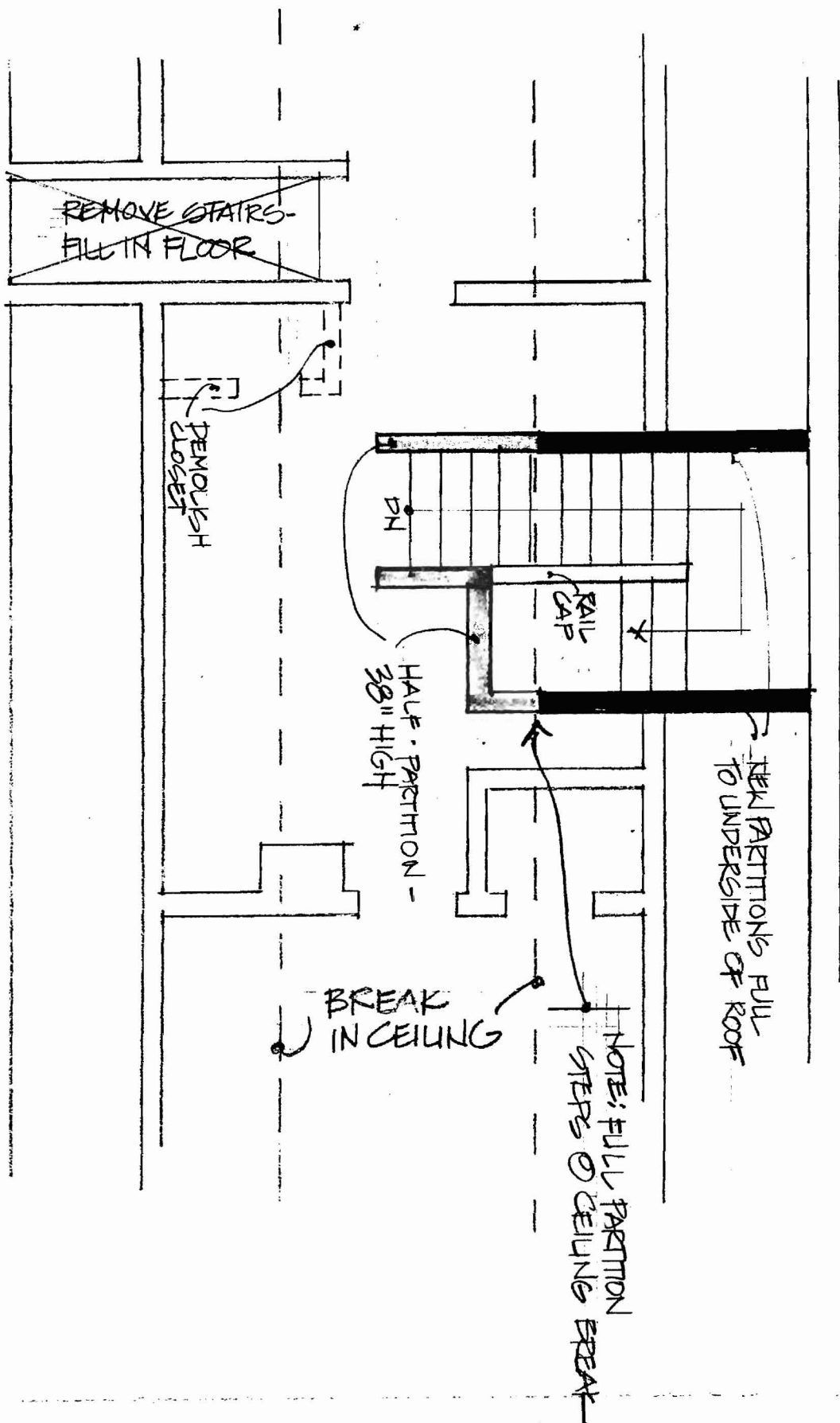
PROJECT SUMMARY:

The current permitted use of this property is as a residential 2 unit. This application requests a change of use to allow the first floor to be used as office space. 3 off street parking places will be created.

This permit also requests that the stairway from the 2nd to the 3rd floor (which is currently almost impassable) be moved and rebuilt to code.

The third floor will not be used at this time.

1. Name, address, and telephone number of the applicant Elizabeth Graves, 97 Newbury St, Portland 04101. Tel: (207) 831-3237
2. Name, address, and telephone number of the architect N/A
3. Proposed use of structure [NFPA and IBC classification] 1st Floor – Office space 2nd – residential 3rd Floor- not used
4. Square footage of all structure [Total and per story] Total = 22.5' x 46' = 1035sqft 1st Floor = 646 sqft (excluding common areas) 2nd Floor = 1035 sqft
5. Existing and proposed fire protection of structure Fire rated doors between units. Hardwired, interconnected smoke detectors.
6. Separate plans shall be submitted for a. Suppression and b. Detection [a separate permit is required] a. No fire suppression plans. b. A separate permit for hardwired, interconnected smoke detectors, will be applied for.
7. A separate Life Safety Plan shall be submitted to include the following: a. Fire resistance ratings of all means of egress – residential fire doors. b. Travel distance from the most remote point to exit discharge – First floor 12' to exit door Second floor 30' to stairs or 22.5' to any of the windows on the Newbury or Hancock St sides. c. Location of any required fire extinguishers - NA d. Location of emergency lighting - NA e. Location of exit signs- NA f. NFPA 101 code summary – EGRESS: At least 2 means of egress are possible from all units. First floor unit 1 – access to front and back door and 6 possible egress windows (including bathroom). First floor unit 2 – access to back door and 3 possible egress windows(including bathroom) Second floor – access to front stairs and 9 possible egress windows. “Egress windows” are 56”x30” or bigger OTHER FIRE PROTECTION : interconnected, hardwired smoke detectors, and fire doors between units.
8. Elevators shall be sized to fit an 81”x23” stretcher No Elevators



ALTERNATE STAIR W/
DOOR @ 2ND FLOOR

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

~~N/A~~ Footing/Building Location Inspection: Prior to pouring concrete
~~N/A~~ Re-Bar Schedule Inspection: Prior to pouring concrete
~~N/A~~ Foundation Inspection: Prior to placing ANY backfill
Call Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
Call Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

_____ If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

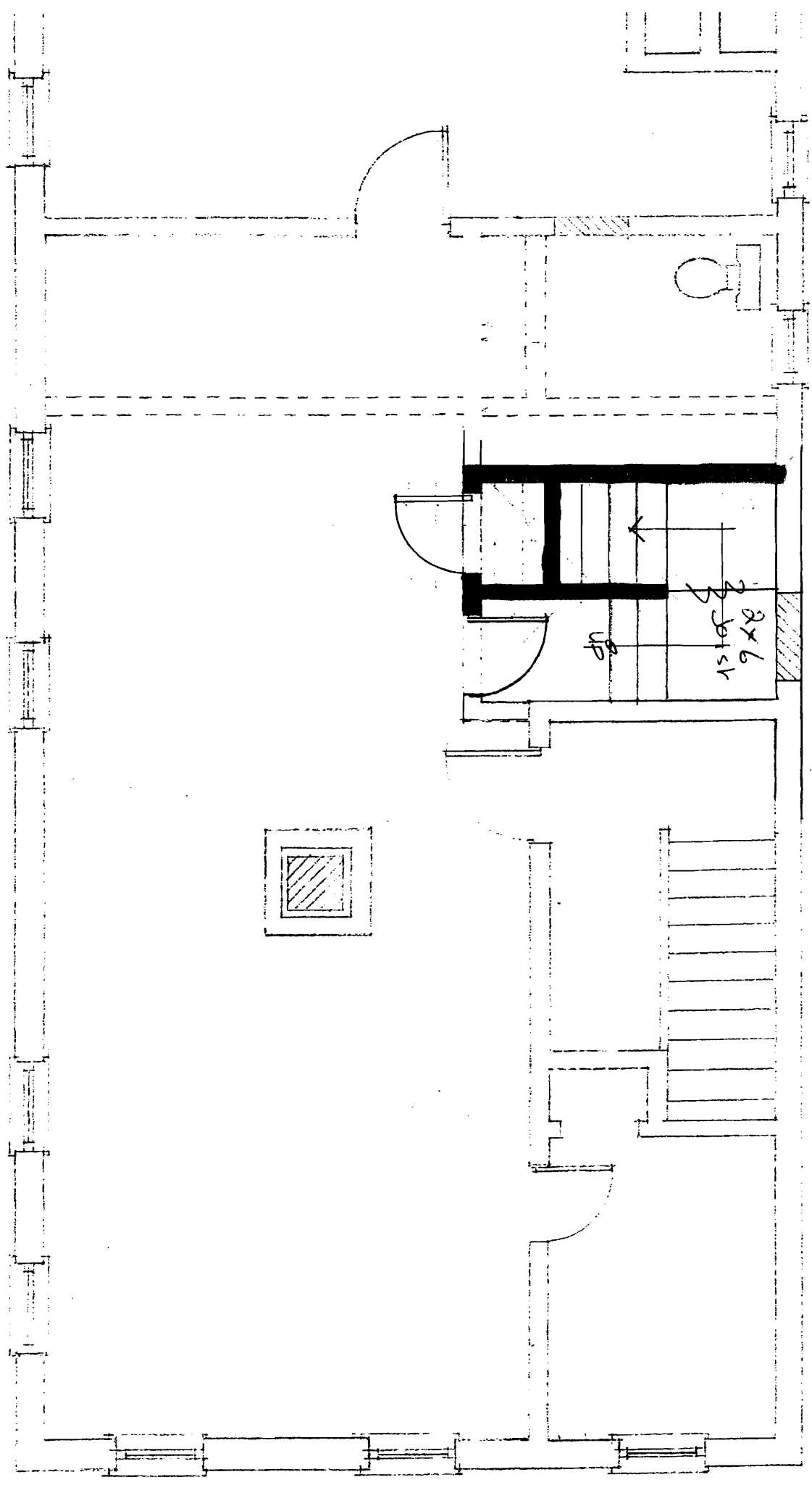
_____ **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

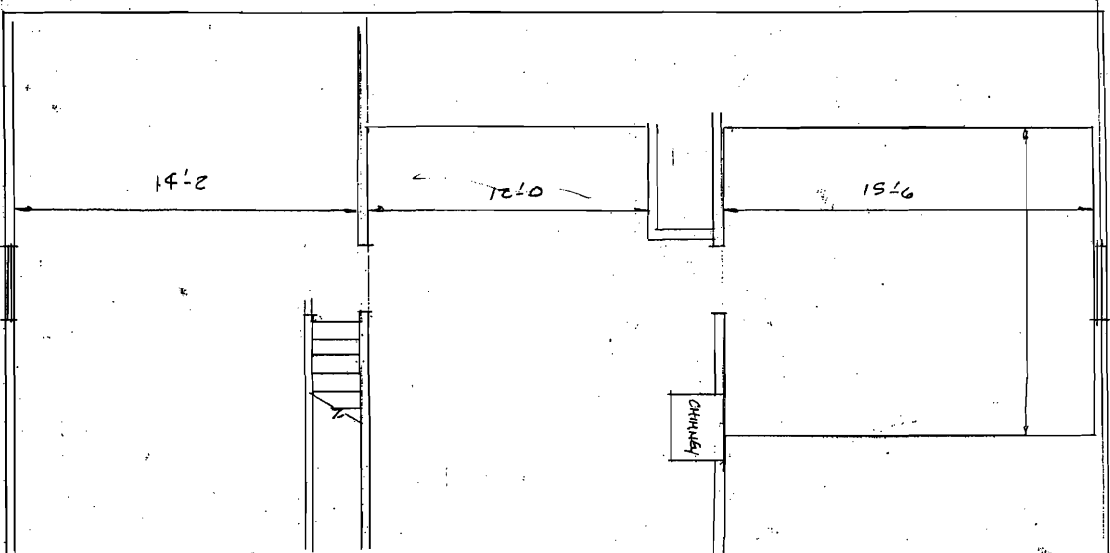
[Signature] Signature of Applicant/Designee Date 2/9/07
[Signature] Signature of Inspections Official Date 2/9/07
CBL: 0263017 Building Permit #: 070051

14"

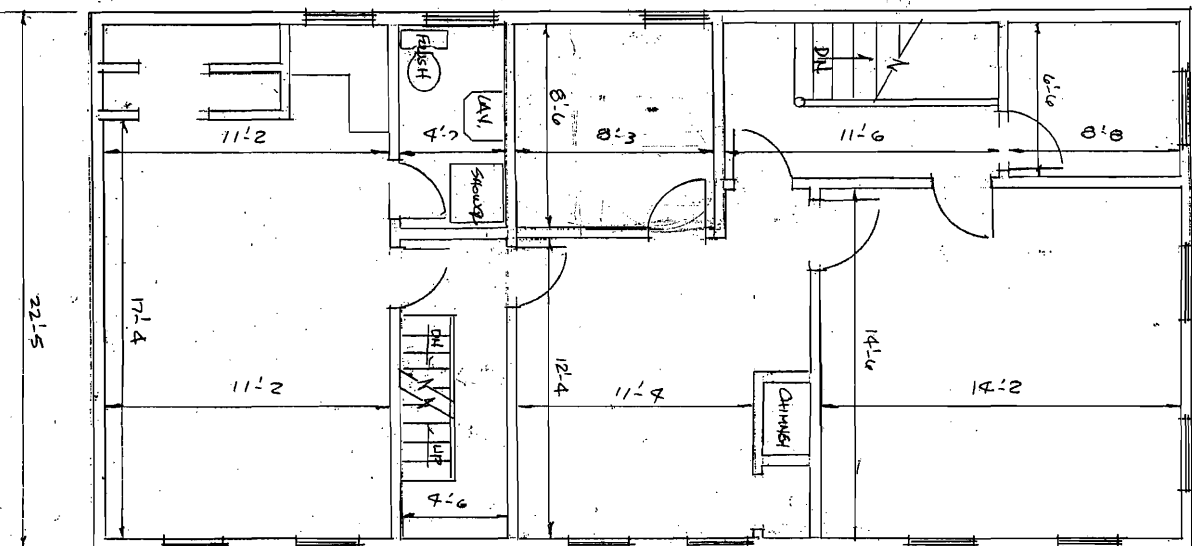
210 P. TO 2ND FLOOR = 81'-9"
14 ROUNDS @ 7 1/2" EACH
WIDTH: 108"

ALTERNATE STAIR W/ DOOR @ 2ND FLOOR

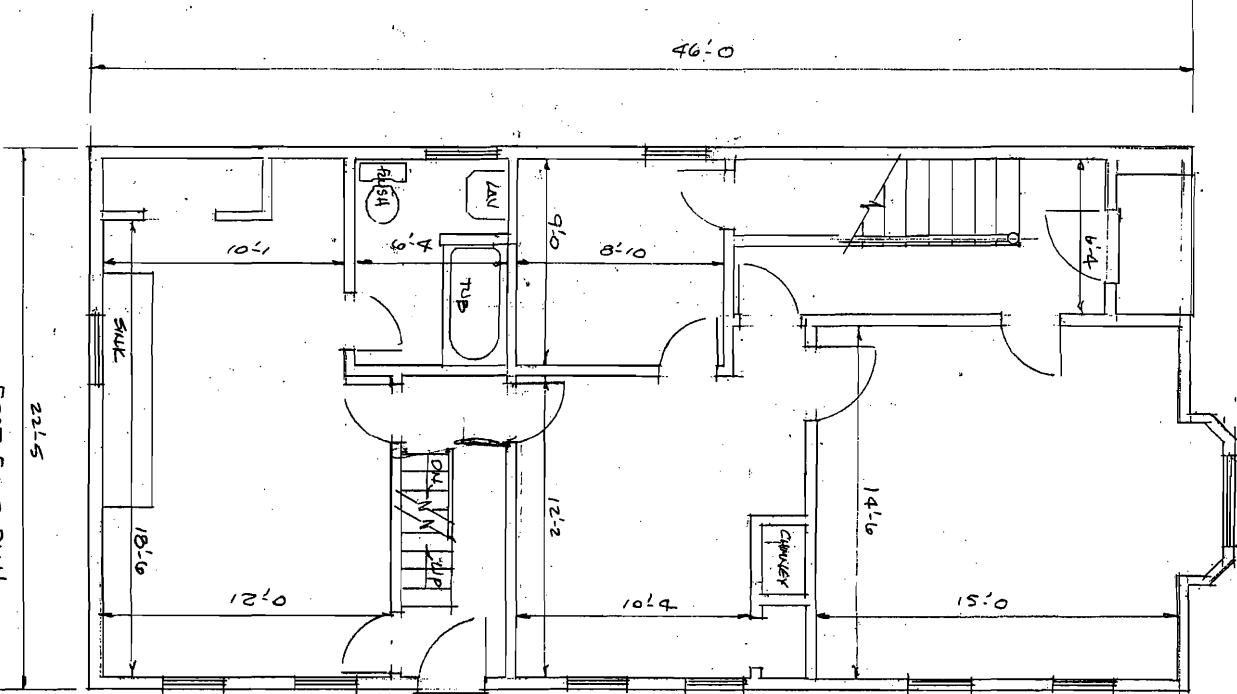




THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN
SCALE 1/8"=1'-0"

Date:	9-1
Job No.:	BRISNICK FLOOR PLANS
Project:	Richard H. Campbell, Inc.
Sheet No.:	30 Freedom Park Bangor, Maine 04401
Scale:	1/8"=1'-0"
Address:	97 Naurbury St. - Dorset Bangor, Maine

97 Newbury St Portland
Stairs to third floor

